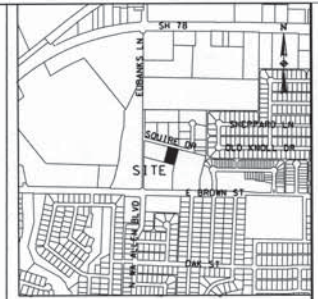


GENERAL NOTES!!!

NO APPURTENANCE BETWEEN THE HEIGHT OF 2' AND 9' MAY BE PLACED IN THE VISIBILITY TRIANGLES NO PART OF THE SUBJECT PROPERTY IS SHOWN TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PER MAP NO. 480504000 OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR COLLIN COUNTY, TEXAS AND INCORPORATED AREAS, DATED JUNE 02, 2009 (ZONE X)

N

SCALE IN FEET
SCALE: 1" = 20'



Vicinity Map
(not to scale)

LOT 3
WYNHAM ESTATES PHASE II
VOLUME F, PAGE 578
P.R.C.C.T.

LOT 4
WYNHAM ESTATES PHASE II
VOLUME F, PAGE 578
P.R.C.C.T.

LOT 6R
WYNHAM ESTATES PHASE II
4TH REVISION
VOLUME G, PAGE 431
P.R.C.C.T.

LOT 28R
WYNHAM ESTATES PHASE II
4TH REVISION
VOLUME M, PAGE 113
P.R.C.C.T.

LOT 26R
WYNHAM ESTATES PHASE II
4TH REVISION
VOLUME F, PAGE 578
P.R.C.C.T.

LOT 25
WYNHAM ESTATES PHASE II
VOLUME F, PAGE 578
P.R.C.C.T.

LOT 24
WYNHAM ESTATES PHASE II
VOLUME F, PAGE 578
P.R.C.C.T.

LOT 34
WYNHAM ESTATES PHASE II
VOLUME F, PAGE 578
P.R.C.C.T.

- LOT 26R-1 - WYNHAM ESTATES PHASE II
1. ZONING: 1 - INDUSTRIAL
 2. PROPOSED USE: OFFICE/WAREHOUSE
 3. PROPERTY AREA: 30.750 SF - 0.7059 ACRES
 4. BUILDING AREA: OFFICE - 2,000 SF
WAREHOUSE - 3,850 SF
TOTAL - 5,850 SF
 5. BUILDING HEIGHT: 1 - STORY - 25' MAX
 6. LOT COVERAGE: 19.0%
 7. F.A.R. = 190.1
 8. PARKING PROVIDED: 1:300 OFFICE - 1:1,000 WAREHOUSE = 11 SPACES
HANDICAP REQUIRED 1 ACCESSIBLE/25 SPACE
 9. PARKING PROVIDED: 18 SPACES + 1 ACCESSIBLE = 19 SPACES
 10. LANDSCAPE REQUIRED (10% GROSS AREA): 3.075 SF
LANDSCAPE PROVIDED: 3.178 SF

HELMBERGER ASSOCIATES, INC. - F-000785
CIVIL/ENVIRONMENTAL ENGINEERS
PRELIMINARY - FOR INTERIM REVIEW ONLY
These documents are for interim review and not intended for construction, building, or permit purposes. They were prepared by, or under the supervision of, the undersigned.
Randall T. Helmberger #22712

OWNER:
DFW ELECTRIC GROUP, LLC.
1010 SQUIRE DRIVE
WYLLIE, TEXAS 75098
KEVIN FREUDIGER
(972) 442-9584

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLLIE, TEXAS 75098
RANDALL T. HELMBERGER, PE
(972) 442-7459

DEVELOPMENT PLAN

LOT 26R-1 - WYNHAM ESTATES PHASE II
1014 SQUIRE DRIVE, WYLLIE, TEXAS 75098

DFW ELECTRIC GROUP, LLC.

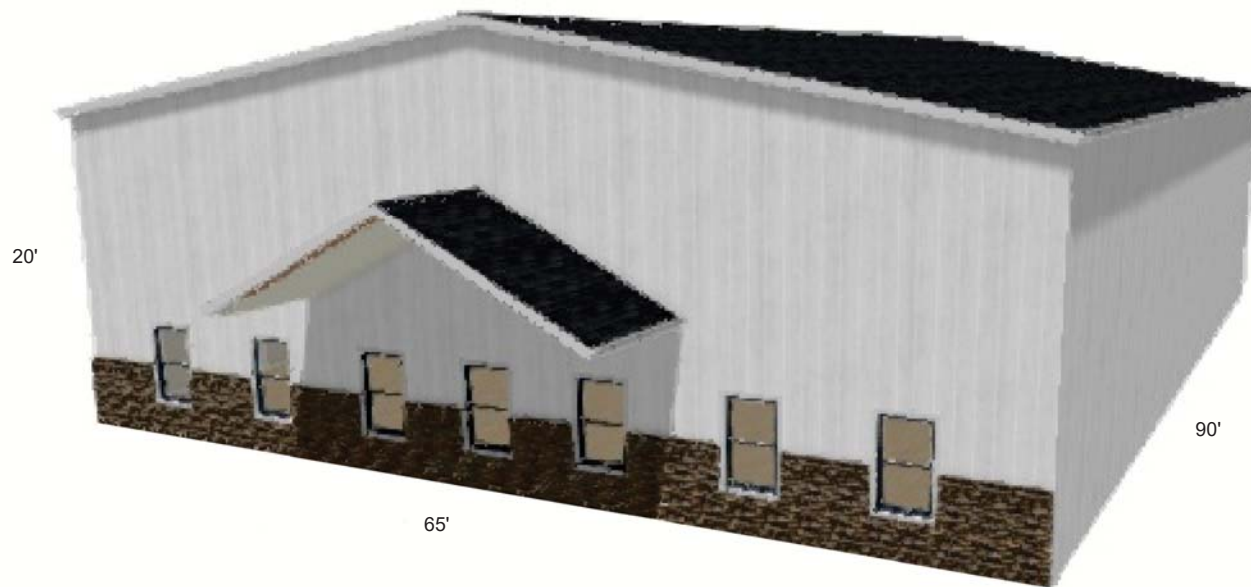
SQUIRE DRIVE, WYLLIE, TEXAS

HELMBERGER ASSOCIATES, INC.
CIVIL AND ENVIRONMENTAL ENGINEERS
2025 BOZMAN ROAD, WYLLIE, TEXAS 75098 (972) 442-7459

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM	CHAD	APRIL 2024	1"=20'	SPLAN	3201	C1

- LINE LEGEND:
- PROPERTY LINE
 - DRAINAGE FLOW
 - PROPOSED WATER LINE
 - PROPOSED STORM SEWER
 - PROPOSED STREET
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - BUILDING SETBACK LINE
 - DRAINAGE EASEMENT
 - DRAINAGE DIVIDE LINE
 - ROW / LOT LINE

BENCHMARK:
CITY OF WYLLIE CONTROL MONUMENT #1
LOCATED AT NORTH SIDE OF SH 78 NEAR
THE EAST ENTRANCE DRIVE FOR CITY OF
WYLLIE POLICE COMPLEX - 3550 SH 78 N
MARKED: PAGE 6648
ELEVATION = 100.264
CITY OF WYLLIE CONTROL MONUMENT #2
LOCATED AT THE OLD CITY PARK
1/4 SOUTH OF THE BUILDING AT
1/4 SOUTH BALLARD
MARKED: PAGE 6671
ELEVATION = 100.238



REVISION TABLE	
NUMBER	DESCRIPTION

DRAWINGS PROVIDED BY:

DATE:

4/24/24

SCALE:

SHEET:



REVISION TABLE	
NUMBER	DESCRIPTION

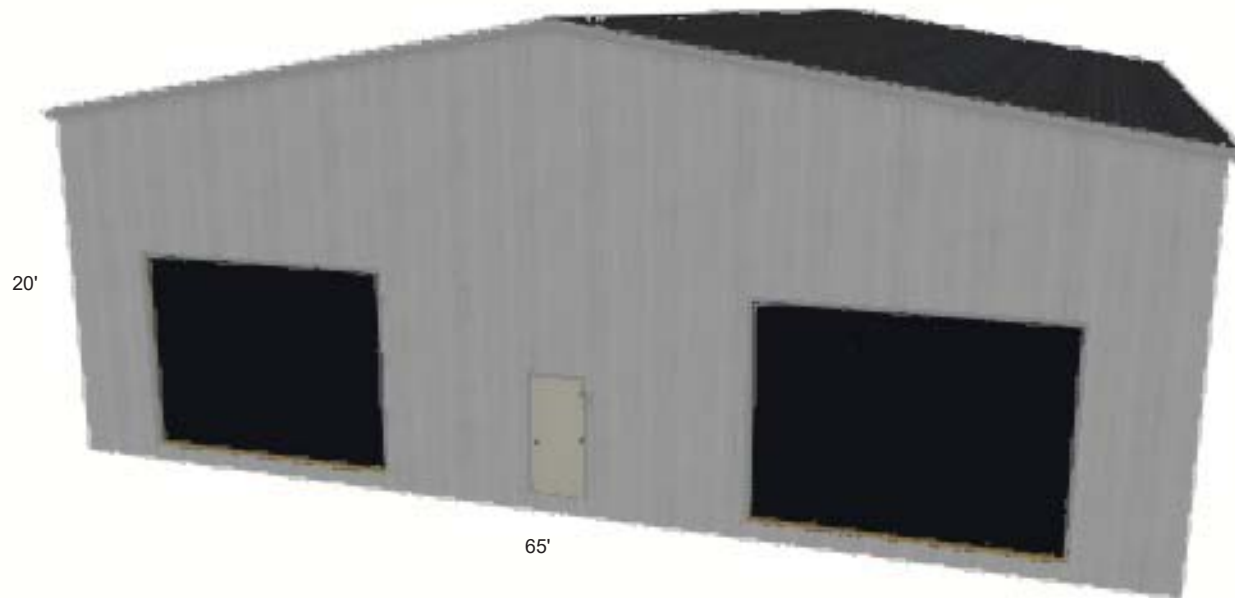
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