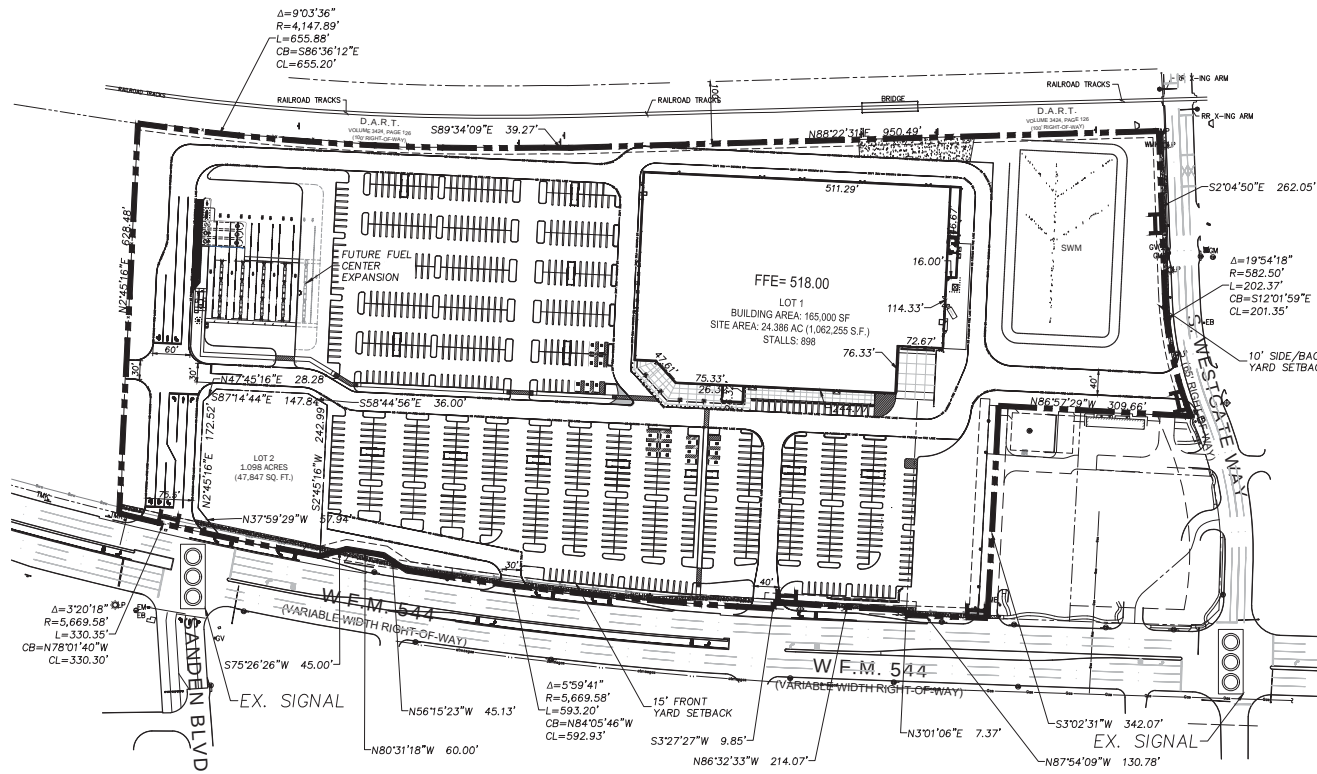


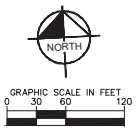
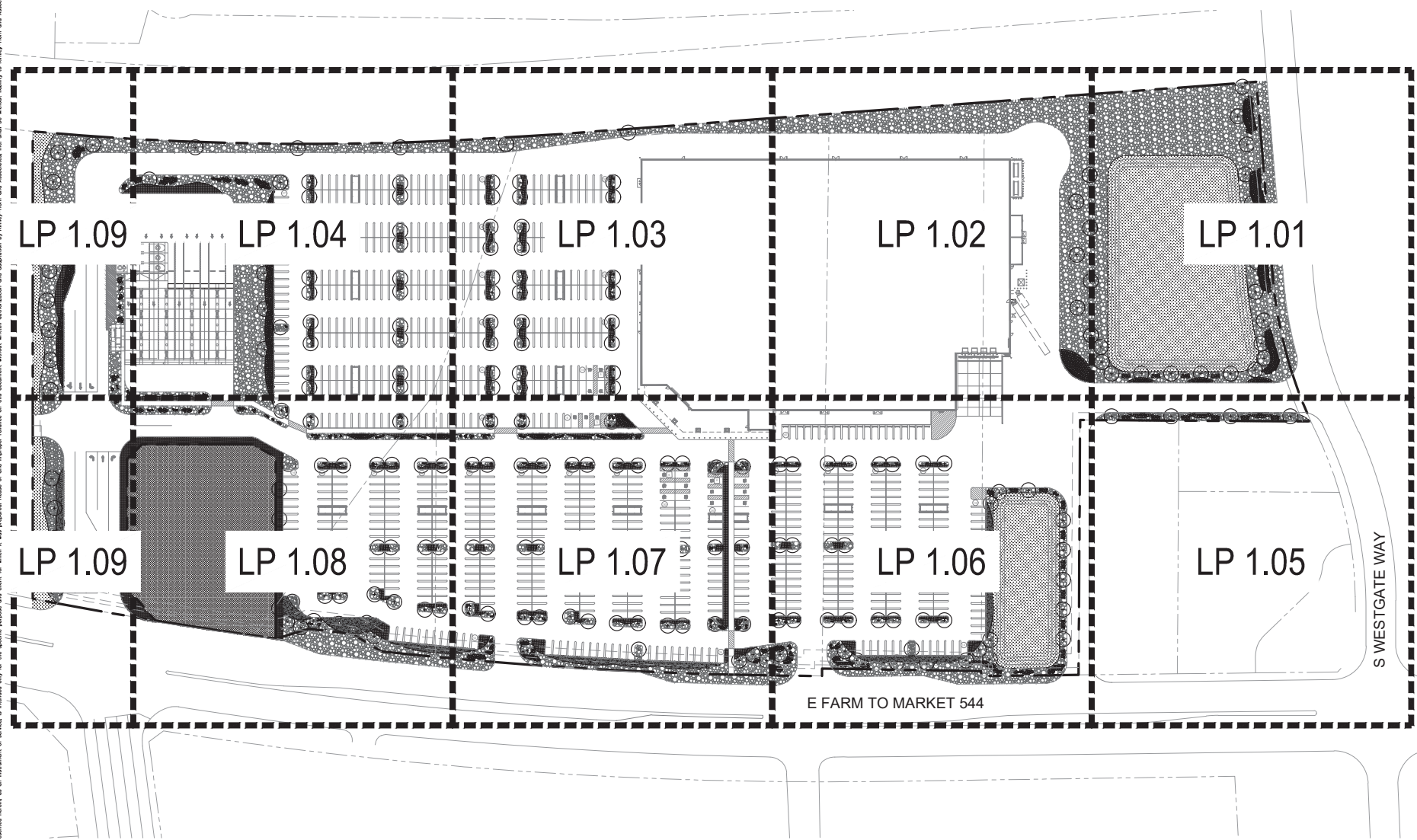
SITE COVERAGE IS APPROXIMATELY 70%
THE SITE IS NOT WITHIN ANY FEMA FLOOD AREA



OWNER
WYLIE ECONOMIC DEVELOPMENT CORPORATION
250 SOUTH HWY 78
WYLIE, TEXAS 75098
972-442-7901

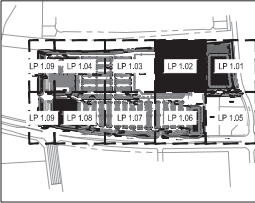
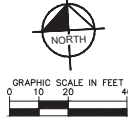
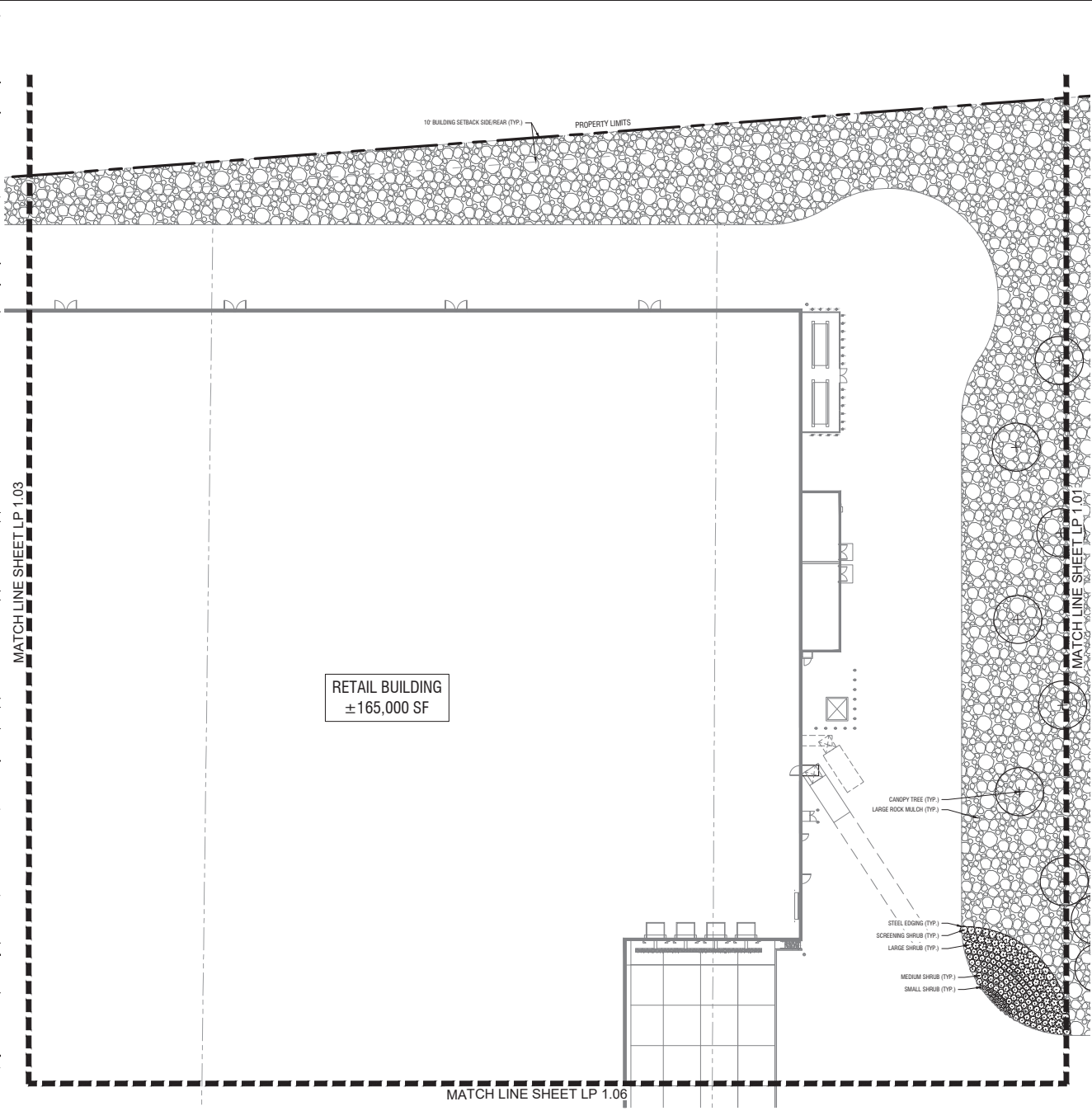
SP-01		SITE PLAN		07-17-2026	
NWC W FM544 & S WESTGATE WAY,		Winkelmänn & Associates, Inc.		 WINKELMANN & ASSOCIATES, INC. CONSULTING CIVIL ENGINEERS • BUREAU OF EARTH & WATER PLANNING, INC. 2015 10000 W. FM 544, SUITE 100 • DALLAS, TX 75244-4000 PHONE: (214) 343-7800 • FAX: (214) 343-7801 WWW.WINKELMANN-AND-ASSOCIATES.COM	
WYLLIE, TX 75098		REVISION TO SITE PLAN MHI		REVISION APPROVAL	
		No.		DATE	
		1.		07/15/2026	
		2.			
		3.			
		4.			
		5.			
		6.			

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Kimley»Horn © 2008 KIMLEY-HORN AND ASSOCIATES, INC. 2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75208 PHONE: 214.643.4600 FAX: 214.643.4601 WWW.KIMLEY-HORN.COM		REVISIONS	DATE	BY
		No.		
OVERALL LANDSCAPE PLAN SHEET NUMBER LP 1.00		CITY OF WYLLIE, TEXAS		
		NOT FOR CONSTRUCTION		
KHA PROJECT DATE JUNE 2026 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY WVS	06/22/2026	TEXAS REGISTERED ENGINEERING FIRM NO. 7-688		

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		REQUIRED	PROVIDED
City of Wylie, TX - Landscape Data Table			
TOTAL: 24.39 AC (1,062,682 sq ft) - ZONED CC			
City of Wylie - Development Code			
Section 4.3 - Nonresidential Design Standards			
Landscape in Required Yards (Base Standard)			
(1) At least twenty (20) percent of the site shall be landscaped:		212,536 SF	212,536 SF
1,062,682 SF * 20% = 212,536 SF			
(2) Landscaping is required in the front yard:	Yes	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential:	Yes	Yes	Yes
Landscape in Required Yards (Desirable Design Attribute)			
(2) Landscaping in side and rear yards not otherwise required:	Yes	Yes	Yes
Landscape of Parking Lots (Base Standard)			
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space:		44,300 SF	65,285 SF
886 Stalls * 50 SF = 44,300 SF			
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site:	Yes	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends:	Yes	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces:	Yes	Yes	Yes
Landscape of Parking Lots (Desirable Design Attribute)			
(2) Parking lots with no spaces further than forty (40) feet from a landscaped area:	Yes	Yes	Yes
(3) Landscaped pedestrian connection to main entrance:	Yes	Yes	Yes
Visual Screening (Base Standard)			
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area:	Yes	Yes	Yes
Landscape of Street Frontages (Base Standard)			
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width:		10 Landscape Buffer	10 Landscape Buffer
F Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF		6,220 SF	7,451 SF
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width:		10 Landscape Buffer	10 Landscape Buffer
F Farm to Market 544: 1,000.54 SF / 40 SF = 25.24 Trees			
(3) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet:	12 Trees	12 Trees	12 Trees
5 Westgate Way: 4130.81' * 50% = 2,065.41 SF		2,065 SF	3,096 SF
(3) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet:	24 Trees	24 Trees	24 Trees
5 Westgate Way: 4019.61 SF / 35 SF = 11.77 Trees			
(3) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet:	24 Trees	24 Trees	24 Trees
F Farm to Market 544: 1,000.54 SF / 40 SF = 25.24 Trees			
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade:	Yes	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare:	4 Foot Concrete Walkway	4 Foot Concrete Walkway	4 Foot Concrete Walkway
Landscape of Street Frontages (Desirable Design Attribute)			
(1) Use of rock walls or other natural landscape features:	Yes	Yes	Yes

NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
SHRUBS					
	AS	SMALL SHRUB		RM2	SMALL ROCK MULCH
	MS	MEDIUM SHRUB		SE02	OUT PARCEL SEED
	SS	SCREENING SHRUB		SE01	HYDRANGEA
	LS	LARGE SHRUB		S00	SEED
GROUND COVERS					
	AT	ARTIFICIAL TURF		SE	STEEL EDGING
	LB1	LARGE LANDSCAPE BOULDER		LB2	SMALL LANDSCAPE BOULDER

PROJECT NO.

DATE

SCALE

DESIGNED BY

DRAWN BY

CHECKED BY

06/22/2026

AS SHOWN

SCA

WVS

NOT FOR CONSTRUCTION

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.02

Kimley»Horn

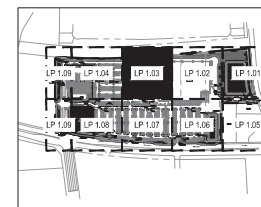
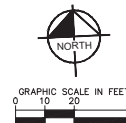
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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75208
PH: 214.643.8800
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERS FIRM NO. F-688

REVISIONS

DATE

BY

[illegible]

City of Wylie - Landscaping Data Table		REQUIRED	PROVIDED
Table 24.39 AC (1,062,682 sq.) - ZONED CC			
City of Wylie - Development Code			
Section 4.2 - Nonresidential Design Standards			
Landscaping in Required Yards (Base Standard)			
(1) At Least twenty (20%) percent of the site shall be landscaped.		212,536 SF	212,536 SF
1,062,682 SF * 20% = 212,536 SF			
(2) Landscaping is required in the front yard.	Yes	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes	Yes
Landscaping in Required Yards (Desirable Design Attribute)			
(1) Landscaping in side and rear yard not otherwise required.	Yes	Yes	Yes
Landscaping of Parking Lots (Base Standard)			
(1) All site spaces with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF	65,285 SF
886 Stalls * 50 SF = 44,300 SF			
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on the site.	Yes	Yes	Yes
(3) Parking must twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes	Yes
Landscaping of Parking Lots (Desirable Design Attribute)			
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes	Yes
(3) Landscaped pedestrian connection to main entrance.	Yes	Yes	Yes
Plant Screening (Base Standard)			
(1) Required screening is in place at least five (5) feet wide, twenty (3) feet in height when planted, include on flowering tree with plants thirty (20) linear feet of area.			
Landscaping of Street Frontages (Base Standard)			
(1) Is least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape	10 Landscape
F Farm to Market 544, 12,440.27' * 50% = 6,220.14 SF	6,220 SF	7,431 SF	
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape	10 Landscape
5 Wedgely Way, 4,130.81' * 50% = 2,065.41 SF	2,065 SF	3,096 SF	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees	
5 Wedgely Way, 409.41 SF / 35.16' = 11.7 Trees			
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees	
F Farm to Market 544, 1,009.54 (F / 40' L) = 25.24 Trees			
(3) Trees must be at least three (3) inches in caliper, measured at a point below 12 inches above grade.	Yes	Yes	Yes
(4) Nonresidential development shall provide a tree (4) foot minimum measuring corridor public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concor Walkway	4 Foot Concor Walkway	
Landscaping of Street Frontages (Desirable Design Attribute)			
	Yes	Yes	Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEE TO LIMITS OF DISTURBANCE SEE SHEET P.20 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES			GROUND COVERS		
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SEED2	OUT PARCEL SEED
	AS	SMALL SHRUB		SEED1	HYDROSEED
	MS	MEDIUM SHRUB		S00	SOD
	SS	SCREENING SHRUB		AT	ARTIFICIAL TURF
	LS	LARGE SHRUB		SE	STEEL EDGING
				LBI	LARGE LANDSCAPE BOULDER
				LBI2	SMALL LANDSCAPE BOULDER

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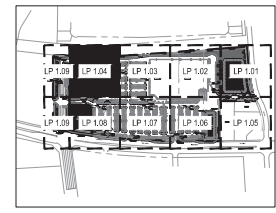
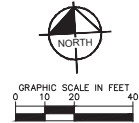
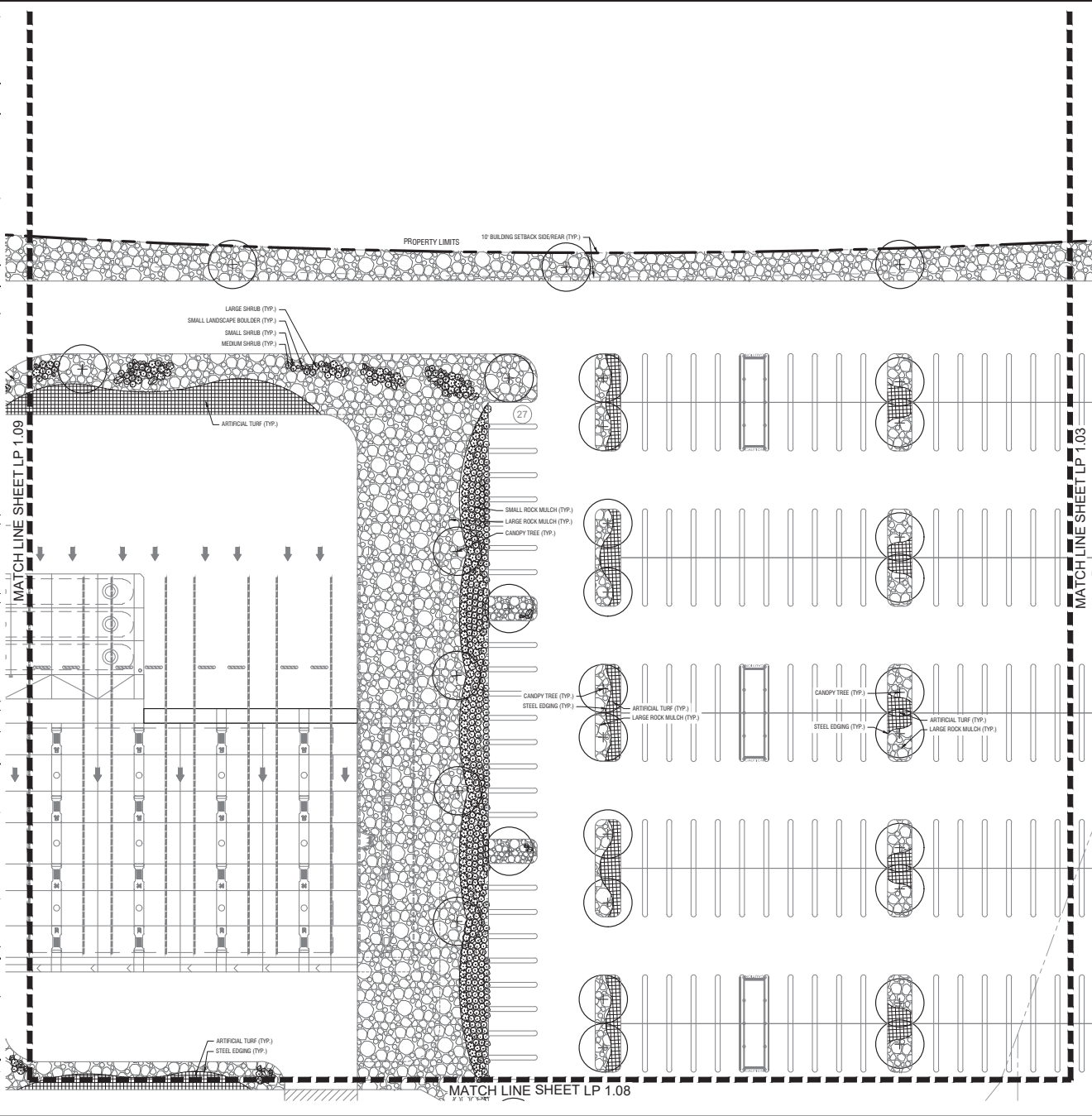
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	SCK	DRAWN BY	SCK
066000150	JUNE 2026						

CITY OF WILMINGTON, DELAWARE

LANDSCAPE PLAN

SHEET NUMBER
LP 1.03

This document, together with the concrete and design presented herein, is an instrument of service, to be issued only for the specific purpose and client for which it was prepared. Plans of this document without written authorization and signature by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



City of Wylie, TX - Landscape Data Table		REQUIRED		PROVIDED
TOTAL: 24.39 AC (1,062,682 SF) - ZONED CC				
City of Wylie - Development Code				
Section 4.3 - Nonresidential Design Standards				
Landscape in Required Yards (Base Standard)				
(1) At Least Twenty (20) percent of the site shall be landscaped.				
1,062,682 SF * 20% = 212,536 SF				212,536 SF
(2) Landscaping is required in the front yard.		Yes		Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.		Yes		Yes
Landscape in Required Yards (Desirable Design Attribute)		Yes		Yes
(2) Landscaping in side and rear yard not otherwise required.				
Landscape in Parking Lots (Base Standard)				
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.				
886 Stalls * 50 SF = 44,300 SF				44,300 SF
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.		Yes		Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.		Yes		Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.		Yes		Yes
Landscape in Parking Lots (Desirable Design Attribute)		Yes		Yes
(2) Parking lots with no space further than forty (40) feet from a landscaped area.		Yes		Yes
(3) Landscaped pedestrian connection to main entrance.		Yes		Yes
Visual Screening (Base Standard)				
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.		Yes		Yes
Landscape of Street Frontages (Base Standard)				
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10' Landscape Buffer	10' Landscape Buffer	
E Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF		6,220 SF	7,451 SF	
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10' Landscape Buffer	10' Landscape Buffer	
5 Westgate Way: 4,130.81' * 50% = 2,065.41 SF		2,065 SF	3,096 SF	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		12 Trees	12 Trees	
5 Westgate Way: 409.6 LF / 35 LF = 11.7 Trees		24 Trees	24 Trees	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		Yes	Yes	
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees		4 Foot Concrete Walkway	4 Foot Concrete Walkway	
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.				
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.				
Landscape of Street Frontages (Desirable Design Attribute)				
(1) Use of rock walls or other natural landscape features.		Yes		Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
	MS	MEDIUM SHRUB		RM2	SMALL ROCK MULCH
	SS	SCREENING SHRUB		SEED2	OUT PARCEL SEED
	LS	LARGE SHRUB		SEED1	HYDRANGEA
SHRUBS					
	AS	SMALL SHRUB		SOD	SOD
	MS	MEDIUM SHRUB		AT	ARTIFICIAL TURF
	SS	SCREENING SHRUB		SE	STEEL EDGING
	LS	LARGE SHRUB		LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

PROJECT NO. 2024-001

DATE: JUNE 2024

SCALE: AS SHOWN

DRAWN BY: SCA

CHECKED BY: WVS

06/22/2024

LANDSCAPE PLAN

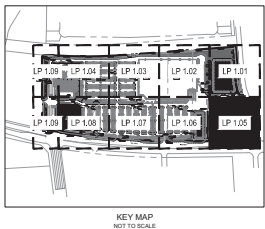
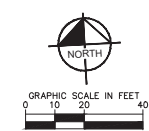
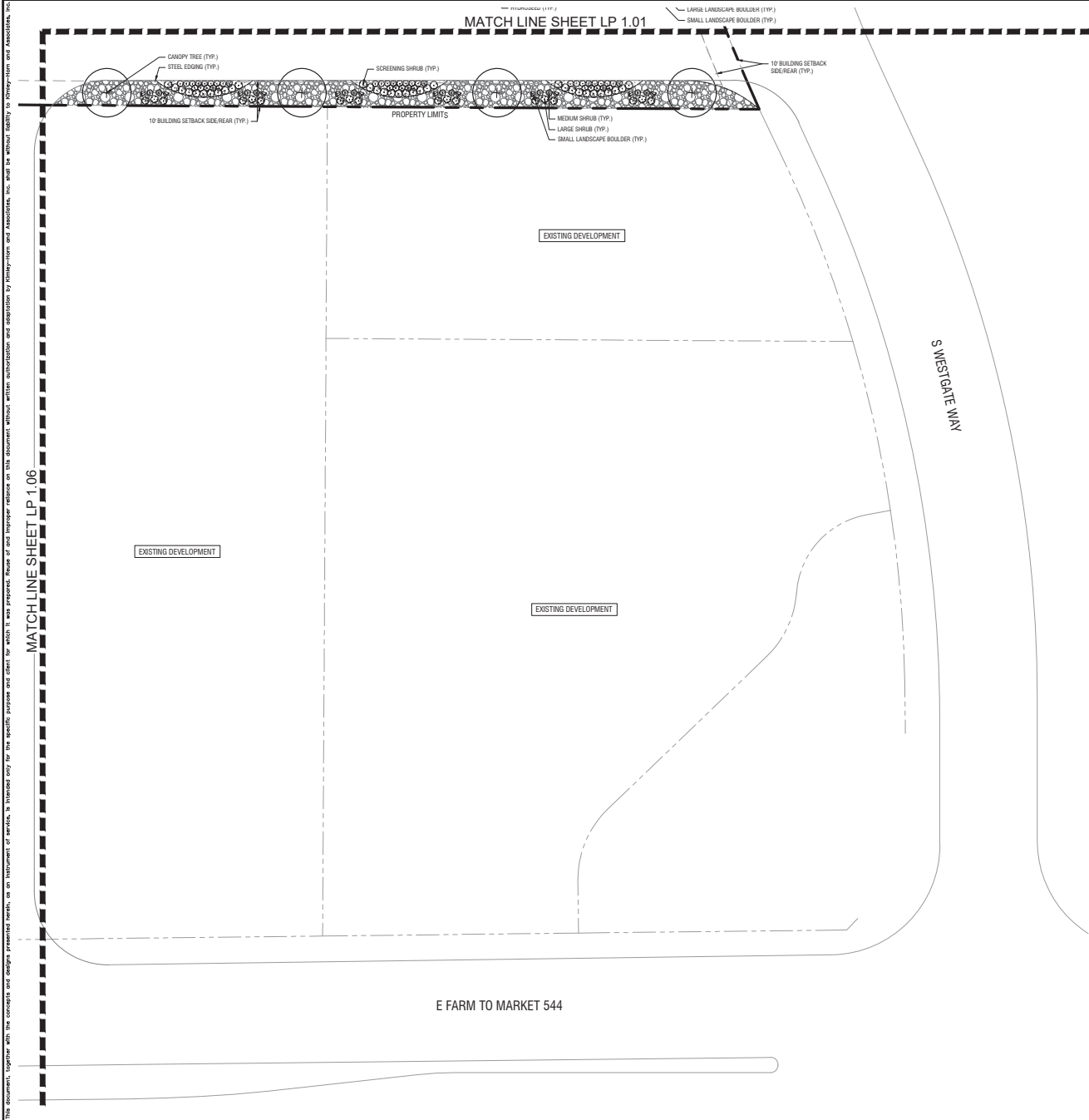
SHEET NUMBER
LP 1.04

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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75201
PH: 214.635.4000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERS FIRM NO. 7-589

REVISIONS

DATE

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City of Wylie - Landscape Data Table		REQUIRED	PROVIDED
TOTAL: 24.39 AC (1,062,662 sq.) - ZONED CC			
City of Wylie - Development Code			
Section 4.3 - Nonresidential Design Standards			
Landscaping in Required Yards (Base Standard)			
(1) At Least twenty (20) percent of the site shall be landscaped.		212,536 SF	212,536 SF
1,062,662 SF * 20% = 212,156 SF			
(2) Landscaping is required in the front yard.	Yes	Yes	
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes	
Landscaping in Required Yards (Desirable Design Attribute)			
(2) Landscaping is side and rear yard not otherwise required.	Yes	Yes	
Landscaping of Parking Lots (Base Standard)			
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.	44,300 SF	65,285 SF	
596 Sites * 50 SF = 44,300 SF			
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes	
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes	
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes	
Landscaping of Parking Lots (Desirable Design Attribute)			
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes	
(3) Landscaped pedestrian connection to main entrance.	Yes	Yes	
Visual Screening (Base Standard)			
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.	Yes	Yes	
Landscaping of Street Frontages (Base Standard)			
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	
E Farm to Market 544: 12,440.27 * 50% = 6,220.14 SF	6,220 SF	7,451 SF	
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	
S Westgate Way: 4,130.81 * 50% = 2,065.41 SF	2,065 SF	3,096 SF	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees	
S Westgate Way: 409.6 LF / 35 LF = 11.7 Trees			
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees	
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees			
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes	
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway	
Landscaping of Street Frontages (Desirable Design Attribute)			
(1) Use of rock walls or other natural landscape features.	Yes	Yes	

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE		
SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE	GROUND COVERS		
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SE02	OUT PARCEL SEED
				SE01	HYDROSEED
				S00	SMALL SHRUB
				MS	MEDIUM SHRUB
				SS	SCREENING SHRUB
				LS	LARGE SHRUB
				AT	ARTIFICIAL TURF
				SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

PROJECT NO. 24-00000000-0000

DATE JUNE 2026

SCALE AS SHOWN

DRAWN BY

CHECKED BY

DESIGNED BY

DATE 06/22/2026

WVS

NOT FOR CONSTRUCTION

06/22/2026

WVS

LANDSCAPE PLAN

SHEET NUMBER LP 1.05

Kimley»Horn

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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75208
PHONE: 972.343.8800
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERS FIRM NO. F-608

REVISIONS

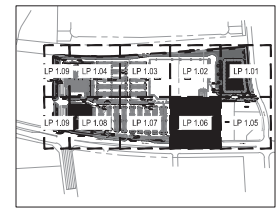
DATE

BY

Site Plan Details:

- Top:** MATCH LINE SHEET LP 1.02
- Left:** MATCH LINE SHEET LP 1.07
- Right:** MATCH LINE SHEET LP 1.05
- Top Right:** 10' BUILDING SETBACK SIDE/REAR (TYP.)
- Right Side:** PROPERTY LIMITS
- Bottom Right:** MATCH LINE SHEET LP 1.05
- Bottom:**
 - 25' BUILDING SETBACK FRONT (TYP.)
 - 15' SANITARY EASEMENT (TYP.)
 - 10' LANDSCAPE SETBACK ABUTTING R.O.W. (TYP.)
- Center:**
 - PROPR. DETENTION POND ±17,604 SF
 - PROPERTY LIMITS
- Callouts and Features:**
 - MEDIUM SHRUB (TYP.)
 - SMALL SHRUB (TYP.)
 - LARGE ROCK MULCH (TYP.)
 - CANOPY TREE (TYP.)
 - STEEL EDGING (TYP.)
 - ARTIFICIAL TURF (TYP.)
 - SMALL LANDSCAPE BOULDER (TYP.)
 - LARGE LANDSCAPE BOULDER (TYP.)
 - SMALL ROCK MULCH (TYP.)
 - HYDRANGEA (TYP.)
 - CANOPY TREE (TYP.)
 - ARTIFICIAL TURF (TYP.)
 - STEEL EDGING (TYP.)
 - LARGE ROCK MULCH (TYP.)
 - SMALL SHRUB (TYP.)
 - LARGE SHRUB (TYP.)
 - MEDIUM SHRUB (TYP.)

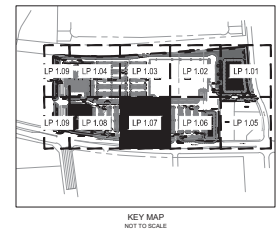
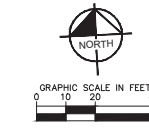
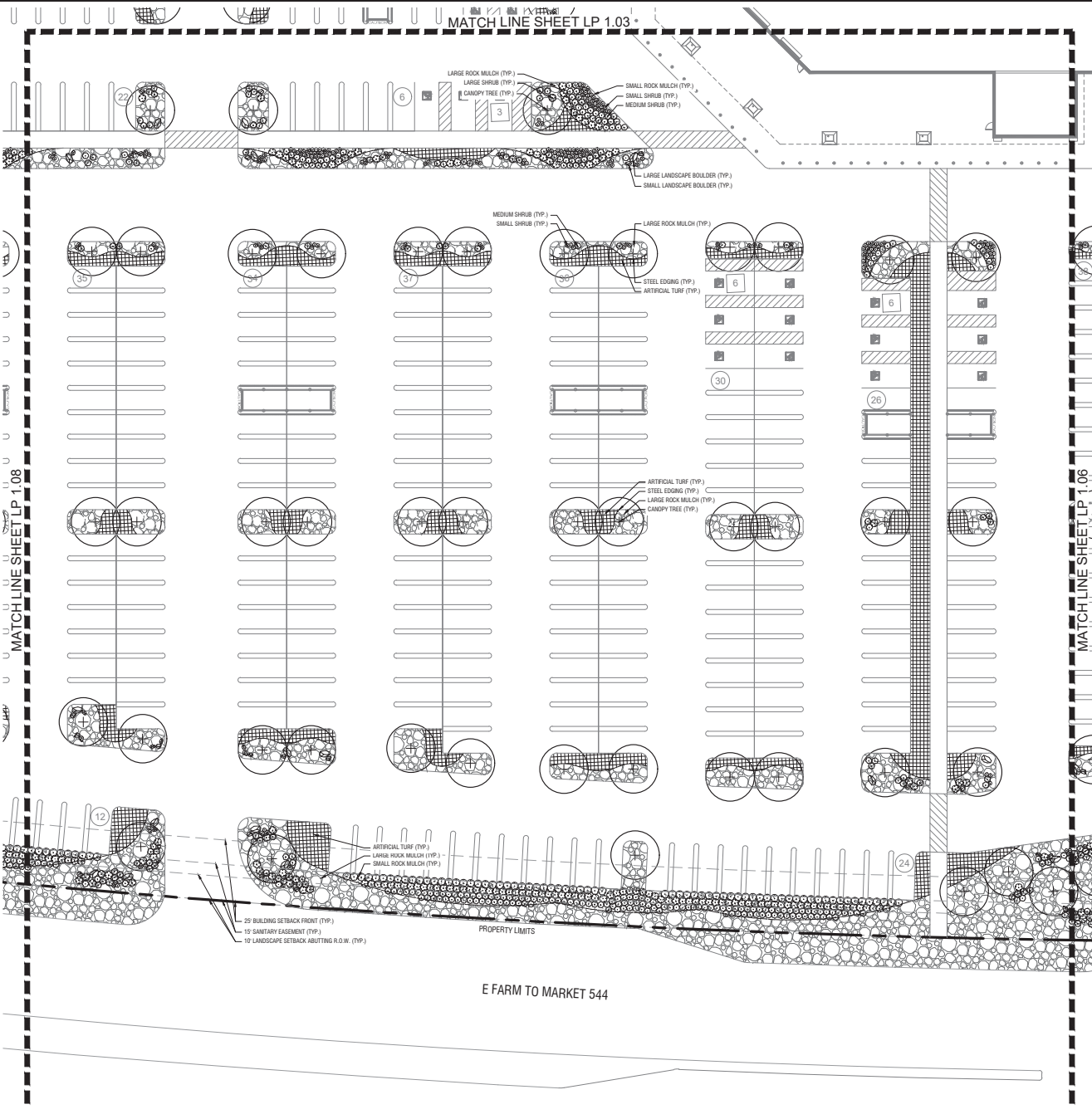
E FARM TO MARKET 544



PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTANCE SEE SHEET L 2.00 FOR FULL PLANT SCHEDULE		
<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
TREES					
	CT	CANOPY TREE / CANOPY TREE	GROUND COVERS		
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
SHRUBS				SEED2	OUT PARCEL SEED
	AS	SMALL SHRUB		SEED1	HYDROSEED
	MS	MEDIUM SHRUB		SOD	SOD
	SS	SCREENING SHRUB		AT	ARTIFICIAL TURF
	LS	LARGE SHRUB			
				SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

SHEET NUMBER LP 1.06	LANDSCAPE PLAN		PROJECT 06/20/2026 DATE JUNE 2026 SCALE AS SHOWN DISCREPANCY SCK DRAWN BY SCK CHECKED BY KWS CITY OF WYLLIE, TEXAS		Kimley»Horn © 2026 KIMLEY HORN AND ASSOCIATES, INC. 2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75226 PHONE: 214.424.4400 WWW.KIMLEYHORN.COM TEXAS REGISTERED ENGINEERING FIRM NO. F-5268	No. _____ REVISIONS _____ DATE _____ BY _____
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This document, together with the concepts and designs presented herein, is an instrument of service, to be recorded only for the specific purpose and client for which it was prepared. Plans of any other project or site, or any other project or site, shall be without liability to Kimley-Horn and Associates, Inc.



City of Wylie, TX - Landscape Data Table		REQUIRED		PROVIDED
TOTAL: 24.39 AC (1,062,682 SF) - ZONED CC				
City of Wylie - Development Code				
Section 4.3 - Nonresidential Design Standards				
Landscaping in Required Yards (Base Standard)				
(1) At least twenty (20) percent of the site shall be landscaped.				
1,062,682 SF * 20% = 212,536 SF		212,536 SF		212,536 SF
(2) Landscaping is required in the front yard.		Yes	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.		Yes	Yes	Yes
Landscaping in Required Yards (Desirable Design Attribute)				
(1) Landscaping in side and rear yards not otherwise required.		Yes	Yes	Yes
Landscaping of Parking Lots (Base Standard)				
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF		65,285 SF
886 Stalls * 50 SF = 44,300 SF				
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.		Yes	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.		Yes	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.		Yes	Yes	Yes
Landscaping of Parking Lots (Desirable Design Attribute)				
(1) Parking lots with no space further than forty (40) feet from a landscaped area.		Yes	Yes	Yes
(2) Landscaped pedestrian connection to main entrance.		Yes	Yes	Yes
Visual Screening (Base Standard)				
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.		Yes	Yes	Yes
Landscaping of Street Frontages (Base Standard)				
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer
E Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF		6,220 SF		7,451 SF
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer
Wentgate Way: 4,120.81' * 50% = 2,060.41 SF		2,060 SF		3,096 SF
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		12 Trees		12 Trees
Wentgate Way: 4,120.81' / 35 LF = 117 Trees				
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		24 Trees		24 Trees
E Farm to Market 544: 1,009.54' / 40 LF = 25.24 Trees				
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.		Yes	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.		4 Foot Concrete Walkway		4 Foot Concrete Walkway
Landscaping of Street Frontages (Desirable Design Attribute)				
(1) Use of rock walls or other natural landscape features.		Yes	Yes	Yes

PLANT SCHEDULE			SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE	GROUND COVERS		
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SE02	OUT PARCEL SEED
				SE01	HYDRANGEA
				SOD	SOD
				AT	ARTIFICIAL TURF
				SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER
SHRUBS					
	AS	SMALL SHRUB			
	MS	MEDIUM SHRUB			
	SS	SCREENING SHRUB			
	LS	LARGE SHRUB			

PROJECT NO. 2024-001

DATE: JUNE 2024

SCALE: AS SHOWN

DRAWN BY: [Signature]

CHECKED BY: [Signature]

NOT FOR CONSTRUCTION

06/22/2024

WMA PROJECT

DATE: JUNE 2024

SCALE: AS SHOWN

DRAWN BY: [Signature]

CHECKED BY: [Signature]

WMA PROJECT

DATE: JUNE 2024

SCALE: AS SHOWN

DRAWN BY: [Signature]

CHECKED BY: [Signature]

Kimley»Horn

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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75208
PH: 214.636.1000
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERS FIRM NO. F-688

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

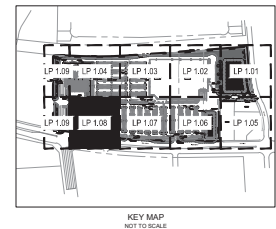
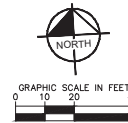
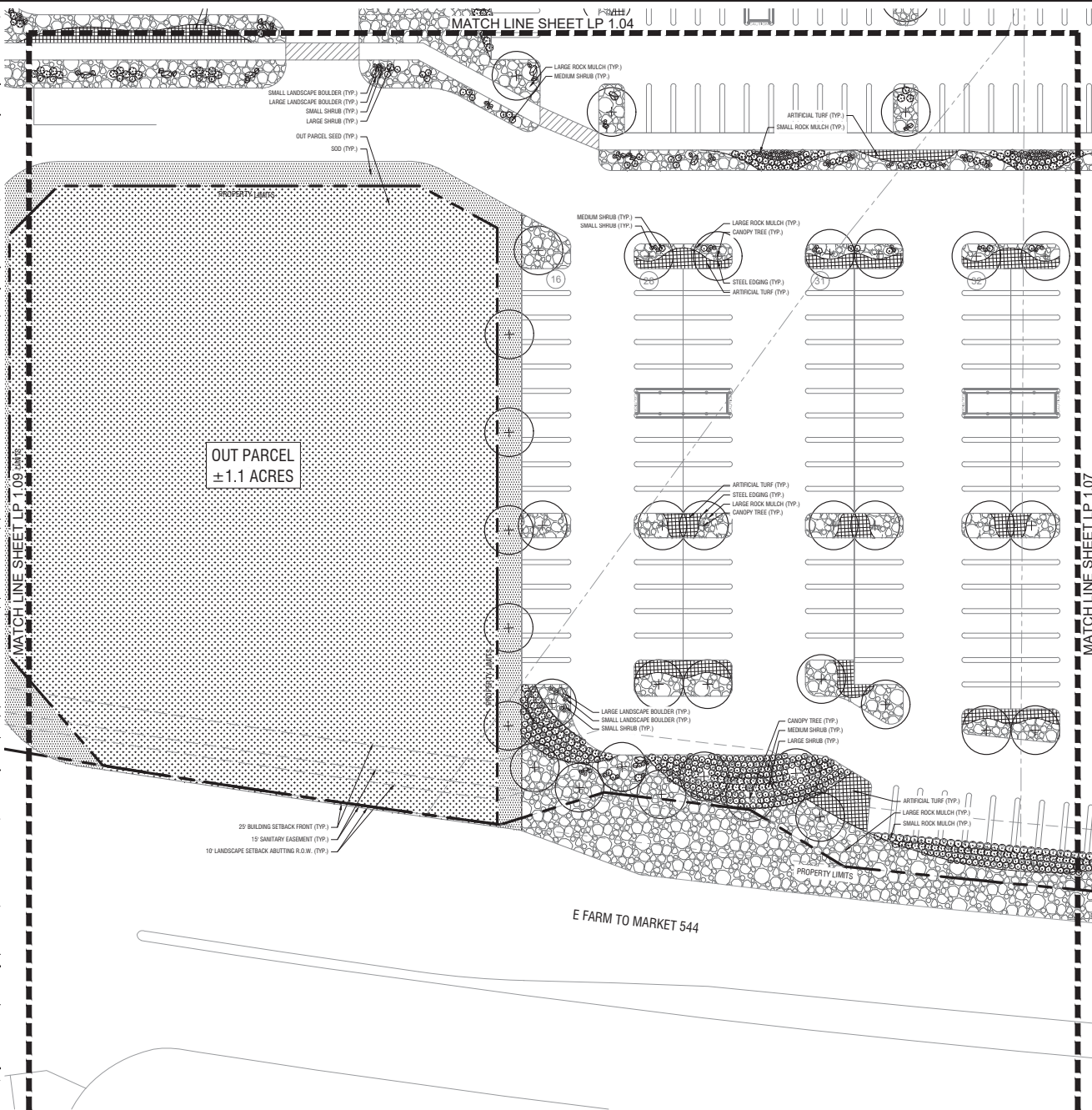
SHEET NUMBER
LP 1.07

REVISIONS

DATE

BY

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City of Wylie, TX - Landscape Data Table		
TOTAL: 24.39 AC (1,062,682 sq) - ZONED CC		
City of Wylie - Development Code	REQUIRED	PROVIDED
Section 4.3 - Nonresidential Design Standards		
Landscape in Required Yards (Base Standard)		
(1) At least twenty (20) percent of the site shall be landscaped.	212,536 SF	212,536 SF
Landscape in Required Yards (Desirable Design Attributes)		
(2) Landscaping in side and rear yard not otherwise required.	Yes	Yes
Landscape of Parking Lots (Base Standard)		
(1) At side plane with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.	44,300 SF	65,285 SF
Landscape of Parking Lots (Desirable Design Attributes)		
(2) No parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes
(3) Landscaped perimeter connections to main entrance.	Yes	Yes
Landscape of Street Frontages (Base Standard)		
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted. Include one flowering tree for every twenty (20) linear feet of area.	Yes	Yes
Landscape of Street Frontages (Desirable Design Attributes)		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway
Landscape of Street Frontages (Desirable Design Attributes)		
(1) Use of rock walls or other natural landscape features.	Yes	Yes

PLANT SCHEDULE			SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE			
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SE02	OUT PARCEL SEED
SHRUBS					
	AS	SMALL SHRUB		SE01	HYDRANGEA
	MS	MEDIUM SHRUB		S00	SEED
	SS	SCREENING SHRUB		AT	ARTIFICIAL TURF
	LS	LARGE SHRUB		SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

City of Wylie, TX

Kimley»Horn

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PROJECT NO.

DATE

SCALE

DESIGNER

DRAWN BY

CHECKED BY

NOT FOR CONSTRUCTION

06/22/2026

CITY OF WYLE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.08

REVISIONS

DATE

PROPERTY LIMITS

10' BUILDING SETBACK SIDE/REAR (TYP.)

LARGE LANDSCAPE BOULDER (TYP.)

LARGE ROCK MULCH (TYP.)

LARGE SHRUB (TYP.)

SMALL LANDSCAPE BOULDER (TYP.)

MEDIUM SHRUB (TYP.)

HYDROSEED (TYP.)

10' BUILDING SETBACK SIDE/REAR (TYP.)

PROPERTY LIMITS

CANOPY TREE (TYP.)

LARGE ROCK MULCH (TYP.)

ARTIFICIAL TURF (TYP.)

STEEL EDGING (TYP.)

SMALL ROCK MULCH (TYP.)

MATCH LINE THIS SHEET

MATCH LINE SHEET LP 1.04



LANDSCAPE PLAN		KMA PROJECT 06/22/2026 DATE JUNE 2026 SCALE AS SHOWN DESIGNED BY SCK DRAWN BY SCK CHECKED BY KWS		Kimley»Horn © 2008 KIMLEY-HORN AND ASSOCIATES, INC. 2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75206 PH: 214.635.5500 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM NO. F-608	No REVISIONS DATE BY

PLANT SCHEDULE

TREES

Bald Cypress - *Taxodium distichum*
Big Tooth Maple - *Acer grandidentatum*
Cuddly Maple - *Acer saccharinum* 'Cuddly'
Order Elm - *Ulmus crinitus*
Chinese Pistache - *Pistacia chinensis*
Okinawa Oak - *Quercus laevis*
Eastern Red Cedar - *Juniperus virginiana L.*
Escarpment Live Oak - *Quercus laevis*
Gringo - Gringo biota
Japanese Black Pine - *Pinus thunbergii*
Landscape Oak - *Quercus macrocarpa*
Lazy Oak - *Quercus laevis*
Live Oak - *Quercus texana*
Pecan - *Carya illinoensis*
Pond Cypress - *Taxodium distichum var nutans*
Shurred Oak - *Quercus shumardii*
Southern Magnolia - *Magnolia grandiflora*
Texas Red Oak - *Quercus buckleyi*

ORNAMENTAL TREES

American Smokey Tree - *Cotinus alabaster*
Carolina Buckhorn - *Rhamnus caroliniana*
Cape Myrtle - *Laguncularia indica*
Desert Willow - *Chilopsis linearis*
Eastern Redbud - *Gercia canadensis*
Eve's Necklace - *Sophora affinis*
Golden Rantles - *Koeleria paniculata*
Little Gem Magnolia - *Magnolia grandiflora* 'Little Gem'
Mexican Bayberry - *Ungradia speciosa*
Mountain Plum - *Prunus mexicana*
Nellie R. Stevens Holly - *Ilex celtica* R. Stevens I.
Persimmon Holly - *Ilex decidua*
Roughleaf Dogwood - *Cornus drummondii*
Rusty Blackhaw Viburnum - *Viburnum rufidulum*
Teddy Bear Magnolia - *Magnolia grandiflora* 'Southern Charm'
Texas Black Cherry - *Prunus americana* var. *nana*
Texas Mountain Laurel - *Quercus secundiflora*
Texas Penstemon - *Diospyros texana*
Texas Persimmon - *Eryonthea texana*
Texas Redbush - *Leucaena canariensis* var. *texasis*
Viburnum - *Viburnum*
Vitex - *Vitex agnus-castus*
Wax Myrtle - *Myrica cerifera*
Yupon Holly - *Ilex vomitoria*

EVERGREEN SHRUBS

Azalea - *Azalea x grandiflora*
Agave - *Agave*
Arbutus Holly - *Ilex cornuta* 'Burlford Holly'
Compact Dwarf Laurel - *Prunus caroliniana* 'Compact'
Compact Texas Grape - *Leonodaphne omissa* 'Compact'
Dwarf Azalea - *Azalea x grandiflora* 'Corlette'
Dwarf Wax Myrtle - *Myrica cerifera* var. *nana*
Dwarf Yupon Holly - *Ilex vomitoria* 'Nana'
Littleleaf Boxwood - *Buxus microphylla*
Loropetalum - *Loropetalum*
Yupon Holly - *Ilex vomitoria*

GROUND COVER/TURFGRASSES

Agave - *Agave*
Asian Jasmine - *Tachyschima asiaticum*
Liriope - *Liriope muscari*
Mondo Grass - *Ophiopogon japonicus*
Purple wintercreeper - *Euonymus fortunei*
Purple Turfgrass - *Oxyodon atrovirens*
Zoyzia - *Kosmos elegans*
Bouteloua - *Bouteloua dactyloides*
Boston Ivy - *Parthenocissus tricuspidata*
Cardinal Jasmine - *Gelsemium sempervirens*
Cool Honeysuckle - *Lonicera sempervirens*
Coville - *Bignonia capivola*
Virginia Creeper - *Parthenocissus quinquefolia*
Blue Caper Juniper - *Juniperus horizontalis*
Blue Gramin - *Rottboellia gracilis*
Bluestem, Little - *Setochyzium*
Cast Iron Plant - *Aspidistra elatior*
Cat Minty - *Mentheripergis capitata*
Hamelin's Bourain Grass - *Stenotaphrum sspoides Hamelin*
Creeping Germander - *Teucrium chamaedrys*
Hog Foot - *Phyla*
Frog Fern - *Cytidium bicolor*
Lamb's Ear - *Stachys byzantina*
Lindeheimer's Minty - *Mentheripergis lindheimeri*
White cloud Minty - *Mentheripergis capitata* 'White Cloud'
Purple Foxtail Grass - *Nassella tenuissima*
Phlox - *Phlox*
Moccasin Peppery-Moss - *Galium involucratum*

PLANT SCHEDULE							
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT</u>	<u>CAL.</u>	<u>SIZE</u>	<u>REMARKS</u>
TREES							
	CT	234	CANOPY TREE / CANOPY TREE	B&B	3" CAL. MIN.	AS SHOWN	FULL, STRONG, CENTRAL LEADER
SHRUBS							
	AS	849	SMALL SHRUB	CONT.	18" HT.	AS SHOWN	FULL AND MATCHING
	MS	2,025	MEDIUM SHRUB	CONT.	30" HT.	AS SHOWN	FULL AND MATCHING
	SS	280	SCREENING SHRUB	CONT.	36" HT. MIN.	AS SHOWN	FULL AND MATCHING
	LS	1,016	LARGE SHRUB	CONT.	36" HT.	AS SHOWN	FULL AND MATCHING
GROUND COVERS							
	RM1	176,210 SF	LARGE ROCK MULCH	ROCK	N/A	N/A	REF. DETAIL E, SHEET LP 2.02
	RM2	16,918 SF	SMALL ROCK MULCH	ROCK	N/A	N/A	REF. DETAIL E, SHEET LP 2.02
	SE02	48,127 SF	OUT PARCEL SEED	SEED	N/A	N/A	SEED TO LIMIT OF DISTURBANCE
	SE01	82,611 SF	HYDROSEED	SEED	N/A	N/A	SEED TO LIMIT OF DISTURBANCE
	SOD	7,497 SF	SOD	SOD	N/A	N/A	TIGHT, SAND FILLED JOINTS. SEED TO BE FREE OF WEEDS.
	AT	17,729 SF	ARTIFICIAL TURF	TURF	N/A	N/A	REF. DETAIL H, SHEET LP 2.02
	SE	= 7,417 LF	STEEL EDGING				REF. DETAIL D, SHEET LP 2.02
	LB1	= 60	LARGE LANDSCAPE BOULDER				REF. DETAIL G, SHEET LP 2.02
	LB2	= 164	SMALL LANDSCAPE BOULDER				REF. DETAIL G, SHEET LP 2.02

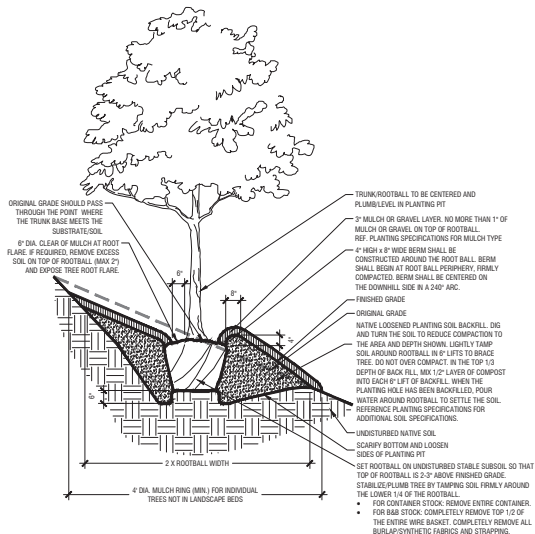
GENERAL NOTES:

1. SPECIFICATIONS SHALL SUPERCEDE PLANTING NOTES.
2. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
5. EASEMENTS FOR ADDITIONAL, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. REFER TO OTHER DISCIPLINE PLANS SETS FOR TRACKING INFORMATION.

PLANTING NOTES:

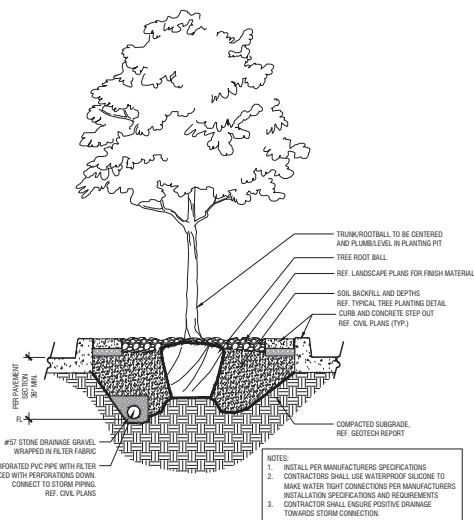
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES. ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
5. CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN'S SPECIFICATIONS TRUE TO NAME. PLANTS TO BE FIRST QUALITY, WELL FOLIATED WITH WELL-DEVELOPED ROOT SYSTEMS AND A NORMAL, WELL-SHAPED TRUNK AND LEADER, LIMBS, STEMS AND A HEAD. PLANTS DEEMED UNSUITABLE MAY BE REJECTED BEFORE OR AFTER DELIVERY. PLANT MATERIAL IS REQUIRED TO BE FREE OF EVIDENCE OF DISEASE, INSECTS, INSECT EGGS, AND LARVAE. OVERSIZE PLANTS MAY BE USED WITH APPROVAL, BUT AT NO INCREASE IN PRICE. BALLS THAT ARE CRACKED, BROKEN OR TRY TO THE CENTER WILL BE REJECTED.
6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
7. GUARANTEE TREES, SHRUBS AND GROUND COVER FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE AGAINST DEFECTS INCLUDING DIEB AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND LANDSCAPE CONTRACTORS' CONTROL.
8. AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE.
9. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR, WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON 8B MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS NEEDED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. TOPSOIL SHALL BE HIGH-QUALITY, AMENDED PER AGRONOMIC SOIL SOIL REPORT AND BE AND GRADED BY GENERAL CONTRACTOR TO THE FOLLOWING MINIMUM DEPTHS BELOW FINISHED GRADE. REFER TO SOIL SPECIFICATION FOR MORE DETAIL.
 - PLANTING AREAS WITHIN 10 FEET OF BUILDINGS: 6 INCHES
 - OTHER PLANTING AREAS: 4 INCHES
 - LANDSCAPE ISLANDS: 6 INCHES
 - TURF AREAS: 4 INCHES
17. SEED/SO LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SO ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SO MIXES. ALL DISTURBED AREAS TO BE SODDED OR SEED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL, HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
18. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
19. CONTRACTOR SHALL INSTALL NATURAL BROWN SHREDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TIRE RING WITH 3" DEPTH SHREDED HARDWOOD MULCH. ALL FOUNDATION PLANTING AREAS AND INTERIOR PARKING ISLANDS SHALL BE INSTALLED WITH DECORATIVE ROOT MULCH.
20. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
21. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
22. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
23. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
24. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
25. SEE IRRIGATION PLANS FOR IRRIGATION AND IRRIGATION NOTES.
26. SEE ELECTRICAL PLANS FOR SITE LIGHTING.

LANDSCAPE SCHEDULE & GENERAL NOTES		CITY OF WYLLIE, TEXAS		06/22/2028		 NOT FOR CONSTRUCTION		Kimley»Horn © 2028 KIMLEY-HORN AND ASSOCIATES, INC. 2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75226 PHONE: 469-716-8660 FAX: 469-723-9320 TEXAS REGISTERED ENGINEERING FIRM NO. F-5028		NO REVISIONS		DATE		BY	
SHEET NUMBER LP 2.00				KWS		SCKK		AS SHOWN		JUNE 2028					
DATE		06/20/2028		KWS		SCKK		AS SHOWN		JUNE 2028					



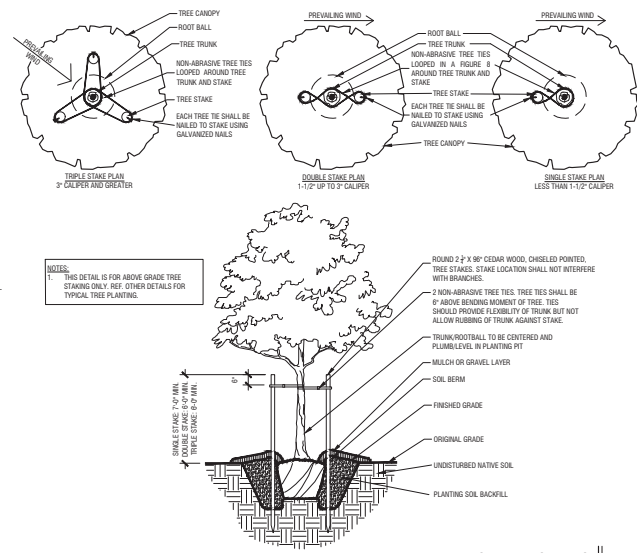
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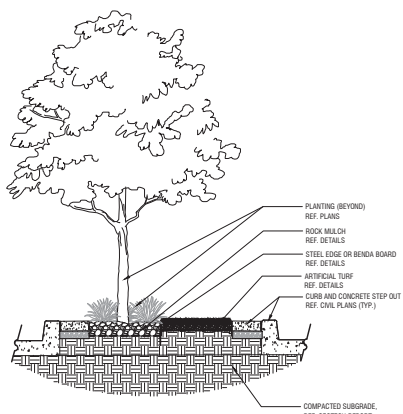
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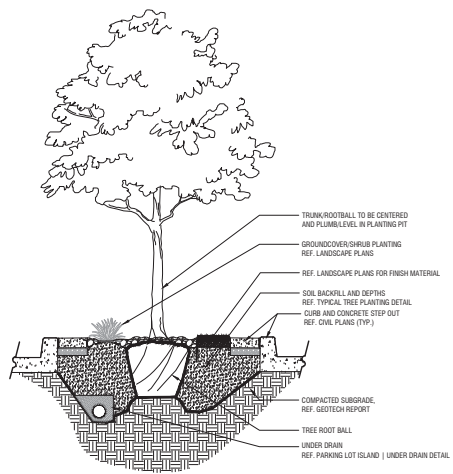
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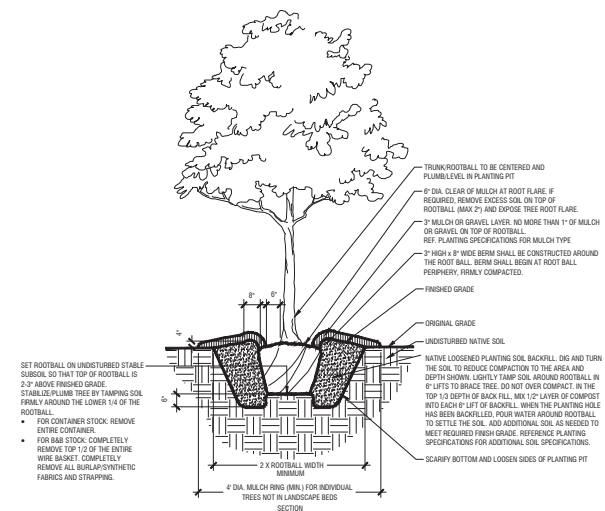
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- ## PLANTING

- REQUIRED TO MEET REQUIRED FINISH GRADE
- TYPICAL GROUND COVER PLANTING

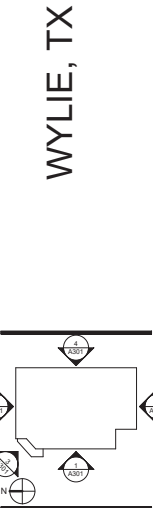
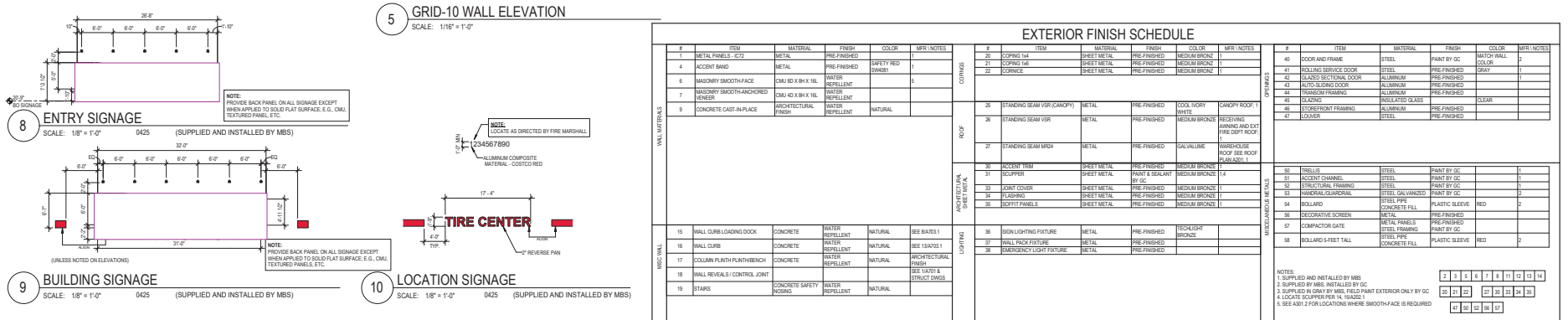
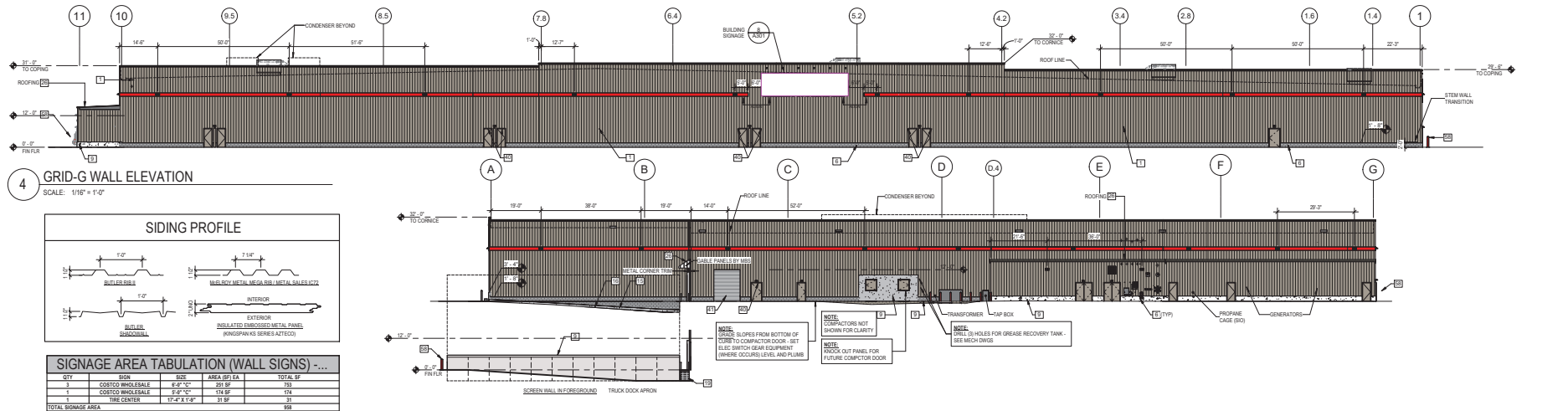
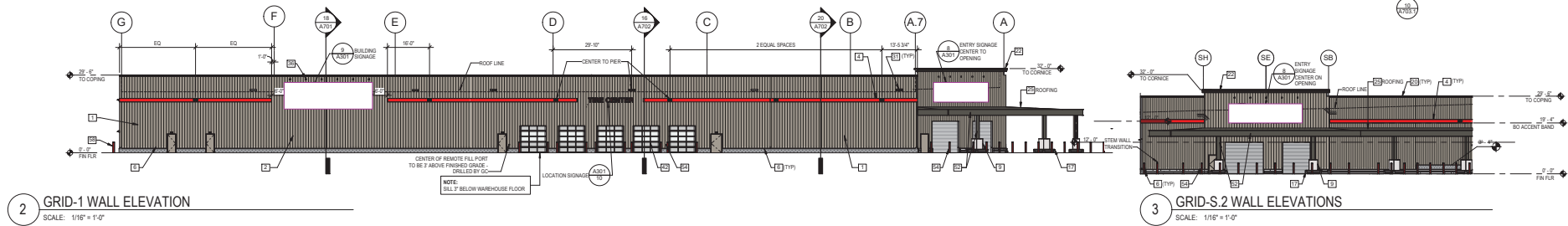
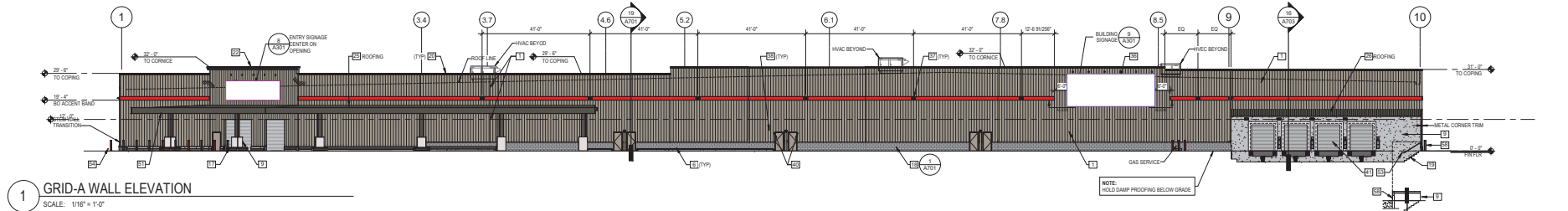


- REQUIRED TO MEET REQUIRED FINISH GRADE
- TYPICAL GROUND COVER PLANTING

- REQUIRED TO MEET REQUIRED FINISH GRADE
- TYPICAL GROUND COVER PLANTING

LANDSCAPE DETAILS

SHEET NUMBER
LP 2.02



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