

LOCATION OF PROPERTY

SCALE: 1" = 2000'

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND BEING 2.72 ACRES SITUATED IN SECTION 7, TOWNSHIP-11-SOUTH, RANGE-5-EAST, AND SECTION 11, TOWNSHIP-11-SOUTH, RANGE-4-EAST, CITY OF YOUNGSVILLE, LAFAYETTE PARISH, LOUISIANA FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT A SET IRON ROD ON BROYLES STREET, SAID POINT BEING POINT OF COMMENCEMENT (P.O.C.); THENCE PROCEED WITH A BEARING OF SOUTH 73°28'58" EAST FOR A DISTANCE OF 70.08 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING (P.O.B.);

THENCE PROCEED ALONG A BEARING OF NORTH 90° 00' 00" WEST FOR A DISTANCE OF 533.58 FEET TO A POINT, THENCE PROCEED ALONG A BEARING OF NORTH 00° 05' 05" WEST FOR A DISTANCE OF 204.28 FEET TO A POINT, THENCE PROCEED ALONG A BEARING OF SOUTH 90° 00' 00" EAST FOR A DISTANCE OF 265.82 FEET TO A POINT, THENCE PROCEED ALONG A BEARING OF NORTH 00° 00' 00" EAST FOR A DISTANCE OF 116.54 FEET TO A POINT, THENCE PROCEED ALONG A CURVE HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 20.42 FEET, A CHORD LENGTH OF 20.28 FEET, AND A CHORD BEARING OF NORTH 80° 35' 36" EAST TO A POINT, THENCE PROCEED ALONG A BEARING OF SOUTH 21° 06' 23" EAST FOR A DISTANCE OF 168.83 FEET TO A POINT, THENCE PROCEED ALONG A BEARING OF SOUTH 84° 57' 32" EAST FOR A DISTANCE OF 50.87 FEET TO A POINT, THENCE PROCEED ALONG A CURVE HAVING A RADIUS OF 445.00 FEET, AN ARC LENGTH OF 96.72 FEET, A CHORD LENGTH OF 96.08 FEET, AND A CHORD BEARING OF NORTH 12° 46' 41" EAST TO A POINT, THENCE PROCEED ALONG A CURVE HAVING A RADIUS OF 106.00 FEET, AN ARC LENGTH OF 26.85 FEET, A CHORD LENGTH OF 26.77 FEET, AND A CHORD BEARING OF NORTH 12° 46' 41" EAST TO A POINT, THENCE PROCEED ALONG A BEARING OF NORTH 89° 54' 40" EAST FOR A DISTANCE OF 120.17 FEET TO A POINT, THENCE PROCEED ALONG A CURVE HAVING A RADIUS OF 226.00 FEET, AN ARC LENGTH OF 66.68 FEET, A CHORD LENGTH OF 66.44 FEET, AND A CHORD BEARING OF SOUTH 10° 31' 25" WEST TO A POINT, THENCE PROCEED ALONG A CURVE HAVING A RADIUS OF 325.00 FEET, AN ARC LENGTH OF 174.05 FEET, A CHORD LENGTH OF 141.98 FEET, AND A CHORD BEARING OF SOUTH 03° 38' 02" WEST TO A POINT, THENCE PROCEED ALONG A BEARING OF SOUTH 67° 22' 05" WEST FOR A DISTANCE OF 5.52 FEET TO A POINT,

THENCE PROCEED ALONG A BEARING OF SOUTH 22° 30' 38" EAST FOR A DISTANCE OF 46.64 FEET TO THE POINT OF BEGINNING (P.O.B.);

REFERENCE MAPS:

1. A FINAL PLAT OF SURVEY OF SUGAR MILL POND PHASE 1 BY BARRY BLEICHNER P.E., P.L.S., REG. NO. 4422, DATED OCTOBER 6, 2005.
2. A MAP OF SURVEY SHOWING PROPERTY TO BE ACQUIRED BY SUGAR MILL POND DEVELOPMENT LLC FROM YOUNGS INDUSTRIES LLC BY BARRY BLEICHNER P.E., P.L.S., REG. NO. 4422 DATED SEPTEMBER 15, 2014.
3. A MAP OF SURVEY SHOWING PROPERTY OWNED BY YOUNG'S INDUSTRIES, INC. PREPARED BY C.H. FENSTERMAKER AND ASSOCIATES, INC. JOB NUMBER 2032830 DATED JUNE 25, 2004.
4. A PLAT SHOWING SURVEY OF TRACTS OF LAND BELONGING TO YOUNG'S INDUSTRIES, INC. BY STEPHEN J. LANGLINAIS, P.L.S., DATED JULY 6, 1983.
5. A MAP OF SURVEY SHOWING PROPERTY TO BE ACQUIRED BY SUGAR MILL POND INVESTORS LLC, BY K. CHRISTIAN ARMSTRONG PLS, DATED MAY 28, 2021

DEVELOPER/OWNER

SUGAR MILL POND INVESTORS LLC
108 ELLENDALE BLVD
LAFAYETTE, LA 70508

THIS PRELIMINARY PLAT SHALL NOT BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

I CERTIFY THAT THIS REPRESENTS AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR A CLASS "C" SURVEY AS DEFINED BY THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS ADOPTED BY LAPELS IN 2017.



K. CHRISTIAN ARMSTRONG, PLS

TYPES OF IMPROVEMENTS

STREETS: ASPHALT WITH CURB AND GUTTER
WATER: CITY OF YOUNGSVILLE
SEWER: CITY OF YOUNGSVILLE
ELECTRIC: SLEMCO
TELEPHONE: AT&T
CABLE TV: COX COMMUNICATIONS
SIDEWALKS: TO BE INSTALLED BY BUILDER

SURVEY DATUM

COORDINATE SYSTEM: U.S. STATE PLANE 1983
ZONE: LOUISIANA SOUTH 1702
DATUM: NAVD88
GEOID12A

DEVELOPMENT NOTE

THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF YOUNGSVILLE DRAINAGE AND SUBDIVISION ORDINANCE.

SETBACKS

LOTS 1-2:
FRONT: 20'
SIDE: 5'
REAR: 10'

LOTS 3:
FRONT: 5'
SIDE: 5'
REAR: 13.5'

LOTS 4:
FRONT: 5'
SIDE: 5'
SIDE: 13.5'
REAR: 13.5'

CONTRACTOR NOTE

THE CONTRACTOR FOR CONSTRUCTION ON THE LOTS SHALL SUBMIT AND COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE CITY OF YOUNGSVILLE. PLEASE NOTE THAT NO CONSTRUCTION PERMITS WILL BE ISSUED UNTIL CERTIFICATION THAT THE NOTICE OF INTENT FOR EACH LOT HAS BEEN SENT TO LA DEQ.

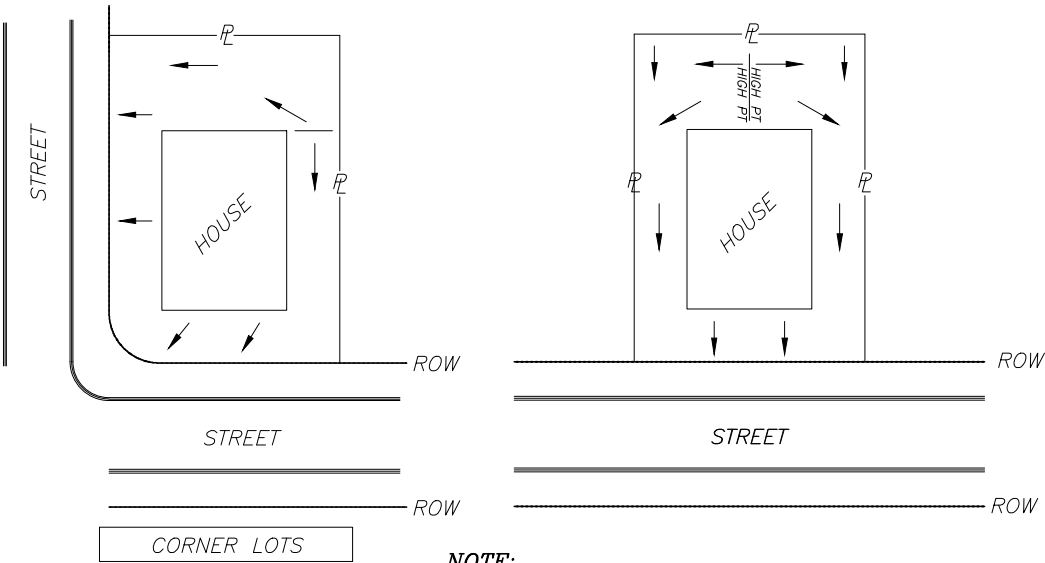
GENERAL NOTES:

TOTAL NUMBER OF RESIDENTIAL LOTS: 4
AREA OF RESIDENTIAL LOTS: 0.66 ACRES
AREA OF COMMON AREA: 2.06 ACRES
AREA OF RIGHT OF WAY: 0.0 ACRES
TOTAL AREA OF DEVELOPMENT: 2.72 ACRES
MINIMUM LOT AREA: 6,382.00 SQ. FEET
MINIMUM FRONTAGE: 43.00'
OPEN SPACE: 63.23 %
POND AREA: 29,913.61 SQ. FEET

FLOOD NOTE

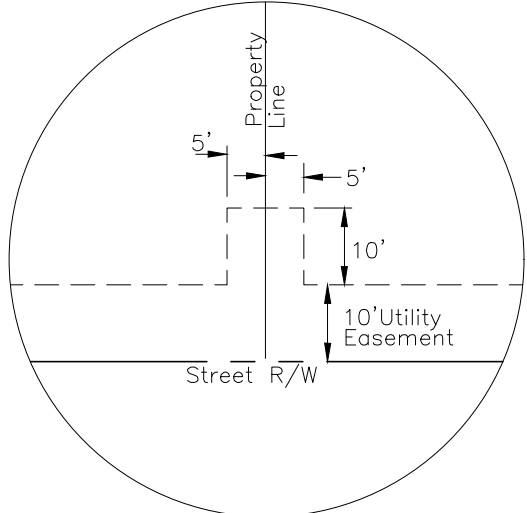
THE PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 22055C0250J DATED DECEMBER 21, 2018)

TYPICAL LOT GRADING PLAN



NOTE:
HOME BUILDER SHALL BE RESPONSIBLE FOR GRADING ALL LOTS BACK TO ROADWAY.

TYPICAL UTILITY NICHE



LEGEND

BOUNDARY
EASEMENT
27' PRIVATE ROP, UE, DS
SECTION LINE
COMMON AREA/DRAINAGE SERVITUDE