

ARC=305.68'
 RAD=264.00'
 CH.LEN=288.89'
 CH.DIR=S51°12'38"W

SURVEY NOTES

1. BEARINGS AND DIMENSIONS ARE BASED ON THE LOUISIANA STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE(1702), NAD 83(2011), AS DERIVED FROM GPS OBSERVATIONS. AREA CALCULATIONS HAVE BEEN MADE RELATIVE TO SAID GRID COORDINATES. VERTICAL DATUM IS NAVD88, GEOID 12A.
2. FIELD WORK PERFORMED ON *TBD*
3. THIS SURVEYOR HAS MADE NO ATTEMPT REGARDING RESEARCH INTO SERVITUDE, EASEMENTS, RIGHT OF WAYS, OR PIPELINES AND SHALL NOT BE RESPONSIBLE FOR SUCH ENCUMBRANCES. IN ADDITION, NO ATTEMPT HAS BEEN MADE BY THIS SURVEYOR TO VERIFY TITLE OR ACTUAL LEGAL OWNERSHIP.
4. THIS PLAT DOES NOT DEPICT ALL UTILITY LOCATIONS, OR EASEMENTS VISIBLE OR OF RECORD, THAT MAY EXIST ON OR ADJACENT TO PROPERTY.

CONTRACTOR NOTE

THE CONTRACTOR FOR CONSTRUCTION ON THE LOTS SHALL SUBMIT AND COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE CITY OF YOUNGVILLE. PLEASE NOTE THAT NO CONSTRUCTION PERMITS WILL BE ISSUED UNTIL CERTIFICATION THAT THE NOTICE OF INTENT FOR EACH LOT HAS BEEN SENT TO LA DEQ.

DEVELOPER

SUGAR MILL POND INVESTORS, LLC
 C/O JORDAN DAIGLE
 200 PRESCOTT BLVD, STE 200
 YOUNGVILLE, LA 70592

TYPES OF IMPROVEMENTS

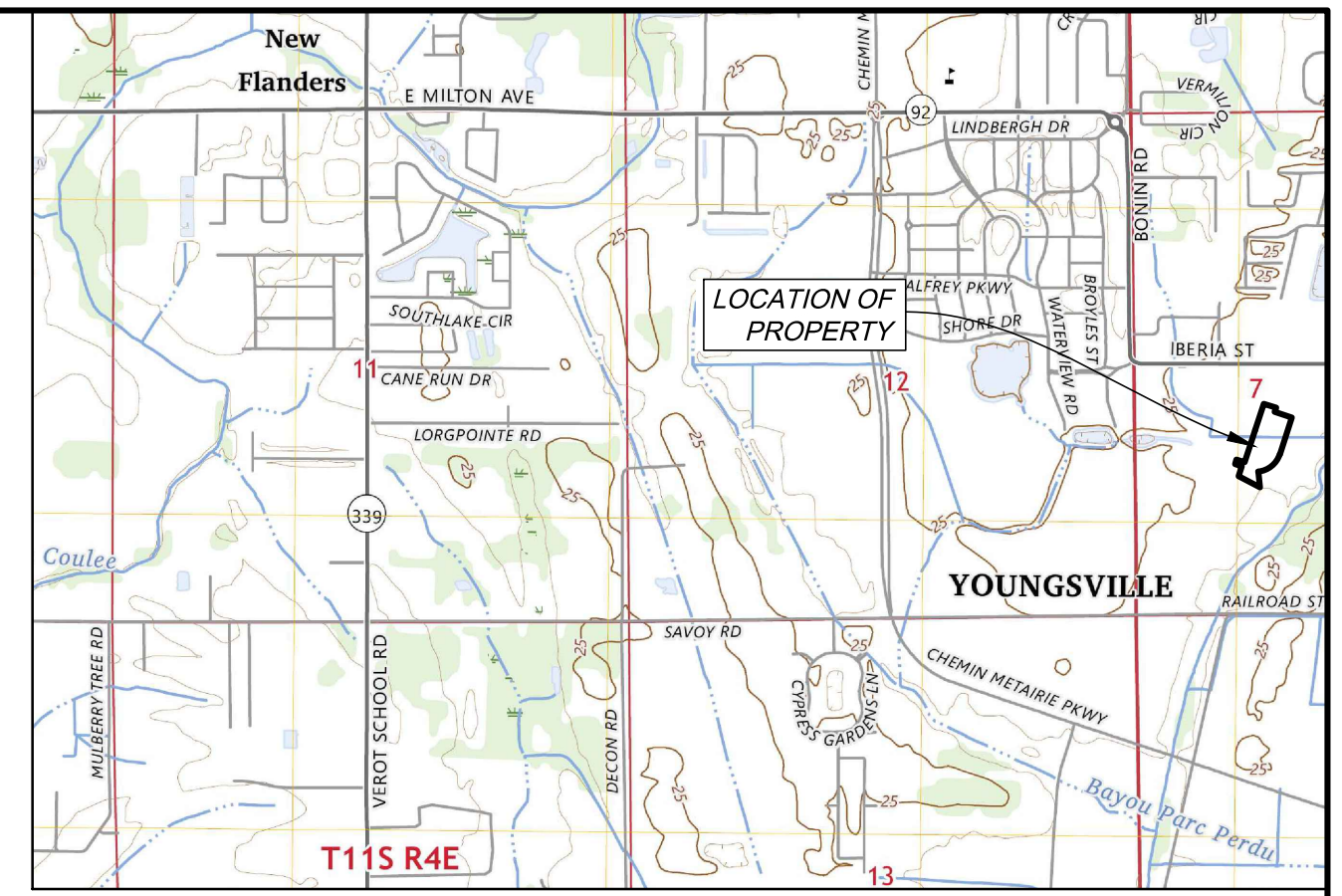
- PUBLIC STREETS: ASPHALT, CURB & GUTTER WITH SIDEWALKS
 WATER: CITY OF YOUNGVILLE
 SEWER: CITY OF YOUNGVILLE
 ELECTRIC: SLEMCO
 TELEPHONE: AT&T
 CABLE TV: COX COMMUNICATIONS
 GAS: CENTER POINT
 SIDEWALKS TO BE INSTALLED BY BUILDER

REQUESTED SETBACKS

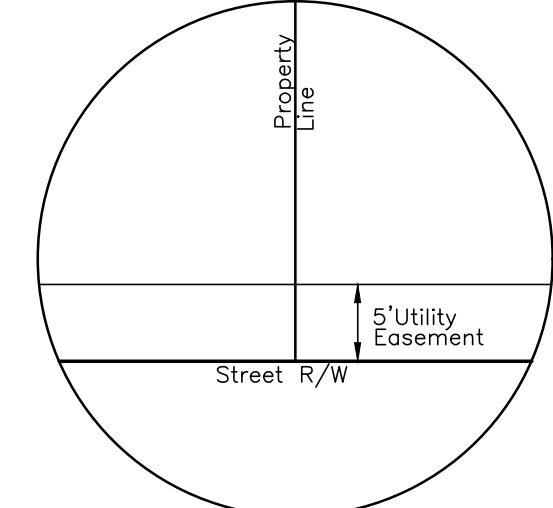
	HOUSE	GARAGE
FRONT:	15'	20'
SIDE:	5'	5'
REAR:	10'	

FLOODMAPS

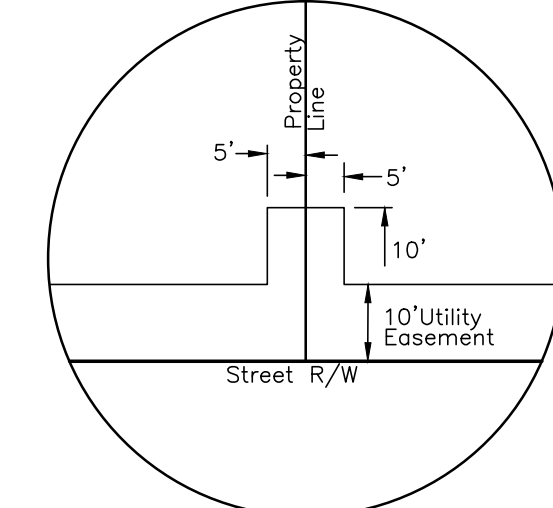
THIS PROPERTY IS LOCATED IN ZONE AE



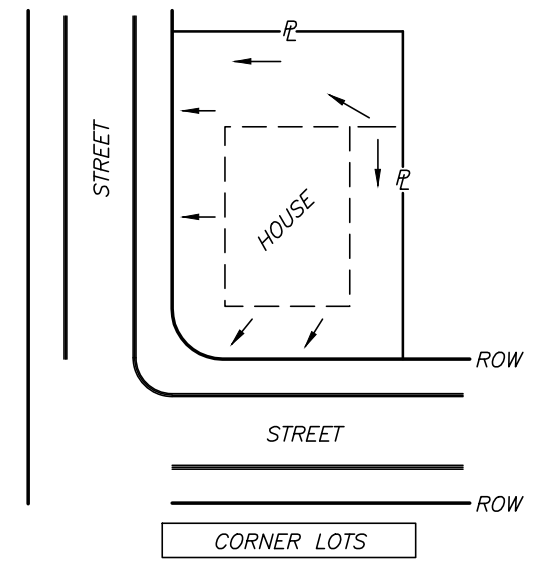
VICINITY MAP
 SCALE: 1" = 2000'



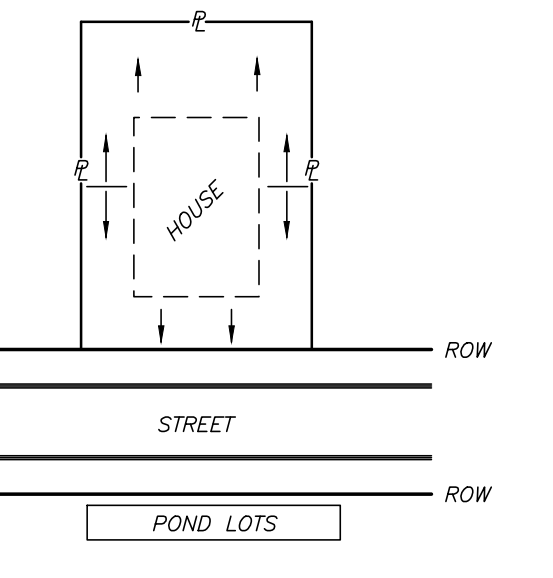
TYPICAL UTILITY NICHE LOT 1-10



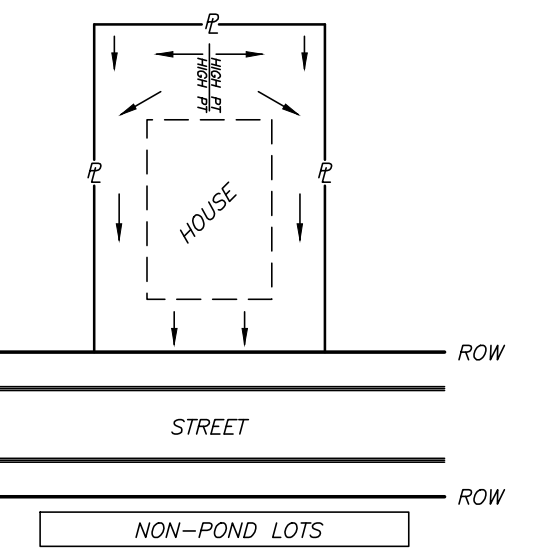
TYPICAL UTILITY NICHE 11-42



CORNER LOTS



POND LOTS



NON-POND LOTS

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND LOCATED IN SECTION 12 OF TOWNSHIP 11--SOUTH RANGE 4--EAST AND SECTION 7 OF TOWNSHIP 11--SOUTH RANGE 5--EAST, YOUNGVILLE LOUISIANA, CONTAINING 5.442 ACRES, AND BEING MORE COMPLETELY DESCRIBED AS FOLLOWS:
 COMMENCING AND BEGINNING AT THE SOUTH EAST CORNER OF LOT W-92 OF SUGAR MILL POND PHASE 20
 THENCE, SOUTH 18° 02' 25" WEST FOR A DISTANCE OF 404.36 FEET TO THE BEGINNING OF A CURVE,
 SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 66° 20' 28", HAVING A RADIUS OF 264.00 FEET, AND WHOSE LONG CHORD BEARS SOUTH 51° 12' 38" WEST FOR A DISTANCE OF 288.89 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.
 THENCE, SOUTH 05° 40' 18" EAST FOR A DISTANCE OF 163.87 FEET TO A POINT ON A LINE.
 THENCE, NORTH 62° 38' 15" WEST FOR A DISTANCE OF 251.16 FEET TO A POINT ON A LINE.
 THENCE, SOUTH 71° 57' 35" EAST FOR A DISTANCE OF 90.00 FEET TO A POINT ON A LINE.
 THENCE, NORTH 18° 02' 25" EAST FOR A DISTANCE OF 109.82 FEET TO A POINT ON A LINE.
 THENCE, NORTH 18° 02' 25" EAST FOR A DISTANCE OF 356.39 FEET TO A POINT ON A LINE.
 THENCE, NORTH 71° 57' 35" WEST FOR A DISTANCE OF 75.00 FEET TO A POINT ON A LINE.
 THENCE, NORTH 18° 02' 25" EAST FOR A DISTANCE OF 48.00 FEET TO A POINT ON A LINE.
 THENCE, SOUTH 71° 57' 35" EAST FOR A DISTANCE OF 90.00 FEET TO A POINT ON A LINE.
 THENCE, NORTH 18° 02' 25" EAST FOR A DISTANCE OF 356.39 FEET TO A POINT ON A LINE.
 THENCE, NORTH 18° 02' 25" EAST FOR A DISTANCE OF 286.67 FEET TO A POINT ON A LINE.
 THENCE, SOUTH 71° 57' 35" EAST FOR A DISTANCE OF 137.00 FEET TO A POINT ON A LINE.
 THENCE, SOUTH 18° 02' 25" WEST FOR A DISTANCE OF 45.36 FEET TO A POINT ON A LINE.
 THENCE SOUTH 71° 57' 35" EAST A DISTANCE OF 188.00 FEET TO THE POINT OF BEGINNING

LEGEND

	PROPERTY BOUNDARY
	PROPOSED UTILITY EASEMENT LINE
	PROPOSED STREET RIGHTS-OF-WAY
	LOT LINE
	CENTERLINE OF ROADWAY
	COMMON AREA
	SET 1/2" IRON ROD
	FOUND PROPERTY MONUMENT (SEE PLAT)

GENERAL NOTES:

TOTAL NUMBER OF RESIDENTIAL LOTS:	13
AREA OF RESIDENTIAL LOTS:	3.042 ACRES
AREA OF COMMON AREA:	1.509 ACRES
AREA OF RIGHT OF WAY:	0.884 ACRES
TOTAL AREA OF DEVELOPMENT:	5.442 ACRES
MINIMUM LOT AREA:	8,220 SQ. FEET (LOT 1-6)
MINIMUM FRONTAGE:	60.00' (LOT 1-6)

DEVELOPMENT NOTE
 THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF YOUNGVILLE DRAINAGE AND SUBDIVISION ORDINANCE.

CURVE TABLE

Curve #	Radius	Arc	Chord Bearing	Chord Length
C1	174.00'	8.30'	N19° 24' 24"E	8.30'
C2	264.00'	76.72'	S26° 21' 54"W	76.45'
C3	174.00'	118.10'	N40° 13' 03"E	115.85'
C4	264.00'	228.96'	S59° 32' 08"W	221.85'
C5	126.00'	197.92'	S63° 02' 25"W	178.19'
C6	174.00'	146.92'	S83° 51' 04"W	142.59'

Lot Area Table

LOT #	SQ. FT.
CA2	30,369
CA1	35,372
1	8,220
2	8,220
3	8,220
4	8,220
5	8,220
6	8,220
7	11,200
8	11,200
9	11,200
10	11,200
11	11,200
12	10,924
13	16,282

REFERENCE PLATS

1. A FINAL PLAT OF SUGAR MILL POND PHASE 10A RECORDED IN ACT # 2023-10181
2. A FINAL PLAT OF SUGAR MILL POND PHASE 10B RECORDED IN ACT # 2023-11096
3. A FINAL PLAT OF SUGAR MILL POND PHASE 20 RECORDED IN ACT # 2024-4347
4. A FINAL PLAT FOR SUGAR MILL POND PHASE 22 RECORDED IN ACT # 2022-12859

I HEREBY CERTIFY THAT THIS PLAT IS REPRESENTATIVE OF A SURVEY PERFORMED UNDER MY SUPERVISION AND GUIDANCE AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AS STIPULATED IN THE RULES OF PROFESSIONAL CONDUCT SET FORTH BY THE LA.P.E.L.S., A CLASS C SURVEY DESCRIBED THEREIN.

PRELIMINARY
 NOT INTENDED TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONFORMANCE, SALES, OR AS A BASIS FOR THE ISSUANCE OF A PERMIT

ADAM D. MECHE, P.L.S.
 PROFESSIONAL LAND SURVEYOR NO. 5079

A PRELIMINARY PLAT OF
SUGAR MILL POND PHASE 30
 A TRADITIONAL NEIGHBORHOOD DEVELOPMENT

LOCATED IN SECTION 7, THIS-RSE CITY OF YOUNGVILLE LAFAYETTE PARISH LOUISIANA

SCALE: 1" = 50'

DATE OF PLAT:
 MARCH 31, 2026

PREPARED BY
 PIONEER SURVEYING, LLC
 822 HARDING ST. SUITE 204
 LAFAYETTE, LOUISIANA 70503
 TEL. (337) 443-0756