

NOTE:

BASIS OF BEARING:
GRID NORTH OBTAINED FROM GPS OBSERVATION
LOUISIANA STATE PLANE COORDINATE SYSTEM
NAD 83 (2011), LA SOUTH ZONE (1702)

CLASS "C" SURVEY

FND $\frac{3}{8}$ " I.R.
10' UTILITY
EASEMENT
(5' ON EACH SIDE OF PROP LINE)

REFERENCE PLAT:

"FINAL PLAT U. B. LANDRY INDUSTRIAL
PARK-PHASE NO. 2, LOTS 33 THROUGH 55"
PREPARED BY: ALDON A. LEBLANC, P.L.S.
PLAT DATED: OCTOBER 23, 1981
(ACT#1982-000942)

REFERENCE:

QUIT CLAIM DEED - (ACT#2024-005630)

NOTE:

STREETS & DRAINAGE:
(ASPHALT/OPEN DITCH/SUBSURFACE)

LEGEND

WATERLINE	— W — W —
FENCELINE	— X —
OVERHEAD ELECTRIC	— OE —
FIBER OPTIC	— FO —
EXISTING STRUCTURE	
EXISTING CONCRETE	
EXISTING LIMESTONE	

FLOOD NOTE:

PORTIONS OF THIS PROPERTY HAS BEEN
DETERMINED TO BE LOCATED IN ZONE X,
ZONE X SHADED AND ZONE AE INDICATED
BY THE FLOOD INSURANCE RATE MAP FOR
THE PARISH OF LAFAYETTE, LOUISIANA,
MAP #22055C0200J WITH THE EFFECTIVE
DATE OF DECEMBER 21, 2018.

ZONE X- AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN, AND IS NOT CONSIDERED TO
BE A SPECIAL FLOOD HAZARD AREA.

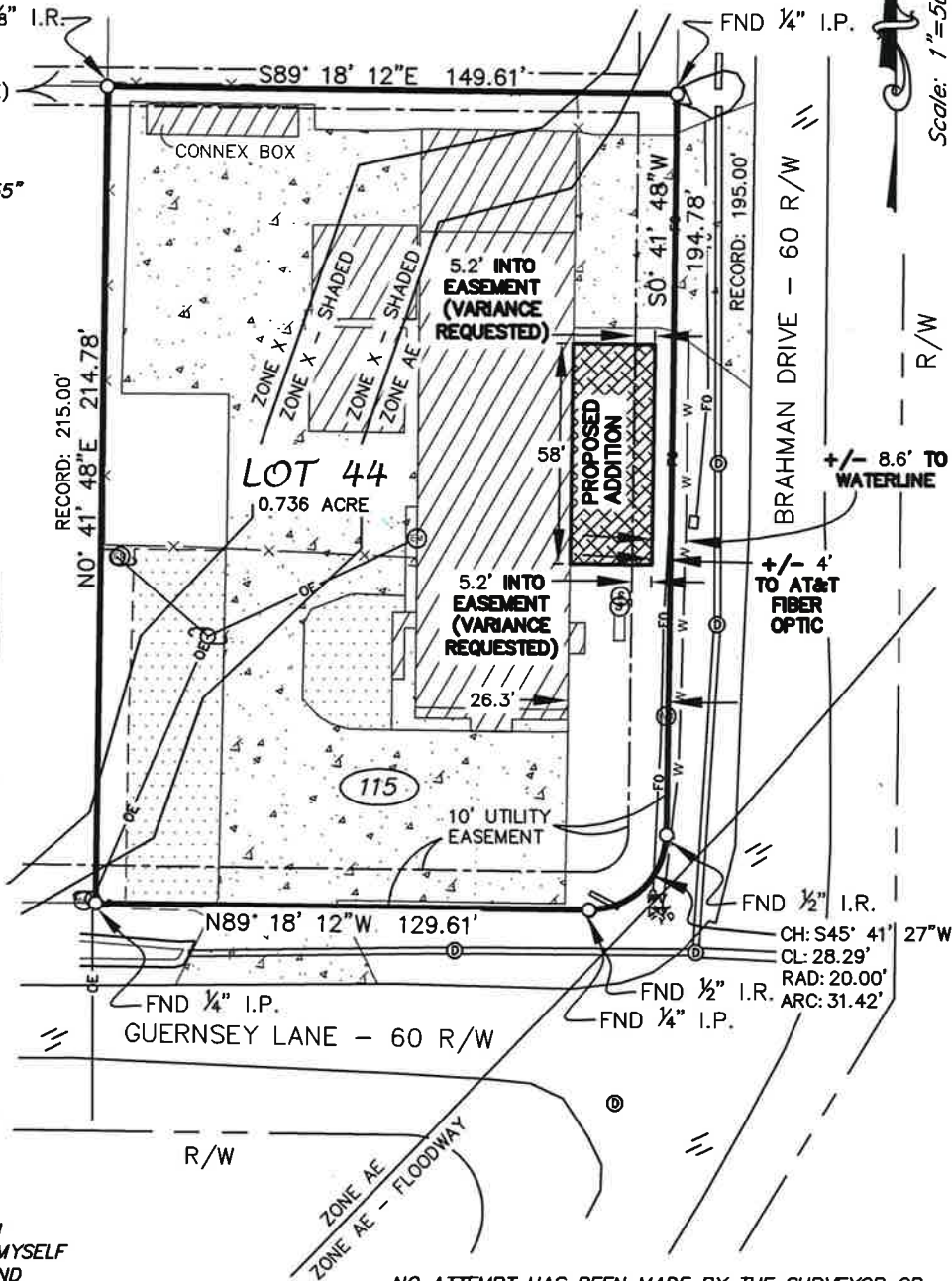
ZONE X SHADED- AREAS DETERMINED TO
BE INSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN.

ZONE AE- AREAS DETERMINED TO BE
INSIDE THE
1% ANNUAL CHANCE FLOODPLAIN, SUBJECT
TO INUNDATION BY THE 1% ANNUAL
CHANCE FLOOD AND CONSIDERED TO BE A
SPECIAL FLOOD HAZARD AREA.

I CERTIFY THAT THIS PLAT REPRESENTS AN
ACTUAL GROUND SURVEY, PREFORMED BY MYSELF
AND/OR UNDER MY DIRECT SUPERVISION AND
CONTROL, IN ACCORDANCE WITH THE APPLICABLE
MINIMUM STANDARDS OF BOUNDARY SURVEYING
FOR A CLASS "C" SURVEY, AS ADOPTED BY THE
LOUISIANA STATE BOARD OF REGISTRATION FOR
PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

UTILITIES NOTE:

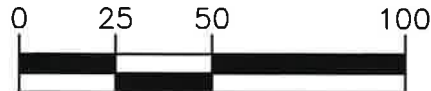
UTILITIES SHOWN ON PLAT ALONG BRAHMAN DRIVE,
WERE SURVEYED AND PLOTTED PER LA ONE CALL
REPRESENTATIVES PHYSICAL MARKINGS ON THE GROUND.



NO ATTEMPT HAS BEEN MADE BY THE SURVEYOR OR
COMEAX ENGINEERING & CONSULTING TO VERIFY
TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES,
EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON
THE PROPERTY OTHER THAN THAT FURNISHED BY
THE OWNER OR HIS/HER REPRESENTATIVE.

PLAT SHOWING PROPERTY & IMPROVEMENTS OWNED BY
FLORES INVESTMENTS TWO, INC.

LOT 44 OF U. B. LANDRY INDUSTRIAL PARK, PHASE 2
STREET ADDRESS OF 115 GUERNSEY LANE
LOCATED IN SECTION 31, T-10-S, R-5-E
CITY OF YOUNGVILLE
LAFAYETTE PARISH, LOUISIANA
SCALE 1"=50' DATE: OCTOBER 1, 2025



COMEAX ENGINEERING & CONSULTING
A PROFESSIONAL CORPORATION
PO BOX 452
BROUSSARD, LOUISIANA
PHONE 337-837-2210

JOB NUMBER: 2025019

2025019_PROPOSED_ADDITION_PLAT.DWG



COMEAX
ENGINEERING & CONSULTING