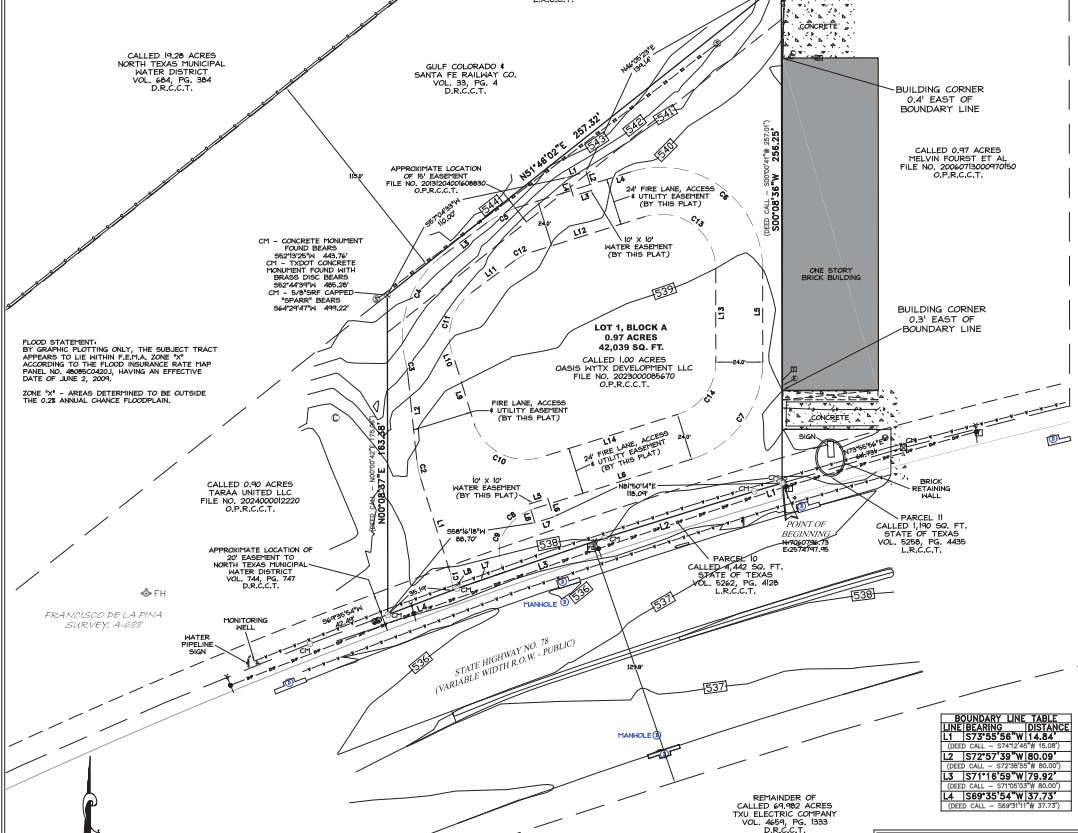


| FIRE LANE ACCESS & UTILITY EASEMENT LINE TABLE | | WATER EASEMENT LINE TABLE | | | |
|--|-------------|---------------------------|----------|-------------|-------|
| LINE BEARING | DISTANCE | LINE BEARING | DISTANCE | | |
| L1 | N17°12'22"W | 49.57 | L1 | N72°47'58"E | 10.00 |
| L2 | N05°45'28"W | 44.94 | L2 | S17°12'22"W | 10.00 |
| L3 | N53°42'59"E | 27.48 | L3 | S72°47'58"W | 10.00 |
| L4 | N72°47'58"E | 60.92 | L4 | N17°12'22"W | 10.00 |
| L5 | S00°09'24"W | 27.67 | L5 | N72°47'58"E | 10.00 |
| L6 | S17°16'59"W | 55.98 | L6 | S17°12'22"W | 10.00 |
| L7 | S17°16'59"W | 55.98 | L7 | N72°47'58"E | 10.00 |
| L8 | S69°35'54"W | 24.34 | L8 | N17°12'22"W | 10.00 |
| L9 | N17°12'22"W | 10.00 | | | |
| L10 | N21°13'48"W | 11.84 | | | |
| L11 | N52°24'58"E | 22.22 | | | |
| L12 | N22°29'29"E | 22.22 | | | |
| L13 | S00°09'24"W | 27.67 | | | |
| L14 | S72°47'58"W | 27.67 | | | |

| CURVATURE | LENGTH | CHORD | DELTA ANGLE | CHORD BEARING | CHORD LENGTH | DEGREE OF CURVE |
|-----------|--------|-------|-------------|---------------|--------------|-----------------|
| C1 | 9.84 | 28.00 | 20°07'35" | N07°08'24"W | 9.79 | 204°37'40" |
| C2 | 10.39 | 30.00 | 11°28'34" | N11°28'56"W | 10.37 | 110°11'03" |
| C3 | 4.51 | 13.00 | 9°13'28" | N10°22'13"W | 4.50 | 204°37'40" |
| C4 | 62.44 | 52.00 | 68°41'56" | N19°21'51"E | 56.88 | 110°11'03" |
| C5 | 17.32 | 32.00 | 18°04'59" | N33°15'09"E | 17.24 | 110°11'03" |
| C6 | 97.44 | 82.00 | 10°21'48" | S83°31'29"E | 83.80 | 110°11'03" |
| C7 | 65.92 | 52.00 | 72°58'14" | S38°51'51"W | 61.60 | 110°11'03" |
| C8 | 17.78 | 28.00 | 36°23'07" | S84°36'04"W | 17.48 | 204°37'40" |
| C9 | 25.66 | 20.00 | 67°47'11" | S02°30'58"W | 22.31 | 288°29'14" |
| C10 | 41.76 | 28.00 | 85°28'57" | N64°25'48"E | 37.99 | 204°37'40" |
| C11 | 36.82 | 28.00 | 74°58'28" | N18°14'25"E | 34.07 | 204°37'40" |
| C12 | 9.53 | 28.00 | 19°04'59" | N33°15'09"E | 9.28 | 204°37'40" |
| C13 | 52.47 | 28.00 | 10°21'48" | S83°31'29"E | 45.12 | 204°37'40" |
| C14 | 35.50 | 28.00 | 72°58'14" | S38°51'51"W | 33.17 | 204°37'40" |



| BOUNDARY LINE TABLE | | |
|---------------------|-------------|--------|
| LINE BEARING | DISTANCE | |
| L1 | S73°55'56"W | 174.84 |
| L2 | S72°57'59"W | 80.09 |
| L3 | S71°18'59"W | 79.92 |
| L4 | S89°53'54"W | 171.74 |

LEGEND

- CH CONTROLLING MONUMENT O.P.R.C.C.T. - OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- D.R.C.C.T. - DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. - PLAT RECORDS, COLLIN COUNTY, TEXAS
- 1 SIGN
- 2 SHOROT DRAIN MANHOLE
- 3 WATER VALVE
- 4 WATER MAIN
- 5 SANITARY SEWER MANHOLE
- 6 GUY WIRE
- 7 POWER POLE
- 8 ELECTRIC METER/BOX
- 9 TELEPHONE/FIBER/ST. OPTIC
- CHAIN LINK FENCE
- OVERHEAD ELECTRIC
- APPROX. LOCATION OF SEWER LINE
- WATER LINE LOCATION (PROVIDED BY OTHERS)
- 1 SIGN
- 2 SHOROT DRAIN MANHOLE
- 3 WATER VALVE
- 4 WATER MAIN
- 5 SANITARY SEWER MANHOLE
- 6 GUY WIRE
- 7 POWER POLE
- 8 ELECTRIC METER/BOX
- 9 TELEPHONE/FIBER/ST. OPTIC

SURVEYOR'S NOTES:

- BEARINGS ARE BASED ON NAD 83(2011), TEXAS NORTH CENTRAL 4202, AS OBSERVED BY GPS. AREA AND DISTANCES SHOWN HEREON ARE AT GRID.
- NO EASEMENT RECORD SEARCH HAS PAGE BY THIS OFFICE CONCERNING THIS.
- THE PROPERTY SHOWN HEREON HAS SURVEYED BASED ON DEEDS AND/OR LEGAL DESCRIPTIONS OBTAINED THROUGH HERON REAL ESTATE PROCEDURES. THERE MAY BE OTHER DOCUMENTS RECORDED/MANAGED THAT MAY AFFECT THE SUBJECT AND THIS SURVEY IS IN NO WAY IMPAIRS OWNERSHIP OF ALL OR ANY PART OF THE SUBJECT AS SHOWN HEREON.
- SELLING A PORTION OF THIS ACQUISITION BY PRETS AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND PENALTIES OF UTILITIES AND BUILDING PERMITS.

OWNER/DEVELOPER - Brylar Companies
 ADDRESS: 8300 Colinas Road, DALLAS, TEXAS 75009
 info@brylar.com | 214-632-4840

PROJECT NAME: LOT 1, BLOCK A, INTEGRITY 1ST, ADDRESS: 190 N. STATE HWY 78, HYLLIE, TEXAS
PREPARED: 02/26/2026
BY-LINE USE NO. 2023-1022
SCALE: 1" = 30'
TECHNICIAN: SG

PRELIMINARY PLAT OF INTEGRITY 1ST LOT 1, BLOCK A 0.97 ACRES
 AN ADDITION TO THE CITY OF HYLLIE, COLLIN COUNTY, TEXAS
 FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688

PROPERTY OWNER'S CERTIFICATE

STATE OF TEXAS
 COUNTY OF COLLIN

Whereas, Brylar Companies is the owner of a tract of land situated in the City of Hyllie, Collin County, Texas, out of the Francisco De La Pina Survey, Abstract No. 688, and being part of that called 1.00 acres of land described in a deed to Oasis MTTX Development LLC as recorded in File No. 202300026670 of the Official Public Records of Collin County, Texas (Bearings are based on NAD 83 (2011), Texas North Central 4202, as observed by GPS. Area and distances shown hereon are at grid), and being further described as follows:

BEGINNING at a 1/2 inch steel rod found with red cap at the Southwest line of State Highway No. 78 at the Southwest corner of said 1.00 acre, at the Southwest corner of that called 0.97 acres of land described in a deed to Pacific Forest et al as recorded in File No. 2004071300070160 of the Official Public Records of Collin County, Texas, at the Northeast corner of that called 4.442 square feet of land described as Parcel 1 in a deed to Oasis MTTX Development LLC as recorded in Volume 428 of the Land Records of Collin County, Texas and at the Northwest corner of that called 1.00 square feet of land described as Parcel 1 in a deed to State of Texas as recorded in Volume 5258, Page 4495 of the Land Records of Collin County, Texas, from which a 'Y' found in concrete bears North 61 degrees 55 minutes 56 seconds East, 64.73 feet for witness;

THENCE along the common line of said 1.00 acres, said 4.442 square feet tract and State Highway 78 as follows:
 South 73 degrees 55 minutes 56 seconds West, 14.84 feet to a 1/2 inch steel rod found with yellow cap;
 South 72 degrees 57 minutes 39 seconds West, 80.09 feet to a 1/2 inch steel rod found with yellow cap stamped 'CBG';
 South 71 degrees 16 minutes 59 seconds West, 79.92 feet to a 1/2 inch steel rod found with yellow cap;
 South 69 degrees 35 minutes 54 seconds West, 37.73 feet to a 1/2 inch steel rod found at the Southwest corner of said 1.00 acres, at the Southwest corner of that called 0.90 acres of land Torax United LLC as recorded in File No. 202400012220 of the Official Public Records of Collin County, Texas, from which a 1/2 inch steel rod found with yellow cap bears South 61 degrees 35 minutes 54 seconds West, 42.49 feet for witness;

THENCE North 00 degrees 08 minutes 37 seconds East, 163.38 feet along the common line of said 1.00 acres and said 0.90 acres to a 1/2 inch steel rod set capped 'By-Line Surveying' at the intersection of the West line of said 1.00 acres, the East line of said 0.90 acres and the Southeast line of the Kansas City Southern Railroad Company as recorded in File No. 94-00786324 of the Official Public Records of Collin County, Texas and that tract of land described in a deed to Gulf Colorado and Santa Fe Railway Co. as recorded in Volume 33, Page 4 of the Deed Records of Collin County, Texas (said Southeast line being the same as shown on right of way map of the A.T.&S.F. RY. CO. with a revised date of 10-17-86), from which a concrete monument found at the West corner of said 0.90 acres bears South 52 degrees 13 minutes 25 seconds West, 443.76 feet for witness and from which a T&S.C. cast iron brass disc at the East corner of that called 9,074.97 acres of land described in a deed to the State of Texas as recorded in Volume 5140, Page 2834 of the Land Records of Collin County, Texas bears South 52 degrees 44 minutes 31 seconds West, 486.28 feet and from which a 5/8 inch steel rod found with red cap stamped 'Sparr' at the North corner of that called 5.489 acres of land described in a deed to North Texas Municipal Water District as recorded in Volume 5406, Page 320 of the Land Records of Collin County, Texas bears South 64 degrees 29 minutes 47 seconds West, 494.22 feet for witness;

THENCE North 51 degrees 46 minutes 02 seconds East, 257.32 feet along the Southeast line of said Kansas City Southern Railroad Company right of way and said Gulf Colorado and Santa Fe Railway Co. tract to a 1/2 inch steel rod set capped 'By-Line Surveying' in the East line of said 1.00 acres and in the West line of said 0.97 acres;

THENCE South 00 degrees 08 minutes 36 seconds East, 256.25 feet along the common line of said 1.00 acres and said 0.97 acres to the POINT OF BEGINNING, containing 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Brylar Companies acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as LOT 1, BLOCK A, Integrity 1st, an addition to the City of Hyllie, Texas and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements, or other structures, or any other improvements, shall be placed on the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Hyllie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Hyllie's use thereof.

The City of Hyllie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Hyllie and public utility entities shall at all times have the full right of ingress and egress to and from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone.

This plat approved subject to all plotting ordinances, rules, regulations and resolutions of the City of Hyllie, Texas.

WITNESS, my hand, this ____ day of _____, 20____.

By: _____
 Scott Remprey, Representative

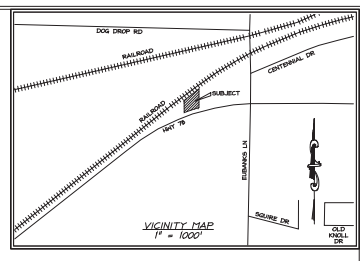
STATE OF TEXAS
 COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Scott Remprey, Brylar Companies, Registered, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires On _____



APPROVAL BLOCK

'RECOMMENDED FOR APPROVAL'

Chairman, Planning & Zoning Commission _____ Date _____
 City of Hyllie, Texas

'APPROVED FOR CONSTRUCTION'

Mayor, City of Hyllie, Texas _____ Date _____

'ACCEPTED'

Mayor, City of Hyllie, Texas _____ Date _____

The undersigned, the City Secretary of the City of Hyllie, Texas, hereby certifies that the foregoing Final plat of INTEGRITY 1ST, LOT 1, BLOCK A, to the City of Hyllie was submitted to the City Council on the ____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this ____ day of _____, A.D., 20____

City Secretary
 City of Hyllie, Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Shane Graham, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Hyllie.

SMALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Shane Graham, Registered Public Land Surveyor
 Registration No. 6404

STATE OF TEXAS
 COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Shane Graham, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires On _____

BY-LINE SURVEYING LLC
 7500-10-015
 El Paso, TX 75040
 PH: (940) 415-5330
 Fax: (940) 415-5330
 www.bylinesurveying.com
 shane@bylinesurveying.com