



MAYOR
Ken Ritter

CHIEF OPERATING OFFICER
Terry Bourque

CITY CLERK
Nicole Guidry

City of Youngsville
P.O. Box 592
201 Iberia Street
Youngsville, LA 70592
(337) 856-4181 * Fax (337) 856-8863

CITY COUNCIL
Shannon D. Bares
Lindy Bolgiano
Matt Romero
Nicholas Niland
Simone B. Champagne

September 30, 2025

Honorable Ken Ritter
Mayor
City of Youngsville
P.O. Box 592
Youngsville, LA 70592

**Subject: 100 Eugene St., Lots 7-A-1 & 7-A-2
Preliminary Plat Review**

Dear Mayor Ritter:

The above referenced preliminary plat has been submitted and reviewed for general compliance with the requirements for development in the City of Youngsville.

I recommend the City of Youngsville approve this Preliminary Plat with the following comments.

SPECIFIC PLAT REVISIONS

- A. Legal description needs to be shown on the plat.
- B. Plat needs to be signed & sealed by the surveyor.
- C. Addresses of Lot 7-A-1 & 7-A-2 need to be shown.
- D. The name & address of the property owner is missing.
- E. Under Site Data, add a note for the number of dwellings.
- F. A vicinity map must be included on the plat.
- G. Utility legend is missing on the plat.
- H. Under Flood Note, add a note stating, "In areas outside the SFHA, the minimum finished floor elevation must be the higher value of either 1' above the BFE or 1.5' above the road's center line elevation."

PLAT/SUBDIVISION CONDITIONS

- 1. The developer is reminded that all newly constructed homes must be elevated 18" above the center line of the road or 1' above the BFE, whichever is higher.

The City of Youngsville is an Equal Opportunity Employer

info@youngsvillela.gov
www.youngsville.us

2. The review of this Preliminary Plat is for general conformance with overall development requirements. The developer must submit detailed engineering plans for review and approval by the appropriate authority prior to construction. It is the responsibility of the developer and/or the developer's engineer to notify, coordinate, and ultimately adjudicate any review comments to the satisfaction of the appropriate authority. This would include any individual permits that may be required for construction activities.
3. Approval of the Preliminary Plat does not imply that utility services necessary to serve the development currently exist, or if they do exist have the capacity to serve the planned development. Any such evaluation and determination would take place by the respective utility during the detailed review of the engineering plans.
4. If desired in the future, the owner/developer is responsible for any required sewer infrastructure to convey sewer from the development to the City of Youngsville Sanitary Sewer Treatment Plant or the nearest location with available capacity as determined by the City. The available capacity of the sewer system at the point of discharge from the development into the City sewer system shall be evaluated by the City Engineer during the detailed review of engineering plans. The City reserves the right to require the developer to contribute funds towards the upgrade of existing lift station(s) and collection lines that may result from the addition of the development's sewage discharge to the overall system.
5. If desired in the future, the owner/developer shall utilize the City water system as the source of water for the development. The available capacity of the existing water system in the area relative to the proposed development's consumption of City water shall be evaluated during the detailed review of engineering plans. The City reserves the right to require the owner/developer to contribute funds towards the City's water distribution system to provide the requested water services to the development.
6. All signage shall conform to the City Sign Ordinance. The proposed signage will be evaluated when the required sign permit application is submitted for review.
7. Any changes to the Preliminary Plat made after this initial review may require a resubmittal of the Preliminary Plat.
8. The owner/developer is reminded that the final design and all construction activities associated with the development of this plat, including required submittals and permits, must comply with the applicable City Ordinances in effect at the time of submittal and the City's Residential Design Development and Resource Guide.
9. The Developer is reminded that inspection services are required in the most recent Unified Development Code.
10. The Developer is reminded that this letter does not permit the initiation of construction activities.
11. The construction plans submitted for detailed review should be a complete set of plans including the: Overall Plan, Preliminary Plat, Grading Plan, Streets Design, Water/Sewer Design, Stormwater Design, and Erosion Control Plan. Plans submitted lacking sufficient detail to enable a detailed review will be returned without being reviewed.
12. Additional easements may be required for this development. This will be evaluated during the review of the actual development construction plans.

If you have any questions or need additional information about this, please contact me.

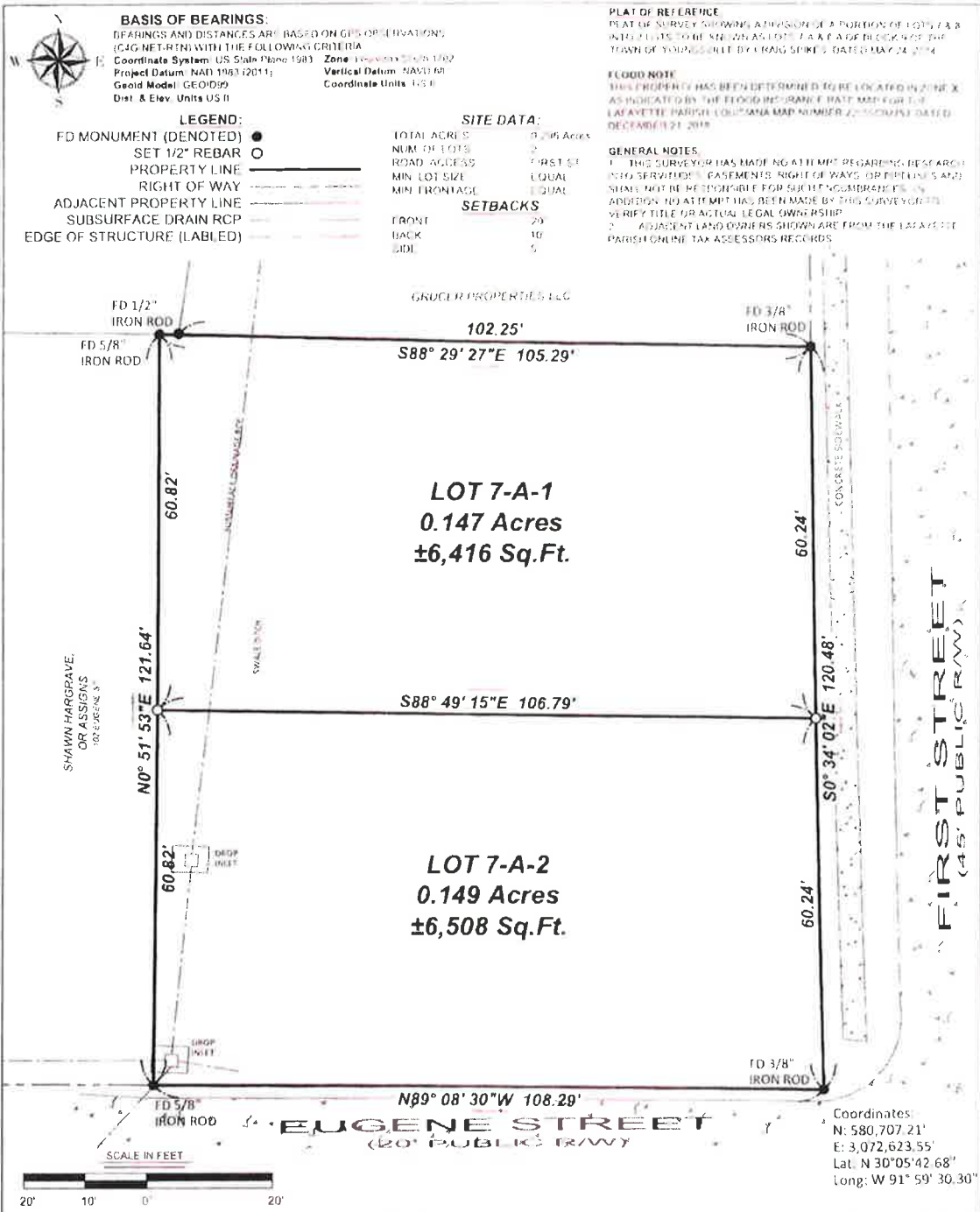
Thanks,

A handwritten signature in blue ink that reads "Garrett Noel". The signature is written in a cursive style with a large, stylized 'G'.

Garrett Noel, E.I., CFM

Floodplain Manager

cc: Nicole Guidry, City Clerk
Devon C. Richard, PLS



PLAT OF SURVEY SHOWING A PARTITION OF LOT 7-A OF BLK 9 OF THE TOWN OF YOUNGVILLE FOR JOHN HARVEY

LOTS CREATING LOTS 7-A-1 & 7-A-2
LOCATED IN SEC. 79 - T7S - R3E
LAFAYETTE PARISH, LOUISIANA
CITY OF YOUNGVILLE

DATE OF PLAT: SEPTEMBER 25, 2025

SCALE: 1" = 20'

RICHARD LAND SURVEYING, LLC
260 MARKET STREET
GRAND COTEAU, LOUISIANA
CELL: (337) 418-0023
DRICHARDSURVEYING@GMAIL.COM

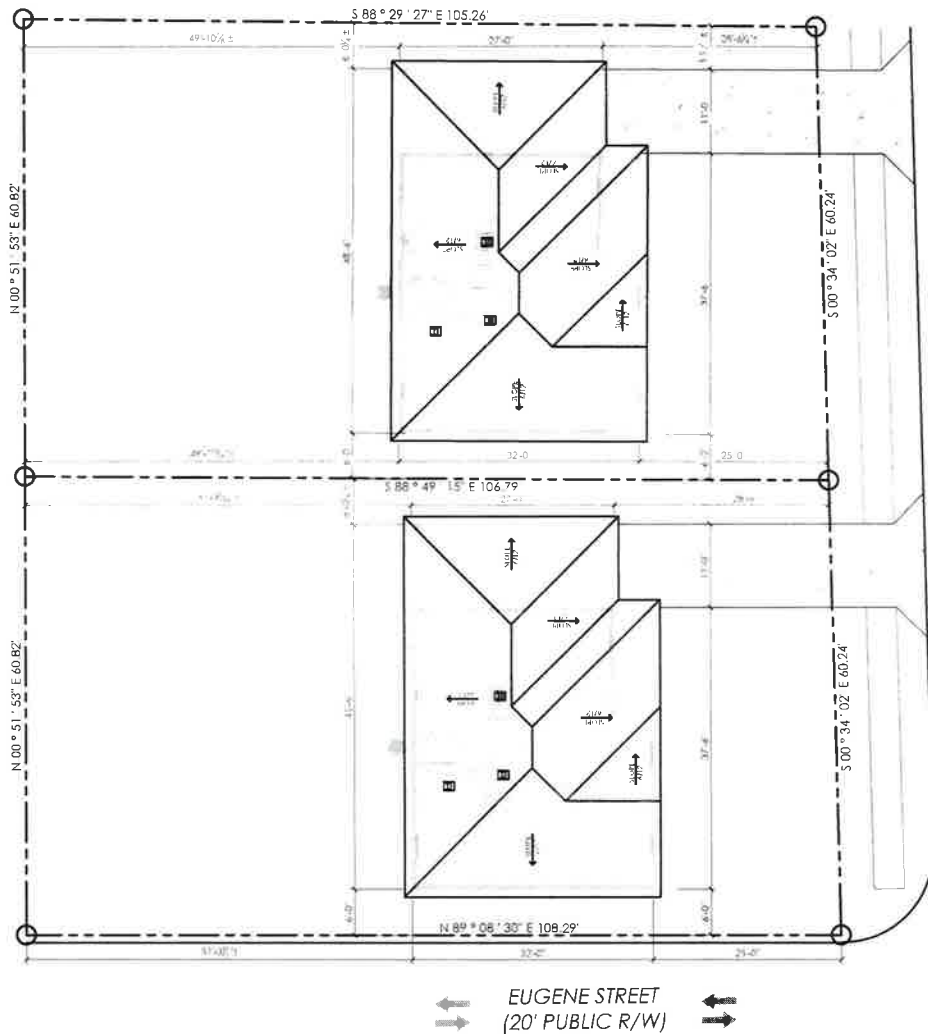
I, Devon C. Richard, P.L.S., hereby certify that this plat is representative of a survey performed under my supervision and guidance and in accordance with the applicable standards of practice as stipulated in the Rules of Professional Conduct set forth by the L.S.B.R.P.E.L.S. and conforming to Louisiana Revised State Statute 33:5051 and a CLASS C Survey described therein. (This certification is specifically restricted to the client shown herein and DOES NOT extend to third parties, unless properly revised by the certifier to reflect the same.)

PRELIMINARY

Note: This document is not to be used for construction, bidding, recording, conveyance, sales, litigation, or as the basis for the issuance of a permit.

Devon C. Richard, PLS
Professional Land Surveyor
Louisiana Registration No. 5236

Date of Survey	Book	Page	SURVEYOR: DCR	CHECKED: DCR
9/25/2025	2025	1130	DRAWN BY: DCR	APPROVED: DCR
REVISION	DATE	COMMENTS	PRO# 2025-01130	REVISED

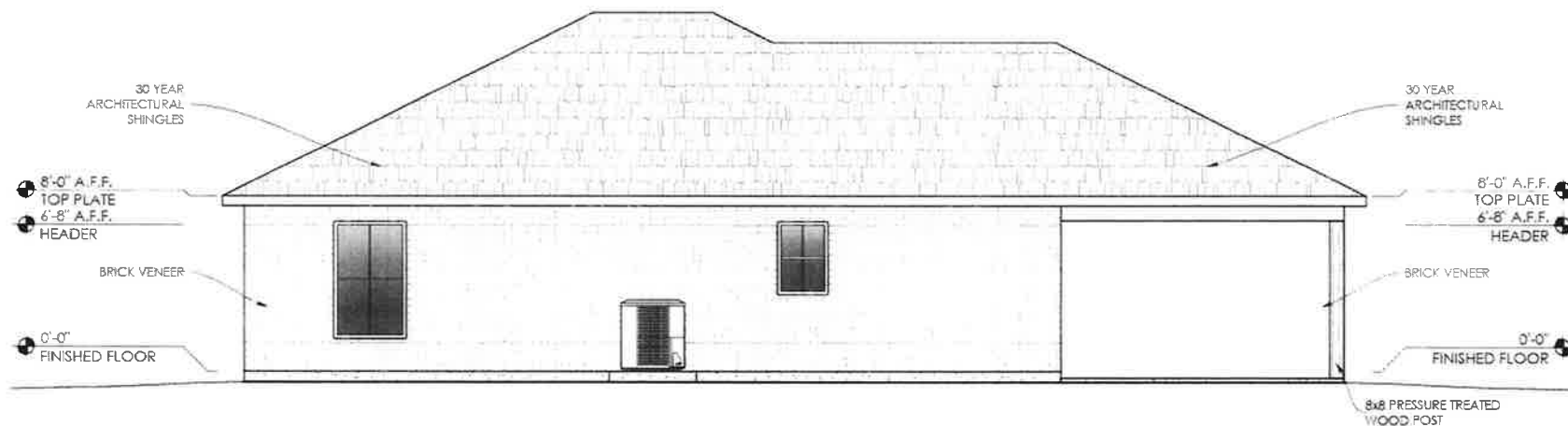


1 SITE PLAN
SCALE: 1/16"=1'-0"

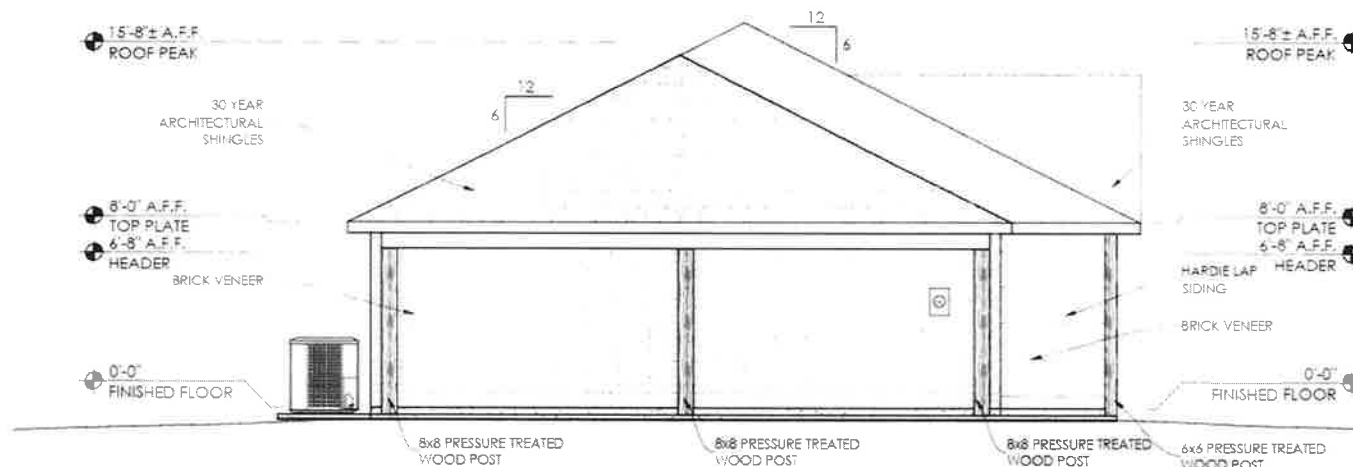
- SITE NOTES:**
1. SUGGESTED SITE LAYOUT. BUILDER / HOME OWNER MAY MAKE CHANGES ON SITE AS PER LOCAL & IRC CODES.
 2. ALL PROPERTY LINES & SETBACKS ARE TO BE VERIFIED BY HOME OWNER & CONTRACTOR.
 3. WALLS: MAINTAIN 5'-0" MINIMUM FROM PROPERTY LINE TO COMPLY WITH R302.1(1).
 4. ALL SOFFITS LESS THAN 1'-0" AWAY FROM PROPERTY LINES ARE TO BE FIRE RATED AND SHALL COMPLY WITH R302.1(2).
 5. ALL DIMENSIONS ARE ± AND TO BE VERIFIED ON SITE.
 6. FIELD VERIFY ALL SIDEWALKS.
 7. DRIVE WAY WIDTH IS TO BE VERIFIED W/ HOME OWNER & GENERAL CONTRACTOR.
 8. VERIFY ON JOB LOCATION OF SIDEWALK PER NEIGHBORHOOD REQUIREMENTS.

PRELIMINARY - FOR APPROVAL FULL SIZE - 11x17

		DANIEL DANENBERG PECAN GROVE TBD FIRST STREET YOUNGSVILLE, LOUISIANA																	
<table border="1"> <tr> <th colspan="2">SQUARE FOOTAGE</th> </tr> <tr> <td>Living</td> <td></td> </tr> <tr> <td>Kitchen</td> <td></td> </tr> <tr> <td>Bath</td> <td></td> </tr> <tr> <td>Bedroom</td> <td></td> </tr> <tr> <td>Garage</td> <td></td> </tr> <tr> <td>Other</td> <td></td> </tr> <tr> <td>TOTAL</td> <td></td> </tr> </table>				SQUARE FOOTAGE		Living		Kitchen		Bath		Bedroom		Garage		Other		TOTAL	
SQUARE FOOTAGE																			
Living																			
Kitchen																			
Bath																			
Bedroom																			
Garage																			
Other																			
TOTAL																			
PROJECT NUMBER: 25087																			
DATE: 09-30-2023																			
SHEET TITLE																			
SITE PLAN																			
SHEET NO.																			
S-1																			



1 REAR ELEVATION
SCALE: 3/16"=1'-0"

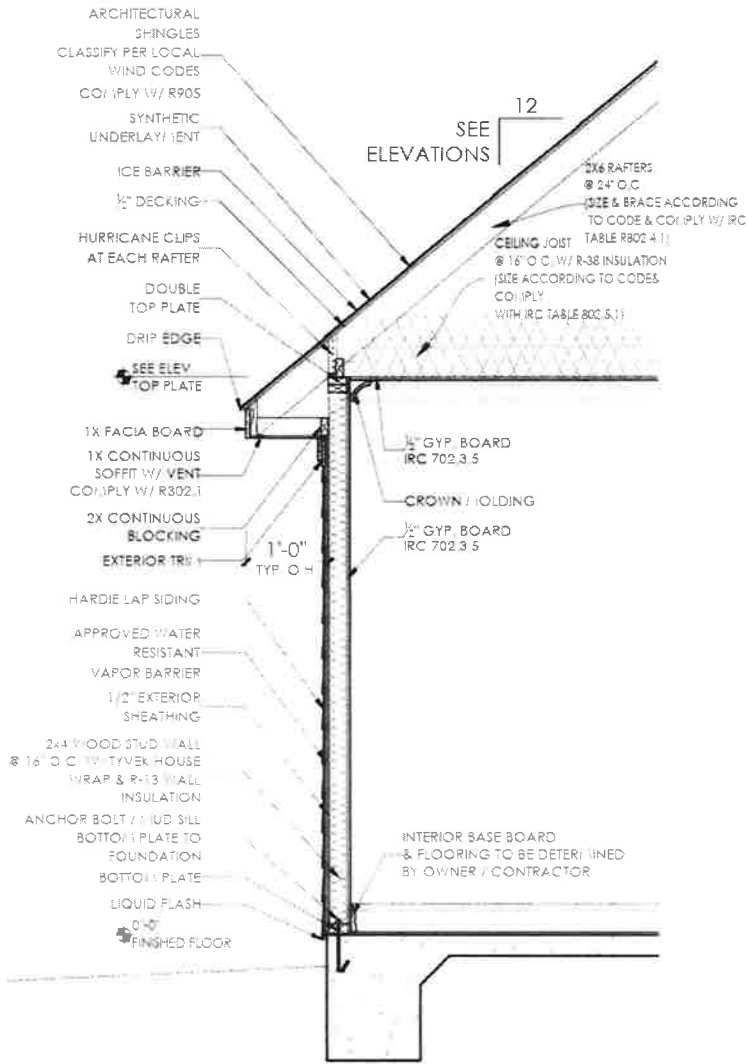


2 LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"

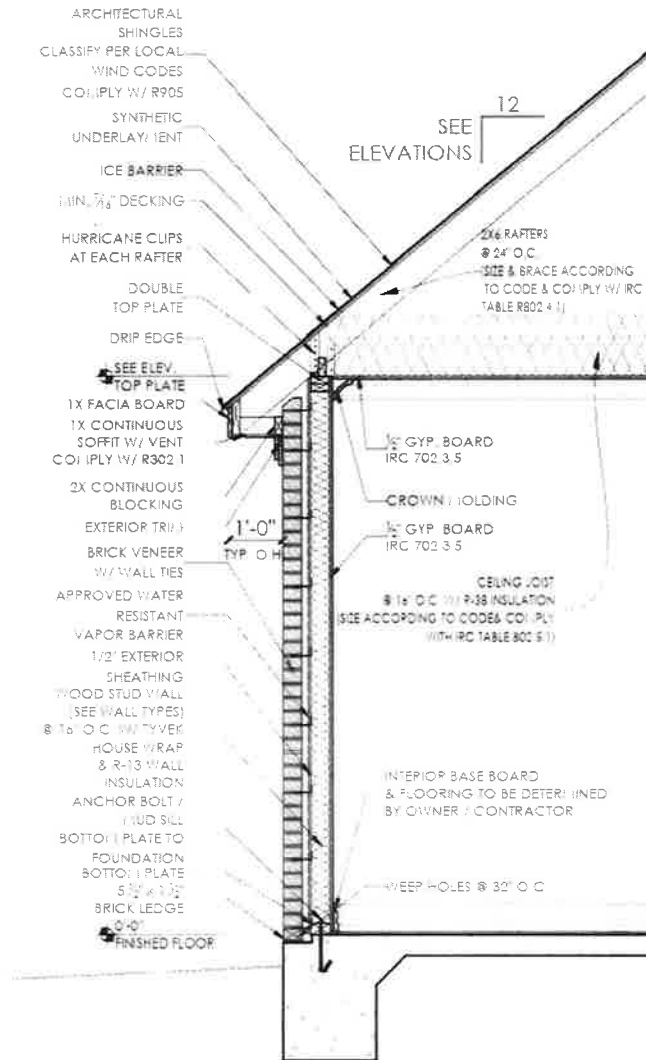
FOR CONSTRUCTION FULL SIZE - 11x17

DANIEL DANENBERG
PECAN GROVE
YOUNGSVILLE, LOUISIANA

PROJECT NO.: BEP-05008
DATE: 09-23-2025
SHEET TITLE: REAR & LEFT SIDE ELEVATIONS
SHEET NO.: A-2.1
4/13



① TYP. WALL SECTION
SCALE: 1/2"=1'-0"



② TYP. WALL SECTION
SCALE: 1/2"=1'-0"



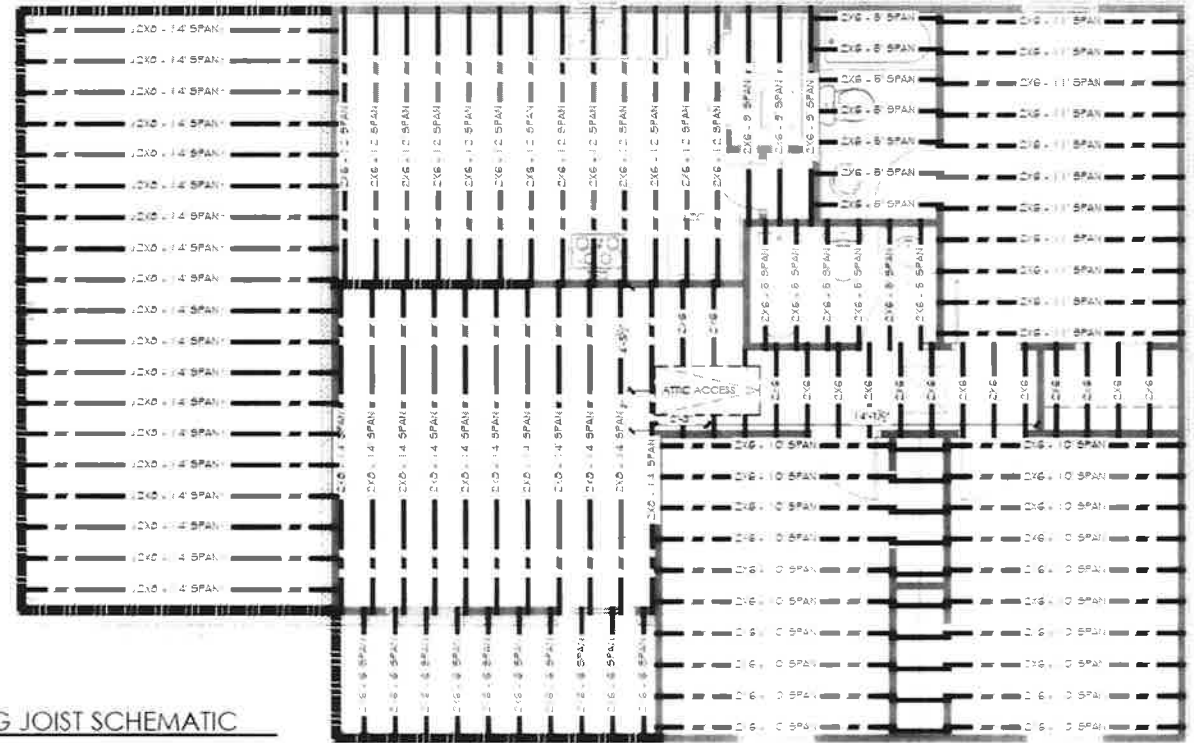
DANIEL DANENBERG
PECAN GROVE
— YOUNGSVILLE, LOUISIANA

SQUARE FOOTAGE	
CEILING	1,111.17
FLOOR	1,111.17
WALL	1,111.17
ROOF	1,111.17
TOTAL	4,444.68

PROJECT NO.	SEP 28008
DATE	09-28-2008
SHEET TITLE	WALL SECTIONS
SHEET NO.	A-3
	6/13

FOR CONSTRUCTION FULL SIZE - 11x17

1 CEILING JOIST SCHEMATIC
SCALE: 1/4"=1'-0"



- NOTES:**
1. RAFTER & CEILING JOIST SCHEMATIC ARE FOR REFERENCE ONLY.
 2. SIZE & SPAN CEILING JOISTS ACCORDING TO IRC TABLE 602.5.1
 3. RAFTER SPANS SEE TABLE R602.4(1) THROUGH R602.4.1(B)
 4. ALL JOIST AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
 5. BRACE RAFTERS W/ RUPING ACCORDING TO IRC R602.4.1.
 6. SUPPLY (10) SHEETS OF PLYWOOD FOR ATTIC STORAGE - VERIFY WITH CONTRACTOR - VERIFY LOCATIONS WITH HOME OWNERS

CEILING JOIST TABLE (12" O.C.)

FOR UNHABITABLE ATTIC WITH LIMITED STORAGE
JOIST TYPE: 2x6, 2x8, 2x10, 2x12
JOIST LOAD: 20 PSF (120 PSF TOTAL)
CEILING LOAD: 10 PSF
ALL SPANS ARE PER AMERICAN WOOD COUNCIL

JOIST	MAX SPAN
2x6	15'-0"
2x8	18'-0"
2x10	21'-0"
2x12	24'-0"

CEILING JOIST TABLE (14" O.C.)

FOR UNHABITABLE ATTIC WITH LIMITED STORAGE
JOIST TYPE: 2x6, 2x8, 2x10, 2x12
JOIST LOAD: 20 PSF (120 PSF TOTAL)
CEILING LOAD: 10 PSF
ALL SPANS ARE PER AMERICAN WOOD COUNCIL

JOIST	MAX SPAN
2x6	12'-0"
2x8	15'-0"
2x10	18'-0"
2x12	21'-0"

FOR CONSTRUCTION FULL SIZE - 11x17

SQUARE FOOTAGE

ITEM	AREA
FLOOR	1,000.00
CEILING	1,000.00
TOTAL	2,000.00

PROJECT NO: 25025
DATE: 09-23-2025
SHEET TITLE:

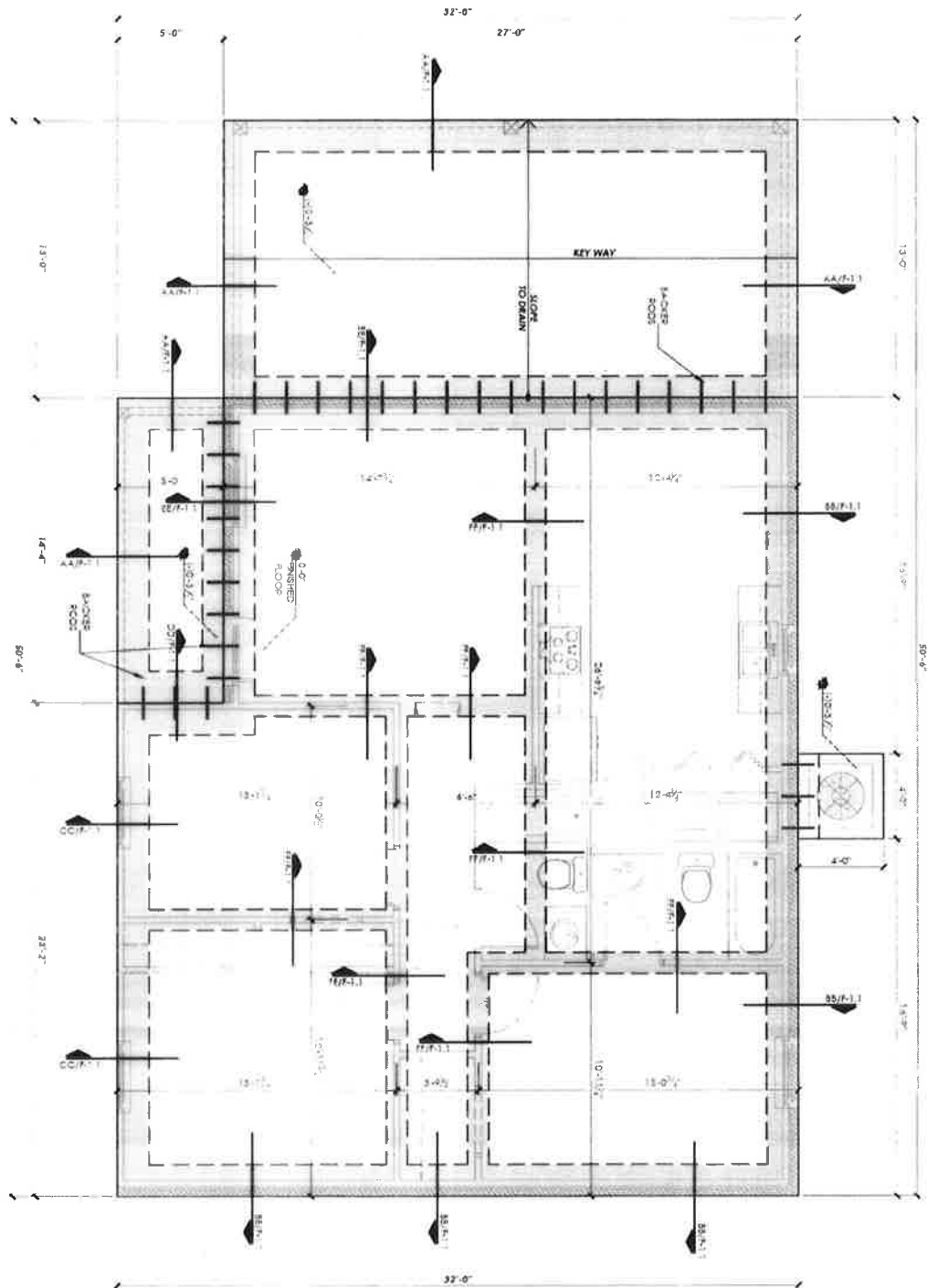
CEILING JOIST SCHEMATIC

SHEET NO:

FR-1 7/13



- RAFTER
SCHEDULE
SHEET NO
FR-2



1 FOUNDATION LAYOUT
SCALE: 3/16"=1'-0"

FOR CONSTRUCTION FULL SIZE - 11x17

PROJECT NO.	2025
DATE	06-29-2025
PROJECT TITLE	FOUNDATION SCHL JATC
SHEET NO.	F-1
DATE	5/13

DANIEL DANENBERG
PECAN GROVE
| YOUNGSSVILLE, LOUISIANA

NOTES:

1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE ACI 318 CODE OF PRACTICE FOR CONCRETE.
2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIAA 305 CODE OF PRACTICE FOR ALUMINUM.
3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIAA 305 CODE OF PRACTICE FOR ALUMINUM.
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9. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIAA 305 CODE OF PRACTICE FOR ALUMINUM.
10. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIAA 305 CODE OF PRACTICE FOR ALUMINUM.



1. SLAB IS TO BE 8,000 PSI CONCRETE & 4" THICK / 4" MIN. SLAB
2. ENTIRE BUILDING SLAB IS TO BE 10% INTERLOCK
3. ALL UNCOVERED CONCRETE AREAS SHOWN WITHOUT FOOTINGS ARE TO HAVE TURN DOWN AT SIDES TO GRADE
4. SUGGESTED FOUNDATION SCHEDULE & DETAILS CONTRACTOR / BUILDER TO MAKE CHANGES ON SITE AS PER SOIL CONDITIONS, AND BUILDING CODES
5. FLOOR ALL EXTERIOR CONCRETE SURFACES TO DRAIN ACCORDING TO CODE
6. ALL DIMENSION AREAS TO BE VERIFIED ON SITE
7. DIMENSIONS TO INTERIOR FOOTINGS ARE TO THE CENTERLINE OF THE INTERIOR FOOTINGS
8. FOUNDATION IS DESIGNED ACCORDING TO IRC CHAPTER 4 & SHOULD BE BUILT ACCORDING TO IRC & LOCAL CODE
9. VERIFY OF ALL CONCRETE SIDEWALKS AND/OR CONCRETE PARKING PADS
10. EXTERIOR FOOTINGS SHALL BE NOT LESS THAN 12" BELOW THE UNDISTURBED GROUND SURFACE
11. 11.1. 4" MIN. SLAB REQ
- 11.2. 4" 8,000 PSI CONCRETE
- 11.3. 800 PSF LIVE
- 11.4. 50 PSF DEAD
- 11.5. 100 PSF VAPOR BARRIER
- 11.6. 100 PSF IMPACTED FLOOR ON 100 PSF IMPACTED FLOOR



7 TYP. TURN DOWN FOOTING
SCALE: 1/2"=1'-0"



DANIEL DANENBERG
PECAN GROVE

SQUARE FOOTAGE	
LIVING	
KITCHEN	11,884
DINING ROOM	
BEDROOM	36,022
BATH ROOM	120
CLO.	2,186

PROJECT NO: SEP 25008
DATE 09-23-2025
SHEET TITLE

FOUNDATION DETAILS

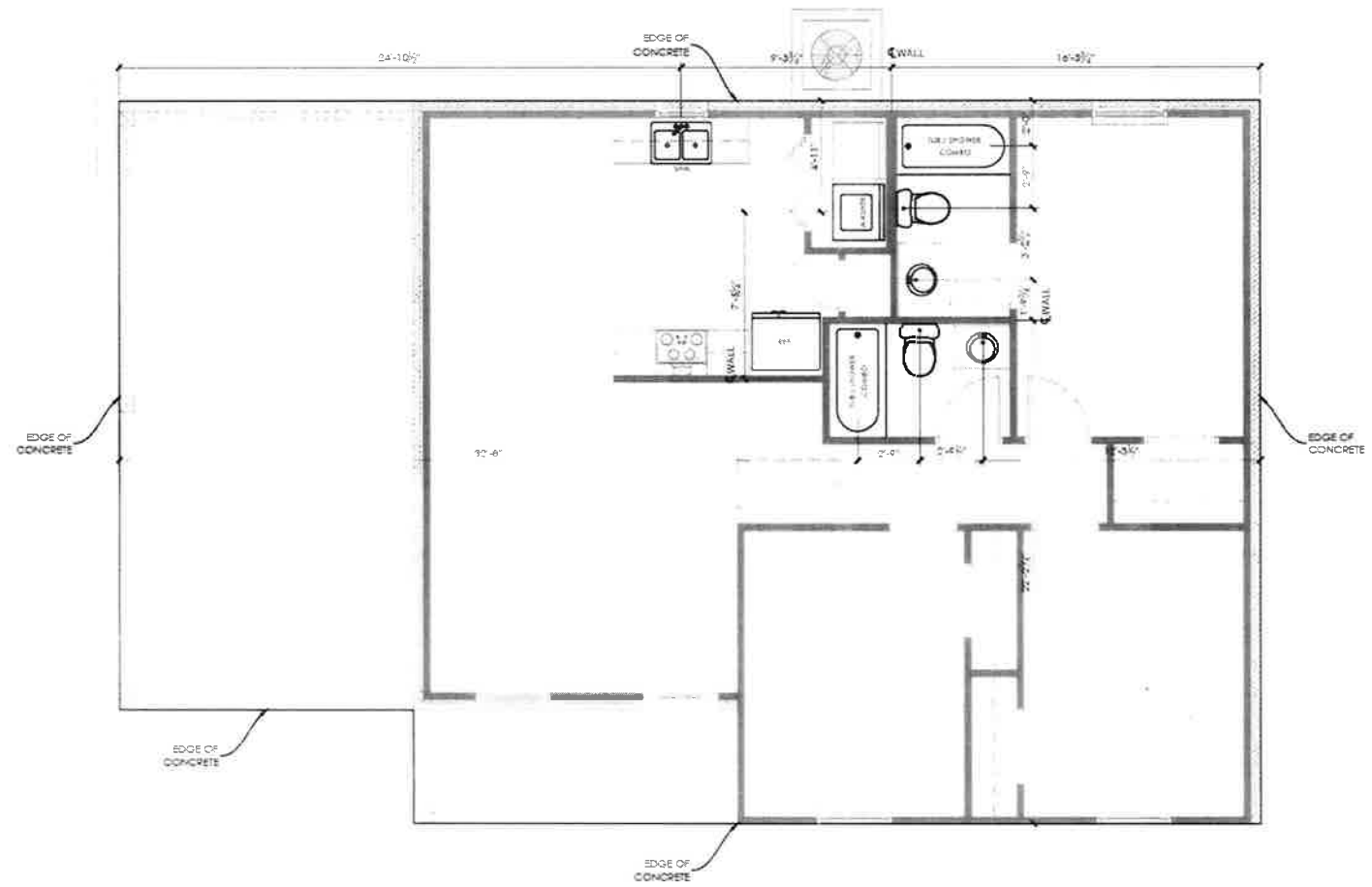
SHEET NO

F-1.1

SQUARE FOOTAGE	
FLOOR	
1ST FLOOR	1,075 SQ FT
2ND FLOOR	
3RD FLOOR	
4TH FLOOR	
5TH FLOOR	
6TH FLOOR	
7TH FLOOR	
8TH FLOOR	
9TH FLOOR	
10TH FLOOR	
11TH FLOOR	
12TH FLOOR	
13TH FLOOR	
14TH FLOOR	
15TH FLOOR	
16TH FLOOR	
17TH FLOOR	
18TH FLOOR	
19TH FLOOR	
20TH FLOOR	
21ST FLOOR	
22ND FLOOR	
23RD FLOOR	
24TH FLOOR	
25TH FLOOR	
26TH FLOOR	
27TH FLOOR	
28TH FLOOR	
29TH FLOOR	
30TH FLOOR	
31ST FLOOR	
32ND FLOOR	
33RD FLOOR	
34TH FLOOR	
35TH FLOOR	
36TH FLOOR	
37TH FLOOR	
38TH FLOOR	
39TH FLOOR	
40TH FLOOR	
41ST FLOOR	
42ND FLOOR	
43RD FLOOR	
44TH FLOOR	
45TH FLOOR	
46TH FLOOR	
47TH FLOOR	
48TH FLOOR	
49TH FLOOR	
50TH FLOOR	
51ST FLOOR	
52ND FLOOR	
53RD FLOOR	
54TH FLOOR	
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56TH FLOOR	
57TH FLOOR	
58TH FLOOR	
59TH FLOOR	
60TH FLOOR	
61ST FLOOR	
62ND FLOOR	
63RD FLOOR	
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67TH FLOOR	
68TH FLOOR	
69TH FLOOR	
70TH FLOOR	
71ST FLOOR	
72ND FLOOR	
73RD FLOOR	
74TH FLOOR	
75TH FLOOR	
76TH FLOOR	
77TH FLOOR	
78TH FLOOR	
79TH FLOOR	
80TH FLOOR	
81ST FLOOR	
82ND FLOOR	
83RD FLOOR	
84TH FLOOR	
85TH FLOOR	
86TH FLOOR	
87TH FLOOR	
88TH FLOOR	
89TH FLOOR	
90TH FLOOR	
91ST FLOOR	
92ND FLOOR	
93RD FLOOR	
94TH FLOOR	
95TH FLOOR	
96TH FLOOR	
97TH FLOOR	
98TH FLOOR	
99TH FLOOR	
100TH FLOOR	

PROJECT NO:	SEP-25006
DATE:	09-25-2025
SHEET TITLE:	PLUMBING SCHEMATIC
SHEET NO:	P-1
	11/13

FOR CONSTRUCTION FULL SIZE - 11x17



1 PLUMBING LAYOUT
 SCALE: 3/16"=1'-0"

- PLUMBING NOTES:**
1. ALL DIMENSIONS ARE ± AND ARE TO BE VERIFIED ON JOB, AND CONFIRMED BY PLUMBING CONTRACTOR.
 2. DIMENSIONS ARE FROM THE EDGE OF CONCRETE TO CENTER OF FIXTURE OR WALL.
 3. INSTALL PROPER PLUMBING FOR REFRIGERATOR.
 4. GAS WALLS SHOWN BEHIND PLUMBING FIXTURES ARE FOR VENTING PURPOSES.
 5. BACKFLOW PREVENTOR SHALL BE INSTALLED ON OUTSIDE OF HOSE BIBS.
 6. OWNER / CONTRACTOR TO DETERMINE HOSE BIB LOCATIONS.



YOUNGSVILLE, LOUISIANA

13/13

