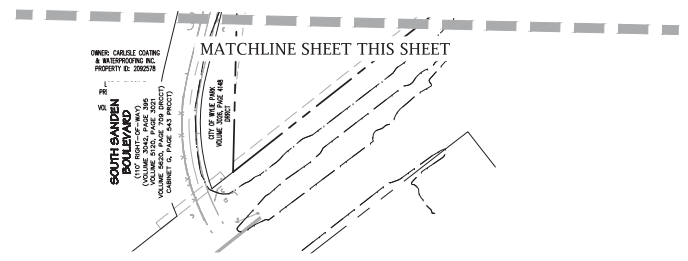


Vicinity Map  
1"=100'



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  3. Refer to Drainage Study by Corning Strategies for basis of no stormwater management facilities and proposed floodplain reclamation. Retaining walls shall be allowed in the yard setbacks.
  4. Signage shall be allowed in the yard setbacks.

ZONING EXHIBIT

WYLIE TECH PARK

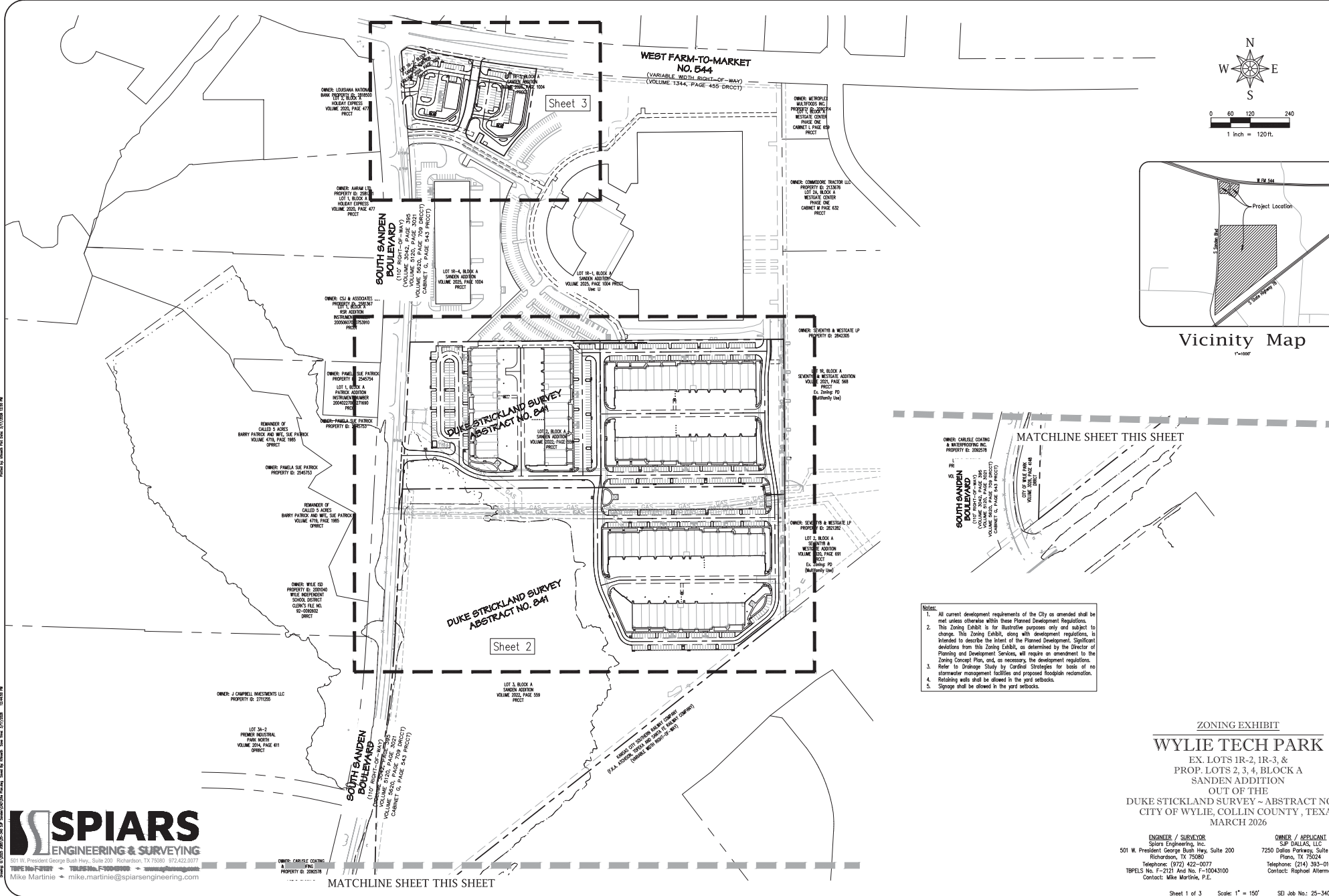
EX. LOTS IR-2, IR-3, &  
PROP. LOTS 2, 3, 4, BLOCK A  
SANDEN ADDITION

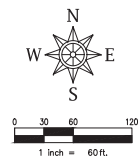
OUT OF THE  
DUKE STICKLAND SURVEY - ABSTRACT NO. 841  
CITY OF WYLIE, COLLIN COUNTY, TEXAS  
MARCH 2026

|   |   |
|---|---|
| <p>ENGINEER / SURVEYOR<br/>Spiars Engineering, Inc.<br/>501 W. President George Bush Hwy, Suite 200<br/>Richardson, TX 75080<br/>Telephone: (972) 422-0077<br/>TBPELS No. F-2121 And No. F-10043100<br/>Contact: Mike Martine, P.E.</p> | <p>OWNER / APPLICANT<br/>S&amp;P DALLAS, LLC<br/>7250 Dallas Parkway, Suite 400<br/>Ft. Worth, TX 76124<br/>Telephone: (214) 353-0100<br/>Contact: Raphael Alterman</p> |
|---|---|

501 W. President George Bush Hwy, Suite 200 Richardson, TX 75080 972.422.0077  
 TIME: 9:00 AM - 5:00 PM TUESDAY - FRIDAY  
 Mike Martine - mike.martine@spiarsengineering.com

Prepared by: Michael Lee, Date: 02/27/2025, 10:45 AM  
 Checked by: Michael Lee, Date: 02/27/2025, 10:45 AM





| Site Data Table                    |                       |                       |                       |
|------------------------------------|-----------------------|-----------------------|-----------------------|
|                                    | Lot 2                 | Lot 3                 | Lot 4                 |
| Lot Size (ac.)                     | 9.560                 | 38.009                | 9.100                 |
| Lot Size (sq. ft.)                 | 416,416               | 1,655,667             | 396,375               |
| Existing Zoning                    | UJ                    | UJ                    | UJ                    |
| Proposed Zoning                    | FD                    | FD                    | FD                    |
| Use                                | Flex                  | Flex                  | Flex                  |
| Proposed Building Height           | 25' (1-Story)         | 25' (1-Story)         | 25' (1-Story)         |
| Parking Ratio                      | 1 sp. per 500 sq. ft. | 1 sp. per 500 sq. ft. | 1 sp. per 500 sq. ft. |
| Required Parking (sp.)             | 163                   | 194                   | 205                   |
| Provided Parking (sp.)             | 209                   | 196                   | 211                   |
| Handicap Required (sp.)            | 6                     | 6                     | 7                     |
| Handicap Provided (sp.)            | 9                     | 9                     | 10                    |
| Total Building Footprint (sq. ft.) | 81,240                | 96,640                | 102,240               |
| Building Coverage                  | 20%                   | 6%                    | 26%                   |

\*Parking provided includes handicap spaces.

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  - Retaining walls shall be allowed in the yard setbacks.
  - Signage shall be allowed in the yard setbacks.

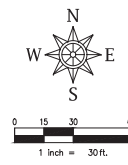
- LEGEND**
- Firelane, Access, & Utility Easement (FAUE)
  - Firelane, Access, & Utility Easement (FAUE)
  - Ex. Fire Hydrant
  - Prop. Sign Location
  - Prop. Fire Hydrant
  - Future Potential Parking (above the required minimum)

**ZONING EXHIBIT**  
**WYLIE TECH PARK**  
 EX. LOTS IR-2, IR-3, &  
 PROP. LOTS 2, 3, 4, BLOCK A  
 SANDEN ADDITION  
 OUT OF THE  
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 TBPELS No. F-2121 And No. F-10043100  
 Contact: Mike Martine

**OWNER / APPLICANT**  
 SJP DALLAS, LLC  
 7250 Dallas Parkway, Suite 400  
 Plano, TX 75024  
 Telephone: (214) 393-0100  
 Contact: Raphael Alterman

**SPIARS**  
 ENGINEERING & SURVEYING  
 501 W. President George Bush Hwy., Suite 200 Richardson, TX 75080 972.422.0077  
 TBPELS No. F-2121 TBPELS No. F-10043100 www.spiarseng.com  
 Mike Martine mike.martine@spiarsengineering.com



**SPIARS**  
**ENGINEERING & SURVEYING**  
 501 W. President George Bush Hwy., Suite 200, Richardson, TX 75080 972.422.0077  
 TBPES No. F-2121 - TULPEL No. F-100-0380 - www.spiars.com  
 Mike Martinec - mike.martinec@spiarsengineering.com

| Site Data Table                    |                          |                          |
|------------------------------------|--------------------------|--------------------------|
|                                    | Lot IR-2                 | Lot IR-3                 |
| Lot Size (ac.)                     | 3.601                    | 1.500                    |
| Lot Size (sq. ft.)                 | 69,755                   | 65,324                   |
| Existing Zoning                    | LI                       | LI                       |
| Proposed Zoning                    | PD                       | PD                       |
| Use                                | Commercial/Retail/Office | Commercial/Retail/Office |
| Proposed Building Height           | 35'                      | 35'                      |
| Parking Ratio                      | 1 sp. per 100 sq. ft.    | 1 sp. Per 100 sq. ft.    |
| Required Parking (sp.)             | 50                       | 50                       |
| Provided Parking (sp.)             | 51                       | 50                       |
| Handicap Required (sp.)            | 3                        | 2                        |
| Handicap Provided (sp.)            | 3                        | 2                        |
| Total Building Footprint (sq. ft.) | 5,000                    | 5,000                    |
| Building Coverage                  | 7%                       | 8%                       |

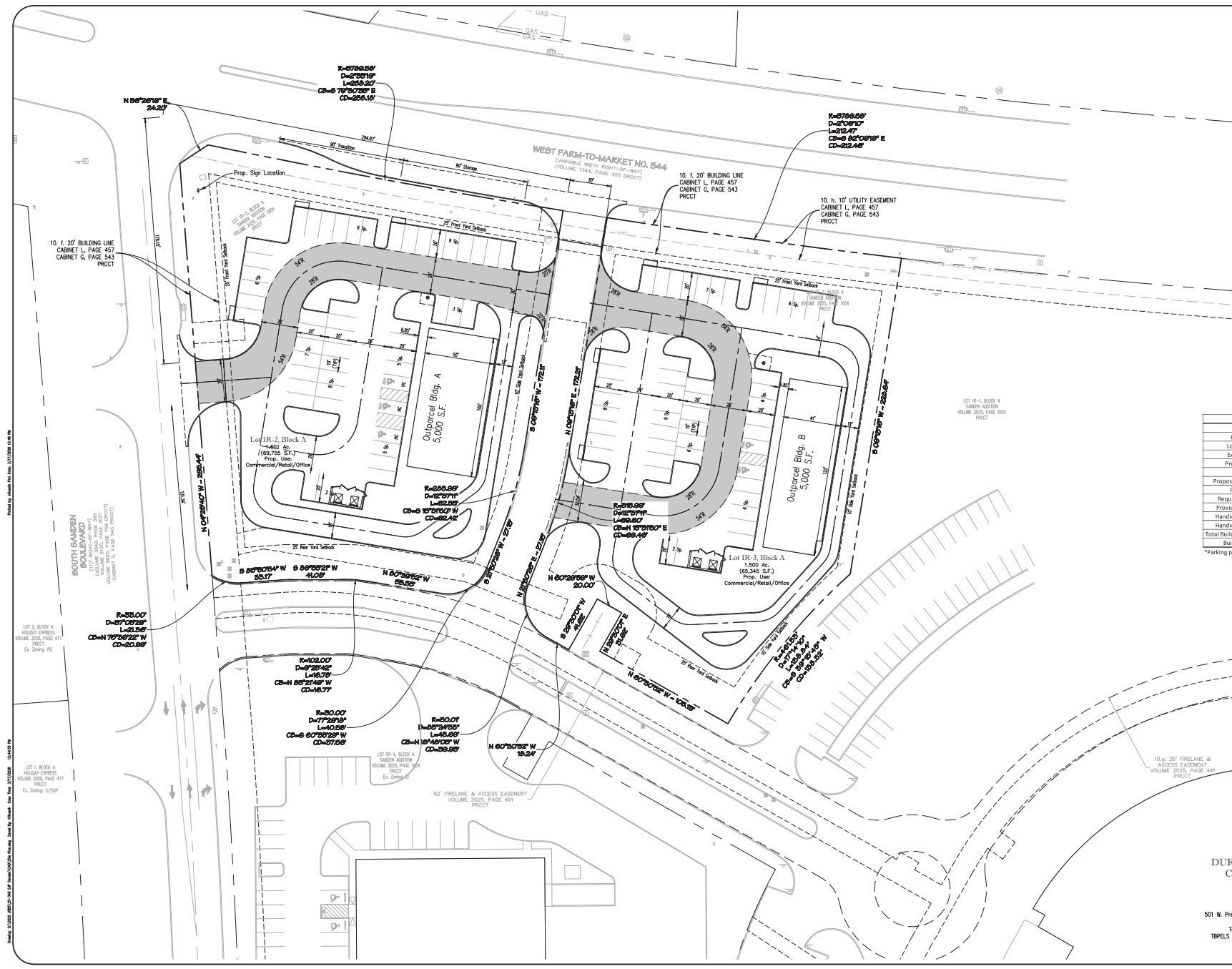
\*Parking provided includes handicap spaces.

- LEGEND**
- Fireline, Access, & Utility Easement (FAUE)
  - Fireline, Access, & Utility Easement (FAUE)
  - Ex. Fire Hydrant
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|---|--|



Prepared by: Michael DeWitt Date: 02/27/2025 10:44 AM  
 Checked by: [Name] Date: [Date]  
 Approved by: [Name] Date: [Date]