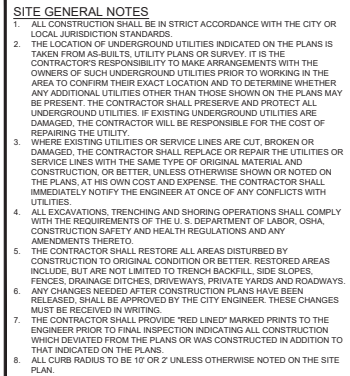
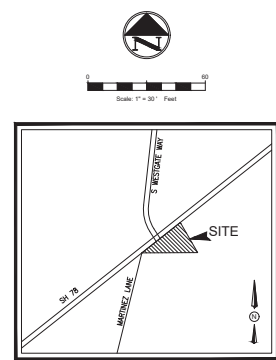

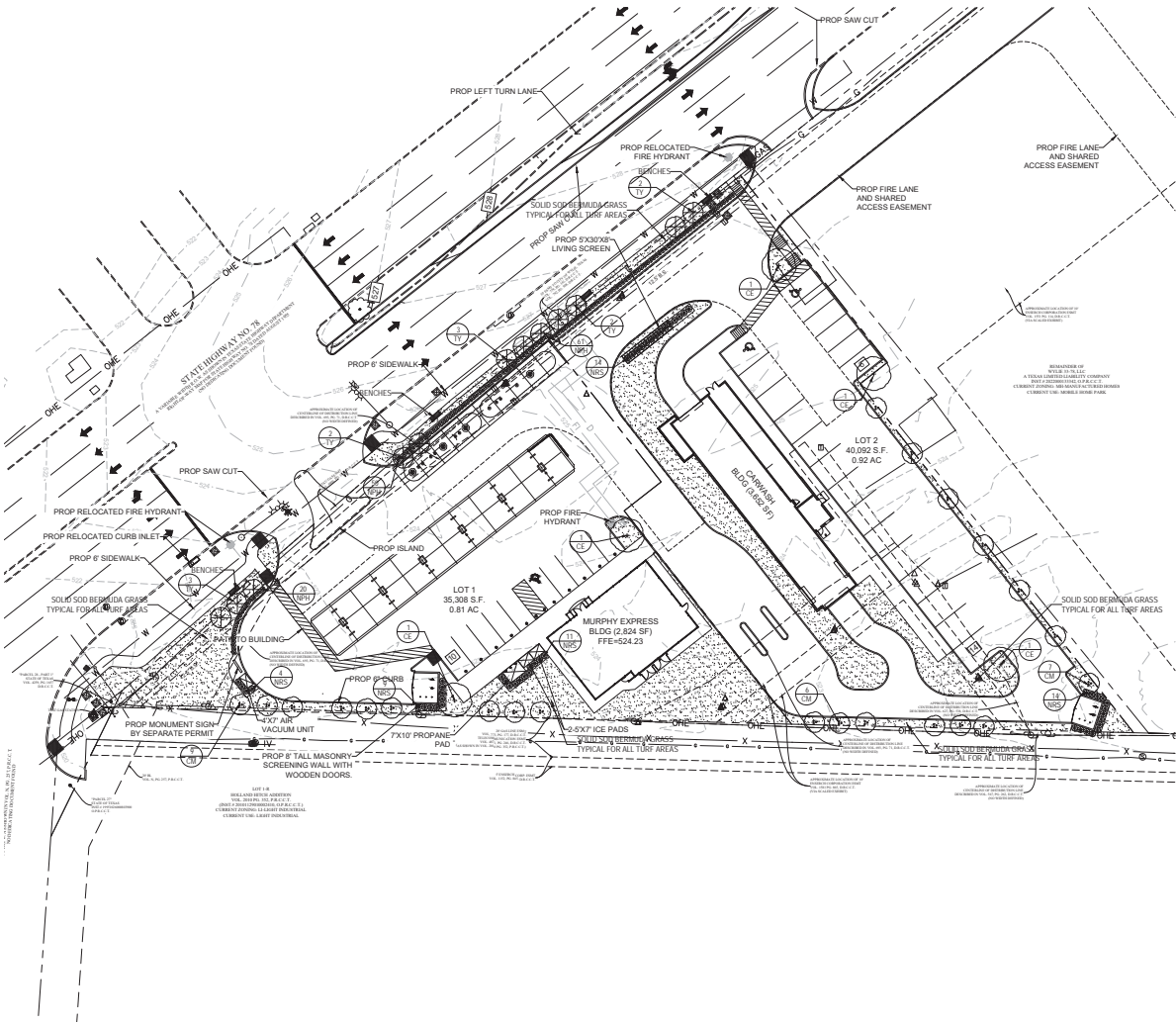


EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	FA/U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.



LOT 2 SITE DATA SUMMARY TABLE	
SITE ACREAGE:	0.92 ACRES (40,092 S.F.)
CURRENT ZONING:	MH-MANUFACTURED HOME
PROPOSED ZONING:	CC-COMMERCIAL CORRIDOR
PROPOSED USE:	CAR WASH
BUILDING AREA:	3,652 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	T.B.D.
BUILDING COVERAGE:	9.11%
FLOOR AREA RATIO:	0.09
IMPERVIOUS AREA:	25,208.95 S.F. (79.09%)
PERVIOUS/LANDSCAPE AREA:	8,385.05 S.F. (20.91%)
REGULAR PARKING PROVIDED:	20 SPACES
HANDICAP PARKING PROVIDED:	1 SPACE (VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	21 SPACES

<h2 style="margin: 0;">SITE PLAN</h2> <h3 style="margin: 0;">MURPHY AND CARWASH</h3> <p style="margin: 0;">1003 AND 1005 S SH 78</p> <p style="margin: 0;">CITY OF WYLIE</p> <p style="margin: 0;">COLLIN COUNTY, TEXAS 75098</p> <p style="margin: 0;">E.C. DAVIDSON SURVEY, ABS. NO. 267</p>			
			
T: 409.331.8568   F: 409.212.7144   <a href="mailto:info@triangle-engineering.com">info@triangle-engineering.com</a> W: <a href="http://triangle-engineering.com">triangle-engineering.com</a>   P.O. 1762 W. McCormick Drive, Allen, TX 75013			
<div style="display: flex; justify-content: space-between;"> <span>Planning   Civil Engineering   Construction Management</span> </div>			
P.E. DES.	DATE	SCALE	PROJECT NO.
KP	07/03/23	AS SHOWN SEE SCALE BAR	006-23
TX. P.E. FIRM #11525			
			C-3.0



PLANT MATERIAL SCHEDULE: LOT 1

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	2	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B, 13' H., 5' spread min., 5' clear trunk
CM	15	Crape Myrtle 'Single trunk'	<i>Lagerstroemia indica 'Single trunk'</i>	2.5' cal.	container, 10' H., single trunk, tree form
TY	8	Tree Yaupon	<i>Ilex vomitoria</i>	2.5' cal.	container, 10' H., multi-trunk, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
NPH	70	Needlepoint Holly	<i>Ilex x cornuta 'Needlepoint'</i>	5 gal.	container, 36" H., 24" spread
NRS	24	Nellie R. Stevens	<i>Ilex x Nellie R. Stevens</i>	7 gal.	container, 48" height, 32" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SC	185	Seasonal Color	<i>Cynodon dactylon</i> '419'	4" pots	selection by owner, 12" o.c.
		419' Bermudagrass		4" pots	Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS: LOT 1

**SITE LANDSCAPE:**  
Requirements: 20% of total site to be landscape area (35,308 s.f.)

Required	Provided
8,018.4 s.f. (20%)	8,132.8 s.f. (23%)

**DESIRABLE DESIGN ATTRIBUTE:** Landscaping in side and rear yards not otherwise required.  
Landscaping exceeds the minimum by 10%.  
(7,061.6 x 1.1 = 7,767.8 (10% more)) (8,132.8 is greater than 7,767.8)

**LANDSCAPING FOR PARKING LOTS:** 10 parking spaces  
Requirements: 50 s.f. of landscape for each parking space & all parking spaces shall be within 60 L.F. of a tree

Required	Provided
500 s.f. of landscape	308.9 s.f.
All spaces within 60 L.F. of a tree	Provided

**DESIRABLE DESIGN ATTRIBUTE:**  
Landscape pedestrian connection to main entrance

**VISUAL SCREENING:** Required screening strip at least 5' wide, 36" H., shrubs when planted, (1) flowering trees for 20 L.F. of area

Provided

**LANDSCAPE STREET FRONTAGES** (front yard excluding access drives - 12,318.21 s.f.)  
Requirement: 50% of the required front yard excluding and access drive must be landscape buffer. Trees shall be planted 30'-40' o.c. (131 L.F.)

Required	Provided
6,159.11 s.f.	4,237.4 s.f.
8 trees	8 trees

**DESIRABLE DESIGN ATTRIBUTE:** Providing pedestrian benches and lights along street frontage

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINE GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION. KNOWN AS BOTTOM AND SOIL FREE FROM LUMPY, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINE GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOOLS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

LANDSCAPE TABULATIONS: LOT 2

**SITE LANDSCAPE:**  
Requirements: 20% of total site to be landscape area (40,092 s.f.)

Required	Provided
8,018.4 s.f. (20%)	8,043.8 s.f. (20%)

**DESIRABLE DESIGN ATTRIBUTE:** Landscaping in side and rear yards not otherwise required.

**LANDSCAPING FOR PARKING LOTS:** 6 parking spaces  
Requirements: 50 s.f. of landscape for each parking space & all parking spaces shall be within 60 L.F. of a tree

Required	Provided
300 s.f. of landscape	343.5 s.f.
All spaces within 60 L.F. of a tree	Provided

**DESIRABLE DESIGN ATTRIBUTE:** No space further than 40' from landscape area. Landscaped pedestrian connection to main entrance

**VISUAL SCREENING:** Required screening strip at least 5' wide, 36" H., shrubs when planted, (1) flowering trees for 20 L.F. of area

Provided

**LANDSCAPE STREET FRONTAGES** (front yard excluding access drives - 7,001.56 s.f.)  
Requirement: 50% of the required front yard excluding and access drive must be landscape buffer. Trees shall be planted 30'-40' o.c. (131 L.F.)

Required	Provided
3,500.8 s.f.	3,519.7 s.f.
4 Trees	4 Trees

**DESIRABLE DESIGN ATTRIBUTE:** Providing pedestrian benches and lights along street frontage

PLANT MATERIAL SCHEDULE: LOT 2

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	3	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B, 13' H., 5' spread min., 5' clear trunk
CM	13	Crape Myrtle 'Single trunk'	<i>Lagerstroemia indica 'Single trunk'</i>	2.5' cal.	container, 10' H., single trunk, tree form
TY	4	Tree Yaupon	<i>Ilex vomitoria</i>	2.5' cal.	container, 10' H., multi-trunk, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
NPH	81	Needlepoint Holly	<i>Ilex x cornuta 'Needlepoint'</i>	5 gal.	container, 36" H., 24" spread
NRS	28	Nellie R. Stevens	<i>Ilex x Nellie R. Stevens</i>	7 gal.	container, 48" height, 32" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		419' Bermudagrass	<i>Cynodon dactylon</i> '419'	4" pots	Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINE GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. REARE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER SEEDED WITH WINTER GRASS AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. MACDERMOTT DR.  
ALLEN, TEXAS 75013  
(409) 369-4448  
CHRS@STUDIOGREENSPOT.COM



MURPHY OIL & CARWASH  
STATE HWY 78  
WYLIE, TEXAS

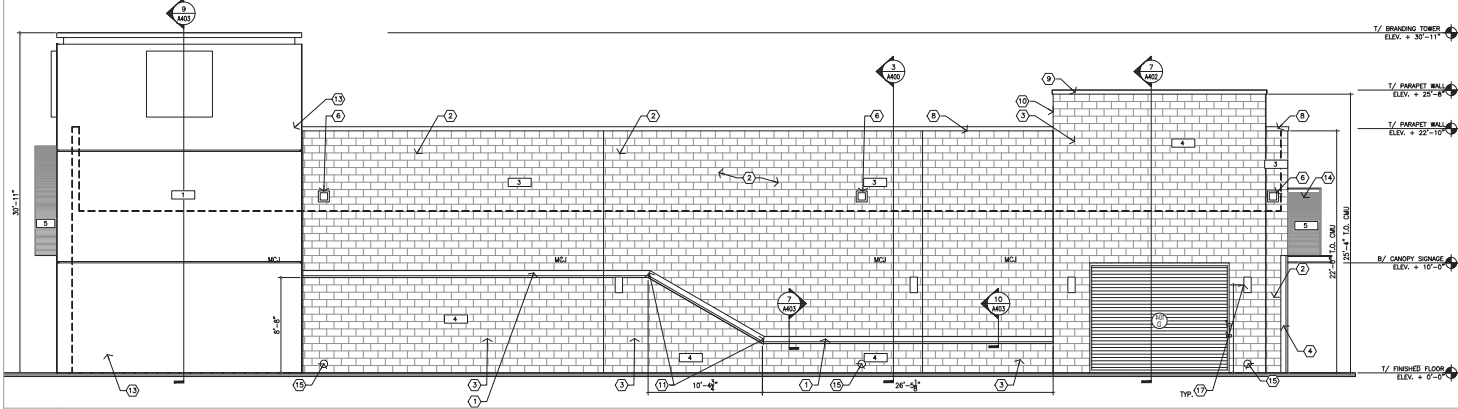
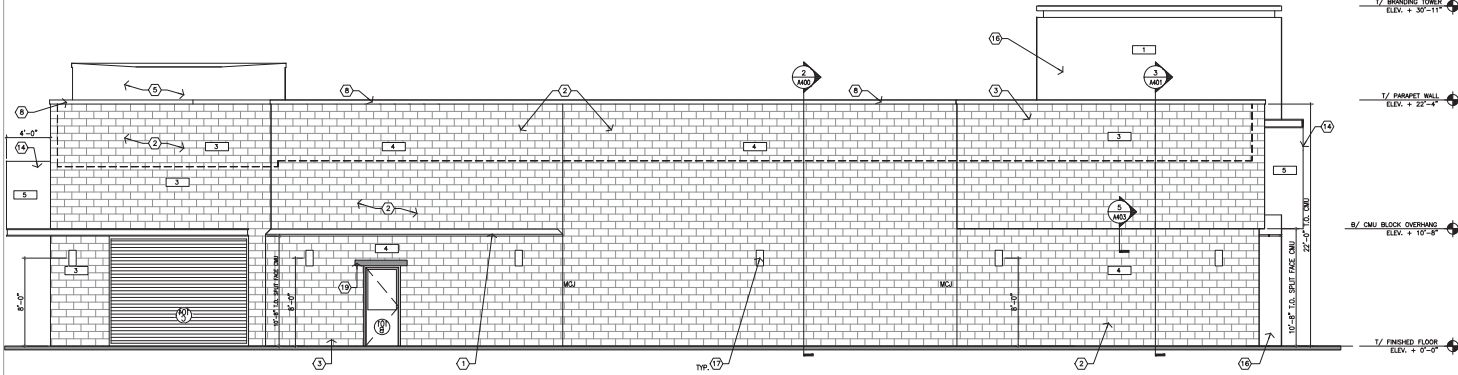
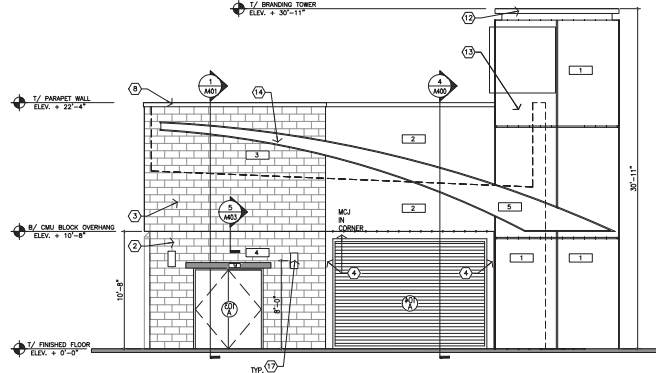
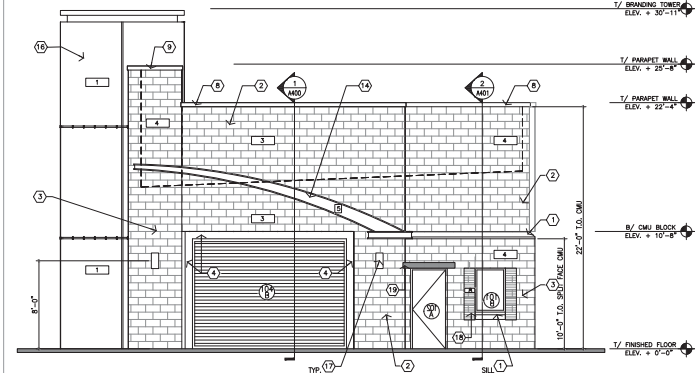
ISSUE:  
FOR APPROVAL 07/07/2023

DATE:  
07/07/2023

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:  
L.1





- ### ELEVATION KEYNOTES
- 1 PRECAST CONC WATERTABLE
  - 2 SMOOTH FACE CMU
  - 3 SPLIT FACE CMU VENEER
  - 4 STEEL TUBE FRAME AT OVERHEAD DOORS, PAINT TO MATCH SW 7020 BLACK FOX
  - 5 TPO MEMBRANE ROOF SYSTEM, REFER TO ROOF PLAN A104
  - 6 250 X 8"W X 8" PARAPET OPENING WITH PRE-FINISHED ALUM METAL COLLAR (2" W X 1" PROJ) BRONZE ANODIZED FINISH
  - 7 NOT USED
  - 8 PREFORMED PRE-FINISHED ALUM. COPING WITH CONT. HOLD DOWN CLIPS ON BOTH SIDES OF THE PARAPET; FINISH: DARK BRONZE, REFER TO SPECIFICATIONS OF 54 GO FOR MORE INFORMATION
  - 9 PREFORMED PRE-FINISHED ALUM. GRATEL STOP WITH BAKED ENAMEL FINISH AND CONT. HOLD DOWN CLIPS ON FRONT SIDE OF PARAPET
  - 10 EXPOSED SIDEWALL AT TOWER TO RECEIVE JAMES HARDIE FIBER CEMENT ARTISAN V GROOVE SIDING, 8.25" 11" PRIMED, PAINT TO MATCH 4 S & S X 16 SPLIT FACE CMU VENEER W/ DRINKS ADDING, DARK GRAY COLOR, SEALANT BETWEEN CMU AND SIDING
  - 11 MITER CUT PRECAST CONC WATERTABLE TO FIT SLOPE
  - 12 HOLD DOWN CLIP ALL THE WAY AROUND THE TOWER; FINISH IN DYNAMIC BLUE
  - 13 EPS FINISH ON HDO BACKING SYSTEM; REFER TO SHEET A402 FOR ADDITIONAL DETAILS; FINISH BY MANUF.
  - 14 CANOPY BY SIGNAGE VENDOR
  - 15 1" DIA PVC DOWNPOUT, RELEASE MIN 6" ABOVE GRADE (VERIFY WITH CIVIL)
  - 16 TOWER BEYOND
  - 17 WALL SCHEDULE, REF. FIXTURE SCHEDULE

- ### GENERAL NOTES
- A. CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
  - B. BUILDING SIGNAGE UNDER SEPARATE PERMIT, CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR CONFORMANCE OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK; SEE ELECTRICAL.
  - C. REFER TO LOW VOLTAGE PLAN, COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
  - D. UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON S100.
  - E. REFER TO DOOR AND WINDOW SCHEDULE ON A400 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

### EXTERIOR FINISH SCHEDULE

NO.	AREA	COLOR
1	TOWER	BY MANUF. MATCH SW 6169, SEDATE GRAY
2	SMOOTH CMU	BY MANUF. WHITE
3	ACCENT CMU	MATCH SW COLOR #6169, SEDATE GRAY
4	DARK CMU	MATCH SW COLOR #7020, BLACK FOX
5	CANOPY	COLOR: BLUE



### 110 PROTOTYPE

DESCRIPTION	DATE
1. ISSUE FOR PERMIT	07/24/23
2	
3	
4	
5	
6	

# TAKE 5 CAR WASH

1001 S STATE HIGHWAY 78  
WYLLIE, TX 75098

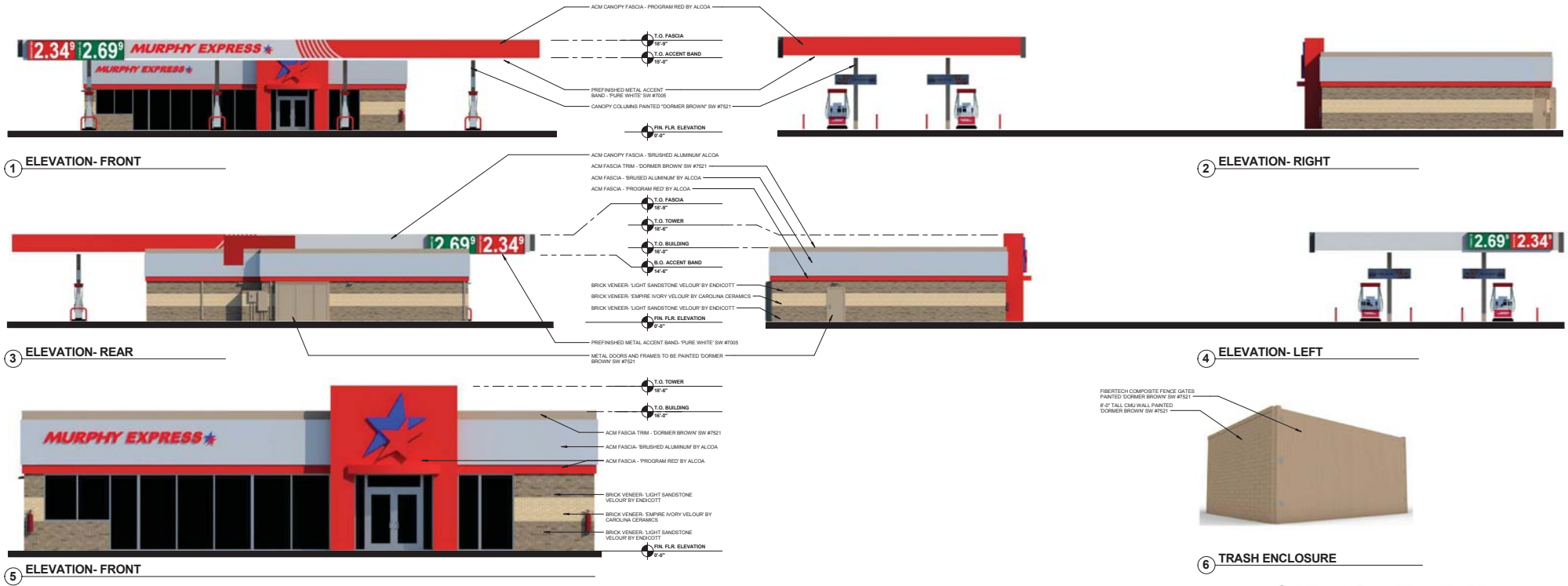


SHEET TITLE  
**BUILDING ELEVATIONS**

PROJECT NUMBER  
**23-033**

DATE 07/24/23  
SCALE AS NOTED  
DRAWN AE  
CHECKED JL

SHEET NO  
**A200**



21.12 Sq. Ft. Changeable Copy

9'-4" MAX

6'-4"

7'-10 1/2"

MURPHY USA

2.29 9 1/2 L

2.37 9 1/2 L

Ethanol - Free Available

0000

ITEM	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY BLDG. STAR LOGO	1			53.30	53.30
MURPHY EXPRESS BLDG. LOGO SIGN	1			24.00	24.00
MURPHY EXPRESS CANOPY LOGO SIGN	1			64.21	64.21
LARGE CANOPY PRICE SIGN	4	51.25"	118.00"	42.00	168.00
MEDIUM CANOPY PRICE SIGN	2	43.13"	97.00"	20.00	40.00
ISLAND SPANNER	4	25.19	97.19	17.00	68.00
				TOTAL:	435.51
<b>PYLON SIGN:</b>					
UNLEADED W/ LOGO	1	105.00"	141.00"	105.81	105.81
DIESEL	1	57.00"	85.00"	53.45	53.45
				TOTAL:	136.44