

NSA OPTIVEST HOLDINGS - RIGHT SPACE STORAGE

3475 W. FM 544, Wylie, Texas 75098
BLK 1, LOT 2R; ID: R-8451-001-002R-1

Proposed location of additional storage buildings.

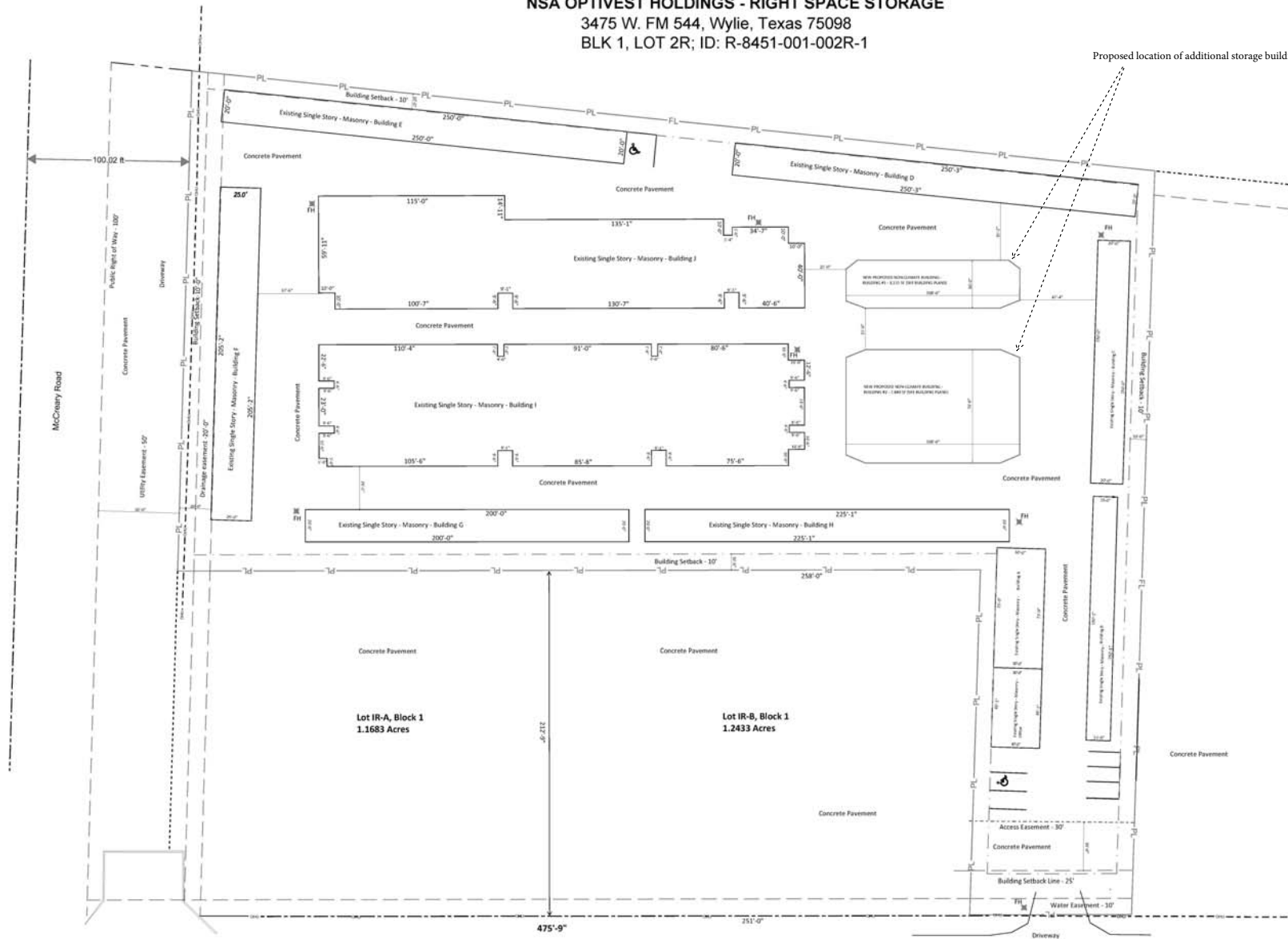
No.	Revision/Issue	Date
1	Revised/Permit	08/20/21
2		
3		
4		
5		

RIGHT SPACE
WYLIE, TX

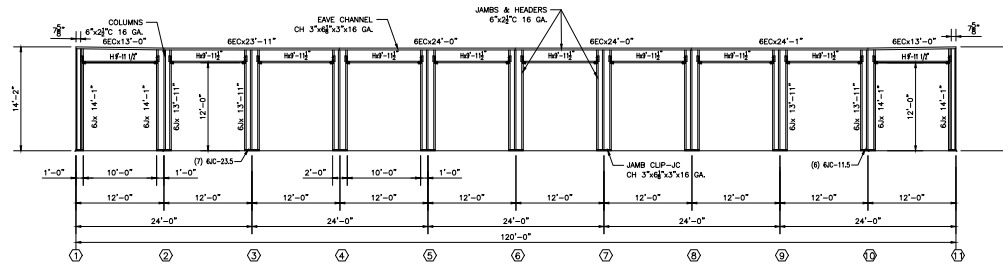
AVIAD
BUILDING SYSTEMS

P.O. BOX 5879 BOJARD ROCK, TEXAS 76603-5879
1-877-854-2843 1-512-491-9235 1-512-491-9233 FAX

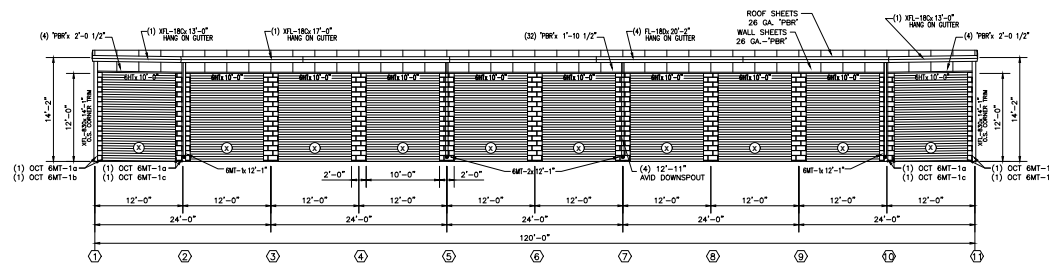
SCALE: 1 in=40 ft



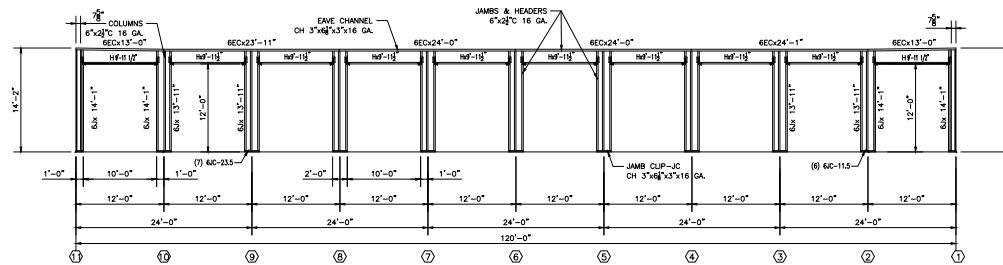
REVISED



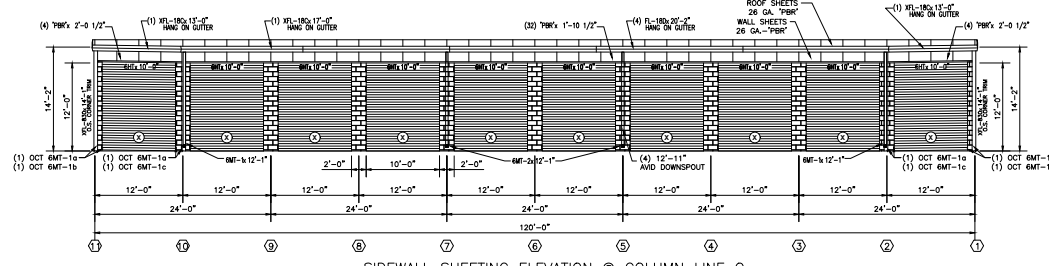
SIDEWALL FRAMING ELEVATION @ COLUMN LINE A
BUILDING 2 - SCALE: 1/8" = 1'-0"



SIDEWALL SHEETING ELEVATION @ COLUMN LINE A
BUILDING 2 - SCALE: 1/8" = 1'-0"



SIDEWALL FRAMING ELEVATION @ COLUMN LINE Q
BUILDING 2 - SCALE: 1/8" = 1'-0"



SIDEWALL SHEETING ELEVATION @ COLUMN LINE Q
BUILDING 2 - SCALE: 1/8" = 1'-0"

No.	Revision/Issue	Date
1	Approval	07/22/21
2	Revision	01/07/22
3		
4		

CARTER-RIGHT SPACE STORAGE
WYLIE, TX



DESCRIPTION	SIDE WALL ELEVATIONS
DWG BY	CHW
CHECKED BY	
JOB NO.	88823
Date	07-15-2021
Scale	Ref. Drawing

SHEET
A-3
OF SHEETS

BUILDING 2

10 BASIS OF BEARINGS

THE EAST LINE OF LOT 29, BLOCK 1 IN McCREARY-FW 544 ADDITION
REPLAT HAVING A BEARING OF SOUTH 01 DEGREES 47 MINUTES 20
SECONDS WEST ACCORDING TO THE PLAT RECORDED IN VOLUME Q,
PAGE 133 OF THE MAP RECORDS OF COLLIN COUNTY, TEXAS.

CONTROLLING MONUMENTS:

The found 1/2" capped iron Rod at the Northeast corner of the subject property and the found 1/2" iron rod at the Southeast corner of the subject property.

12 PARKING INFORMATION

10 REGULAR STRIPED PARKING SPACES
2 STRIPED HANDICAP SPACES
12 TOTAL STRIPED PARKING SPACES

13	LAND AREA
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4.282 ACRES
186,534 SQUARE FEET

14	BUILDING AREA
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BUILDING A	2,217 SQUARE FEET
BUILDING B	2,252 SQUARE FEET
BUILDING C	3,000 SQUARE FEET
BUILDING D	5,006 SQUARE FEET
BUILDING E	5,000 SQUARE FEET
BUILDING F	5,130 SQUARE FEET
BUILDING G	4,000 SQUARE FEET
BUILDING H	4,502 SQUARE FEET
BUILDING I	21,870 SQUARE FEET
BUILDING J	17,571 SQUARE FEET
OFFICE	1,473 SQUARE FEET

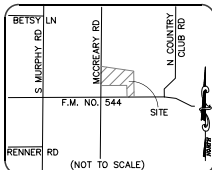
(SEE NOTE 11)

15	BUILDING HEIGHT
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BUILDING A	11.3 FEET
BUILDING B	11.3 FEET
BUILDING C	10.0 FEET
BUILDING D	10.0 FEET
BUILDING E	10.0 FEET
BUILDING F	10.0 FEET
BUILDING G	10.0 FEET
BUILDING H	10.0 FEET
BUILDING I	12.0 FEET
BUILDING J	12.0 FEET
OFFICE	21.4 FEET

(SEE NOTE 10)

16 VICINITY MAP

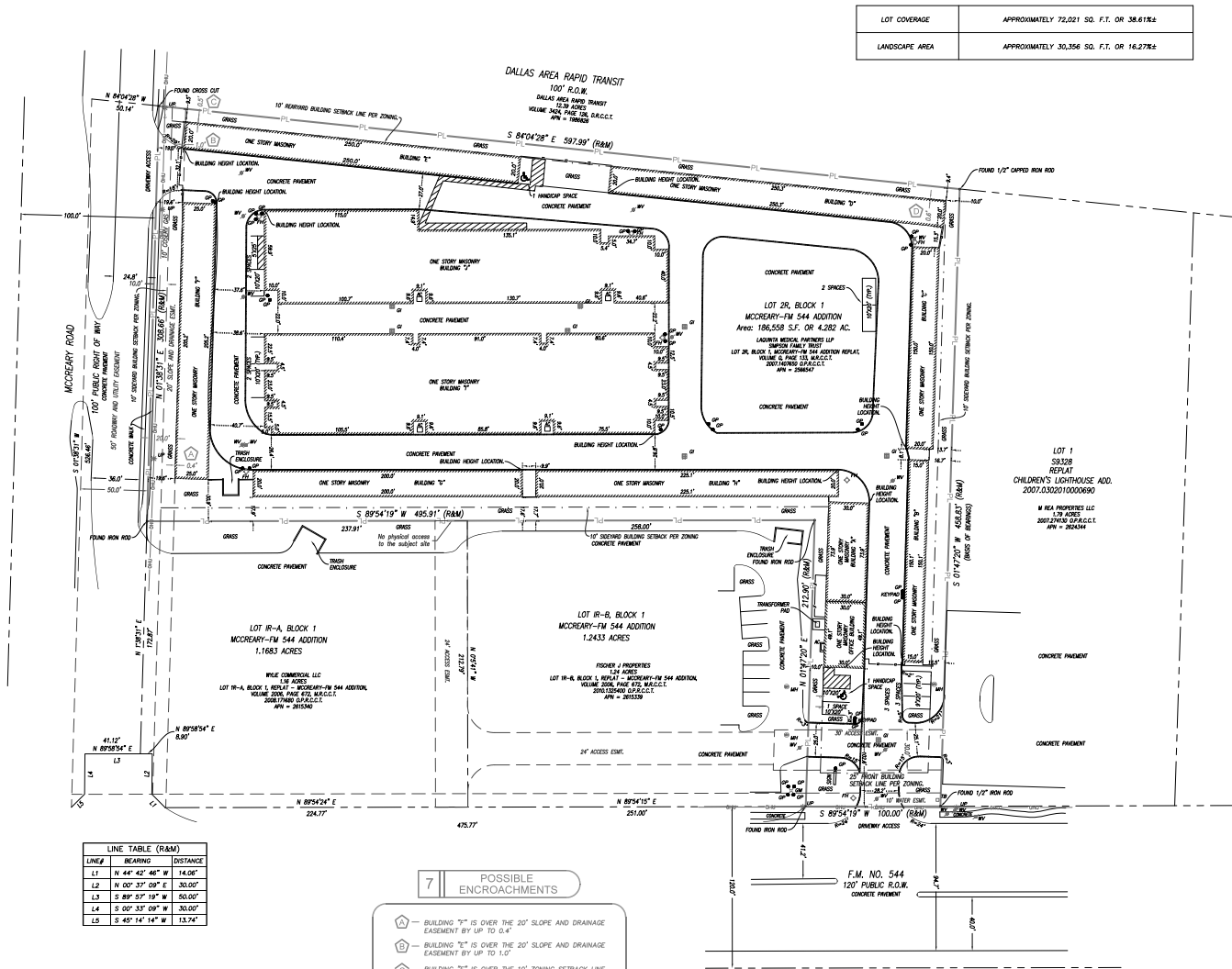


The surveying company:
Commercial Due Diligence Services
certifies to the accuracy and sufficiency
of the survey provided herein.

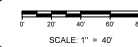
CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Main Office Phone No.: 405-253-2444

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19 SURVEY DRAWING



17 NORTH ARROW / SCALE



9	LEGEND
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18	TEXAS BOUNDARY SURVEY
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This survey was made in accordance with the current Texas Society of Professional Surveyors Standards and Specifications

This Work Coordinated By:

CDS
COMMERCIAL
DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Main Office Phone No.: 405-253-2444
Toll Free: 888.457.7878

Prepared For:

20	PROJECT ADDRESS
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3475 W. FM 544
Wylie, Texas 75098

Project Name:
Carter-RightSpace-Wylie TX
CDS Project Number:
21-09-0286

Site Summary

Project:

Right Space Storage Expansion
3475 W. FM 544, Wylie, Texas 75098

Existing Zoning:

CC (Commercial Corridor)

Proposed Use:
Storage

Lot Area:

186,534 SF or 4.282 Acres

Existing Storage Use:

72,021 sf

Proposed Additional Storage:

10,595 sf

Total Combined Storage Footage (New & Existing):

82,616 sf

Landscaped Area:

Approximately 30,356 sf or 16.27%