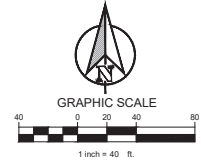
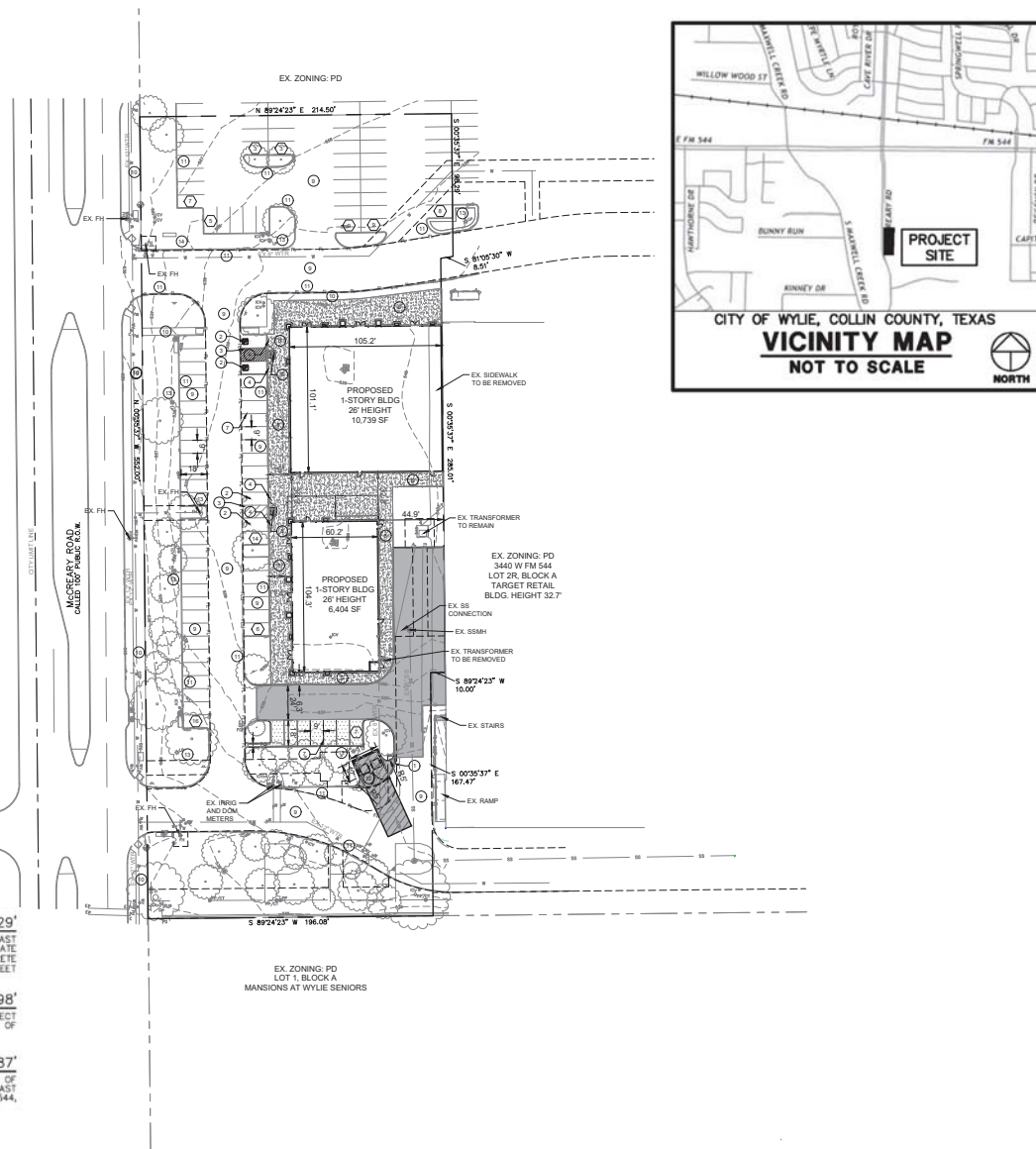


LOCATION: Z:\PROJECTS\PROJECTS\2026-019 VISTA WOODBRIDGE CROSSING WYLIE\CAD\DRY\SP-1 SITE PLANDING



LEGEND	
[Pattern]	LIGHT DUTY CONCRETE PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED DUMPSTER CONCRETE PAVING
[Pattern]	PROPOSED CONCRETE CURB AND GUTTER
[Line]	PROPERTY LINE
[Line]	FULL-DEPTH SAWCUT
[Line]	FIRE LANE
[Line]	EASEMENT LINE
[Symbol]	PARKING COUNT

CONSTRUCTION SCHEDULE	
①	SAW CUT FULL DEPTH EXISTING PAVEMENT
②	HANDICAP SYMBOL
③	PAVEMENT STRIPING
④	HANDICAP SIGN
⑤	CURB STOP
⑥	SIDEWALK
⑦	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
⑧	RAMP: 12:1 MAX. SLOPE
⑨	EXISTING PAVEMENT
⑩	EXISTING SIDEWALK
⑪	EXISTING CURB & GUTTER
⑫	DUMPSTER
⑬	SITE LIGHT POLE
⑭	MONUMENT SIGN

DIRECTOR OF DEVELOPMENT SERVICES	
DATE _____	
VISTA WOODBRIDGE CROSSING	
3400 W FM 544, TX 75098	
OWNER	
VISTA PROPERTY COMPANY 2227 VANTAGE ST. DALLAS, TX 75207 PH: 214.234.2555 CONTACT: COLTON WRIGHT	
ENGINEER	
CLAYMOORE ENGINEERING, INC. 3331 HARWOOD ROAD BEDFORD, TX 76092 PH: 817.281.0572 CONTACT: CLAY CRISTY, P.E.	
LEGAL DESCRIPTION: LOT 1R, BLOCK A WOODBRIDGE CROSSING ADDITION	ZONING: PD

WYLIE MONUMENT #1 PUBLISHED ELEVATION - 530.29'
LOCATED ON THE NORTH SIDE OF STATE HIGHWAY NO. 78, NEAR THE EAST ENTRANCE DRIVE FOR THE CITY OF WYLIE MUNICIPAL COMPLEX AT 2000 STATE HIGHWAY NO. 78 NORTH, 79.7' WEST OF THE EDGE OF THE EAST CONCRETE ENTRANCE DRIVE, 23.2' SOUTH OF A 10 FOOT WIDE CONCRETE DRIVE, 78.1 FEET NORTH OF THE EDGE OF ASPHALT OF STATE HIGHWAY NO. 78 NORTH.

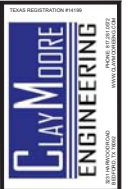
TEMPORARY BENCHMARK "A" ELEVATION - 534.98'
BEING AN X-CUT SET IN CONCRETE NEAR THE SOUTHWEST CORNER OF SUBJECT TRACT, APPROX. 1,081 FEET SOUTH OF THE INTERSECTION OF THE EAST LINE OF McCREARY ROAD AND THE SOUTH LINE OF FARM TO MARKET ROAD 544.

TEMPORARY BENCHMARK "B" ELEVATION - 536.87'
BEING AN X-CUT SET IN CONCRETE WALKWAY, NEAR THE NORTHWEST CORNER OF SUBJECT TRACT, APPROX. 657 FEET SOUTH OF THE INTERSECTION OF THE EAST LINE OF McCREARY ROAD AND THE SOUTH LINE OF FARM TO MARKET ROAD 544, AND APPROX. 13 FEET NORTHEAST OF A FIRE HYDRANT.

LOT	EX. ZONING	PROPOSED USED	GROSS LOT AREA		LOT COVERAGE	TOTAL BUILDING FLOOR AREA	FLOOR TO AREA RATIO	PARKING PROVIDED	PERVIOUS AREA	IMPERVIOUS AREA	PERCENT IMPERVIOUS
			ACRE	SF							
LOT 1R	PD	RETAIL	2.59	112,914	15.18%	17,143	0.15	100	28,373	84,541	74.87

ARCHITECT:
MORGAN ARCHITECTURE, INC.
2717 WIND RIVER LANE, STE 230
DENTON, TX 76210
PH: 540.586.0266
CONTACT: KELLY D MORGAN

SURVEYOR:
WINDROSE
1700 S. STEMMONS FRWY, STE 180
LEWISVILLE, TX 75067
PH: 214.217.2544
CONTACT: JIM W JACKSON

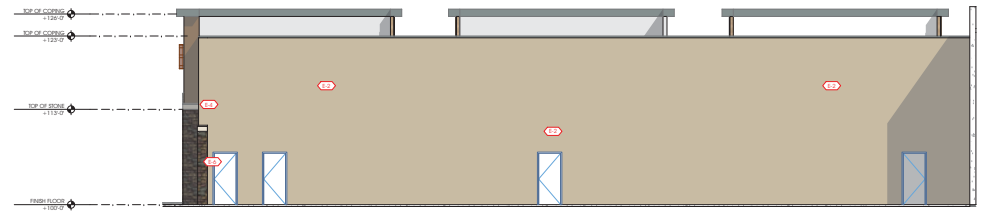


**VISTA WYLIE
LOT 1R BLOCK A
WYLIE, TEXAS**

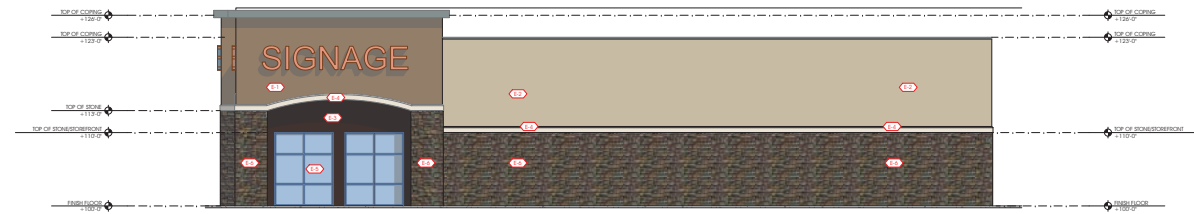
SITE PLAN

DESIGN	CLC
DRAWN	CLC
CHECKED	CLC
DATE	04/20/20
SHEET	
SP-1	
P/N No. 2026-019	

(C1)	PAINTED STUCCO SHERWIN WILLIAMS SW6151 "GLAZIER TAY"
(C2)	PAINTED STUCCO SHERWIN WILLIAMS SW6147 "RELAXED SPARK"
(C3)	PAINTED STUCCO SHERWIN WILLIAMS SW605 "BLACK BEAK"
(C4)	PAINTED STUCCO SHERWIN WILLIAMS SW6147 "INDIAN WHITE"
(C5)	ALUMINUM STOREFRONT PRE-FINISHED "LARK" BRONZE
(C6)	STONE VENEER CONCRETE/STONE COUNTRY RUBBLE "ASPEN"
(C7)	PRE-FINISHED CORING & CAROLES
(C8)	HORIZONTAL COMPOSITE WOOD GRAIN "SPARSH BRACKET"



3 SOUTH ELEVATION BUILDING A
 SCALE 1/8" = 1'-0"

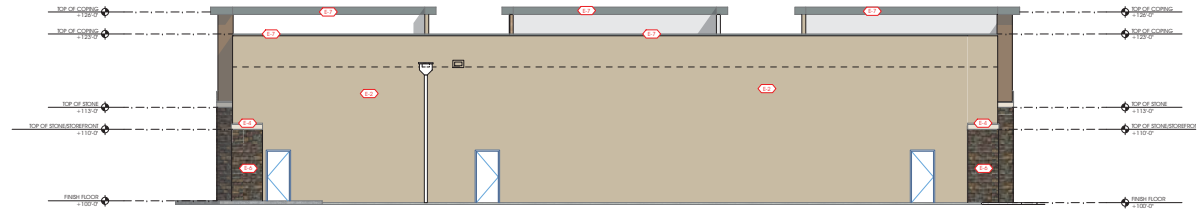


2 WEST ELEVATION BUILDING A
 SCALE 1/8" = 1'-0"



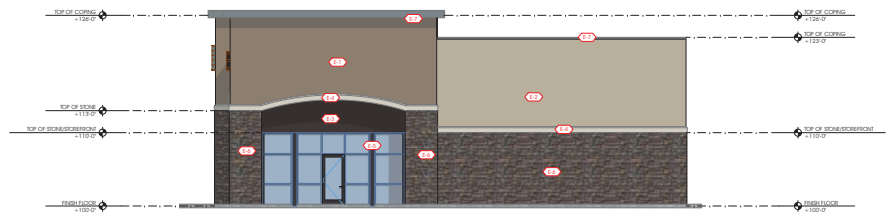
1 NORTH ELEVATION BUILDING A
 SCALE 1/8" = 1'-0"

Issued Date:	Date:
Revision:	Date:
Issued for:	Date:
Pricing -	
Permitting -	
Bidding -	
Construction -	

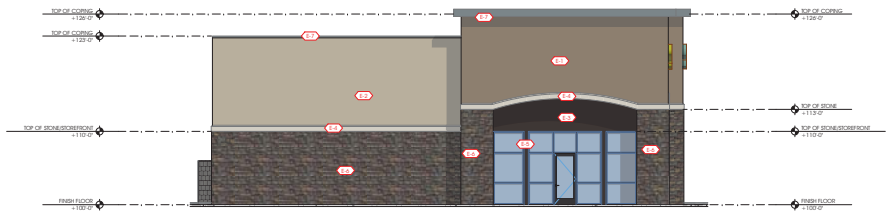


4 NORTH ELEVATION BUILDING A
 SCALE 1/8" = 1'-0"

CE	PAINTED STUCCO SHERWIN WILLIAMS SW617 "SUNSET TAN"
CE	PAINTED STUCCO SHERWIN WILLIAMS SW617 "RELAXED KHAKI"
CE	PAINTED STUCCO SHERWIN WILLIAMS SW606 "BLACK BEAN"
CE	PAINTED STUCCO SHERWIN WILLIAMS SW674 "TANGA WHITE"
CE	ALUMINUM STOREFRONT PRE-FINISHED "DUNE BRONZE"
CE	STONE VENEER CORNBOND STONE COUNTRY RUBBLE "ASPER"
CE	PRE-FINISHED CORING & CANOPIES
CE	HORIZONTAL COMPOSITE WOOD VENEER "SPANISH MANHATTAN"



3 SOUTH ELEVATION BUILDING B
 SCALE 1/8" = 1'-0"

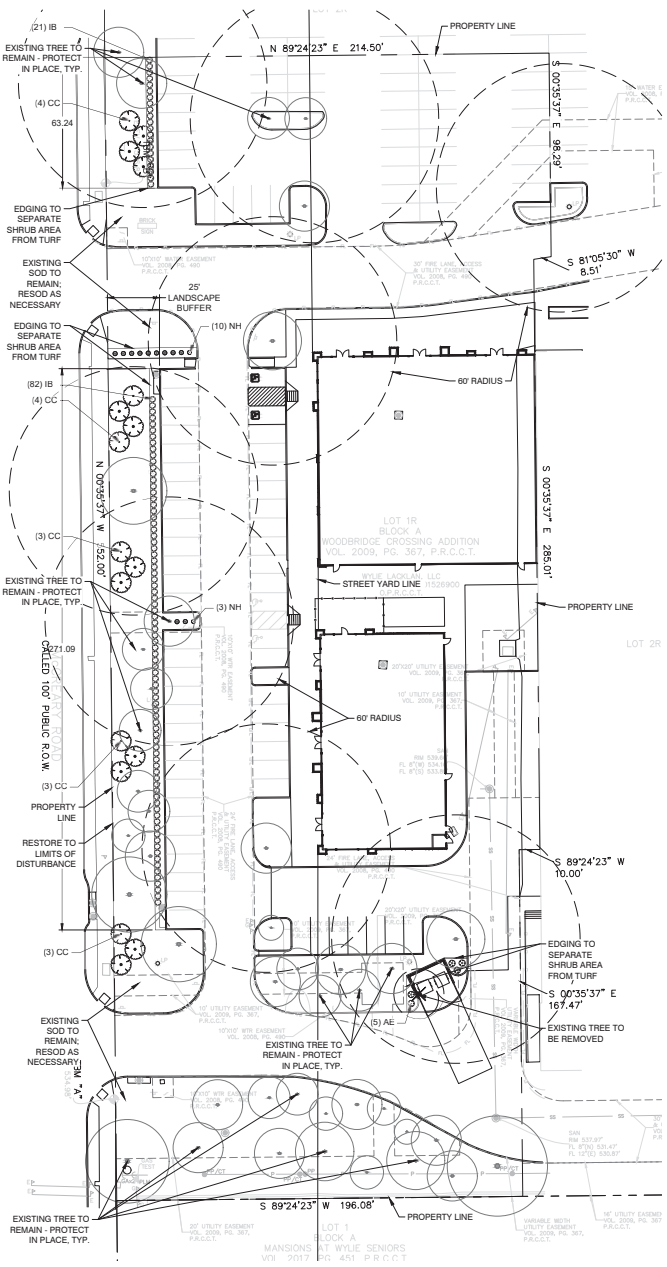


2 NORTH ELEVATION BUILDING B
 SCALE 1/8" = 1'-0"



1 WEST ELEVATION BUILDING B
 SCALE 1/8" = 1'-0"

LOCATION: P:\SHARED PROJECTS\2026\VISTA WYLIE - WYLIE TX - FM 544\VISTA WYLIE - WYLIE - FM 544 - U.P.DWG



PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SIZE, CONTAINER, REMARKS. Lists plants like Cercis canadensis, Abelia, Ilex cornuta, and Nandina domestica.

LANDSCAPE CALCULATIONS

Summary table of landscape requirements including zoning (PD - CC), parking lot landscaping (100 spaces), street frontage (487.62 LF), and visual screening (335 LF).

GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK... 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION... 3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, 'FINISH GRADE' REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE... 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC... 5. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED... 6. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES... 7. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE... 8. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

NOTES

- 1. LANDSCAPE PLAN AND CALCULATIONS BASED ON PREVIOUSLY APPROVED LANDSCAPE PLAN. 2. RESTORE ALL MISSING PLANT MATERIAL AND SOD AS NECESSARY.

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION... 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER... 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED... 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS... 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO THE MAXIMUM EXTENT POSSIBLE TO CONSERVE WATER...

ROOT BARRIERS

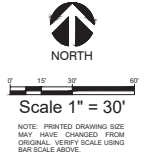
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM CALL BEFORE YOU DIG!!! www.texas811.org Texas811 or 1-800-545-6005



VISTA WYLIE LOT 1R BLOCK A WYLIE, TEXAS

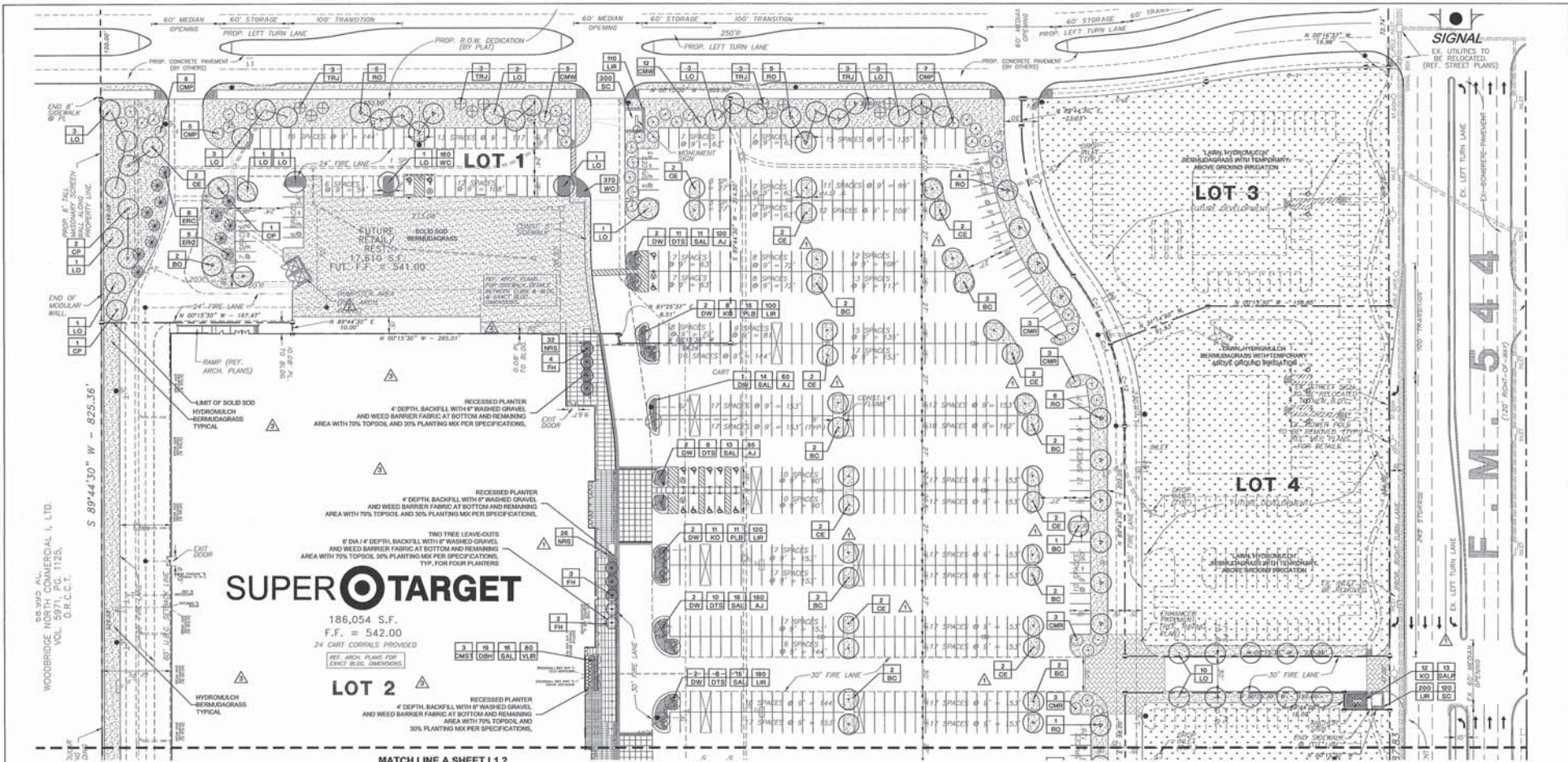
Revision table with columns: NO., DATE, REVISION.

LANDSCAPE PLANTING PLAN

DESIGN: JN DRAWING: JN CHECKED: MCS DATE: 2026-03-07

SHEET LP-1

File No. 2021-029



SUPER TARGET

186,054 S.F.
F.F. = 542.00

24 CART CORRELS PROVIDED

REF. ARCH. PLANS FOR EXIST. BLDG. ENVELOPE

LOT 2
RECESSED PLANTER AND WEED BARRIER FABRIC AT BOTTOM AND REMAINING AREA WITH 70% TOPSOIL AND 30% PLANTING MIX PER SPECIFICATIONS.

MATCH LINE A SHEET L1.2

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on old plans.
2. Adjust contours to achieve positive drainage away from building. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn. ADD ALTERNATE.
5. Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, acids, alkalis, vegetation, stones, containing no salt and toxic to lawn in color.
6. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
7. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 2" below final desired grade in planting areas and 1" below final finish grade.
2. Adjust contours to achieve positive drainage away from building. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated areas completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unwanted undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not be limited to: mowing, watering, weeding, cultivating, clearing and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

PLANT LEGEND

COUNTRY	PLANT TYPE
AJ	Adon Jasmine
BC	Belt Cypress
BU	Bur Oak
BRU	Blue Rug Juniper
CE	Cedar Elm
CM	Crope Myrtle 'Lantern'
CMF	Crope Myrtle 'Pink'
CMR	Crope Myrtle 'Red'
CMST	Crope Myrtle 'Spray Fun'
CMW	Crope Myrtle 'White'
CP	Chinese Pistache
DH	Dwarf Barford Holly
DH1	Dwarf Texas Sage 'Compact'
DS	Desert Yucca
ER	Eastern Red Cedar
FN	Foster Holly
HR	Horizontal Reed
HO	Knockout Rose
LR	Lilac
LO	Live Oak
LOS	Live Oak Spreading
MAD	Magnolia 'Bracken Branch'
NRD	Nallas R. Stevens Holly
DTB	Panorama 1.5m Holly
PH	Prostrata Hummer
RD	Red Oak 'Shumard'
SAL	Salvia 'Orange Yarrow's Red'
SALP	Salvia 'Orange Yarrow'
TR	Turkey Tail
TRC	Turkey Tail
WIC	Wintercreeper
EPH	East Palmetto Holly

AS BUILT
DATE 7/11/18



SMR
landscape architects, inc.
1706 N. Gates Street
North Tarrant County
The PLANT SHOP
Fax: 214.871.5666
Email: smr@smr.com

SUPER TARGET - WYLLIE, TX (T-2958)

LANDSCAPE PLAN
LOTS 1-17, BLOCK A - WOODBRIDGE CROSSING
S.E.C. F.M. 544 & McCREARY ROAD
THE CITY OF WYLLIE, TEXAS

LAWRENCE A. CATES & ASSOC., LLP
LAWYERS, GENERAL OFFICE, SUITE 200, (714) 388-2272
CONSULTING ENGINEERS
DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
BOA	BOA	2.21.08	1" = 40'	D.P.	2701 SITE L1.1

