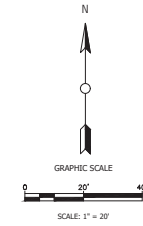


SITE REQUIREMENT DESIGN DESIRABLES:

1. INDIVIDUAL BUILDINGS W/FOOTPRINTS \leq OR $<$ 10,000 SQUARE FEET.
2. BUILDING WITH NO MORE THAN ONE ROW PARKING IN FRONT.
3. COMBINED ACCESS POINTS WITH ADJACENT TRACTS.
4. DIRECT CONNECTION BETWEEN BUILDINGS AND STREET.

NOTE

A "COMMERCIAL" DRIVEWAY PROVIDES ACCESS TO AN OFFICE, RETAIL OR INSTITUTIONAL BUILDING, OR TO A MULTIPLE-FAMILY BUILDING HAVING MORE THAN FIVE DWELLING UNITS. IT IS ANTICIPATED THAT SUCH BUILDINGS WILL HAVE INCIDENTAL TRUCK SERVICE. COMMERCIAL DRIVES SHALL ACCESS TO MAJOR OR SECONDARY THOROUGHFARES ONLY. ALL COMMERCIAL DRIVEWAYS SHALL BE CONCRETE.



LEGEND	
	PROPOSED 6" FIRE LANE
	LANDSCAPING AREAS
	PROPOSED FIRE LANE AND ACCESS ESMT.
	EXISTING FIRELANE
	SIDE WALK PAVEMENT
	EXISTING PAVEMENT

NOTE:

ALL FIRE LANES SHALL BE PAVED WITH A MINIMUM OF 8 INCHES OF 4500 P.S.I. CONCRETE REINFORCED WITH #3 REBAR PLACED ON 18 INCH CENTERS EACH WAY ON A 7 INCH LIME STABILIZED SUBGRADE. THE SUBGRADE SHALL BE STABILIZED WITH HYDRATED LIME IN SUFFICIENT AMOUNT TO REDUCE THE PLASTICITY INDEX BELOW FIFTEEN (15). IF NO LABORATORY CONTROL IS USED, THE AMOUNT OF LIME SHALL BE EQUAL TO SEVEN AND ONE HALF (7-1/2) PERCENT BY UNIT DRY WEIGHT OF SOIL ESTIMATED AT 75 POUNDS PER CUBIC FEET OF 32 POUNDS OF LIME PER SQUARE YARD OF SURFACE AREA TREATED TO A 7 INCH THICKNESS.

PROJECT INFORMATION SUMMARY TABLE

GENERAL DATA	
CURRENT ZONING	COMMERCIAL CORRIDOR DISTRICT (CC)
PROPOSED ZONING	COMMERCIAL CORRIDOR DISTRICT (CC)
BUILDING HEIGHT	
CONSTRUCTION START	OCT 1 2023
CONSTRUCTION FINISH	OCT 1 2024
REQUIRED PERVIOUS AREA (20%)	5,053 S.F. (0.12 ACRES)
PROPOSED PERVIOUS AREA (22%)	5,621 S.F. (0.13 ACRES)
PROPOSED IMPERVIOUS AREA	19,644 S.F. (0.45 ACRES)
PROPOSED # PARKING SPACES	11
EXISTING # PARKING SPACES	1 PARKING SPACE PER 750 SF OF BUILDING

VICINITY MAP
NTS

No.	Revision/Issue	Date
1	Issue for permit	8/29/24
2	Revised for the construction	10/24/23
3	Revised for the construction	9/21/24
4	Revised for the construction	9/21/24
5	Revised for the construction	9/21/24
6	Revised for the construction	9/21/24
7	Revised for the construction	9/21/24

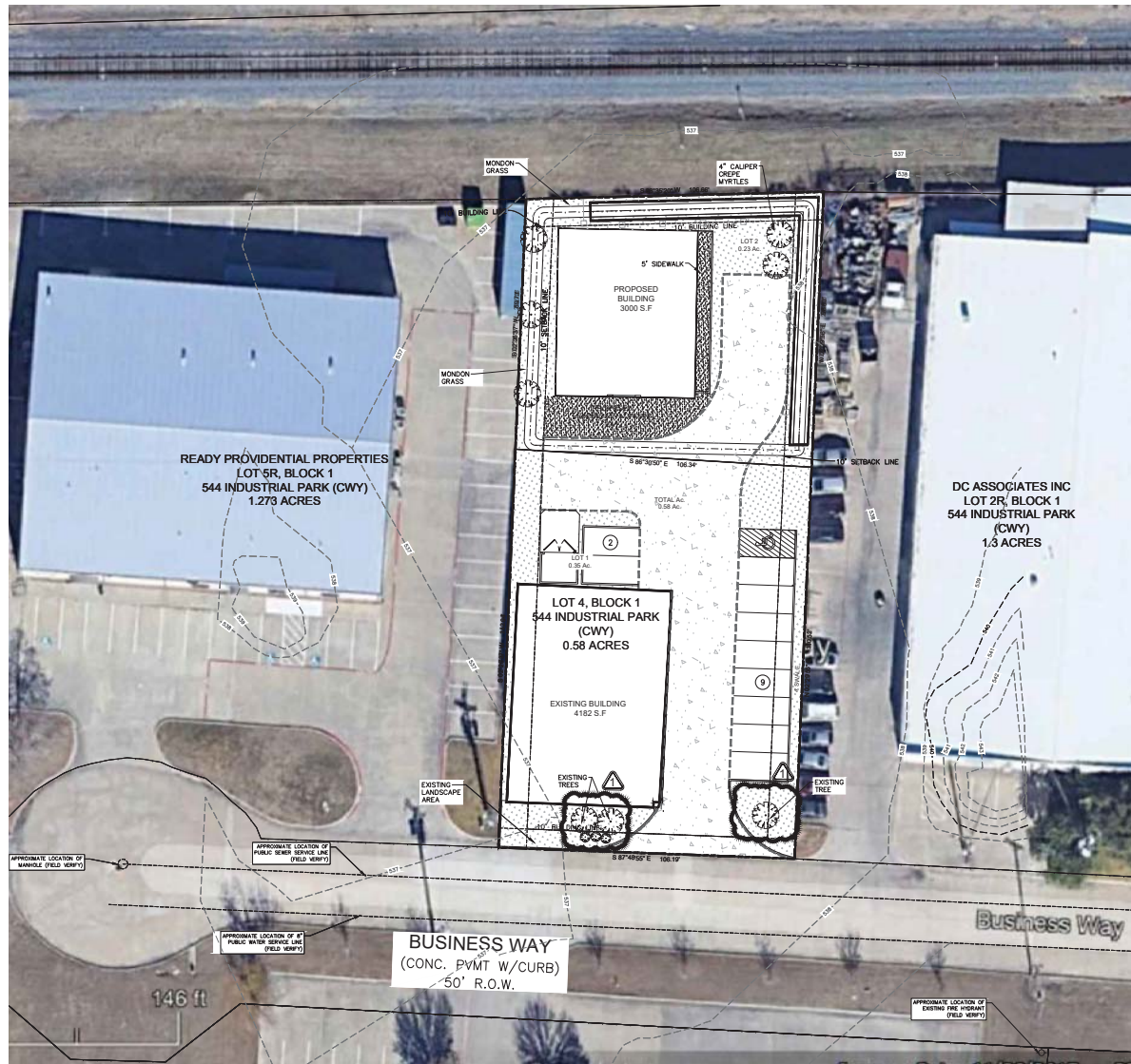
CLIENT ADDRESS
SUPERIOR LAND & STEEL CONSTRUCTION 100 NEW SUBSIDIARY CONTACT: SAMUEL BUTLER PH: 214-799-0750 ...

FIRM NAME AND ADDRESS
DETHOR ENGINEERING, INC. Civil Engineers 911 E. JOHNSCAMP DRIVE, SUITE 100 TEL: (972) 717-0025 FAX: (972) 717-0011 TBE No. - F-59184

707 BUSINESS WAY DEVELOPMENT CITY OF WYLE, COLLIN COUNTY, TX	SITE PLAN DEVELOPMENT
--	--------------------------

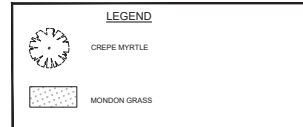


CHECKED BY AK	DATE 08/29/2024
ISSUE DATE:	SHEET C-2.0



NOTE

A "COMMERCIAL" DRIVEWAY PROVIDES ACCESS TO AN OFFICE, RETAIL OR INSTITUTIONAL BUILDING, OR TO A MULTIPLE-FAMILY BUILDING HAVING MORE THAN FIVE DWELLING UNITS. IT IS ANTICIPATED THAT SUCH BUILDINGS WILL HAVE INCIDENTAL TRUCK SERVICE. COMMERCIAL DRIVES SHALL ACCESS TO MAJOR OR SECONDARY THOROUGHFARES ONLY. ALL COMMERCIAL DRIVEWAYS SHALL BE CONCRETE.



PROJECT INFORMATION SUMMARY TABLE	
GENERAL DATA	
TOTAL SITE AREA	COMMERCIAL RETAIL DISTRICT (CQ10-58.12)
LANDSCAPE AREA REQUIRED (20% OF SITE AREA)	2,404 SF
LANDSCAPE AREA	2,403 SF
BUILDING HEIGHT	
CONSTRUCTION START	OCT 1 2023
CONSTRUCTION FINISH	OCT 1 2024



VICINITY MAP
NTS

No.	Revision/Issue	Date
1	Issue for comment	8/29/24
2	Finalize and for construction	10/24/23
3	Finalize and for construction	9/21/24
4	Finalize and for construction	8/24/24
5	Issue for comment	7/19/24
6	Issue for comment	7/17/24

CLIENT ADDRESS
SUPERIOR LAND & STEEL CONSTRUCTION 100 NEW BRUNSWICK CONTACT: SAMUEL BUTLER PH: 214-789-0750

FIRM NAME AND ADDRESS
DEHNER ENGINEERING, INC. Civil Engineers 3005 CUBAN DRIVE TEL: (972) 717-0020 FAX: (972) 717-0111 TX: 50184

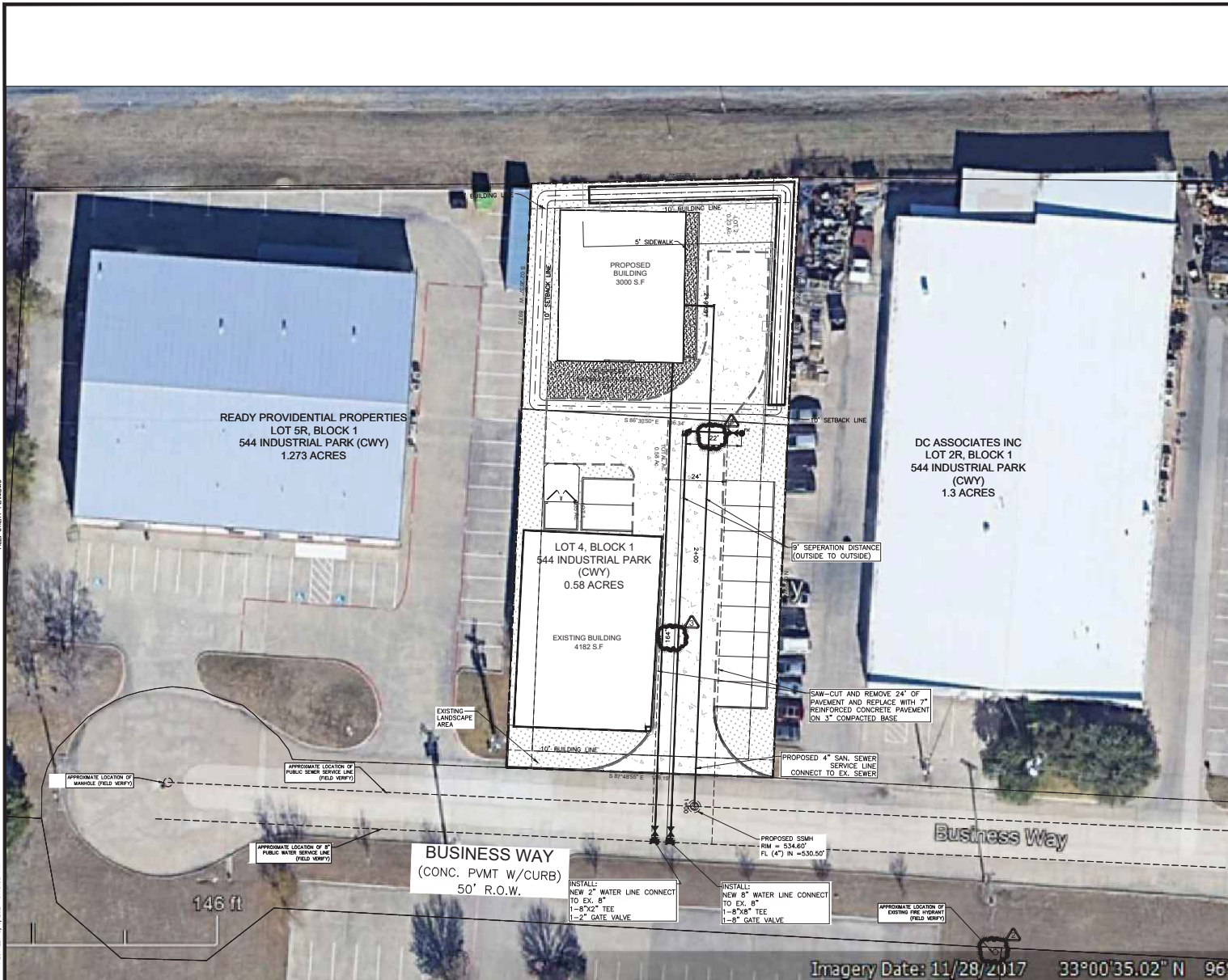
707 BUSINESS WAY DEVELOPMENT CITY OF WYLE, COLLIN COUNTY, TX LANDSCAPE PLAN
--

SEAL OF THE STATE OF TEXAS DAVID H. RECHT REGISTERED PROFESSIONAL ENGINEER 03/03/2023 David H. Recht
--

CHECKED BY AK
ISSUE DATE: 08/06/2024
SHEET C-9.0

FILE: UTILITY PLAN.DWG

PLOTTED: 6/6/2024 3:48:58 PM



GENERAL UTILITY NOTES

IN GENERAL, WATER MAINS ARE PLACED ON THE NORTH AND WEST SIDES OF A STREET, AS SHOWN IN THE STANDARD CONSTRUCTION DETAILS, OR OTHERWISE AS DIRECTED BY THE CITY ENGINEER. WHERE APPLICABLE, LINE SIZES WILL COMPLY WITH THE WATER DISTRIBUTION SYSTEM MASTER PLAN AND SHALL BE ADEQUATE TO CONVEY A FIRE FLOW. FIRE FLOW ANALYSIS WILL BE REQUIRED ON LINES THAT ARE QUESTIONED BY CITY STAFF. STARTING PRESSURES SHALL BE OBTAINED FROM THE NEAREST JUNCTION NODE AS STATED IN THE CITY'S WATER DISTRIBUTION MASTER PLAN COMPUTER PRINTOUTS OR SHALL BE PROVIDED BY THE CITY.

SIZES AND GRADES FOR SANITARY SEWER LINES SHALL BE BASED ON SERVING THE PROPOSED DEVELOPMENT AND ALL UPSTREAM AREAS IN THE DRAINAGE BASIN AT FULL DEVELOPMENT. THE MINIMUM SIZE FOR SANITARY SEWER MAINS SHALL BE 8-INCHES. DESIGN CALCULATIONS FOR SIZING LINES SHALL BE INCLUDED IN THE PLANS, ALONG WITH DRAINAGE AREA MAP. IF FEASIBLE, SEWERS SHALL BE PLACED IN STREETS OR AS SHOWN IN THE CITY STANDARD CONSTRUCTION DETAILS. SEWERS ARE USUALLY LOCATED IN THE CENTER OF RESIDENTIAL STREETS. EACH ADDITION HAS ITS CHALLENGES. THEREFORE, NO FIXED RULES WILL APPLY TO ALL CASES REGARDING THE LOCATION OF SANITARY SEWERS.

MINIMUM COVER SHALL BE 3.5 FEET. EXCEPTIONS AUTHORIZED BY THE CITY ENGINEER OR AUTHORIZED REPRESENTATIVE SHALL HAVE CONCRETE PROTECTION. IN GENERAL, THE MINIMUM DEPTH FOR SEWER TO SERVE GIVEN PROPERTY WITH A 4-INCH LATERAL SHALL BE 3 FEET PLUS 2% TIMES THE LENGTH OF THE HOUSE LATERAL (THE DISTANCE FROM THE SEWER TO THE CENTER OF THE HOUSE). THUS, FOR A HOUSE 135 FEET FROM THE SEWER, THE DEPTH WOULD BE 3 FEET PLUS 2% X 135 FEET = 3.0 PLUS 2.7 = 5.7 FEET. THE DEPTH OF THE FLOW LINE OF THE SEWER SHOULD THEN BE AT LEAST 5.7 FEET BELOW THE ELEVATION OF THE GROUND AT THE POINT WHERE THE SERVICE ENTERS THE HOUSE. PROFILES OF THE GROUND LINE 20 FEET PAST THE BUILDING LINE WILL BE REQUIRED TO VERIFY THAT THIS CRITERION IS MET. ON LINES DEEPER THAN 12 FEET, A PARALLEL SEWER LINE WILL BE REQUIRED WHEN LATERALS ARE TO BE ATTACHED. THIS REQUIREMENT SHOULD BE DISCUSSED WITH THE CITY ENGINEER.

(SEE WATER AND SEWER DESIGN MANUAL)

"NOTE"

STANDARD WATER AND SEWER DETAILS ARE AS PREPARED BY THE CITY OF WYLLIE AND NCTCOG WITH CITY OF WYLLIE STANDARDS HAVING PRECEDENCE OVER NCTCOG STANDARD DETAILS.

LEGEND	
---	EXISTING SAN. SEWER MAIN/OLE
---	EXISTING SAN. SEWER
---	PROPOSED SAN. SEWER
---	EXISTING WATERLINE
---	EXISTING WATER VALVE
---	PROPOSED WATERLINE
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY SEWER MAIN/OLE
---	FIRELANE

No.	Revision / Issue	Date
1	ISSUED FOR PERMIT	8/7/23
2	PRELIMINARY NOT FOR CONSTRUCTION	10/24/23
3	PRELIMINARY NOT FOR CONSTRUCTION	5/01/24
4	PRELIMINARY NOT FOR CONSTRUCTION	6/27/24
5	PRELIMINARY NOT FOR CONSTRUCTION	7/19/24
6	ISSUED FOR PERMIT	7/19/24
7	ISSUED FOR PERMIT	7/21/24

CLIENT ADDRESS

SUPERIOR LAND & STEEL CONSTRUCTION
1005 West Palmdale Rd
Palmdale, CA 93550
CONTACT: JAMES A. BUTLER
PH: 214.789.4758
FAX: 214.789.4758

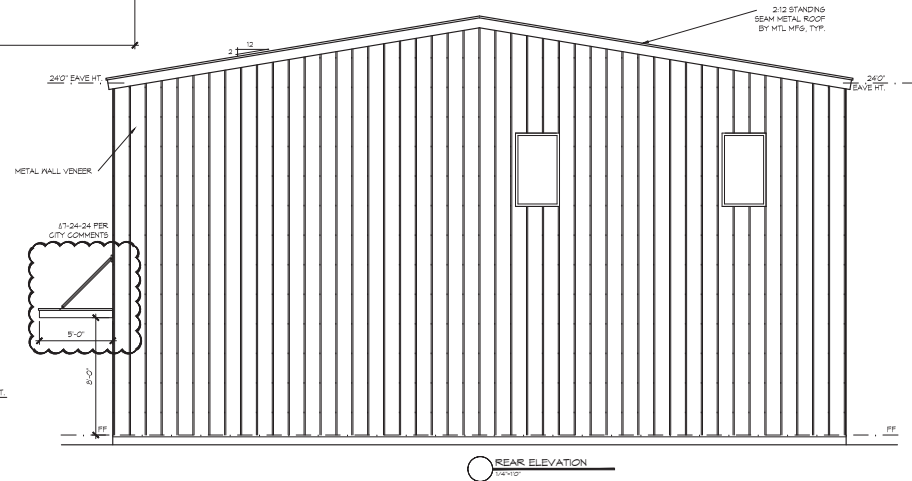
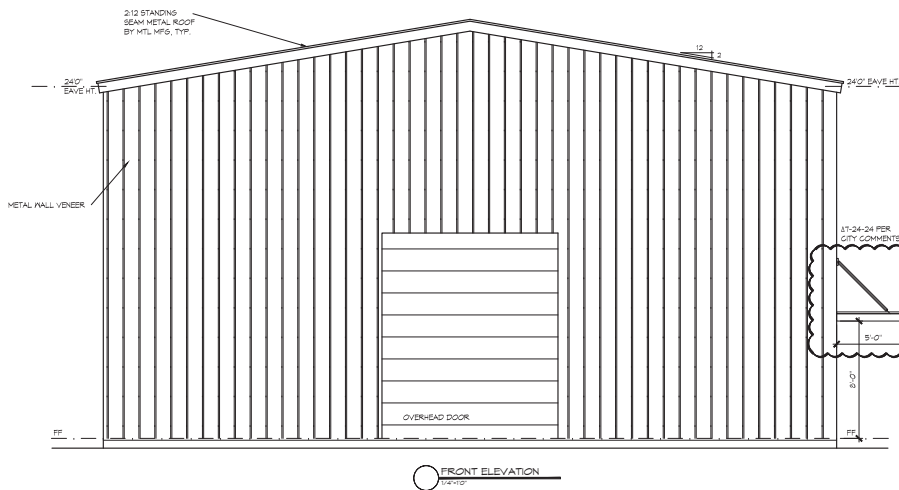
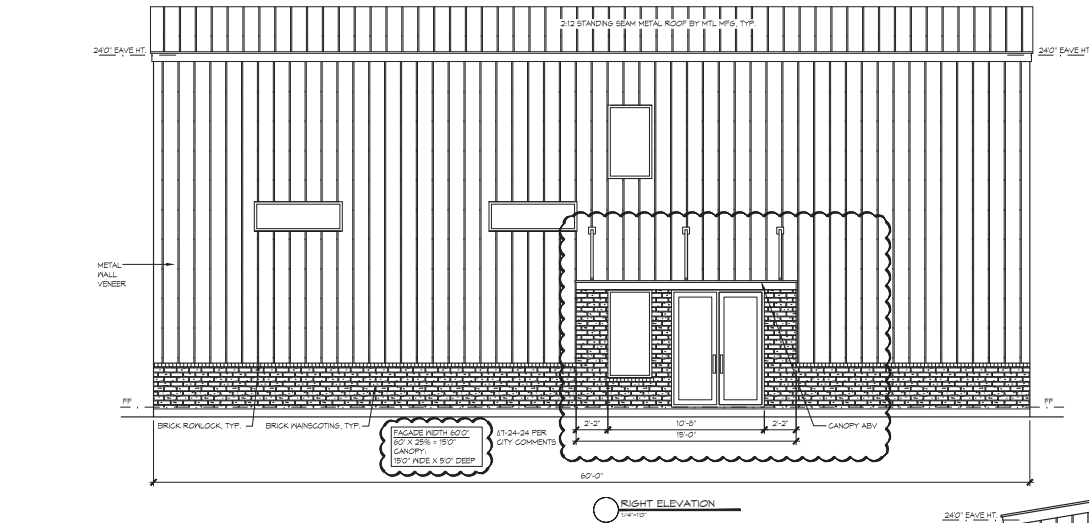
FROM NAME AND ADDRESS

D. H. R. ENGINEERING, INC.
Civil Engineering
4018 E. Cottonwood Rd. Ste. 120
Ft. Worth, TX 76111
FAX: 817.731.0111
TYPE No. - F-0104

707 BUSINESS WAY
DEVELOPMENT
CITY OF WYLLIE, COLIN COUNTY, TX
UTILITY PLAN
DEVELOPMENT

AUGUST 6, 2024
David H. Butler

CHECKED BY
JH
DHR JOB No.
22220
ISSUE DATE: 08/06/2024
SHEET
C-7.1



231328

WYLIE COMMERCIAL

101 BUSINESS WAY BLDG #201
LOT 4 BLOCK 1
544 INDUSTRIAL PARK
WYLIE, TEXAS
COLLIN COUNTY

DATE: 5-15-23 PD1
0-1-23 F/R
9-6-23
1-24-24 REV

SHEET Title:

FRONT, REAR
& RIGHT ELEV'S
SCALE: 1/4" = 1'-0"



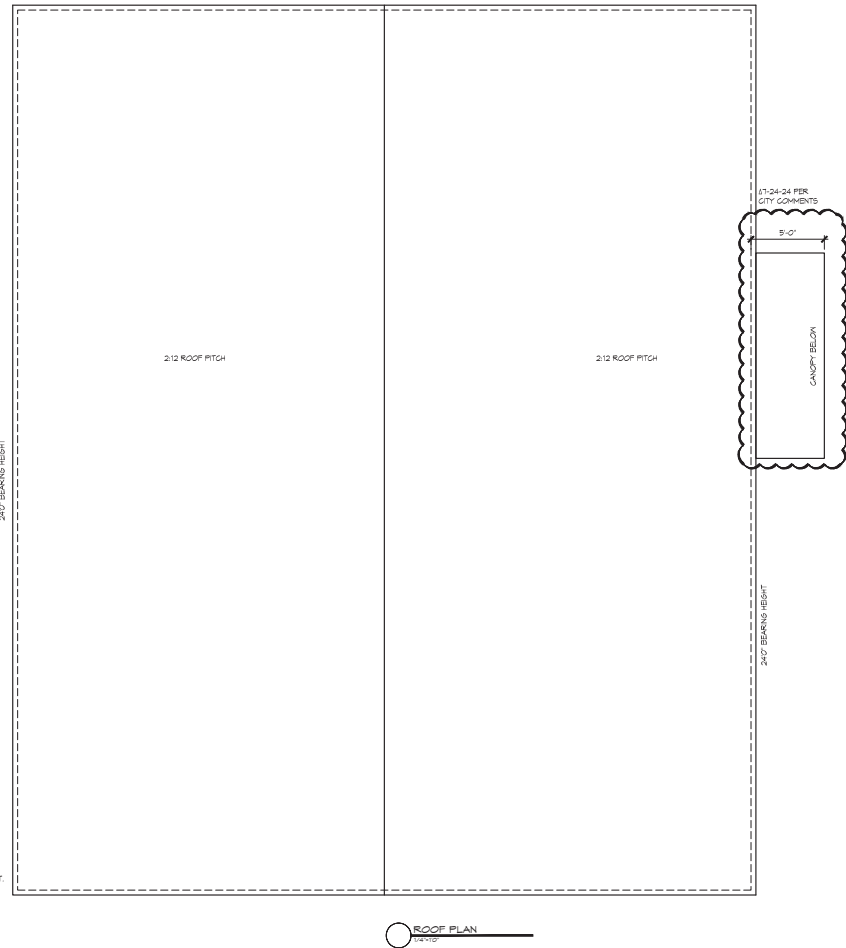
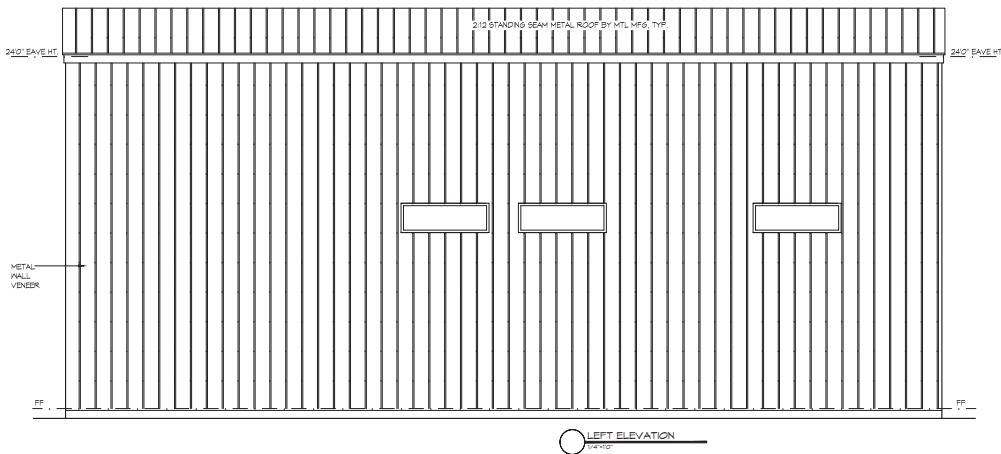
201 N. PALM BLVD. STE. 200 WILSON, TEXAS 76093
817.411.1024 METRO 817.411.1025 FAX

ARCHITECTS

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SHEET No.:

A2-1



231328

WYLIE
COMMERCIAL

107 BUSINESS WAY BLDG #201
LOT 4 BLOCK 1
544 INDUSTRIAL PARK
WYLIE, TEXAS
COLLIN COUNTY

DATE: 5-15-23 PD1
2-7-23 F/R
9-6-23
7-24-24 REV

SHEET Title:

LEFT ELEV &
ROOF PLAN
SCALE: 1/4" = 10'

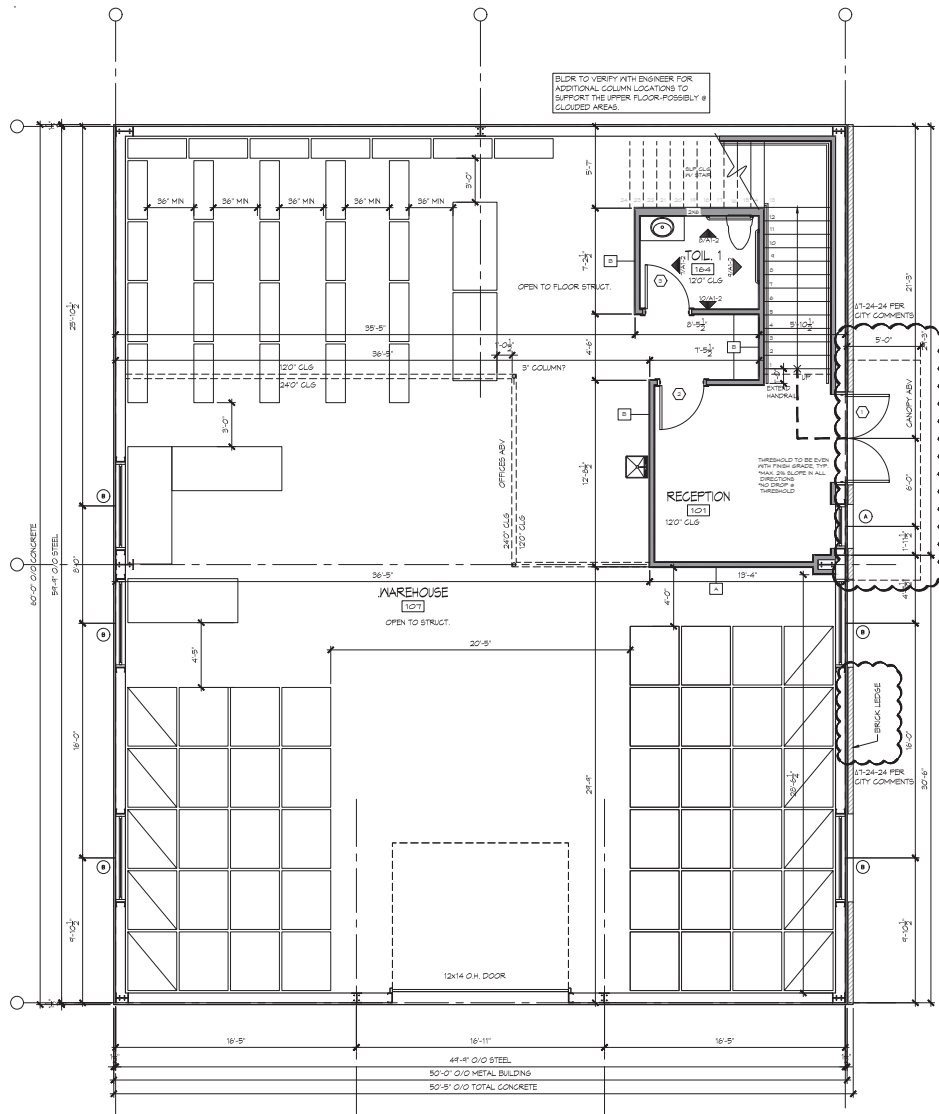


214 N. PALMVIEW CREEK DR. HANFORD TEXAS 76083
817-471-3883 FAX
817-471-3883 MOBILE

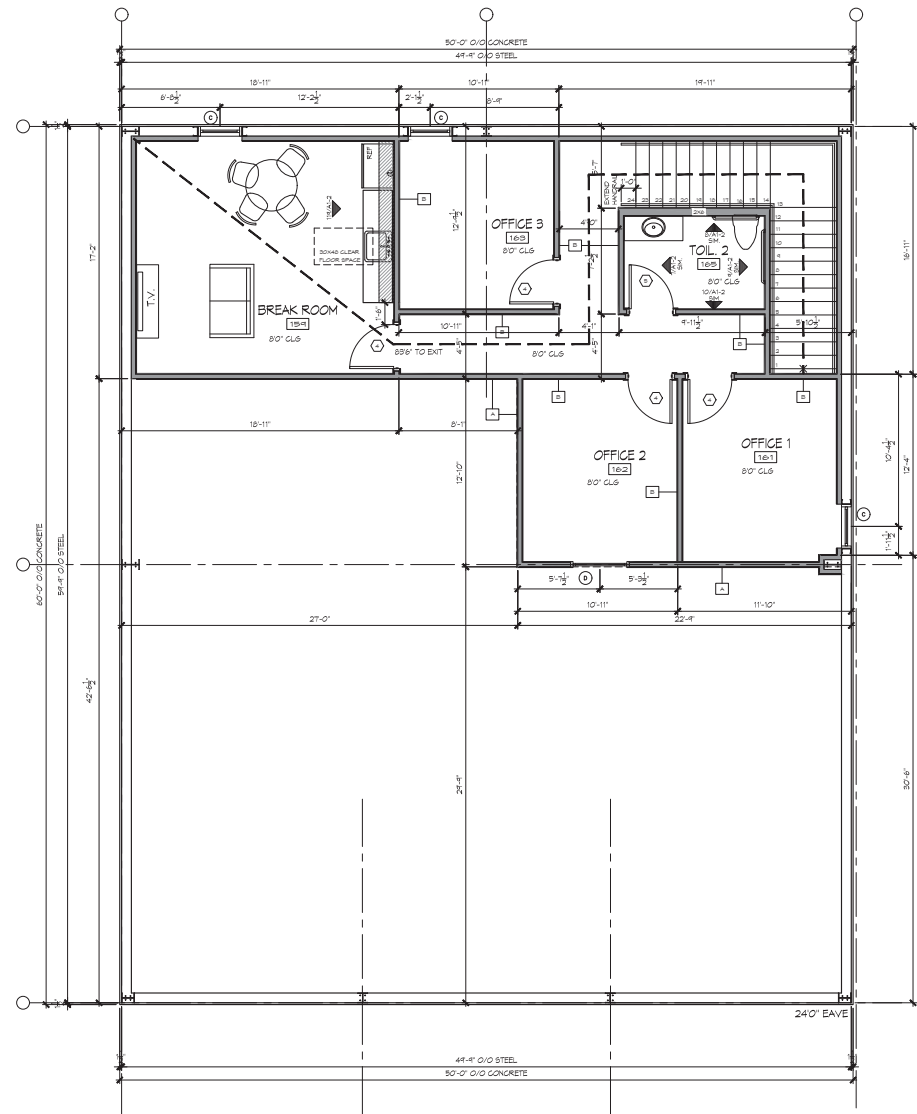
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SHEET No:

A2-2



LOWER FLOOR PLAN



UPPER FLOOR PLAN

SQUARE FOOTAGE	
AREAS	SQ. FT.
LOWER FLOOR OPG	384 SF
UPPER FLOOR OPG	1165 SF
TOTAL OPG	1549 SF
ADDITIONAL SQUARE FOOTAGE	
AREAS	SQ. FT.
WAREHOUSE	481 SF
SLAB	SQ. FT.
LOWER FLOOR OPG	384 SF
WAREHOUSE	481 SF
TOTAL CONCRETE	865 SF



231328

WYLIE
COMMERCIAL

101 BUSINESS WAY BLDG #201
LOT 4 BLOCK 1
544 INDUSTRIAL PARK
WYLIE, TEXAS
COLLIN COUNTY

DATE: 5-15-23 PD1
5-1-23 F/R
9-6-23
1-24-24 REV

SHEET Title:

FLOOR
PLANS
SCALE: 1/4" = 10'



218 N. PALM STREET, DR. WILSONVILLE, TEXAS 76085
817.411.1324 (FAX)
817.411.1324 (CELL)
ARCHITECTS

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SHEET No.:

A1-1