



**26 FEBRUARY 2024**

Nicole Guidry, City Clerk  
City of Youngsville  
Youngsville, Louisiana

**RE: WAIVER REQUEST  
COMMERCIAL DEVELOPMENT  
615 LAFAYETTE STREET  
YOUNGSVILLE, LOUISIANA**

Dear Mrs. Guidry:

Please let this letter serve as an official request for waiver of the setback requirements at the front, rear and south side of the commercial property at 615 Lafayette Street. The proposed commercial development at this location consists of a 15,000 Square Foot building (250' by 60') with up to 10 leasable units and ample parking for said units. Due to the current setback restrictions on the site from both the Youngsville municipal code and existing street expansion setback requirements, and enhanced street setback requirements only 1.146 Acres of the 1.785 Acre site (64%) is useable to build on. These restrictions are unfortunately making it all but impossible to provide the needed parking for this proposed development.

The current restrictions to the site are outlined below based on the most recent plated survey on file and our understandings of the current approved municipal codes for the City of Youngsville:

Front Setbacks: 47' 6" Total Front Setback.

22.5' Setback for Future Widening + 25' Enhanced Setback for Future Widening  
(15' Utility easement falls within initial 22.5' future widening setback)

South Side Setback: 10'-0" (level 1) or 15'-0" (level 2) Potential Total Side Setback

5' standard setback, 15' greenbelt ("potential" conflict level 2) or 10' greenbelt ("Probable" conflict level 1) This is future lease space, so no use has been defined to date.

Rear Setback: 10'-0" (level 1) or 15'-0" (level 2)

10' standard setback, 15' greenbelt ("potential" conflict level 2) or 10' greenbelt ("Probable" conflict level 1)  
This is future lease space, so no use has been defined to date.

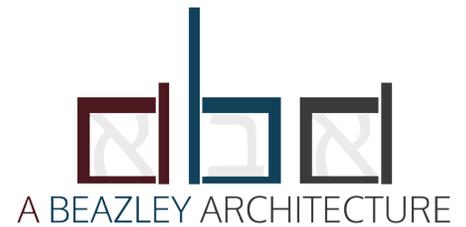
**We respectfully request following waivers at each side of the property:**

Front Setback Waiver: Reduction of the "Enhanced Setback for Future Widening" by 10'-0".

The existing site widening and future enhanced site widening setbacks were kept on the plat when the City of Youngsville took possession of the previously DOTD owned state highway (now Lafayette Street). We respectfully request that the 25' "Enhanced Setback for Future Widening" be reduced by 10' to allow the developer to properly and comfortably layout parking for public use and code compliance. Upon speaking with City officials it was recommended that the Street widening setback be changed to 27.5' with a 10.0' utility easement for a total of 37.5' setback from the current road right-of-way.

South Side Setback Waiver: Waiver of enhanced greenbelt setbacks (5' Setback Max)

The standard side setback on this property is 5', however when the enhanced setbacks due to the different conflict levels are introduced, this potential setback goes from 5' to possibly 15' based on potential lease space uses. It is



our belief that the intent of the enhanced greenbelt setbacks is to protect adjacent properties from noise and uses that would otherwise be detrimental to them. The adjacent property to the south of this address currently houses a Family Dollar, which would benefit from this development. We respectfully request a waiver of the enhanced greenbelt requirements at this side of the property as no apparent conflicts exist.

Rear Setback Waiver: Waiver of enhanced greenbelt setbacks (5' Setback Max)

The standard rear setback on this property is 10', however when the enhanced setbacks due to the different conflict levels are introduced, this potential setback goes from 10' to possibly 15' based on potential lease space uses. It is our belief that the intent of the enhanced greenbelt setbacks is to protect adjacent properties from noise and uses that would otherwise be detrimental to them. The adjacent property to the rear of this address currently houses a self-serve storage facility with an automatic gate at the end of the adjacent private road. This type of unoccupied storage use should have no bearing on the setback requirements and therefore we respectfully request a full waiver of the enhanced greenbelt setbacks due to the lack of any notable conflict and a reduction of the standard setback to 5' due to the fact that subsurface drainage to the detention pond already exists that we are able to tie directly into, so rear swales are not necessary.

Right-In Right-Out Entrance Drive:

While there does not appear to be any restrictions on having an entrance directly onto Lafayette Street, there is some verbiage on the existing recorded Platt referring to a shared access drive on the South side of the property which currently does not exist. The adjacent property appears to not be configured to allow for a joint access drive to connect to their drive, so therefore we are requesting permission for a right-in right-out drive access to Lafayette Street in order to provide proper through access to patrons of future businesses and emergency vehicles alike.

As part of this waiver request, we respectfully request a permanent waiver of any potential land use conflict mitigation provided that the potential use of the spaces are General Business and Neighborhood Business uses.

Thank you for your consideration on this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Adam Beazley", is written over a light blue horizontal line.

Adam Beazley, AIA, LEED AP  
President  
A Beazley Architecture LLC