



McBADE

ENGINEERS & ARCHITECTS, L.L.C.

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April 29, 2026

Honorable Ken Ritter
Mayor
City of Youngsville
P.O. Box 592
Youngsville, LA 70592

**Subject: Sugar Mill Pond Subdivision Phase 30
Preliminary Plat Review**

Dear Mayor Ritter:

The above referenced preliminary plat has been submitted and reviewed for general compliance with the requirements for development in the City of Youngsville (City). The Lafayette Consolidated Government (LCG) Development and Zoning Divisions has completed their review of the Preliminary Plat and the Areawide Development Review Committee (ADRC) report dated April 15, 2026 is attached.

We recommend the City of Youngsville approve this Preliminary Plat subject to the following comments and to all the attached ADRC review comments:

SPECIFIC PLAT REVISIONS

- A. We recommend no waivers to the 6 Plat Revisions included in the ADRC Review Report.
- B. Please include names and addresses of all adjacent property owners.
- C. Please correct TYPICAL UTILITY NICHE LOT detail LOT 1-13.
- D. Please identify Gas line easement width on the plat.
- E. Provide address for lot per ADRC report.
- F. Please add a note that sidewalks are required along all City streets.

PLAT/SUBDIVISION CONDITIONS

1. We recommend waivers for condition items #6 and #7 and replace with the City of Youngsville's drainage, floodplain and detention requirements.
2. We recommend no additional waivers to the remaining 14 conditions.
3. We recommend replacing condition item #13 with the following: The minimum finished floor elevation of any structure enclosed on three or more sides must be the higher value of either 1' above the BFE, 1.5' above the road's center line if the structure is outside the SFHA, or 2' above the road's center line if the structure is inside the SFHA.

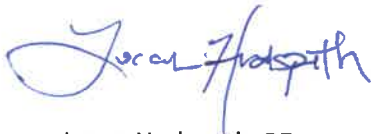
4. The review of this Preliminary Plat is for general conformance with overall development requirements. The developer must submit detailed engineering plans for review and approval by the appropriate authority prior to construction. It is the responsibility of the developer and/or the developer's engineer to notify, coordinate, and ultimately adjudicate any review comments to the satisfaction of the appropriate authority. This would include any individual permits that may be required for construction activities.
5. If applicable, a perimeter fence shall be required where a development faces a public street, park, or other public property in accordance with the City's Ordinances.
6. Approval of the Preliminary Plat does not imply that utility services necessary to serve the development currently exist, or if they do exist have the capacity to serve the planned development. Any such evaluation and determination would take place by the respective utility during the detailed review of the engineering plans.
7. If desired in the future, the owner/developer is responsible for any required sewer infrastructure to convey sewer from the development to the City of Youngsville Sanitary Sewer Treatment Plant or the nearest location with available capacity as determined by the City. The available capacity of the sewer system at the point of discharge from the development into the City sewer system shall be evaluated by the City Engineer during the detailed review of engineering plans. The City reserves the right to require the developer to contribute funds towards the upgrade of existing lift station(s) and collection lines that may result from the addition of the development's sewage discharge to the overall system.
8. If desired in the future, the owner/developer shall utilize the City water system as the source of water for the development. The available capacity of the existing water system in the area relative to the proposed development's consumption of City water shall be evaluated during the detailed review of engineering plans. The City reserves the right to require the owner/developer to contribute funds towards the City's water distribution system to provide the requested water services to the development.
9. A minimum of 10% Common Open Space is required for all residential developments. Detention ponds can only account for 50% of common area. Detention ponds must be aerated to count as Common Open Space.
10. Submittal of a drainage impact analysis shall be submitted to the City for review and approval prior to construction. Please note that this plat is subject to the new 25-year detention requirements.
11. All signage shall conform to the City Sign Ordinance. The proposed signage will be evaluated when the required sign permit application is submitted for review.
12. Any changes to the Preliminary Plat made after this initial review may require a resubmittal of the Preliminary Plat.
13. The owner/developer is reminded that the final design and all construction activities associated with the development of this plat, including required submittals and permits, must comply with the applicable City Ordinances in effect at the time of submittal and the City's Residential Design Development and Resource Guide.
14. The Developer is reminded that inspection services are required in the most recent Unified Development Code.

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15. The Developer is reminded that this letter does not permit the initiation of construction activities.
16. The construction plans submitted for detailed review should be a complete set of plans including the Overall Plan, Preliminary Plat, Grading Plan, Streets Design, Water/Sewer Design, Stormwater Design, and Erosion Control Plan. Plans submitted lacking sufficient detail to enable a detailed review will be returned without being reviewed.
17. Additional easements may be required for this development. This will be evaluated during the review of the actual development construction plans.

If you have any questions or need additional information about this, please contact me.

Sincerely,
McBade Engineers & Consultants, L.L.C.



Lucas Hudspeth, PE

cc: Ken Ritter, Mayor
Nicole Guidry, City Clerk
Terry Bourque, CAO
Adam D. Meche P.L.S./Surveyor

AREAWIDE DEVELOPMENT REVIEW COMMITTEE

COMPREHENSIVE REPORT

ADRC Meeting Date: April 15, 2026

Case Number: 2026-24-PC

Case Name: Sugar Mill Pond, PH 30

Recommendation: Approval subject to the following conditions.

CONDITIONS:

1. Complete plans and specifications of the Water Distribution and Sewage Collection Systems need to be submitted to DHH-OPH, Engineering Section for approval before construction is begun. Submit plans to: Office of Public Health, Acadian Regional Office, 825 Kaliste Saloom Road, Bldg. 3 - Suite 100, Lafayette, LA 70508. (Lafayette Parish Health Unit)
2. Provide 10' utility servitudes along all lots bordering public and 15' utility servitudes along all lots bordering private roadways and servitude niches at all property corners including typical utility niche diagram. (LDC 89-30 (c)(2)) (LUS)
3. Submittal of complete construction plans to the City of Youngsville will be required. Construction plans shall include, but not be limited to, a site grading, drainage and erosion control plans and details of all tie-ins to public infrastructure. Submittal may take place at the time of building permit application. (LDC Art. 3, 89-25 (b)) (Drainage)
4. The construction plans shall include geotechnical recommendations for all roadway typical sections, including sub-base material, within the development. The recommendations shall be based on site specific soil borings, properties of any borrow material, and anticipated traffic loading(s). The Final Plat may not be recorded nor building permits issued until the construction plans have been approved and constructed. (LDC Art.3, 89-44 (c)) (Drainage)
5. The construction testing/inspection results are to be submitted to City of Youngsville at the time of final inspection. The Final Plat may not be recorded nor building permits issued until the construction plans have been approved and constructed. (LDC Art. 4, 89-59 (f)) (Drainage)
6. The citizens of Lafayette requested enhanced measures be made to prevent additional flooding, therefore as of October 2017 any development that fills or modifies a designated Special Flood Hazard Area must mitigate that development activity volumetrically on a one to one excavation ratio. Submittal may take place at the time of building permit application. For details of this requirement, please review section 89-42 (g). (Drainage)
7. All development activities on property must be in compliance with 89-42 (g) "Development within a Special Flood Hazard Area" of Article 3 of the Unified Development Code for the City and Parish of Lafayette, LA. Note: Less than 5 acres of the proposed development are located within a Special Flood Hazard Area. (LDC Art. 3, 89-42 (g)) (Drainage)

8. Submittal of a drainage impact analysis to the City of Youngsville for review and approval is required. Analysis shall be submitted in the format noted in Public Infrastructure Design Standards which can be obtained from <https://www.lafayette-la.gov/docs/default-source/d-p-documents/planning-files/lafayette-development-code-october-2023.pdf>. Building permits shall not be issued until the analysis has been approved. (LDC Art. 3, 89-42 (c) and (d)) (Drainage)
9. Upon reviewing the drainage impact analysis, Private and/or public drainage servitudes may be required to achieve proper storm water management. (Drainage)
10. No construction of any development components which are the subject of any Preliminary or Final Plat approval by the Planning Commission shall be commenced until a favorable written approval of the drainage impact analysis has been made by the City of Youngsville. Violation of this provision can result in a cease and desist order being issued for the development (LDC Art. 3, 89-42 (d)). (Drainage)
11. Add drainage servitude for W23(L9). Drainage servitude language should read “30’ public drainage servitude from apparent top bank and inclusive of channel”. (Drainage)
12. **Correct Note:** According to the Federal Emergency Management Agency, Flood Insurance Rate Map (F.I.R.M.) Panel 22055C0250J dated December 21, 2018, this property is located in Flood Zone AE, which is the zone associated with property subject to inundation by the 1% annual chance flood hazard and considered a special flood hazard area. (Drainage)
13. **Add Note:** Any structure, enclosed on three or more sides, built or placed on property in the one hundred (100) year Flood Zone (1% Annual Chance Floodplain; Flood Zones A, AE, or AH) as depicted on this plat shall be elevated so as to ensure the lowest floor of such structure and all electrical/mechanical equipment is located at a minimum of one foot (1’) above the base flood elevation height for the area at that time. (Drainage)
14. **Add Note:** Any development that fills or modifies a designated Special Flood Hazard Area must mitigate that development activity volumetrically. (Drainage)
15. Ensure that the numerical block range for Sea Island Lane will continue to rise in numerical sequence from the existing portion of this roadway. (Lafayette Parish Communications)
16. Americans with Disabilities Act (A.D.A.) compliant sidewalks are required to be constructed along all public roads. The A.D.A. compliant sidewalks are required to be constructed prior to final approval and recordation or provide a letter of credit for the construction of the sidewalk. LDC 89-44 (e). (Traffic, Roads & Bridges-Traffic Engineering)

REVISIONS:

1. The names of abutting subdivisions including citations of any reference plats and in the case of abutting unplatted property, the notation “Unplatted”. (LDC Art. 10, Sec 89-301) (Development)
2. A title block which includes the subdivision or development name, type of subdivision or development (residential, commercial), scale and preparation date. (LDC Art. 10, Sec 89-301)
*Label residential or commercial in title block. (Development)

3. North arrow (in the same orientation as the plat) and scale (written and graphic) for the plat and vicinity map (1" = 3,000') showing the location of the proposed subdivision or development and the entire subject property. (LDC Art. 10, Sec 89-301) *Show a north arrow for the vicinity map & include roads that are nearby. (Development)
4. Proposed number of lots. (LDC Art. 10, Sec 89-301) (List separately - Common Area lots in General Notes) (Development)
5. Dimensions and bearings of lot lines (to the nearest foot) as well as line and curve tables containing the length and radii of all curved street and lot lines, bearings, length of all straight streets and lot lines (LDC Art. 10, Sec 89-301) *Correct or remove duplicate 60' callout on Lot 6. (Development)
6. Addresses: **TBD** (Development)

OTHER COMMENTS/SUGGESTIONS:

1. The Postal Service determined that centralized delivery is the most efficient, cost effective and safest method of providing service to our customers. Specifically, all new delivery points should provide Cluster Box Units (CBUs) as the mode of delivery established in the planning stages of a new development. All new deliveries must be established in the following order: CBU delivery to the maximum extent possible, followed by curbside and sidewalk. Please contact LaTasha L. Lewis with the USPS at 225-339-1023.
2. **Note:** All work to be performed within public right-of-way must be permitted. City of Youngsville right-of-way permits may be obtained at City of Youngsville City Hall.
3. **Note:** It is recommended that the finish floor elevation of any structure enclosed on three or more sides be at minimum 1' (one) foot higher than the centerline of the adjacent road or 1' higher than the 2-D BLE elevations as found at <https://webapps.usgs.gov/infrm/estbfe/>, whichever is higher.
4. Provide and show on final plat, any additional utility servitudes needed for required utilities facilities.
5. Land disturbance activities (such as clearing, filing, grading, etc.) that are conducted prior to [or in preparation of] a building permit will require a **Land Disturbance Permit**. Please contact us directly at 337-291-8529 to discuss the application process.
6. All sites, regardless of size, are subject to stormwater pollution provisions in Lafayette Consolidated Government Code of Ordinance No. O-237-2007, § 2, 10-16-07. Erosion control measures must be installed prior to the commencement of clearing and grading activities. Violation of these provisions can result in an issuance of fines and/or a Cease and Desist Order.
7. Land disturbance of **one acre** or more requires the preparation and submittal of a **SWPPP**.
8. Land disturbance of **five acres** or more requires the preparation and submittal of an **NOI** to the state DEQ and a copy must be provided to LCG's EQ Dept.