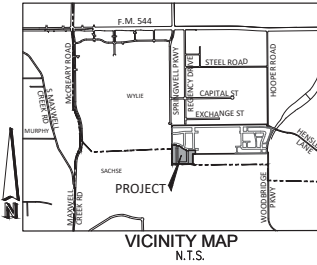


| Line Table | | |
|------------|--------|-------------|
| Line | Length | Direction |
| L1 | 13.34 | S33°49'00"E |
| L2 | 50.01 | S74°58'02"E |
| L3 | 13.43 | N62°58'45"E |
| L4 | 15.53 | S35°24'54"E |
| L5 | 30.00 | S86°36'42"E |
| L6 | 14.29 | N48°18'48"E |
| L7 | 37.73 | S44°43'26"E |
| L8 | 70.94 | S89°31'18"E |
| L9 | 14.25 | N44°58'11"W |
| L10 | 14.03 | S45°01'23"W |
| L11 | 19.55 | N66°34'34"E |

| Curve Table | | | | |
|-------------|--------|--------|------------|--------------------|
| Curve # | Length | Radius | Delta | Chord Bearing |
| C1 | 38.78 | 260.00 | 008°32'48" | 38.75 S87°39'04"E |
| C2 | 0.93 | 350.00 | 000°09'07" | 0.93 S13°58'04"W |
| C3 | 1.53 | 300.00 | 000°17'32" | 1.53 N13°50'51"E |
| C4 | 91.85 | 260.00 | 000°14'24" | 91.37 S57°46'53"E |
| C5 | 145.79 | 305.00 | 002°23'18" | 144.41 S61°21'19"E |
| C6 | 6.22 | 175.00 | 002°02'14" | 6.22 S02°24'25"W |
| C7 | 0.24 | 125.00 | 000°06'31" | 0.24 N01°26'33"E |
| C8 | 11.71 | 305.00 | 002°11'57" | 11.71 S89°19'57"E |
| C9 | 80.75 | 325.00 | 01°41'40" | 80.54 S08°41'10"W |
| C10 | 54.42 | 350.00 | 08°05'23" | 49.10 S44°58'37"E |
| C11 | 55.53 | 350.00 | 06°05'43" | 49.89 N45°01'23"E |
| C12 | 4.77 | 150.00 | 001°49'13" | 4.77 S00°28'41"W |



| LEGEND | |
|------------|---|
| • | Point of Curvature or Tangency on Center Line |
| • | 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted) 1/2" IRP |
| • | AC Acre |
| BL | Building Line |
| C1 | Curve No. |
| <CM> | Control Monument |
| DE | Drainage Easement |
| M.A.D.E. | Mutual Access & Drainage Easement |
| Emst | Easement |
| LI | Line No. |
| P.U.E. | Pedestrian & Utility Easement |
| SF | Square Feet |
| VE | Utility Easement |
| VE | Visibility Easement |
| D.R.C.C.T. | Deed Records of Collin County, Texas |
| M.R.C.C.T. | Map Records of Collin County, Texas |

BENCHMARKS:

CM #1: Located on the southwesterly side of Wylie High School football stadium and near the northwest corner of Founders Park sports fields. 31.5 feet south of b.c., 41.6 feet north of b.c. and 6.5 feet west of b.c. and approx. 111 feet north of chain link fence around Founders Park sports field.

N: 7053976.54 E: 2591222.00 ELEV: 519.77

CM #4: Located in the northeast corner of Quail Meadow Park south of Hwy 282 and west of White Iris Way. 14.5 feet south of the south line of alley concrete paving. 7.3 feet perpendicular to b.c. parking area.

N: 7065787.80 E: 2560972.93 ELEV: 562.88

Notes:

- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- Amenity Center lot and Common Area lots shall be owned and maintained by the H.O.A.
- No apportionment between the height of 2' and 9' may be placed in visibility triangles.
- Proposed development lies outside the 100-yr floodplain per FEMA Firm Map 48085C04151 dated June 2, 2009.

FINAL PLAT

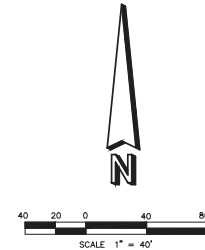
WOODBIDGE TOWNHOMES TRACT A-4, PHASE 2

5.868 ACRES

LOTS 1-18 & 20-35, BLOCK 3; LOTS 1X, 2-27, 28X, BLOCK 4 60 TOWNHOME LOTS 2 COMMON AREA LOTS OUT OF THE WILLIAM SACHSE SURVEY, ABSTRACT NO. 835 CITY OF WYLIE COLLIN COUNTY, TEXAS

Owner/Applicant:
Woodbridge Townhomes I LTD
800 E. Campbell Road, Suite 130
Richardson, TX 75081
Phone: 214-348-1300
Fax: 214-348-1720
Contact: Daryl Herzog

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
972-201-3100
Contact: Jay Volk



LEGAL DESCRIPTION
WOODBIDGE TOWNHOMES, TRACT A-4, PHASE 2
5.868 ACRES

BEING a tract of land situated in the WILLIAM SACHSE SURVEY, ABSTRACT NO. 835, City of Wylie, Collin County, Texas and being part of that tract of land described in Deed to Woodbridge Townhomes I, Ltd., as recorded in Document No. 20190418000423350, Deed Records, Collin County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for the southwest corner of said Woodbridge Townhomes I, Ltd. tract;

THENCE North 00 degrees 27 minutes 11 seconds East, with the west line of said Woodbridge Townhomes I, Ltd. tract, a distance of 386.61 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

THENCE North 00 degrees 22 minutes 07 seconds West, a distance of 120.05 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner in the south line of WOODBRIDGE TOWNHOMES TRACT A-4, PHASE 1, an Addition to the City of Wylie, Collin County, Texas according to the Plat thereof recorded in Document No. 20200324010001230 (Book 2020, Page 218), Map Records, Collin County, Texas;

THENCE Easterly, with said south line, the following sixteen (16) courses and distances:

North 88 degrees 04 minutes 32 seconds East, a distance of 76.95 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a curve to the right having a central angle of 08 degrees 32 minutes 48 seconds, a radius of 260.00 feet and a chord bearing and distance of South 87 degrees 39 minutes 04 seconds East, 38.75 feet;

Easterly, with said curve to the right, an arc distance of 38.78 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

South 33 degrees 49 minutes 05 seconds East, a distance of 13.34 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the left having a central angle of 00 degrees 09 minutes 07 seconds, a radius of 350.00 feet and a chord bearing and distance of South 13 degrees 58 minutes 04 seconds West, 0.93 feet;

Southerly, with said curve to the left, an arc distance of 0.93 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

South 74 degrees 58 minutes 02 seconds East, a distance of 50.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the right having a central angle of 00 degrees 17 minutes 32 seconds, a radius of 300.00 feet and a chord bearing and distance of North 13 degrees 50 minutes 51 seconds East, 1.53 feet;

Northerly, with said curve to the right, an arc distance of 1.53 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

North 62 degrees 58 minutes 45 seconds East, a distance of 13.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the right having a central angle of 20 degrees 14 minutes 24 seconds, a radius of 260.00 feet and a chord bearing and distance of South 57 degrees 46 minutes 53 seconds East, 91.37 feet;

Southeasterly, with said curve to the right, an arc distance of 91.85 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a reverse curve to the left having a central angle of 27 degrees 23 minutes 16 seconds, a radius of 305.00 feet and a chord bearing and distance of South 51 degrees 21 minutes 19 seconds East, 144.41 feet;

Southeasterly, with said curve to the left, an arc distance of 145.79 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

South 35 degrees 24 minutes 54 seconds East, a distance of 15.33 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the left having a central angle of 02 degrees 02 minutes 14 seconds, a radius of 175.00 feet and a chord bearing and distance of South 02 degrees 24 minutes 25 seconds West, 6.22 feet;

Southerly, with said curve to the left, an arc distance of 6.22 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

South 88 degrees 36 minutes 42 seconds East, a distance of 50.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the right having a central angle of 00 degrees 06 minutes 31 seconds, a radius of 125.00 feet and a chord bearing and distance of North 01 degrees 26 minutes 33 seconds East, 0.24 feet;

Northerly, with said curve to the right, an arc distance of 0.24 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

North 48 degrees 18 minutes 06 seconds East, a distance of 14.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a non-tangent curve to the left having a central angle of 02 degrees 11 minutes 57 seconds, a radius of 305.00 feet and a chord bearing and distance of South 89 degrees 19 minutes 57 seconds East, 11.71 feet;

Easterly, with said curve to the left, an arc distance of 11.71 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

North 89 degrees 34 minutes 05 seconds East, a distance of 173.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

THENCE South 00 degrees 25 minutes 55 seconds, leaving said south line, a distance of 100.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner in the south line of the above mentioned Woodbridge Townhomes I, Ltd. tract;

THENCE South 89 degrees 34 minutes 05 seconds West, with said south line, a distance of 73.12 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for an interior ell corner of said Woodbridge Townhomes I, Ltd. tract;

THENCE South 00 degrees 17 minutes 48 seconds East, a distance of 265.73 feet to a 5/8 inch iron rod with a red plastic cap found for the most southerly southeast corner of said Woodbridge Townhomes I, Ltd. tract;

THENCE North 89 degrees 42 minutes 20 seconds West, a distance of 573.25 feet to the POINT OF BEGINNING and containing 5.809 acres of land, more or less.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WOODBRIDGE TOWNHOMES I LTD, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as WOODBRIDGE TOWNHOMES TRACT A-4, PHASE 2, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever the streets, rights-of-way and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinated to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND this _____ day of _____, 20____.

WOODBIDGE TOWNHOMES I LTD, a Texas Limited Partnership

By: HDC WOODBRIDGE, LLC, a Texas Limited Liability Company

Its: General Partner

By: _____
Daryl F. Herzog, Member

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared _____ Owner's Agent, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this day personally appeared Ryan S. Reynolds, Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires: _____

"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission _____ Date _____
City of Wylie, Texas

"APPROVED FOR CONSTRUCTION"

Mayor City of Wylie, Texas _____ Date _____

"ACCEPTED"

Mayor City of Wylie, Texas _____ Date _____

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the WOODBRIDGE TOWNHOMES TRACT A-4, PHASE 2 subdivision to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of the streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

WITNESS MY HAND AND SEAL OF OFFICE, this _____ day of _____, A.D. 20____.

City Secretary
City of Wylie, Texas

BENCHMARKS:

CM #3: Located on the southwesterly side of Wylie High School football stadium and near the northwest corner of Founders Park sports field. 31.5 feet south of b.c., 41.6 feet north of b.c. and 6.5 feet west of b.c. and approx. 111 feet north of chain link fence around Founders Park sports field.

N: 7053976.54 E: 2559122.00 ELEV: 519.77

CM #4: Located in the northeast corner of Quail Meadow Park south of alley and west of White Iris Way. 14.5 feet south of the south line of alley concrete paving. 7.3 feet perpendicular to b.c. parking area.

N: 7065787.60 E: 2560972.93 ELEV: 562.88

Notes:

1. Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
2. Amenity Center lot and Common Area lots shall be owned and maintained by the H.O.A.
3. No appearance between the height of 2' and 9' may be placed in visibility triangles.
4. Proposed development lies outside the 100-yr floodplain per FEMA Firm Map 4805SC04151A dated June 2, 2009.

FINAL PLAT

WOODBIDGE
TOWNHOMES
TRACT A-4, PHASE 2
5.868 ACRES

LOTS 1-18 & 20-35, BLOCK 3;
LOTS 1X, 2-27, 28X, BLOCK 4
60 TOWNHOME LOTS
2 COMMON AREA LOTS

OUT OF THE
WILLIAM SACHSE SURVEY, ABSTRACT NO. 835
CITY OF WYLLIE
COLLIN COUNTY, TEXAS

ZONED: PD-TH 2018-29

18 April 2022

SHEET 2 OF 2

Owner/Applicant:
Woodbridge Townhomes I LTD
800 E. Campbell Road, Suite 130
Richardson, TX 75081
Phone: 214-348-1300
Fax: 214-348-1720
Contact: Daryl Herzog

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
972-201-3100
Contact: Jay Volk

