

FIRE LANE MAINTENANCE NOTE:

1. DESIGNATED FIRE LANE SHALL BE SURFACED WITH MIN. 4000 PSI, #4 @ 18" O.C.W 6" CONCRETE WITH 6" LIME TREATED SUBGRADE TO SUPPORT ANY FIRE DEPARTMENT VEHICLE AND SHALL REMAIN STRUCTURALLY UNAFFECTED BY BAD WEATHER.

2. APPROVED STRIPING SHALL BE PROVIDED AND MAINTAINED FOR THE FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS AND TO PROHIBIT THEIR OBSTRUCTION.

3. 6-INCH WIDE RED STRIPING SHALL BE ALONG THE PERIMETER AND CONTAIN THE WORDS "FIRE LANE NO PARKING" IN 4-INCH HIGH WHITE LETTERS, AT 25 FOOT INTERVALS.

4. IT SHALL BE RESPONSIBILITY OF THE OPERATOR/OWNER OF PREMISES HAVING A FIRE LANE TO MAINTAIN IT IN GOOD CONDITION, FREE OF OBSTRUCTION.

SITE DATA SUMMARY TABLE

ITEM	
ZONING (from zoning map)	LIGHT INDUSTRIAL (LI)
LAND USE (from zoning ordinance)	LIGHT INDUSTRIAL
LOT AREA (square feet & acres)	87,095 SF ± (2.0 AC±)
PROP. BUILDING FOOT PRINT AREAS	32,875 S.F.
TOTAL BUILDING AREAS (square feet)	32,875 S.F.
LOADING/UNLOADING AREA	3600 SF
BUILDING HEIGHT	25.0'
NUMBER OF STOREY	ONE
LOT COVERAGE	37.74 %
PARKING	
TOTAL PARKING SPACES REQUIRED : 1 PARKING SPACE FOR 1000 SF	
TOTAL PARKING SPACES REQUIRED (32,875-3600)/1000 SF	30 SPACES
PROVIDED PARKING (# spaces)	32 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	7 SPACES

SCHEDULE:

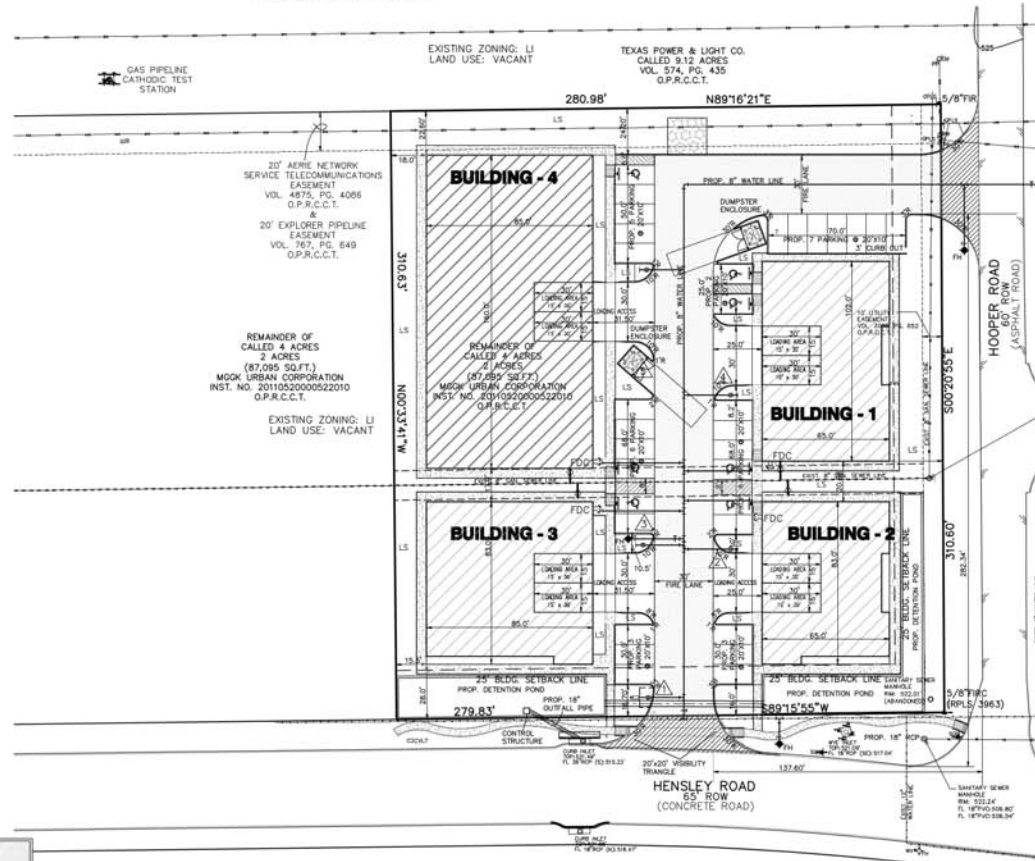
1. PRELIMINARY PLAT SUBMITTAL: 02/14/2022
2. CIVIL CONSTRUCTION DRAWINGS SUBMITTAL: 03/07/2022
3. BUILDING DRAWINGS SUBMITTAL: 03/07/2022
4. CONSTRUCTION START: 05/01/2022
5. CONSTRUCTION END: 11/01/2022

NOTE:

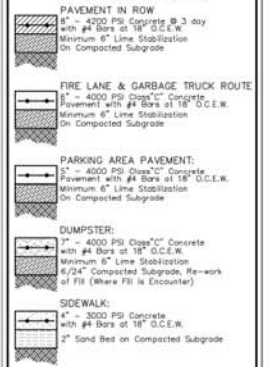
EXTERIOR BUILDING FINISH: PREFABRICATED METAL

DUMPSTER NOTE:

DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



TYPICAL PAVING SECTION



ALL CONCRETE FOR PAVEMENT SHALL BE 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.

WATER METER SCHEDULE

I.D	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
1	IRRIGATION	1.0"	1	N/A	PROPOSED
2	DOMESTIC	1.0"	1	4"	PROPOSED
3	DOMESTIC	1.0"	1	4"	PROPOSED
4	DOMESTIC	1.0"	1	4"	PROPOSED
5	DOMESTIC	1.0"	1	4"	PROPOSED



VICINITY MAP
N.T.S.

PROJECT SITE

NOTE:

THE PURPOSE OF THIS SITE PLAN IS TO CONSTRUCT A 4-METAL BUILDING

LEGEND

GT495X70	EXIST. GUTTER ELEVATION
CLVT	EXIST. CABLE VAULT
WVH	EXIST. WATER VALVE
HYH	EXIST. FIRE HYDRANT
SSMH	EXIST. SANITARY SEWER MANHOLE
SS	EXIST. TREE
SS	EXIST. FENCE
SS	EXIST. WATER LINE
SS	EXIST. SANITARY SEWER LINE
SS	EXIST. STORM SEWER LINE
SS	EXIST. CONTOUR

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MD Naim Uddin Khan
1-20-2022
ENGINEER NO. 87776, THESE PLANS WERE
PREPARED UNDER THE RESPONSIBLE SUPERVISION
OF MD NAIM UDDIN KHAN REGISTERED
PROFESSIONAL ENGINEER
THE SEAL APPEARING ON THIS DOCUMENT HAS
AUTHORIZED BY MD NAIM UDDIN KHAN P.E.
#87776

SITE PLAN

HENSLEY PARK
550 HOPPER ROAD, WYILE, TX 75098
AREA: 87,095 SF/2.0 ACRES

ND & Associates, LLC
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Wylie, Texas 75098
Contact: Naim Khan, P.E., CFM
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FIRM # F - 13340

Date : 2/20/2022

Design : ND

Draft : ND

Checked : ND

PROJECT NO : 850-WYL-2022

SCALE: 1" = 30'

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