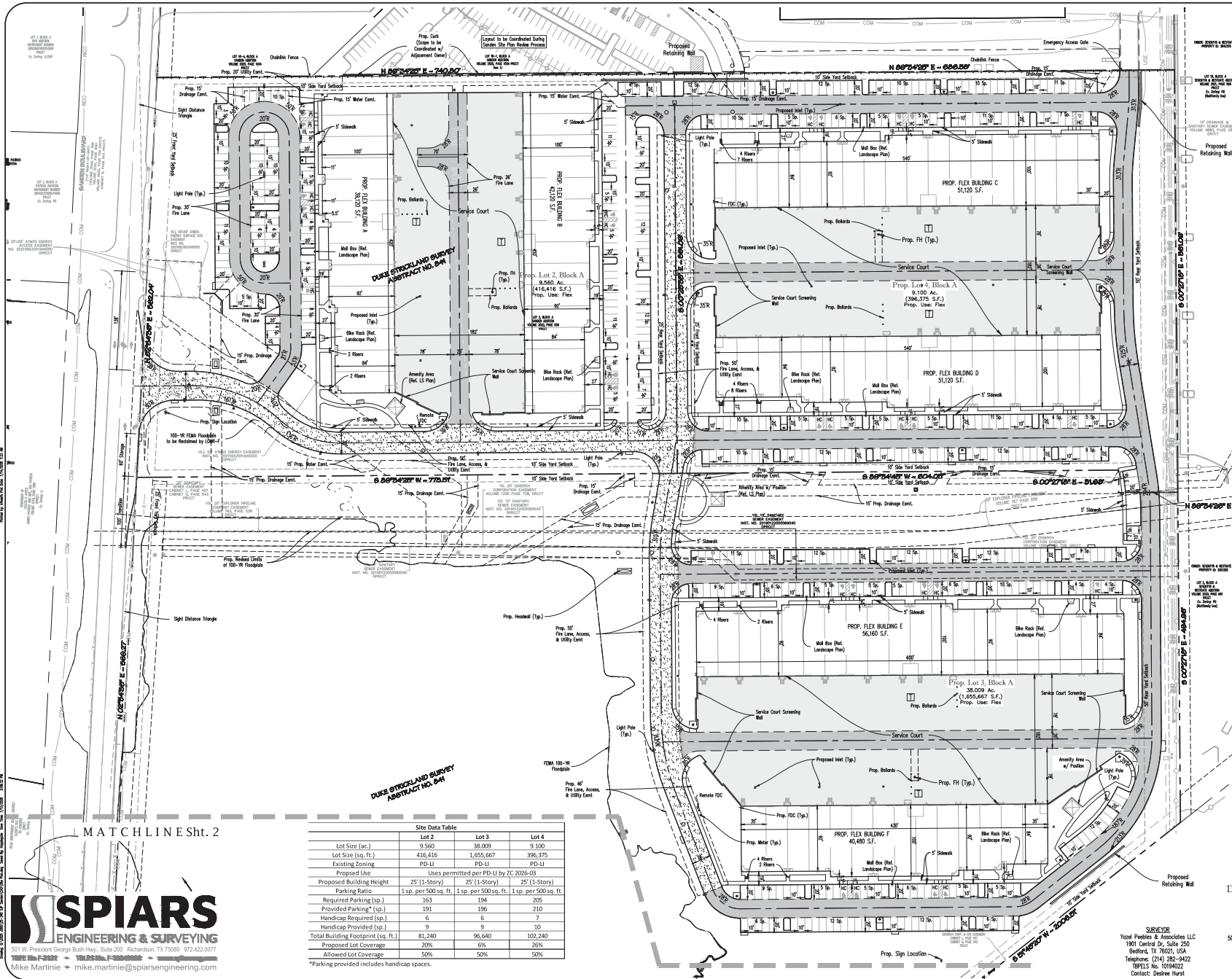


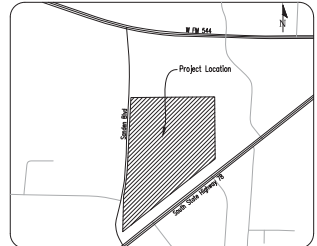


LEGEND

- Private Street
- Firelane, Access, & Utility Easement (FAUE)
- Firelane, Access, & Utility Easement (FAUE)
- Yard Setbacks
- Ex. Fire Hydrant
- Prop. Sign Location
- Prop. Fire Hydrant
- Future Potential Parking (above the required minimum)
- Proposed Retaining Wall

NOTES

- This Site Plan is governed by PD-11 as approved under ZC 2026-03.
- This development shall be developed in phases, with civil plans of different phases.
- The site shall include two (2) parking spaces for every one thousand (1,000) square feet of gross floor area, regardless of the mix of tenants, and no further parking analysis on a tenant-by-tenant basis will be required as the mix of tenants changes over time.
- Relating walls shall be allowed in the yard setbacks.
- Signage shall be allowed in the yard setbacks.
- Dampers to be located in service court areas at tenant's discretion.
- Flood study by Cardinal Strategies confirms no stormwater management is required.
- Detachable design elements met per PD Site Design Requirements include the following:
 - Front facade oriented to the street or internal drive alley.
 - Combined access points with adjacent tracts within the proposed development (can be within same project); combined access points may be between the pad sites and between the flex buildings, but not between the pad sites and the buildings.
 - Direct connection between buildings and streets, fire lanes, or access drives.
 - Not visible from public street but provide masonry screening.
- Street signs to be installed as required by the City, to City Specifications, but without City logo.
- Private Streets horizontal geometry approved per Site Plan as shown, with deviations and clarifications as listed below:
 - Horizontal curvature of the centerline and internal curb radii will be as shown.
 - Grading can exceed 2% within the easement/parkway.
 - Private streets will be dead-end, but the lanes will continue. There will be no physical dead-ends, therefore no turn-arounds/reverses/cut-de-sacs will be required.
 - Setbacks will be adjacent to back of curb, as shown.



Vicinity Map

SITE PLAN
WYLIE TECH PARK
 PROP. LOTS 2, 3, 4, BLOCK A
 SANDEN ADDITION
 OUT OF THE
 DUKE STICKLAND SURVEY ABSTRACT NO. 841
 CITY OF WYLIE, COLLIN COUNTY, TEXAS
 MAY 2026

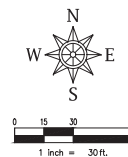
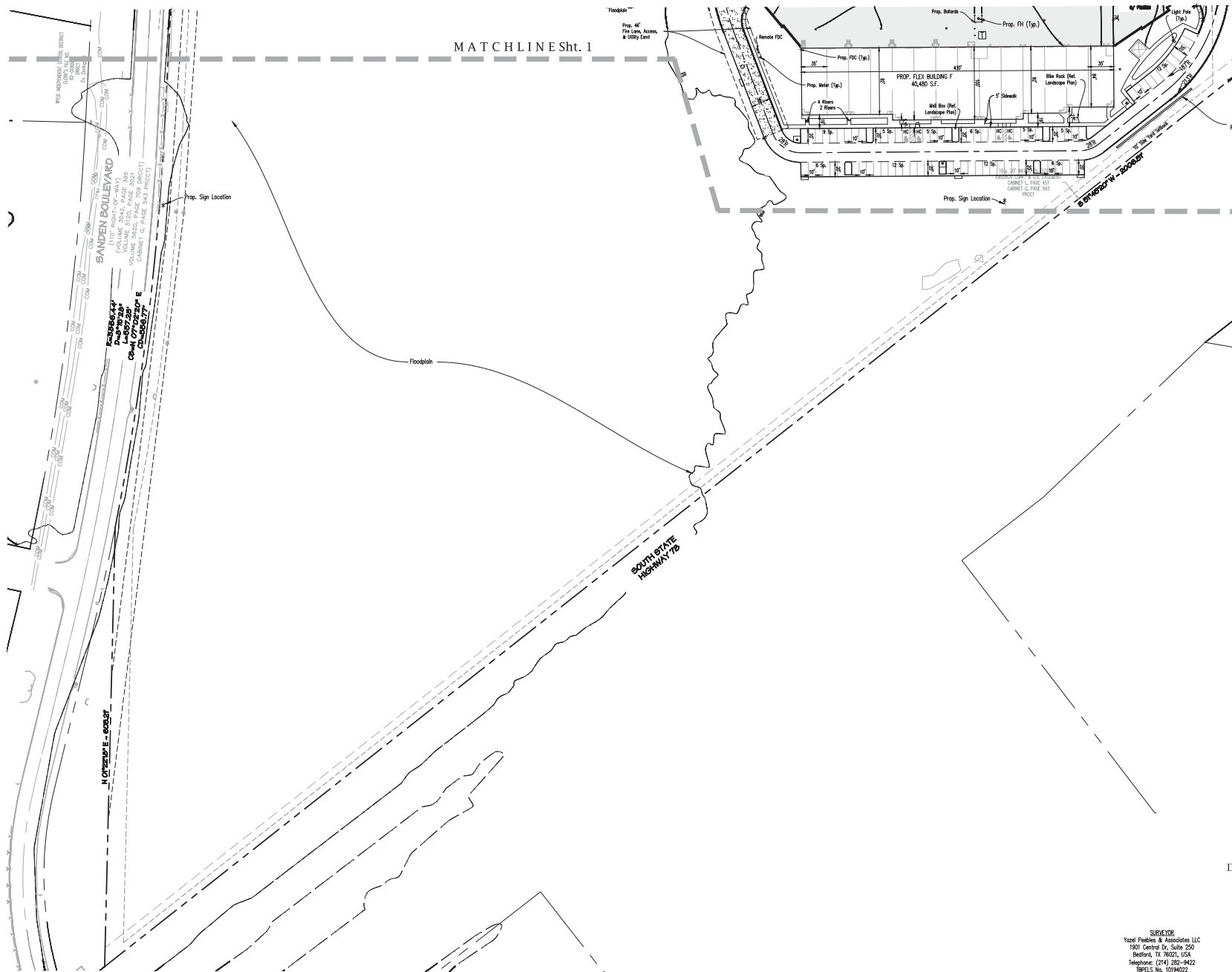
Site Data Table				
	Lot 2	Lot 3	Lot 4	
Lot Size (ac.)	9.560	38.009	9.100	
Lot Size (sq. ft.)	416,416	1,655,667	396,375	
Existing Zoning	PD-11	PD-11	PD-11	
Proposed Use	Uses permitted per PD-11 by ZC 2026-03			
Proposed Building Height	25' (1-Story)	25' (1-Story)	25' (1-Story)	
Parking Ratio	1 sp. per 500 sq. ft.	1 sp. per 500 sq. ft.	1 sp. per 500 sq. ft.	
Required Parking (sp.)	163	194	205	
Provided Parking (sp.)	191	196	210	
Handicap Required (sp.)	6	6	7	
Handicap Provided (sp.)	9	9	30	
Total Building Footprint (sq. ft.)	81,240	96,640	102,240	
Proposed Lot Coverage	20%	6%	26%	
Allowed Lot Coverage	50%	50%	50%	

*Parking provided includes handicap spaces.

SPIARS
 ENGINEERING & SURVEYING
 501 W. President George Bush Hwy, Suite 200, Richardson, TX 75080 972.422.0077
 WYLIE TECH PARK
 Mike Martine • mike.martine@spiarsengineering.com

SURVEYOR
 Todd Peden & Associates LLC
 1901 Central Dr., Suite 200
 Bedford, TX 76021, USA
 Telephone: (214) 282-9422
 TPELTS No. 1024027
 Contact: Desiree Hurst

OWNER / APPLICANT
 SPI DALLAS, LLC
 7220 Dallas Parkway, Suite 400
 Plano, TX 75244
 Telephone: (972) 422-0077
 TPELTS No. F-2121 And No. F-1004300
 Contact: Nathan Alderman
 Sheet 1 of 2 Scale: 1" = 60'



SPIARS
ENGINEERING & SURVEYING
501 W. President George Bush Hwy., Suite 200 Richardson, TX 75080 972.422.0077
TBPELS No. F-2121 - TULSA No. F-200-0000 - www.spiars.com
Mike Martinie - mike.martinie@spiarsengineering.com

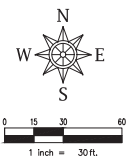
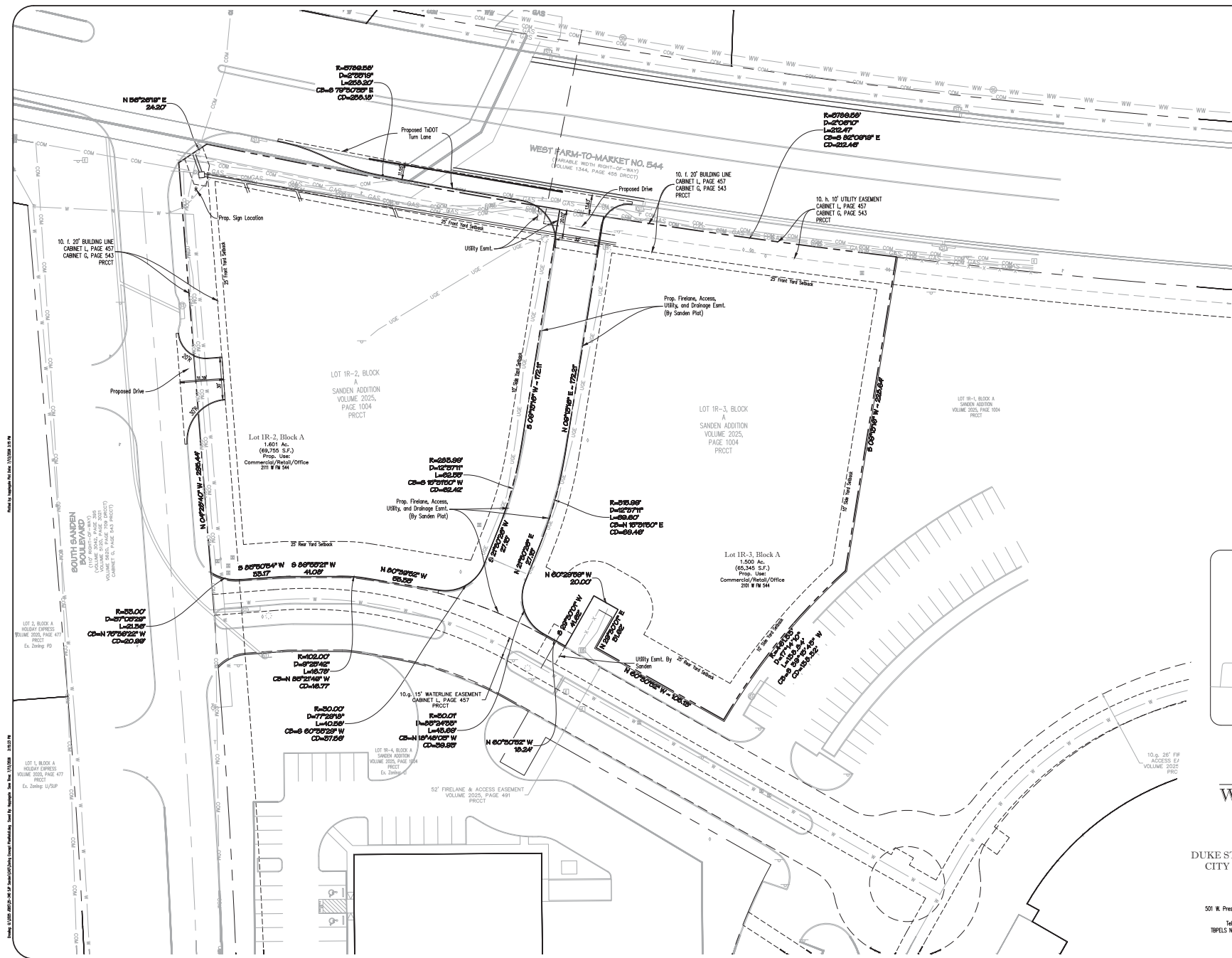
- LEGEND**
- Firelane, Access, & Utility Easement (FAUE)
 - Firelane, Access, & Utility Easement (FAUE)
 - Ex. Fire Hydrant
 - Prop. Sign Location

SITE PLAN

WYLIE TECH PARK
PROP. LOTS 2, 3, 4, BLOCK A
SANDEN ADDITION
OUT OF THE
DUKE STICKLAND SURVEY - ABSTRACT NO. 841
CITY OF WYLIE, COLLIN COUNTY, TEXAS
MAY 2026

SURVEYOR Yocel Presley & Associates, LLC 1901 Central Ex. Suite 250 Bedford, TX 76021, USA Telephone: (214) 282-9422 TBPELS No. 10194022 Contact: Deshae Hurst	ENGINEER Spiars Engineering, Inc. 501 W. President George Bush Hwy. Suite 200 Richardson, TX 75080 Telephone: (972) 422-0077 TBPELS No. F-2121 And No. F-10043100 Contact: Mike Martinie SEI Job No.: 25-340	OWNER / APPLICANT S.P. DALLAS, LLC 7250 Dallas Parkway, Suite 400 Plano, TX 75024 Telephone: (214) 383-0100 Contact: Raphael Altman SEI Job No.: 25-340
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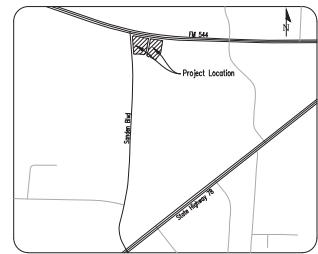
Sheet 3 of 3 Scale: 1" = 60'



SPIARS
ENGINEERING & SURVEYING
501 W. President George Bush Hwy., Suite 200 Richardson, TX 75080 972.422.0077
Toll Free: 1-877-444-4444 TULSA: 918-444-4444
Mike Martinie - mike.martinie@spiarssurveying.com

- Notes:
1. Retaining walls shall be shown in the yard setbacks.
 2. Signage shall be shown in the yard setbacks.

LEGEND
Prop. Sign Location

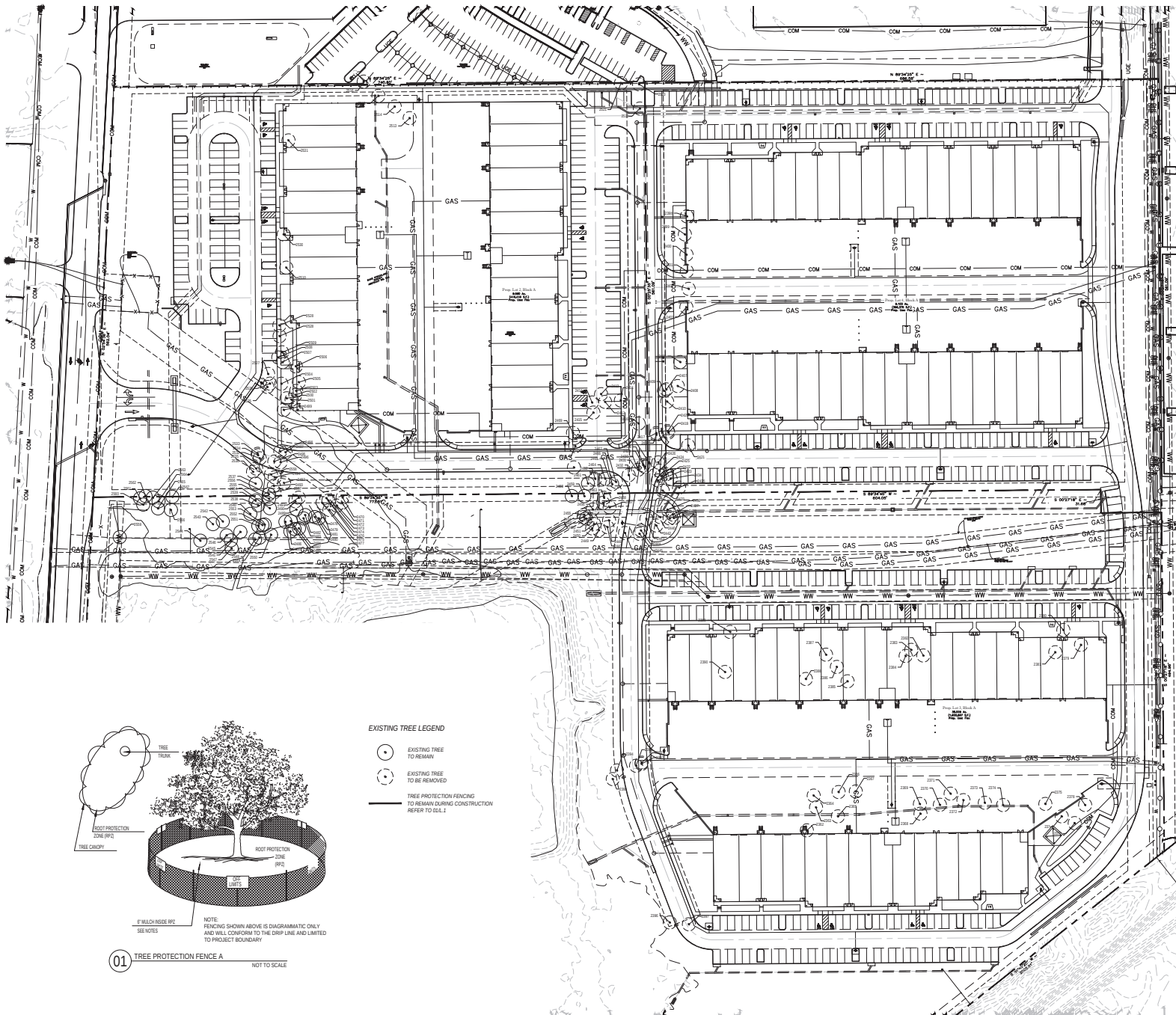


Vicinity Map

IMPROVEMENT EXHIBIT
WYLIE TECH PARK
EX. LOTS 1R-2, 1R-3
BLOCK A
SANDEN ADDITION
OUT OF THE
DUKE STICKLAND SURVEY ~ ABSTRACT NO. 841
CITY OF WYLIE, COLLIN COUNTY, TEXAS
MAY 2026

ENGINEER
Spiars Engineering, Inc.
501 W. President George Bush Hwy., Suite 200
Richardson, TX 75080
Telephone: (972) 422-0077
TBP#S No. F-2121 And No. F-10043100
Contact: Mike Martinie

DEVELOPER
SP DALLAS, LLC
7250 Dallas Parkway, Suite 400
Ft. Worth, TX 76124
Telephone: (214) 385-2000
Contact: Raphael Altman



EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP-LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING ZONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP-LINE OF ANY TREE.
- EQUIPMENT CLEANING/FLUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED. TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP-LINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP-LINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (2" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 12 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP-LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAILS.
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAILS.
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

TREE PRESERVATION PLAN



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. MADERMOTT DR.
ALLEN, TEXAS 75013
(409) 369-4448
CHRS@STUDIOGREENSPOT.COM



ST. JOHN'S INDUSTRIAL
SANDEN BLVD
CITY OF WYLE, TEXAS

ISSUE:
FOR APPROVAL 04.30.2024
CITY COMMENTS 06.03.2025
CITY COMMENTS 07.14.2025

DATE:
07.14.2025
SHEET NAME:
TREE PRESERVATION PLAN
SHEET NUMBER:

L1.01

Tree #	Species - Common	Species - Scientific	DBH (in.)	Multi - Stem Notes (in.)	TO REMAIN/TO BE REMOVED	EXEMPT IN BUILDABLE AREA (IN)	CALIPER INCHES TO REMAIN	Condition
2317	Bur Oak	Quercus macrocarpa	11		TO BE REMOVED	5		FAIR
2362	Bur Oak	Quercus macrocarpa	11		TO BE REMOVED	11		FAIR
2363	Bur Oak	Quercus macrocarpa	13.5		TO BE REMOVED	13.5		FAIR
2364	Eastern Redbud	Cercis canadensis	8		TO BE REMOVED	8		VERY POOR
2365	Bur Oak	Quercus macrocarpa	9		TO BE REMOVED	9		FAIR
2366	Mexican Ash	Fraxinus berlandieriana	19.5		TO BE REMOVED	19.5		FAIR
2367	Mexican Ash	Fraxinus berlandieriana	20		TO BE REMOVED	20		FAIR
2368	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		VERY POOR
2369	Mexican Ash	Fraxinus berlandieriana	17		TO BE REMOVED	17		POOR
2370	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		FAIR
2371	Mexican Ash	Fraxinus berlandieriana	10		TO BE REMOVED	10		FAIR
2372	Mexican Ash	Fraxinus berlandieriana	20		TO BE REMOVED	20		POOR
2373	Mexican Ash	Fraxinus berlandieriana	9		TO BE REMOVED	9		VERY POOR
2374	Mexican Ash	Fraxinus berlandieriana	21		TO BE REMOVED	21		POOR
2375	Bur Oak	Quercus macrocarpa	15		TO BE REMOVED	15		FAIR
2377	Bur Oak	Quercus macrocarpa	9		TO BE REMOVED	9		FAIR
2378	Bur Oak	Quercus macrocarpa	10.5		TO BE REMOVED	10.5		FAIR
2379	Bur Oak	Quercus macrocarpa	17		TO BE REMOVED	17		FAIR
2380	Bur Oak	Quercus macrocarpa	16		TO BE REMOVED	16		FAIR
2381	Mexican Ash	Fraxinus berlandieriana	18.5		TO BE REMOVED	18.5		POOR
2382	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		FAIR
2383	Mexican Ash	Fraxinus berlandieriana	13		TO BE REMOVED	13		FAIR
2384	Mexican Ash	Fraxinus berlandieriana	10		TO BE REMOVED	10		FAIR
2385	Eastern Redbud	Cercis canadensis	13.5		TO BE REMOVED	13.5		VERY POOR
2386	Bur Oak	Quercus macrocarpa	12.5		TO BE REMOVED	12.5		FAIR
2387	Bur Oak	Quercus macrocarpa	12		TO BE REMOVED	12		FAIR
2388	Mexican Ash	Fraxinus berlandieriana	25.5		TO BE REMOVED	25.5		VERY POOR
2389	Bald Cypress	Taxodium distichum	13		TO BE REMOVED	13		FAIR
2390	Bald Cypress	Taxodium distichum	9.5		TO BE REMOVED	9.5		FAIR
2391	Osage Elm	Ulmus crassifolia	6.5		TO BE REMOVED	6.5		FAIR
2392	Osage Orange	Madura pomifera	21	12X106	TO BE REMOVED	21		FAIR
2393	Osage Orange	Madura pomifera	14.5	106	TO BE REMOVED	14.5		FAIR
2394	Osage Orange	Madura pomifera	18.5		TO BE REMOVED	18.5		FAIR
2395	Osage Orange	Madura pomifera	19	136X56	TO BE REMOVED	19		FAIR
2396	Osage Elm	Ulmus crassifolia	19.5	98X7.5X5.5	TO BE REMOVED	19.5		FAIR
2397	Hackberry	Q.alis occidentalis	10		TO BE REMOVED	10		FAIR
2398	Chinese Elm	Ulmus parvifolia	15		TO BE REMOVED	15		FAIR
2399	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2400	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2401	Chinese Elm	Ulmus parvifolia	17		TO BE REMOVED	17		FAIR
2402	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2403	Chinese Elm	Ulmus parvifolia	18		TO BE REMOVED	18		FAIR
2404	Ottomwood	Ulmus crassifolia	14.5		TO BE REMOVED	14.5		FAIR
2405	Ottomwood	Ulmus crassifolia	22	15X14.5	TO BE REMOVED	22		FAIR
2406	Bald Cypress	Taxodium distichum	10		TO BE REMOVED	10		FAIR
2407	Bald Cypress	Taxodium distichum	9.5		TO BE REMOVED	9.5		FAIR
2408	Hackberry	Q.alis occidentalis	9		TO BE REMOVED	9		FAIR
2409	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2410	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2411	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2412	American Elm	Ulmus americana	15.5		TO BE REMOVED	15.5		POOR
2413	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2414	Bald Cypress	Taxodium distichum	10.5		TO BE REMOVED	10.5		FAIR
2415	Bald Cypress	Taxodium distichum	8		TO BE REMOVED	8		FAIR
2416	Bald Cypress	Taxodium distichum	10.5		TO BE REMOVED	10.5		FAIR
2417	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		POOR
2418	Bald Cypress	Taxodium distichum	8		TO BE REMOVED	8		FAIR
2419	Hackberry	Q.alis occidentalis	15		TO BE REMOVED	15		FAIR
2420	Bald Cypress	Taxodium distichum	8.5		TO BE REMOVED	8.5		FAIR
2421	Bald Cypress	Taxodium distichum	17.5		TO BE REMOVED	17.5		FAIR
2422	Ottomwood	Ulmus crassifolia	17		TO BE REMOVED	17		POOR
2423	Black Willow	Salix nigra	11.5		TO BE REMOVED	11.5		POOR
2424	American Elm	Ulmus americana	10		TO BE REMOVED	10		FAIR
2425	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2426	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2427	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2428	Black Willow	Salix nigra	10		TO BE REMOVED	10		FAIR
2429	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2430	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2431	Hackberry	Q.alis occidentalis	12.5		TO BE REMOVED	12.5		FAIR
2432	Black Willow	Salix nigra	14		TO BE REMOVED	14		FAIR
2433	Black Willow	Salix nigra	8.5		TO BE REMOVED	8.5		FAIR
2434	American Elm	Ulmus americana	9		TO BE REMOVED	9		FAIR
2435	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2436	Green Ash	Fraxinus pennsylvanica	13.5	6X5.5X5.5X4.5	TO BE REMOVED	13.5		FAIR
2437	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2438	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2439	Osage Orange	Madura pomifera	16		TO BE REMOVED	16		FAIR
2440	Hackberry	Q.alis occidentalis	10.5		TO BE REMOVED	10.5		FAIR
2441	Black Willow	Salix nigra	13.5		TO BE REMOVED	13.5		POOR
2442	Hackberry	Q.alis occidentalis	9		TO BE REMOVED	9		FAIR
2443	Black Willow	Salix nigra	11		TO BE REMOVED	11		FAIR
2444	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2445	Osage Orange	Madura pomifera	15		TO BE REMOVED	15		FAIR
2446	Hackberry	Q.alis occidentalis	16.5	19X7	TO BE REMOVED	16.5		FAIR
2447	American Elm	Ulmus americana	11	8X6.5	TO BE REMOVED	11		FAIR
2448	Black Willow	Salix nigra	12.5	8.5X6	TO BE REMOVED	12.5		FAIR
2449	Hackberry	Q.alis occidentalis	12		TO BE REMOVED	12		FAIR
2450	Osage Orange	Madura pomifera	19	109X58	TO BE REMOVED	19		FAIR
2451	Hackberry	Q.alis occidentalis	11.5	9X5	TO BE REMOVED	11.5		FAIR
2452	Hackberry	Q.alis occidentalis	9.5	7X5.5	TO BE REMOVED	9.5		FAIR
2453	Hackberry	Q.alis occidentalis	12.5	8X7	TO BE REMOVED	12.5		FAIR
2454	Hackberry	Q.alis occidentalis	7		TO REMAIN	7	13	FAIR
2455	Hackberry	Q.alis occidentalis	13		TO REMAIN	13		FAIR
2456	Hackberry	Q.alis occidentalis	8.5		TO BE REMOVED	8.5		FAIR
2457	American Elm	Ulmus americana	18.5	13.5X10.5	TO REMAIN	18.5		FAIR
2458	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2459	Osage Orange	Madura pomifera	17	12X10.5	TO REMAIN	17		FAIR
2460	Bald Cypress	Taxodium distichum	8.5		TO REMAIN	8.5		FAIR
2461	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		POOR
2462	American Elm	Ulmus americana	12.5	9.5X6.5	TO BE REMOVED	12.5		FAIR

Tree #	Species - Common	Species - Scientific	DBH (in.)	Multi - Stem Notes (in.)	TO REMAIN/TO BE REMOVED	EXEMPT IN BUILDABLE AREA (IN)	CALIPER INCHES TO REMAIN	Condition
2463	Black Willow	Salix nigra	20		TO BE REMOVED	20		FAIR
2464	Honey Locust	Gleditsia triacanthos	7		TO BE REMOVED	7		FAIR
2465	American Elm	Ulmus americana	11		TO BE REMOVED	11		FAIR
2466	Black Willow	Salix nigra	12.5		TO BE REMOVED	12.5		FAIR
2467	Black Willow	Salix nigra	16		TO BE REMOVED	16		FAIR
2468	Bald Cypress	Taxodium distichum	16		TO BE REMOVED	16		FAIR
2469	Bald Cypress	Taxodium distichum	11		TO BE REMOVED	11		FAIR
2470	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2471	Black Willow	Salix nigra	12		TO BE REMOVED	12		FAIR
2472	Black Willow	Salix nigra	14		TO BE REMOVED	14		FAIR
2473	American Elm	Ulmus americana	7.5		TO REMAIN		7.5	FAIR
2474	Green Ash	Fraxinus pennsylvanica	6.5		TO BE REMOVED	6.5		FAIR
2475	Black Willow	Salix nigra	18	9X9X9	TO BE REMOVED	18		FAIR
2476	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2477	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2478	Green Ash	Fraxinus pennsylvanica	6		TO REMAIN		6	FAIR
2479	Chinese Elm	Ulmus parvifolia	9		TO REMAIN		9	FAIR
2480	American Elm	Ulmus americana	11		TO REMAIN		11	FAIR
2481	American Elm	Ulmus americana	6.5		TO REMAIN		6.5	FAIR
2482	Green Ash	Fraxinus pennsylvanica	9.5		TO REMAIN		9.5	FAIR
2483	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2484	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2485	Green Ash	Fraxinus pennsylvanica	8		TO REMAIN		8	FAIR
2486	Green Ash	Fraxinus pennsylvanica	9		TO REMAIN		9	FAIR
2487	Hackberry	Q.alis occidentalis	6		TO REMAIN		6	FAIR
2488	American Elm	Ulmus americana	13.5	9.5X6.5	TO REMAIN		13.5	FAIR
2489	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2490	American Elm	Ulmus americana	10		TO BE REMOVED	10		FAIR
2491	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2492	Green Ash	Fraxinus pennsylvanica	6		TO BE REMOVED	6		FAIR
2493	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2494	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2495	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2496	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2497	Chinese Elm	Ulmus parvifolia	14.5	7.5X7	TO BE REMOVED	14.5		FAIR
2498	Chinese Elm	Ulmus parvifolia	7.5		TO BE REMOVED	7.5		FAIR
2499	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2500	Chinese Elm	Ulmus parvifolia	9.5		TO BE REMOVED	9.5		FAIR
2501	Chinese Elm	Ulmus parvifolia	7		TO BE REMOVED	7		FAIR
2502	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2503	Chinese Elm	Ulmus parvifolia	9.5		TO BE REMOVED	9.5		FAIR
2504	Black Willow	Salix nigra	20.5	12.5X6.5X6	TO BE REMOVED	20.5		POOR
2505	American Elm	Ulmus americana	7.5		TO BE REMOVED	7.5		FAIR
2506	Hackberry	Q.alis occidentalis	13.5	11X5	TO BE REMOVED	13.5		FAIR
2507	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2508	Hackberry	Q.alis occidentalis	13.5	13X7.5	TO BE REMOVED	13.5		FAIR
2509	Hackberry	Q.alis occidentalis	18	13X10	TO BE REMOVED	18		FAIR
2510	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2512	Chinese Elm	Ulmus parvifolia	10		TO BE REMOVED	10		VERY POOR
2513	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		POOR
2514	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		VERY POOR
2515	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		POOR
2516	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2519	Chinese Elm	Ulmus parvifolia	8.5		TO BE REMOVED	8.5		VERY POOR
2520	Chinese Elm	Ulmus parvifolia	8.5		TO BE REMOVED	8.5		POOR
2521	Chinese Elm	Ulmus parvifolia	9		TO BE REMOVED	9		POOR
2525	Chinese Elm	Ulmus parvifolia	16	12X6	TO BE REMOVED	16		FAIR
2526	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2527	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2528	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2529	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2530	Hackberry	Q.alis occidentalis	10		TO BE REMOVED	10		POOR
2531	Galley Pear	Pyrus calleryana	12	6X6X6	TO BE REMOVED	12		FAIR
2532	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2533	Green Ash	Fraxinus pennsylvanica	7.5		TO BE REMOVED	7.5		FAIR
2534	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2535	Chinese Elm	Ulmus parvifolia	21	11.5X6.5X6.5	TO BE REMOVED	21		FAIR
2536	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		FAIR
2537	American Elm	Ulmus americana	11	8X6.5	TO REMAIN		11	FAIR
2538	American Elm	Ulmus americana	24		TO REMAIN		24	FAIR
2539	American Elm	Ulmus americana	7		TO REMAIN		7	FAIR
2540	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2541	Black Willow	Salix nigra	21.5		TO REMAIN		21.5	FAIR
2542	Black Willow	Salix nigra	20.5		TO REMAIN		20.5	FAIR
2543	Green Ash	Fraxinus pennsylvanica	15.5		TO REMAIN		15.5	FAIR
2544	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2545	Black Willow	Salix nigra	26	15X12X10	TO REMAIN		26	FAIR
2546	Black Willow	Salix nigra	20		TO REMAIN		20	FAIR
2547	Black Willow	Salix nigra	28		TO REMAIN		28	FAIR
2548	Green Ash	Fraxinus pennsylvanica	10		TO REMAIN		10	FAIR
2549	American Elm	Ulmus americana	12.5	10X5.5	TO REMAIN		12.5	FAIR
2550	American Elm	Ulmus americana	8.5	5.5X4.5	TO REMAIN		8.5	FAIR
2551	American Elm	Ulmus americana	11		TO REMAIN		11	FAIR
2552	American Elm	Ulmus americana	12.5		TO REMAIN		12.5	FAIR
2553	Green Ash	Fraxinus pennsylvanica	10		TO REMAIN		10	FAIR
2554	American Elm	Ulmus americana	13	9.5X7.5	TO REMAIN		13	FAIR
2555	Black Willow	Salix nigra	20		TO REMAIN		20	FAIR
2556	American Elm	Ulmus americana	9		TO REMAIN		9	FAIR
2557	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2558	Black Willow	Salix nigra	11		TO BE REMOVED	11		FAIR
2559	Green Ash	Fraxinus pennsylvanica	20	8.5X8X7	TO REMAIN		20	FAIR
2560	Green Ash	Fraxinus pennsylvanica	11.5		TO REMAIN		11.5	FAIR
2561	Green Ash	Fraxinus pennsylvanica	9		TO REMAIN		9	FAIR
2562	Green Ash	Fraxinus pennsylvanica	6		TO REMAIN		6	FAIR
2563	Green Ash	Fraxinus pennsylvanica	11.5	8X7	TO REMAIN		11.5	FAIR
2564	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2565	American Elm	Ulmus americana	13		TO REMAIN		13	FAIR
2566	Green Ash	Fraxinus pennsylvanica	9.5	6.5X6	TO REMAIN		9.5	FAIR
2567	American Elm	Ulmus americana	11.5		TO REMAIN		11.5	FAIR
EXEMPT TOTAL						TO REMAIN TOTAL		
1605.5						542.5		

SECTION 0200 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work includes furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting trees, shrubs, and grasses
- Bed preparation and fertilization
- Modification of substrate
- Water and Maintenance and final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1980. Edition: by American National Standards Institute, Inc. (ANSI) 11-plant material
- American Joint Committee on Horticultural Nomenclature 1942 Edition of Standardized Plant Names
- Texas Association of Nurserymen, Grades and Standards
- Hyatt Third, 1978 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of the plan, notify the Architect/Owner of the source of plant materials and bed preparation required for the project.
- Supplier: Provide representative samples of sandy brown soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants to be used in the project. Samples shall be submitted to the Architect and to the Texas Association of Nurserymen, Grades and Standards.
- File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy brown soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscaping Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by removing existing grass and weeds as necessary. To existing soil to a depth of six (6") inches prior to planting compact and bedform. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Solubor or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for trees pits shall be as follows: Use existing top soil on site mixed topsoil as needed) free from large clumps, rocks, debris, calcium, subsoils, etc. placed in new (6") inch layers and watered thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid prior to plant (tagged) points) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are eventually spaced open, then watered thoroughly.
 - Areas to be Hybridized Common Bermudagrass: Hybridized bermudagrass should be laid at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4" x 8" other board against the bed area.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all contributions have been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All elements of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Beds of each of 8.8. Plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. These pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall have the same relationship to the finish grade as it did to soil surface in original place of growth.
- Steel Curb Installation:
 - Cutting shall be aligned as indicated on plans. Stake out limits of steel cutting and install.
 - Steel cutting shall be installed in the ground.
 - Top of cutting shall be 3/4" maximum height above grade.
 - Stakes shall be installed in the cutting bed side of the cutting, as approved by the grass site.
 - To be installed over edging along sidewalks.
 - Cut steel edging at 45 degree angle where edging meets sidewalk.

2.0 JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor starting any general construction, the Contractor shall ensure that all existing and areas three (3") inches below finish grade of sidewalks, drives, and curbs as shown on the plan are in good condition. All existing areas shall be in good condition and the Contractor shall be responsible for any work required to bring them up to standard.
- General Contractor shall provide project as described in Section 0200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Contractor cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, pruning, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance shall be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died or that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the option of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be of the same quality and quantity specified. All work, including materials, labor and equipment used in replacement, shall carry a twelve (12) month guarantee. Any damage, including substitution of plant or loss of area, incurred as a result of missing replacement shall be immediately replaced.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacement is made, plants, soil, mulch and water shall be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

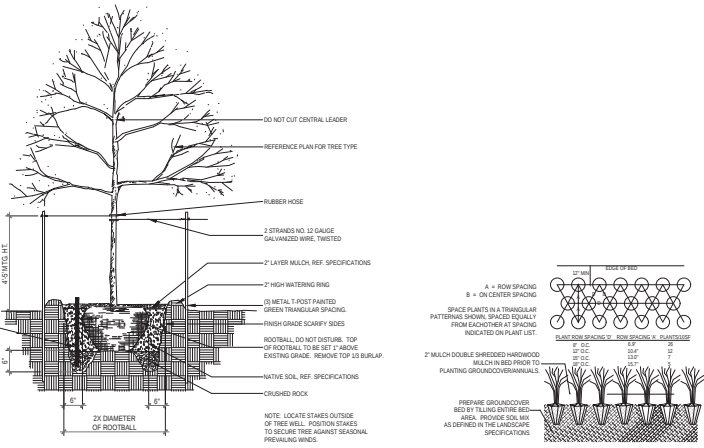
- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, fire, freeze, insects, diseases, or injury to roots, moisture or theft.
- Acceptance of all landscape work shall be given after final inspection by the Owner provided the job is in a completed, unobstructed condition, and there is a start of the growing season. At this time, the Owner will assume maintenance on the accepted work.
- Requests: Any necessary repairs under the guarantee must be made within ten (10) days after receiving notice. The Owner cannot be held responsible for any work not done under the guarantee. The Contractor shall be responsible for any work not done under the guarantee. The Contractor shall be responsible for any work not done under the guarantee. The Contractor shall be responsible for any work not done under the guarantee.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified person acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and/or exceed project specifications.
 - Landscaping Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedule to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, subvarieties, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, maturity, injuries, and plant health.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Rejected material shall be removed from the site immediately. Plants damaged in transit or at job site shall be replaced.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (BBB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, stems, and future development.
 - Container Grown Plants: Deliver plants in rigid containers to hold shape and protect root mass.



01 TREE PLANTING DETAIL

NOT TO SCALE

02 GROUND COVER PLANTING DETAIL

NOT TO SCALE

03 SIDEWALK / MULCH DETAIL

NOT TO SCALE

04 STEEL EDGING DETAIL

NOT TO SCALE

05 SHRUB PLANTING DETAIL

NOT TO SCALE

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Free of fertilizers, salts, heavy soil, free of clay lumps, subsoils, stones and other extraneous material and reasonably free of weeds and foreign grasses. Lumps containing clumps of grasses or weeds shall be rejected.
 - Physical properties as follows:
 - Clay - between 1-2% percent
 - Silt - between 15-20 percent
 - Sand - less than 12% percent
 - Organic matter shall be the 10% of total dry weight.
 - If required, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premium Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas. Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid One Municipal Mix as supplied by Soil Blending Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of weeds, soil particles and weeds.
- Mulch: Double Greenview Harvestwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilizer, Solubor or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 80% slow release organic nitrogen (SCU or LF) with a minimum 8% sulfur and 4% iron. Plus micronutrients.
- Post-Construction Sprinkling: post-mix or partially decomposed dressed pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Edgex Curbing", 10" x 4" with stakes 4" on center.
- Staking Material for Shrub Trees:
 - Post: Staked 1" Post, #10 Armo with anchor plate, 6" length, paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber Hose: 2 inch, fiber reinforced hose, minimum 1/4 inch inside diameter. Color black.
- Gravel: Washed native pine gravel, graded 1 in. to 1/4 in.
- Fiber Fabric: Mosh 1400 by Concrete Fibers Marketing Company, available at Lufftall AC, 2744 01st Street or approved equal.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. MACDONALD DR.
ALLEN, TEXAS 75013
(409) 369-4448
CHRS@STUDIOGREENSPOT.COM



ST. JOHN'S INDUSTRIAL
SANDBEN BLVD
CITY OF WYLLIE, TEXAS

DATE:

03.17.2025

ISSUE:

FOR APPROVAL 03.17.2025

CITY COMMENTS:

06.01.2025

CITY COMMENTS:

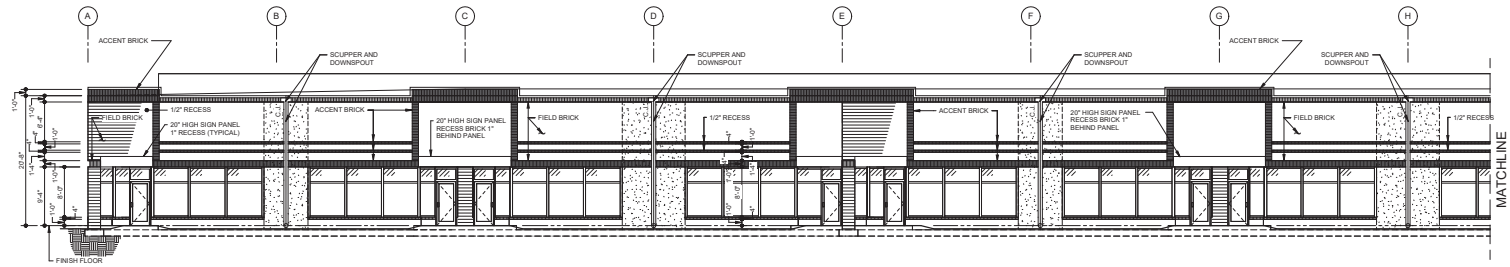
07.14.2025

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LANDSCAPE SPECIFICATIONS

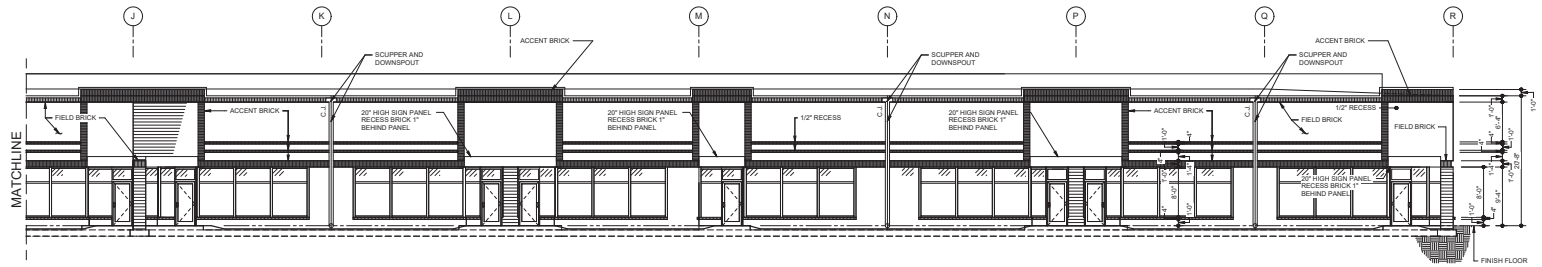
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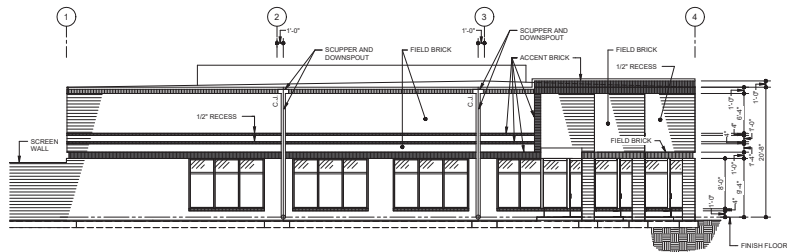


FRONT ELEVATION

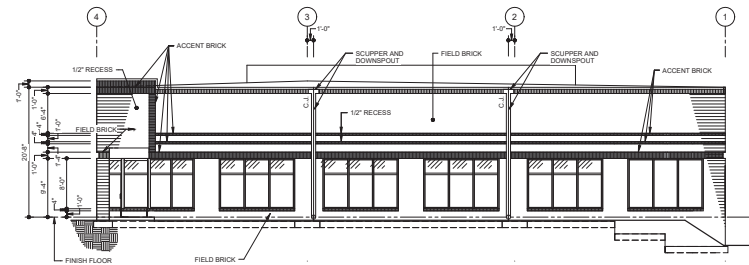
LEGEND	
FIELD BRICK	
ACCENT BRICK	
MORTAR	
GLAZING COLOR:	
GLASS FRAME COLOR:	



FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

WYLIE TECH PARK
BUILDING 'B'
WYLIE, TEXAS

Seal:

PRELIMINARY, NOT FOR
CONSTRUCTION

ST. JOHN
PROPERTIES

2500 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
410-580-0000



morabito
consultants

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410-580-1237 | www.morabitoconsultants.com
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No.	Date	Revisions

DESIGNED: JGC DRAWN: JGC

CHECKED: JAM APPROVED: JAM

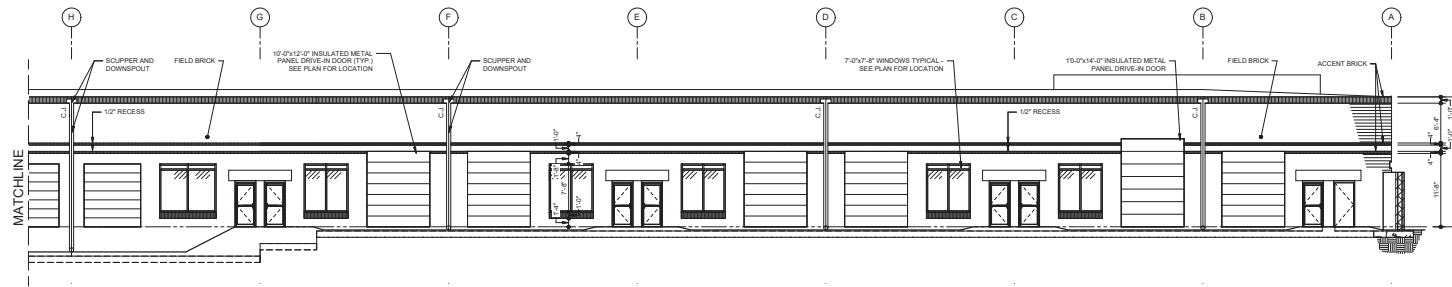
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Date: 04/30/2026

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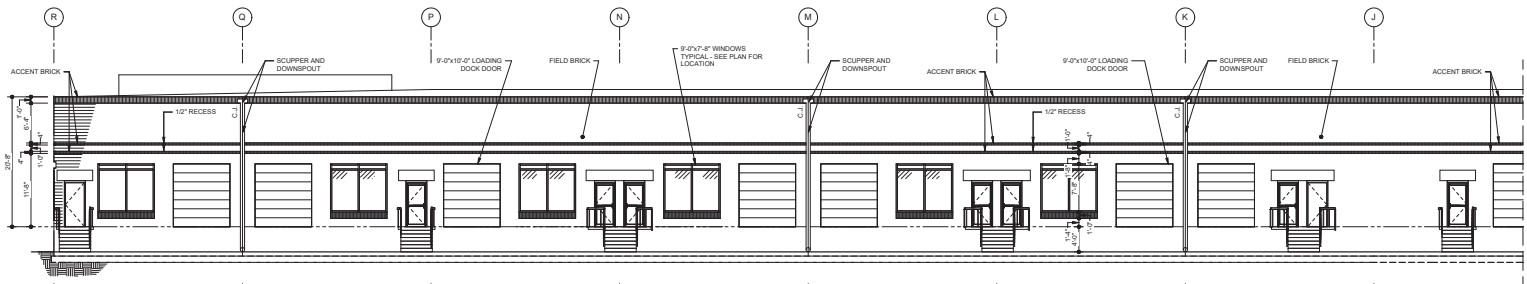
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ARCHITECTURAL
ELEVATIONS
BUILDING 'B'

Sheet No.:
A-2



REAR ELEVATION

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	



REAR ELEVATION

WYLIE TECH PARK
BUILDING 'B'
WYLIE, TEXAS

Seal:

PRELIMINARY, NOT FOR
CONSTRUCTION



2500 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
410.380.0010



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No.	Date	Revisions

DESIGNED	JGC	DRAWN	JGC
CHECKED	JAM	APPROVED	JAM

Project No.: 26055

Date: 04/30/2026

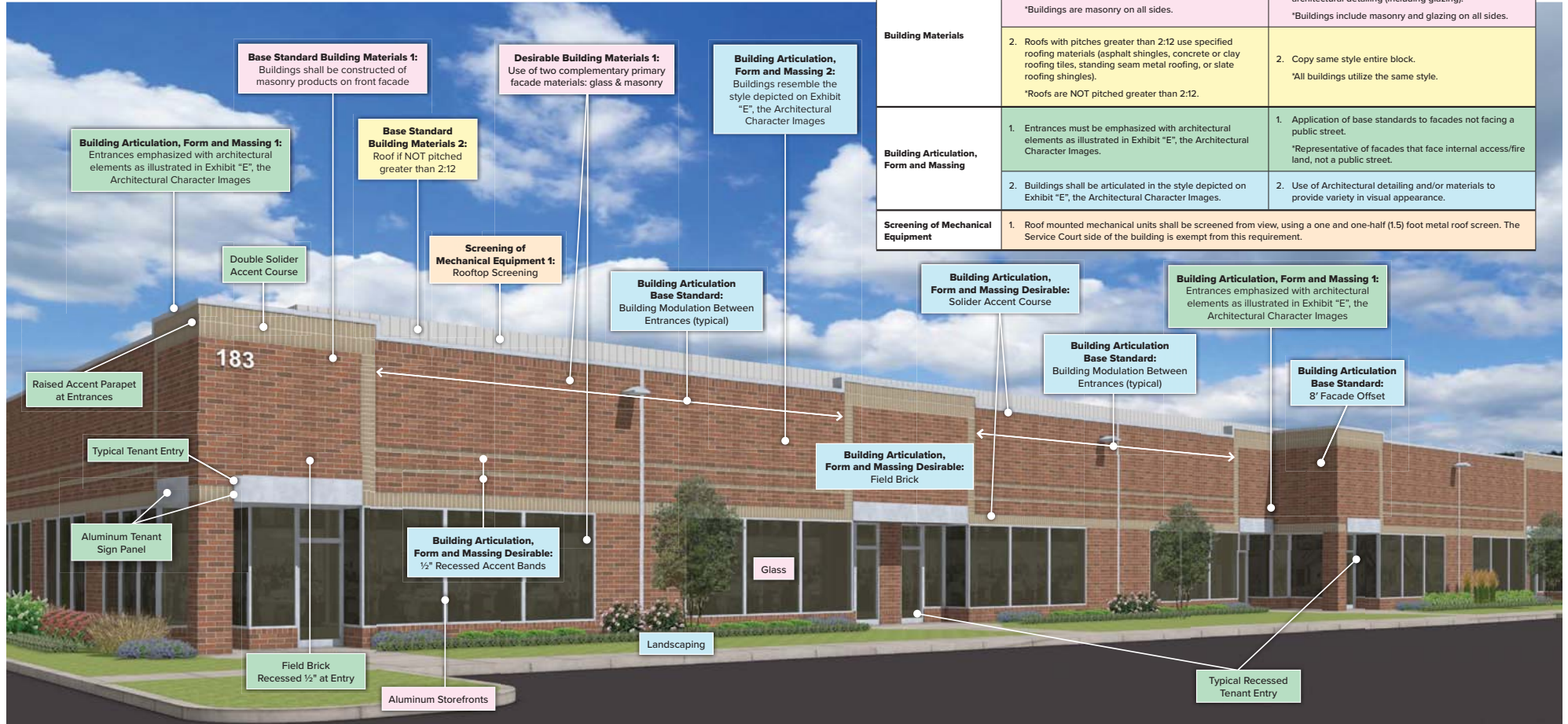
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ARCHITECTURAL
BUILDING
ELEVATIONS
BUILDING 'B'

Sheet No.:
A-3

Building Articulation Compliance

ELEVATION A

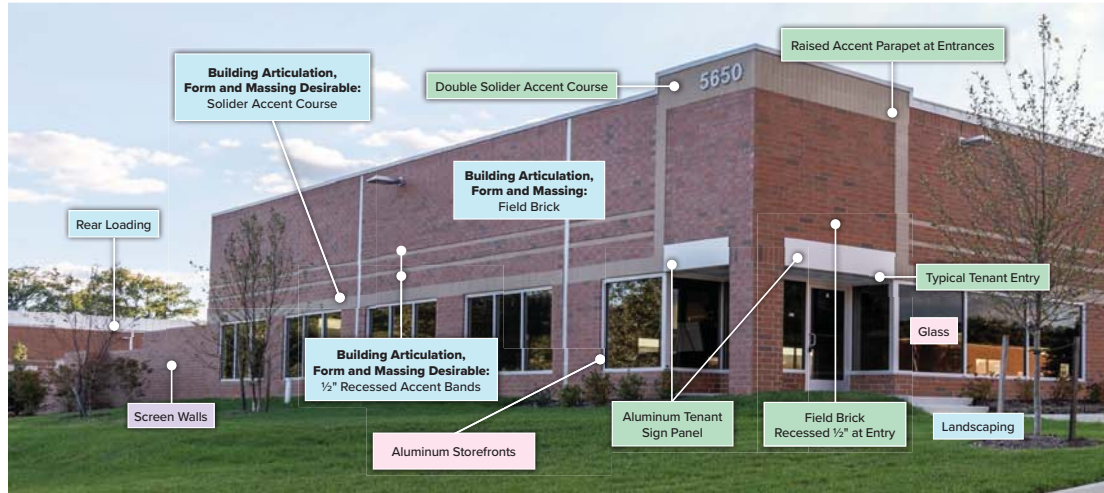


ARCHITECTURAL DESIGN REQUIREMENTS		
Element	Base Standard <i>(All development must comply fully with all listed below)</i>	Desirable <i>(Each development must select 3 of the 4 desirables listed below)</i>
Building Materials	1. Buildings shall be constructed of masonry products on front facade. Tilt wall construction is permissible. *Buildings are masonry on all sides.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing (including glazing). *Buildings include masonry and glazing on all sides.
	2. Roofs with pitches greater than 2:12 use specified roofing materials (asphalt shingles, concrete or clay roofing tiles, standing seam metal roofing, or slate roofing shingles). *Roofs are NOT pitched greater than 2:12.	2. Copy same style entire block. *All buildings utilize the same style.
Building Articulation, Form and Massing	1. Entrances must be emphasized with architectural elements as illustrated in Exhibit "E", the Architectural Character Images.	1. Application of base standards to facades not facing a public street. *Representative of facades that face internal access/fire land, not a public street.
	2. Buildings shall be articulated in the style depicted on Exhibit "E", the Architectural Character Images.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.
Screening of Mechanical Equipment	1. Roof mounted mechanical units shall be screened from view, using a one and one-half (1.5) foot metal roof screen. The Service Court side of the building is exempt from this requirement.	

Representative design images only

Building Articulation Compliance

ELEVATIONS B/C



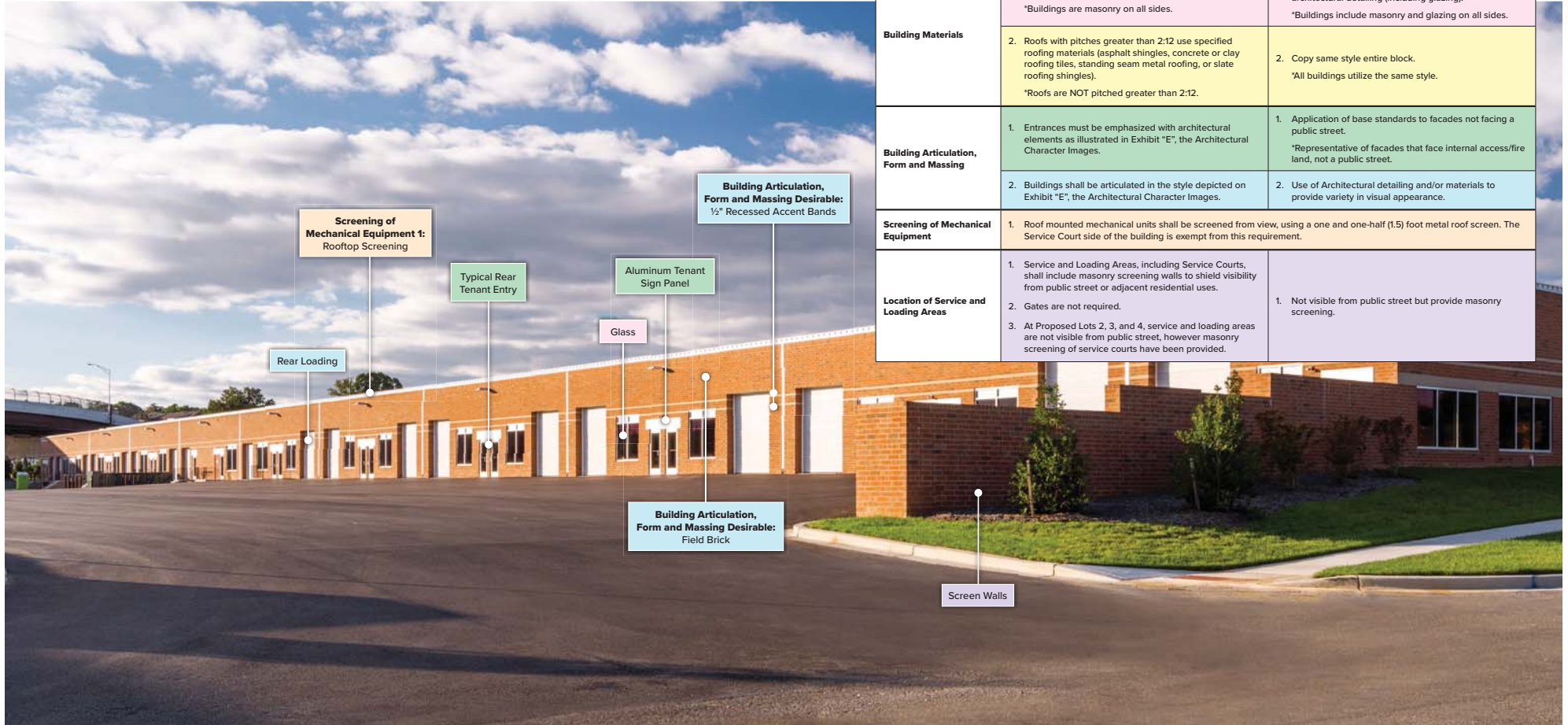
ARCHITECTURAL DESIGN REQUIREMENTS		
Element	Base Standard <i>(All development must comply fully with all listed below)</i>	Desirable <i>(Each development must select 3 of the 4 desirables listed below)</i>
Building Materials	1. Buildings shall be constructed of masonry products on front facade. Tilt wall construction is permissible. *Buildings are masonry on all sides.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing (including glazing). *Buildings include masonry and glazing on all sides.
	2. Roofs with pitches greater than 2:12 use specified roofing materials (asphalt shingles, concrete or clay roofing tiles, standing seam metal roofing, or slate roofing shingles). *Roofs are NOT pitched greater than 2:12.	2. Copy same style entire block. *All buildings utilize the same style.
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	2. Buildings shall be articulated in the style depicted on Exhibit "E", the Architectural Character Images.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.
Screening of Mechanical Equipment	1. Roof mounted mechanical units shall be screened from view, using a one and one-half (1.5) foot metal roof screen. The Service Court side of the building is exempt from this requirement.	
Location of Service and Loading Areas	1. Service and Loading Areas, including Service Courts, shall include masonry screening walls to shield visibility from public street or adjacent residential uses. 2. Gates are not required. 3. At Proposed Lots 2, 3, and 4, service and loading areas are not visible from public street, however masonry screening of service courts have been provided.	1. Not visible from public street but provide masonry screening.



Representative design images only

Building Articulation Compliance

ELEVATION D



Representative design images only

ARCHITECTURAL DESIGN REQUIREMENTS		
Element	Base Standard <i>(All development must comply fully with all listed below)</i>	Desirable <i>(Each development must select 3 of the 4 desirables listed below)</i>
Building Materials	1. Buildings shall be constructed of masonry products on front facade. Tilt wall construction is permissible. *Buildings are masonry on all sides.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing (including glazing). *Buildings include masonry and glazing on all sides.
	2. Roofs with pitches greater than 2:12 use specified roofing materials (asphalt shingles, concrete or clay roofing tiles, standing seam metal roofing, or slate roofing shingles). *Roofs are NOT pitched greater than 2:12.	2. Copy same style entire block. *All buildings utilize the same style.
Building Articulation, Form and Massing	1. Entrances must be emphasized with architectural elements as illustrated in Exhibit "E", the Architectural Character Images.	1. Application of base standards to facades not facing a public street. *Representative of facades that face internal access/fire land, not a public street.
	2. Buildings shall be articulated in the style depicted on Exhibit "E", the Architectural Character Images.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.
Screening of Mechanical Equipment	1. Roof mounted mechanical units shall be screened from view, using a one and one-half (1.5) foot metal roof screen. The Service Court side of the building is exempt from this requirement.	
Location of Service and Loading Areas	1. Service and Loading Areas, including Service Courts, shall include masonry screening walls to shield visibility from public street or adjacent residential uses. 2. Gates are not required. 3. At Proposed Lots 2, 3, and 4, service and loading areas are not visible from public street, however masonry screening of service courts have been provided.	1. Not visible from public street but provide masonry screening.

Representative Design Images

ELEVATION A



Representative design images only

Representative Design Images

ELEVATIONS B/C



Representative design images only

Representative Design Images

ELEVATION D



Representative design images only