

LEGEND

EXISTING LEGEND

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ METER
- SANITARY SEWER W/ MANHOLE
- SANITARY SEWER W/ CLEANOUT
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- OVERHEAD ELECTRIC
- PROPERTY LINE
- EXISTING CONCRETE PAVEMENT

PROPOSED LEGEND

- WATERLINE W/ GATE VALVE
- WATERLINE W/ SF PREVENTER & METER
- WATERLINE W/ FIRE HYDRANT
- SANITARY SEWER W/ MANHOLE
- SANITARY SEWER W/ CLEANOUT
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- PROPOSED SIDEWALK

- NOTES**
1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
 2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
 3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
 4. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
 5. ALL PARKING ISLAND RADII ARE 3' UNLESS OTHERWISE NOTED.

- DESIGN DESIRABLES**
1. FIGURE 4.7 SITE DESIGN REQUIREMENTS
 - SITE PLAN WITH NO MORE THAN ONE ROW OF PARKING IN FRONT OF THE BUILDING.
 - BUILDING WITH NO MORE THAN ONE ROW OF PARKING IN FRONT. COMBINED ACCESS POINTS WITH ADJACENT TRACTS.
 - DIRECT CONNECTION BETWEEN BUILDINGS AND STREET.
 2. FIGURE 4.8 LANDSCAPING DESIGN REQUIREMENTS
 - LANDSCAPING IN, USE AND BEAR NOT OTHERWISE REQUIRED.
 - LANDSCAPING 10% OR MORE IN EXCESS OF 50 SQ. FT. SPACE.
 - PARKING LOTS WITH NO SPACE FURTHER THAN 40 FEET FROM A LANDSCAPED AREA.
 - INCREASE IN MINIMUM WIDTH OF LANDSCAPE BUFFER BY 20%.
 3. FIGURE 4.9 ARCHITECTURAL DESIGN REQUIREMENTS
 - USE OF TWO COMPLEMENTARY PRIMARY MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAILING.
 - COPY SAME STYLE ENTIRE BLOCK.
 - APPLICATION OF BAKE STANDARDS TO FACADES NOT FACING A PUBLIC STREET.
 - USE OF ARCHITECTURAL DETAILING AND/OR MATERIALS TO PROVIDE VARIETY IN VISUAL APPEARANCE.

- DEVELOPMENT SCHEDULE**
1. APPROXIMATE 3 MONTHS FOR CIVIL PLAN APPROVAL.
 2. APPROXIMATE 12 MONTHS FOR CONSTRUCTION.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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OWNER/DEVELOPER

URBAN GARAGES MCKINNEY, LLC
6136 FRISCO SQUARE BLVD, SUITE 400
FRISCO, TX 75034
TEL (469) 252-1123
CONTACT: CARL FLEMING

ARCHITECT

ATRIECON SDG, LLC
P.O. BOX 700856
SAN ANTONIO, TEXAS 78270
TEL (210) 420-0635
CONTACT: LAURA DUNCAN

CIVIL ENGINEER

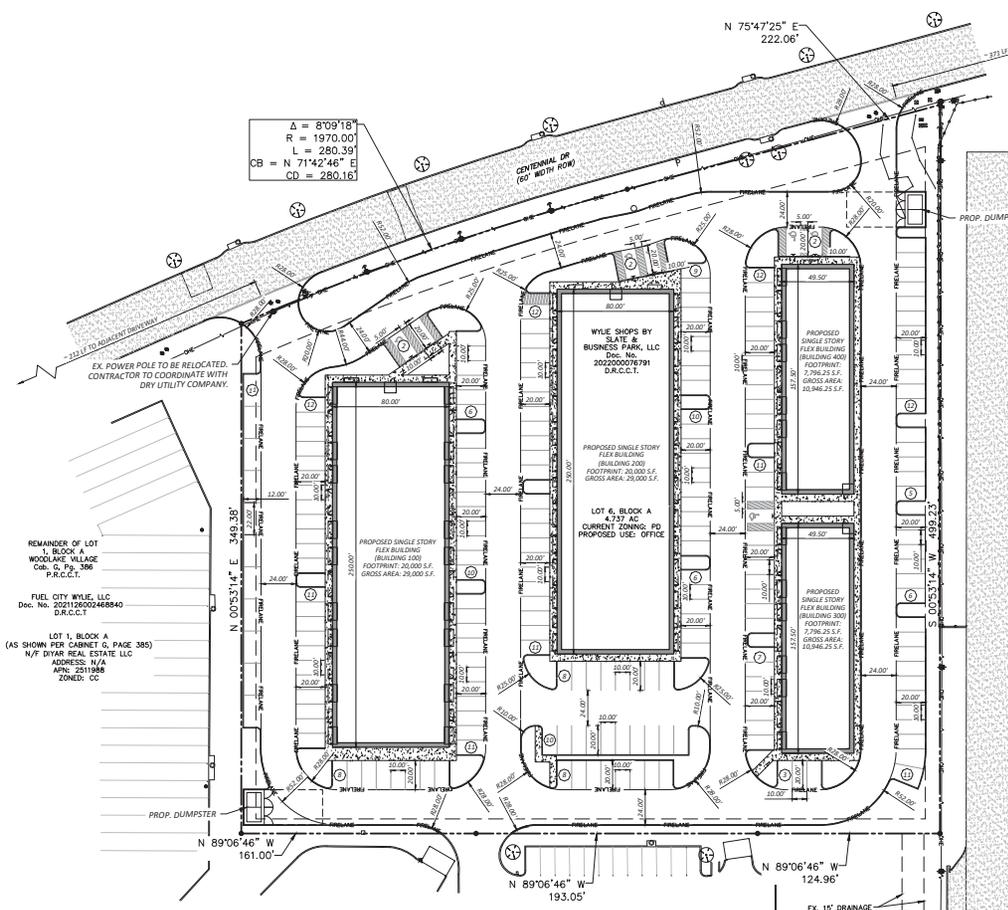
QUIDDITY ENGINEERING, LLC
2805 DALLAS PARKWAY, SUITE 600
PLANO, TEXAS 75093
TEL (972) 265-7174
CONTACT: ALEK W. STRIMPLE, PE

LANDSCAPE ARCHITECT

QUIDDITY ENGINEERING, LLC
2805 DALLAS PKWY, SUITE 600
PLANO, TEXAS 75093
TEL (972) 488-3880
CONTACT: JORDAN KAYLOW, PLA

CITY OF WYLE
PUBLIC SAFETY BUILDING
(AS SHOWN PER CABINET G, PAGE 385)
N/7 WYLE CITY OF
2000 N STATE HWY 75
WYLE, TEXAS 75098
APN: 2817062
ZONED: CG50AP

SITE DATA	
LOT AREA:	4.737 ACRES (206,344 SQ. FT.)
EXISTING ZONING:	PD
PROPOSED LANDUSE:	OFFICE
BUILDING AREA:	79,892.50 SQ. FT.
FLOOR/AREA RATIO:	0.39
PARKING REQUIRED:	202 SPACES (1 SPACE/400 SQ. FT.)
PARKING PROVIDED:	
SURFACE PARKING:	209 SPACES
ACCESSIBLE PARKING:	7 SPACES
TOTAL PARKING:	216 SPACES



REMANINDER OF LOT 1, BLOCK A, WOODLAKE VILLAGE, CAPS, S. P.S. 306 P.R.C.C.T.

FUEL CITY WYLE, LLC
Doc. No. 2021126002468840
D.R.C.C.T.

LOT 1, BLOCK A (AS SHOWN PER CABINET G, PAGE 385) N/7 DYAR REAL ESTATE LLC
ADDRESS: N/A
APN: 2511985
ZONED: CC

APP.	
DESIGN	
REVISION	
No.	Date

QUIDDITY
ENGINEERING, LLC
2805 DALLAS PARKWAY, SUITE 600
PLANO, TEXAS 75093
TEL (972) 488-3880

DESIGNED BY: A.W.S.
DATE: JANUARY 2026
CHECKED BY: A.W.S.
FOR NO.: 2024-006-01
DRAWN BY: J.A.C.T.

INTERIM REVIEW
Not intended for construction, loading or permit purposes.
Engineer: ALEK W. STRIMPLE, P.E.
P.E. Serial No.: 142580
Date: JANUARY 2026

URBAN GARAGES WYLE
2805 DALLAS PARKWAY, SUITE 600
PLANO, TEXAS 75093

SITE PLAN EXHIBIT
URBAN GARAGES ADDITION, LOT 6, BLOCK A
01/20/2026

C:\2024\2024-006-01 Urban Garages - Wyle\2 Design Phase\CAD\Plan\2024-006-01 Site Plan.dwg 1/19/2026 2:20pm mcsd

NOTES

SCOPE OF WORK NOTES

- CONTRACTOR SHALL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS, AND INSPECTIONS RELATED TO SCOPE OF WORK.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES, OR UNKNOWN CONDITIONS ARE ENCOUNTERED.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING, DIGGING, OR CONSTRUCTION.
- LIMITS OF WORK INDICATED ON THE DRAWINGS ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT AND REESTABLISH ALL DISTURBED AREAS.
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED.

SOIL PREPARATION AND TOPSOIL NOTES

- GENERAL CONTRACTOR TO PERFORM A SOIL TEST PRIOR TO LANDSCAPE WORK COMMENCING AND SHALL PROVIDE THE PROJECT LANDSCAPE ARCHITECT WITH THE RESULTS. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
- GENERAL CONTRACTOR SHALL ESTABLISH A TOPSOIL MANAGEMENT PLAN/OPERATION THROUGHOUT THE CONSTRUCTION PROCESS. ON-SITE EXCESS EXCAVATIONS AND UTILITY SPOILS THAT ARE FREE OF ROCKS LARGER THAN 3/4" SLASH, DEBRIS, ROOTS, OR OTHER DETERIOROUS MATTER MAY BE USED AS GENERAL EARTH FILL BUT SHALL NOT BE USED AS TOPSOIL.
- GENERAL CONTRACTOR TO BRING ALL FUTURE PLANTING BED AREAS TO NINE (9) INCHES BELOW FINAL GRADE. ALL AREAS TO RECEIVE TURF GRASS SHALL BE BROUGHT TO SIX (6) INCHES BELOW FINAL GRADE. GENERAL CONTRACTOR TO INSTALL AND/OR COORDINATE THE INSTALLATION OF REQUIRED FERTILE TOPSOIL PER THE TOPSOIL MANAGEMENT PLAN, SOIL TEST RESULTS, AND THESE SPECIFICATIONS AND DETAILS, AND COORDINATE THE TIMING OF ROUGH GRADING, FINE GRADING, AND THE INSTALLATION OF IRRIGATION AND LANDSCAPE IMPROVEMENTS.
- THE CONTRACTOR'S BID SHALL INCLUDE ALL NECESSARY TOPSOIL (IMPORT MAY BE REQUIRED) TO BACKFILL ALL DISTURBED AREAS.
- AFTER SCARIFICATION OF THE SOIL, FIVE (5) INCHES OF FERTILE TOPSOIL SHALL BE USED TO BRING DISTURBED, FUTURE SOD TURF AREAS TO ONE (1) INCH BELOW FINAL GRADE.
- FOR FUTURE PLANTING BED PREPARATION, TILL SOIL AN ADDITIONAL SIX (6) INCHES (FIFTEEN (15) INCHES TOTAL DEPTH BELOW FINAL GRADE). APPLY FERTILIZER PER SOIL TEST RESULTS AND MANUFACTURER'S RECOMMENDATIONS, THEN ADD SIX (6) INCHES OF COMPOST AND TILL INTO A DEPTH OF TWELVE (12) INCHES (SETTLED THICKNESS), BRINGING THE TOP OF BED TO THREE (3) INCHES BELOW FINAL GRADE.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. PROVIDE UNIFORM ROUNDING AT THE TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE.

JOB CONDITION NOTES

- GENERAL CONTRACTOR TO COMPLETE WORK PRIOR TO LANDSCAPE CONTRACTOR COMMENCING WORK.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT BELOW-GROUND, AUTOMATIC IRRIGATION SYSTEM THAT IS DESIGNED BY A LICENSED IRRIGATOR.
 - ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITH RAIN AND FROST SENSORS AND SHALL MEET ALL APPLICABLE STATE AND LOCAL REGULATIONS.
 - ALL AREAS OTHER THAN TURF SHALL BE IRRIGATED USING NETAFIM™ OR APPROVED EQUAL SUBTERRANEAN DRIP. DRIP IRRIGATION IS REQUIRED FOR ALL TURF AREAS NARROWER THAN 48" IN WIDTH.
 - ANY EXISTING IRRIGATION SYSTEMS UTILIZED FOR THE WATERING OF NEWLY INSTALLED LANDSCAPING ARE TO BE INSPECTED FOR FUNCTIONALITY AND REPAIRED AS NECESSARY. CONTRACTOR TO ENSURE THAT THE EXISTING SYSTEM HAS ADEQUATE CAPACITY.
 - IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO PLANTING INSTALLATION. LOCATE, PROTECT, AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS.

SUBMITTALS AND QUALITY ASSURANCE NOTES

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
- DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO PROVIDE A MINIMUM OF TWO (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
- PROVIDE MINIMUM 5X SLOPES AWAY FROM ALL STRUCTURES AND ENSURE POSITIVE DRAINAGE IS ACHIEVED THROUGHOUT.

GENERAL LANDSCAPE NOTES

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMAN, INC. SHALL BE OF SPECIMEN QUALITY, AND SHALL MEET THE MINIMUM REQUIREMENTS AS STATED IN THE PLANT SCHEDULE AND SPECIFICATIONS.
- QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. QUANTITIES SHOWN ON THE PLAN (INDIVIDUAL SYMBOLS) SHALL TAKE PRECEDENCE OVER LISTED QUANTITIES.
- THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN IN THE DRAWINGS.
- TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING AND IN PROPER CARE ONCE DELIVERED TO THE PROJECT SITE.
- STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR.
- SPACE PLANTINGS IN ACCORDANCE WITH THE INDICATED DIMENSIONS. MINIMALLY ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS WITH INDICATED QUANTITY OF PLANTS. PLANT SHRUBS TO WITHIN EIGHTEEN (18) INCHES OF TREE TRUNKS, AS SHOWN AND/OR AS NECESSARY.
- ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING, AND BED LINES SHALL BE SCALED FROM DRAWINGS. CURVILINEAR BED LINES ARE TO BE SMOOTH AND CONTINUOUS PER PLAN, WITHOUT ABRUPT CHANGES IN DIRECTION.
- PAINT OR STRING ALL EDGING AND BED LINE LOCATIONS ON FINAL GRADE AND STAKE THE LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF PLANTING.
- PLACE PLANTINGS UPRIGHT AND PLUMB IN THE CENTER OF HOLES AND ORIENT FOR BEST APPEARANCE. PLANTS TO BE PERFECTLY UPRIGHT, REGARDLESS OF SURROUNDING GRADE; SEE DETAILS FOR PLANTING ON SLOPES.

- STAKE TREES AND LARGE SHRUBS AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS AND GRADE CHANGE (TWO STAKES UPWIND/UPHILL).
- NO TREES OR SHRUBS SHALL BE PLANTED BEFORE ACCEPTANCE OF FINE GRADING. TREE SHALL BEAT SAME RELATIONSHIP TO FINAL GRADE AS THEY BORE TO PREVIOUS GRADE.
- SEE SPECIFICATIONS AND DETAILS FOR PLANTING BED PREPARATION AND MULCHING REQUIREMENTS.
- SEE SPECIFICATIONS AND DETAILS FOR TREE PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT VARIETIES MUST COME FROM A SINGLE SOURCE FOR MAINTAINING A CONSISTENT APPEARANCE.
- ALL NEW PLANTS SHALL BE CONTAINER-GROWN, UNLESS OTHERWISE NOTED IN THE PLANT SCHEDULE. MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM THAT REACHES THE SIDES OF THE CONTAINER. THE ROOT SYSTEM MUST MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCRUCLING THE INSIDE OF THE CONTAINER.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINAL GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- ALL SHRUB PLANTING BEDS AND LAWN AREAS ARE TO BE SEPARATED BY STEEL EDGING UNLESS OTHERWISE NOTED. NO STEEL EDGING IS TO BE INSTALLED ADJACENT TO SIDEWALKS, CURBS, FENCES, OR OTHER HARDSCAPE ELEMENTS, UNLESS SPECIFIED OTHERWISE IN THE PLANS, SPECIFICATIONS OR DETAILS.
- ROOF BARRIER TO BE INSTALLED ADJACENT TO ALL CURBS, PAVING, UTILITIES, AND STRUCTURES WHEN PROPOSED TREES ARE WITHIN 20 FEET OF THESE ELEMENTS. SEE DETAIL. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO ANY UTILITY LINE. PLACE PANELS ADJACENT APPLICABLE HARDSCAPE AND UTILITIES AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS; SEE PLAN FOR EXTENTS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOF BARRIER THAT COMPLETELY ENCRUCLES THE ROOT BALL.

SOLID SOD TURF NOTES

- DO NOT PLACE SOD UNTIL FINE GRADING IS APPROVED.
- DO NOT INSTALL SOD ON FROZEN GROUND OR IF FORECAST CALLS FOR FREEZING CONDITIONS.
- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE THAT EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROCEEDS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS ARE TO BE OVER-SEEDDED WITH WINTER RYE GRASS.
- SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.

MAINTENANCE AND GUARANTEE NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL PROVIDE A SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED, AND EXISTING PLANTS WITHIN OR NEAR THE LIMITS OF CONSTRUCTION, SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK.
- THE OWNER, TENANT, AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND IRRIGATION.
- ALL REQUIRED LANDSCAPING AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. REFERENCE SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREAS AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY AS NECESSARY.
- PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY OF THE COMPARABLE MATERIAL ON SITE WITHIN TEN (10) DAYS.
- REGULARLY INSPECT AND COORDINATE THE OPERATION OF THE IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED.
- ALL IRRIGATION HEADS OR LINES WHICH ARE BROKEN SHALL BE REPLACED OR REPAIRED IN A TIMELY MANNER TO PREVENT THE WASTE OF WATER AND LOSS OF PLANT LIFE.
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS ACCEPTED BY THE OWNER. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
SHADE TREES						
	QM	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	3" CAL	5	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	QT	QUERCUS TEXANA	TEXAS RED OAK	3" CAL	6	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	3" CAL	6	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	UC	ULMUS CRASSIFOLIA	CEDAR ELM	3" CAL	5	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
ORNAMENTAL TREES						
	CT	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	30 GAL	4	CONTAINER GROWN, 3-5 TRUNK, NO CROSS-CANES, 8" HEIGHT, 4" MINIMUM SPREAD, AND MINIMUM DBH OF 2" CALIPER
	CL	CHILOPSIS LINEARIS	DESERT WILLOW	30 GAL	5	CONTAINER GROWN, 3-5 TRUNK, NO CROSS-CANES, 8" HEIGHT, 4" MINIMUM SPREAD, AND MINIMUM DBH OF 2" CALIPER
	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	30 GAL	4	CONTAINER GROWN, 8-10" HEIGHT, 4" MINIMUM SPREAD, 4" BRANCHING HEIGHT, UPRIGHT GROWTH, STRONG CENTRAL LEADER, MINIMUM 3" CALIPER
	CD	CYNDON DACTYLON 'TIF 419'	TIF 419 BERMUDAGRASS	SOD	28,139 SF	SOLID SOD, REFER TO NOTES AND SPECIFICATIONS
GROUND COVERS						

APP.	
REVISION	
No.	Date

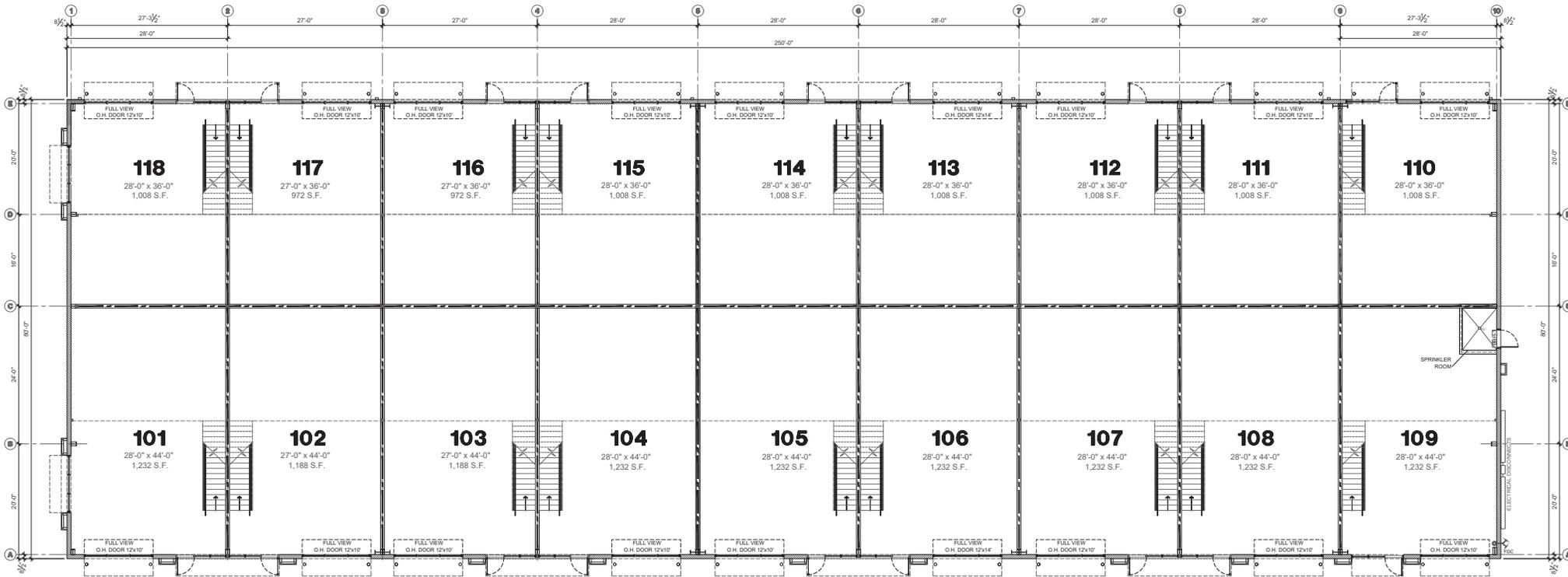
QUIDDITY
 DESIGN ARCHITECTS
 10000 WEST HIGHTWAY 29, SUITE 100, DALLAS, TEXAS 75241
 TEL: 214.416.1111 FAX: 214.416.1112
 WWW.QUIDDITYDESIGN.COM
 DESIGNED BY: TEL: _____
 CHECKED BY: LMK
 DATE: JANUARY 2025
 2024-1006-01
 DRAWN BY: TEL: _____

INTERIM REVIEW
 THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:
 Landscape Architect: PLS #
 DREW A. KAYTOR, P.L.A. 3112
 Date: January 20, 2025

URBAN GARAGES WYLIE
 1830N STATE HWY 79, WYLIE, TX 75098
SITE PLAN EXHIBIT
 URBAN GARAGES ADDITION, LOT 6, BLOCK A
 09/08/2025

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION
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LEGEND		GENERAL NOTES	
	QUICK-BRICK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUICK-BRICK COLOR / ACCENT BAND LOCATIONS.	1. DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.	
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)	2. INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.	
	INTERIOR WALL	3. ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.	
	DOOR TYPE	4. ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.	
	WINDOW TYPE	5. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS. OBSTRUCTIONS AND DIMENSIONS: PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.	
	DOWNSPOUT	6. VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.	
	CONTROL JOINT		
	WALL TYPE		



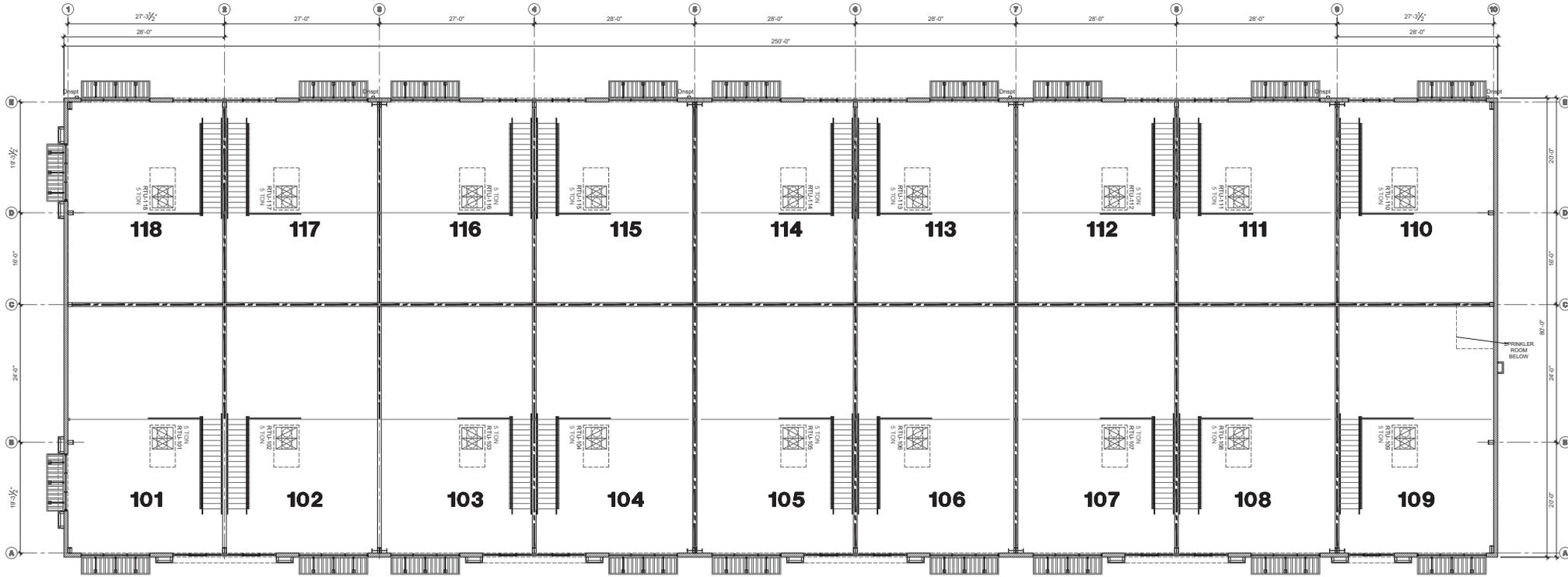
URBAN GARAGES WYLIE FLEX BUILDING "1"						
250 FT x 28 FT						
SUITE	UNIT	WIDTH	LENGTH	SUITE AREA	W/MIZZANINE	Sq. Ft.
101	28	44	1,232	20	560	
102	27	44	1,188	20	540	
103	27	44	1,188	20	540	
104	28	44	1,232	20	560	
105	28	44	1,232	20	560	
106	28	44	1,232	20	560	
107	28	44	1,232	20	560	
108	28	44	1,232	20	560	
109	28	44	1,232	20	560	
110	28	36	1,008	16	488	
111	28	36	1,008	16	488	
112	28	36	1,008	16	488	
113	28	36	1,008	16	488	
114	28	36	1,008	16	488	
115	28	36	1,008	16	488	
116	27	36	972	16	432	
117	27	36	972	16	432	
118	28	36	1,008	16	488	
				20,000	8,000	

PLAN NORTH 1 ARCHITECTURAL FLOOR PLAN SCALE: 1/8" = 1'-0"

 ATRICON atricon@gmail.com P.O. BOX 70959 SAN ANTONIO, TX 78270 (214) 242-0050	SHEET TITLE: FLEX BUILDING "1" FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "1" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON SDO ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE ORIGINAL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE UNREGISTERED WORKS AND MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN WRITING, THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE FURNISHED TO YOU SOLELY TO COMPLETE THE PROJECT. FURNISH THE CONTRACTOR, AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: PRELIM. PD. SUBMITTAL 09/05/25	JOB NO: 302-100-41 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. CHECKED BY: K.S. SHEET NUMBER A-1
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C:\MERRICK\3025_Flex_Bldg\100\Plan\1-1.dwg

LEGEND		GENERAL NOTES			
	QUIK-BRIK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUIK-BRIK COLOR / ACCENT BAND LOCATIONS.	<p>1. DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.</p> <p>2. INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.</p> <p>3. ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.</p> <p>4. ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.</p> <p>5. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS. PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.</p> <p>6. VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.</p>			
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)				
	INTERIOR WALL				
	DOOR TYPE				DOWNSPOUT
	WINDOW TYPE				CONTROL JOINT
	WALL TYPE				



ARCHITECTURAL UPPER WINDOWS FLOOR PLAN

SCALE: 1/8" = 1'-0"



ATRIICON
atricon@gmail.com
P.O. BOX 703696
SAN ANTONIO, TX 78270
PH: 214-262-9551

SHEET TITLE:
FLEX BUILDING
"1"
UPPER WINDOWS FLOOR PLAN

URBAN GARAGES
WYLIE
FLEX BUILDING "1"
CENTENNIAL DR & N STATE HWY 78
WYLIE, TEXAS 75098

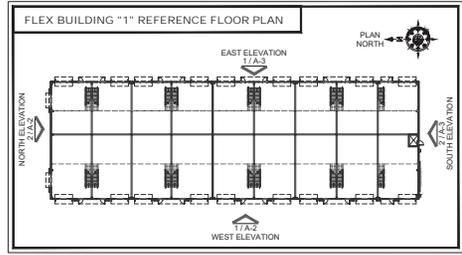
© 2025 ATRICON 500
ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMON-PLACE FEATURES OF THE DESIGN ARE NOT SUBJECT TO COPYRIGHT. ALL INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. FIELD THE CONTRACTOR, AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.

REVISIONS:		JOB NO:
PRELIM PD SUBMITTAL	09/05/25	302-100-41
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		DRAWN BY: L.S.
		CHECKED BY: K.S.
		SHEET NUMBER
		A-2

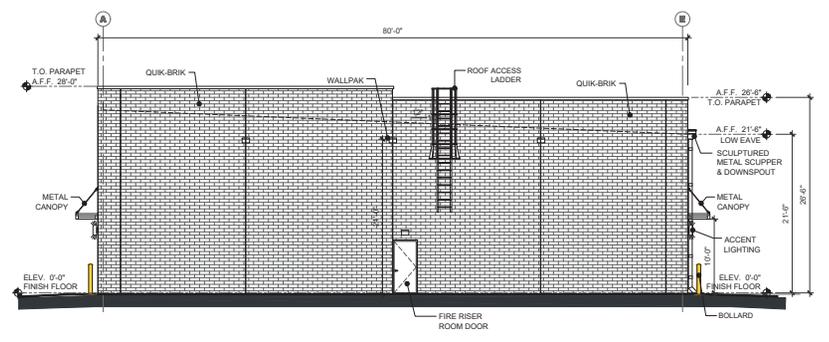
ELEVATIONS LEGEND	
	1. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	2. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR.
	4. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	5. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
	6. METAL AWNING / CANOPY. 3" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	7. BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
	8. METAL COPING. PRE-FINISHED METAL COPING. COLOR: BLACK
	9. METAL DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE REFER TO SHEET.
	10. WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE.
	11. QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	12. SUITE LOGO LOCATION. BY OTHERS
	13. ROOF SLOPE. TPO ROOF 1/2" / 12" SLOPE. FINAL DESIGN PER PEMB
	14. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS MOD. FL-09
	15. BALCONY. PRE-PA METAL BALCONY WITH 4" GUARDRAIL

NOTE: FINAL COLOR SELECTION BY OWNER.

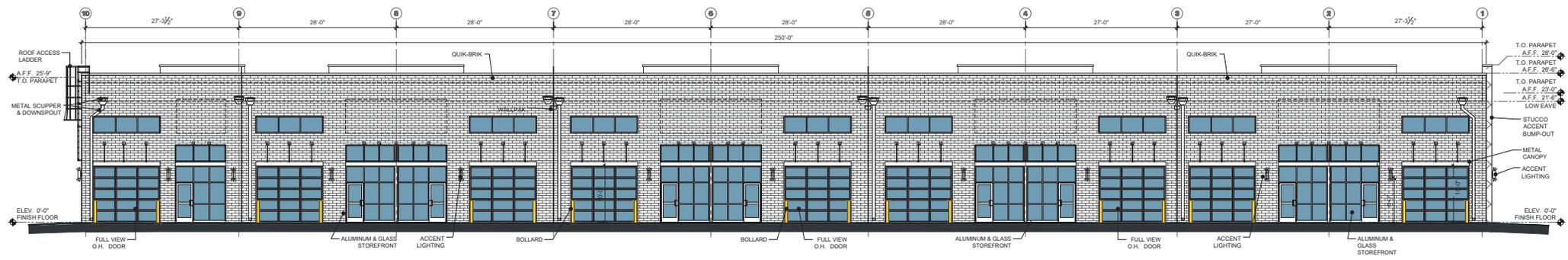
LEGEND		
	A. DOOR TYPE	
	K. KEY NOTTE	



- GENERAL NOTES:**
- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
 - ALL NOTES, DIM., DETAIL REFERENCES AND INFO. SHOWN ON THIS SHEET ARE REPEATING AND TYPICAL FOR ALL ELEVATIONS.
 - DIMENSIONS ARE TO FACE OF MASONRY / METAL STUD.
 - VERIFY GRADES @ BUILDING LINE W/ CIVIL ENGINEERING DRAWINGS.
 - PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT WALL SURFACE.
 - GENERAL CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED COLORS PRIOR TO APPLICATION.
 - ROOF AND GROUND MECHANICAL EQUIPMENT TO BE SCREENED PER CITY ORDINANCE.
 - ALL FLASHINGS TO BE GALVANIZED.
 - ALL FLASHING FASTENERS MUST BE CORROSION RESISTANT.



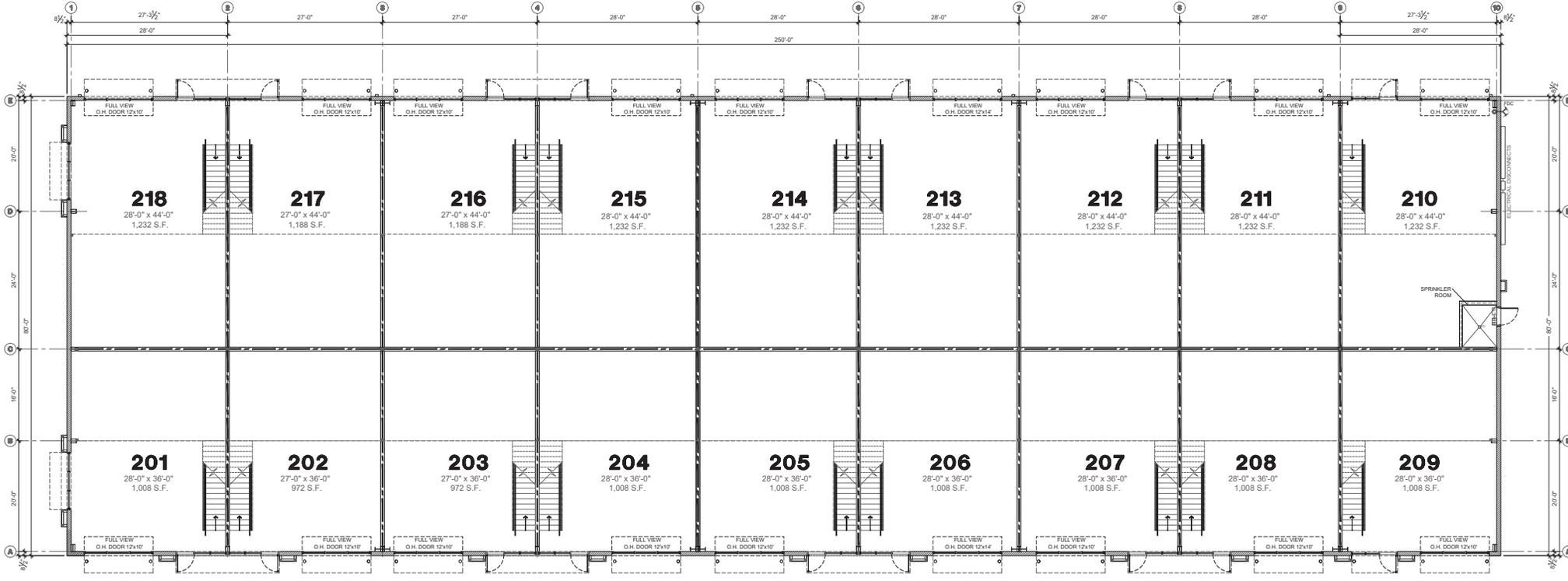
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

 ATRIECON atriecon@gmail.com P.O. BOX 70956 SAN ANTONIO, TX 78270 (214) 242-0050	SHEET TITLE: FLEX BUILDING "1" EAST & SOUTH EXTERIOR ELEVATIONS	URBAN GARAGES WYLIE FLEX BUILDING "1" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRIECON BDO ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE ORIGINAL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE ASSES SOLELY TO COMPLY THE. THE PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>01</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </table>	REV. NO.	DATE	DESCRIPTION	01	09/05/25	INITIAL CITY SUBMITTAL DATE:	JOB NO: 3025-100-41 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. DESIGNED BY: K.S. SHEET NUMBER <h1>A-4</h1>
	REV. NO.	DATE	DESCRIPTION								
01	09/05/25	INITIAL CITY SUBMITTAL DATE:									

LEGEND		GENERAL NOTES	
	QUICK-BRICK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUICK-BRICK COLOR / ACCENT BAND LOCATIONS.	1. DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.	
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)	2. INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.	
	INTERIOR WALL	3. ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.	
	DOOR TYPE	4. ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.	
	WINDOW TYPE	5. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS. PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.	
	DOWNSPOUT	6. VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.	
	CONTROL JOINT		
	WALL TYPE		



URBAN GARAGES WYLIE FLEX BUILDING "2"					
250 FT x 85 FT					
SUITE TAG	LIMIT SIZE		SUITE AREA		W/MEZZANINE
	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	
201	28	36	1,008	16	448
202	27	36	972	16	432
203	27	36	972	16	432
204	28	36	1,008	16	448
205	28	36	1,008	16	448
206	28	36	1,008	16	448
207	28	36	1,008	16	448
208	28	36	1,008	16	448
209	28	36	1,008	16	448
210	28	44	1,232	20	560
211	28	44	1,232	20	560
212	28	44	1,232	20	560
213	28	44	1,232	20	560
214	28	44	1,232	20	560
215	28	44	1,232	20	560
216	27	44	1,188	20	560
217	27	44	1,188	20	560
218	28	44	1,232	20	560
			20,000		8,900

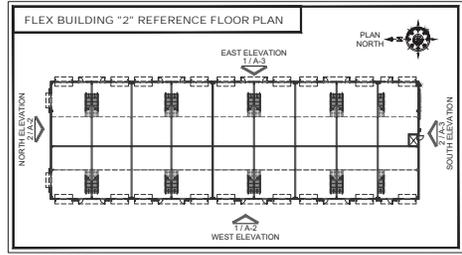
PLAN NORTH 1 ARCHITECTURAL FLOOR PLAN SCALE: 1/8" = 1'-0"

 ATRICON atricon@gmail.com P.O. BOX 703696 SAN ANTONIO, TX 78270 (214) 242-0050	SHEET TITLE: FLEX BUILDING "2" FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON SSG ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND CONCEPTS THEREOF, ARE HEREBY NOT BEING REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN WRITING, THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE FURNISHED SOLELY TO THE CLIENT. THE PROJECT IS THE PROPERTY OF ATRICON SSG AND SHALL REMAIN THE PROPERTY OF ATRICON SSG. THE CLIENT SHALL PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: PRELIM. PD. SUBMITTAL: 09/05/25	JOB NO: 302-100-72 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. CHECKED BY: K.S. SHEET NUMBER A-1
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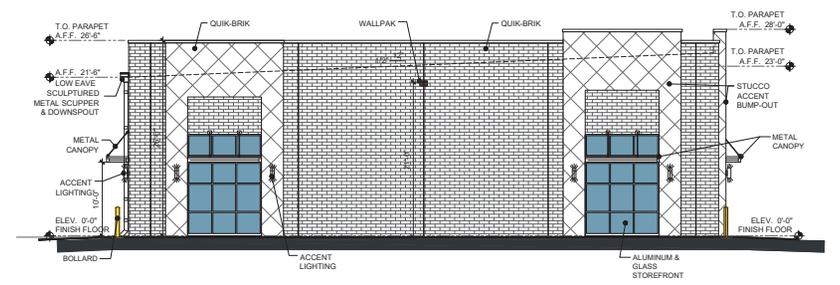
ELEVATIONS LEGEND	
	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR:
	OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
	METAL AWNING / CANOPY. 30" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD. 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
	METAL COPING. PRE-FINISHED METAL COPING. COLOR: BLACK
	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	HMI DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE. REFER TO SHEET
	WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE
	QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	SUITE LOGO LOCATION @Y OTHERS
	ROOF SLOPE. TPO ROOF T2 / 12" SLOPE. FINAL DESIGN PER PEMB
	ROOF ACCESS FIXED LADDER. WITH CAGE & WALK-THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS. MOD. FL-09
	BALCONY. PRE-FINISHED METAL BALCONY WITH 42" GUARDRAIL

NOTE: FINAL COLOR SELECTION BY OWNER.

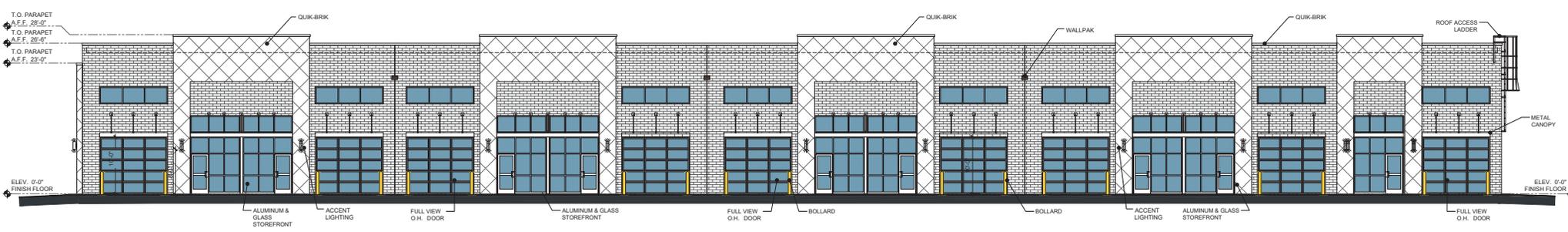
LEGEND		
	DOOR TYPE	
	WINDOW TYPE	



- GENERAL NOTES:**
- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
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 - PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT WALL SURFACE.
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 - ROOF AND GROUND MECHANICAL EQUIPMENT TO BE SCREENED PER CITY ORDINANCE.
 - ALL FLASHINGS TO BE GALVANIZED.
 - ALL FLASHING FASTENERS MUST BE CORROSION RESISTANT.



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

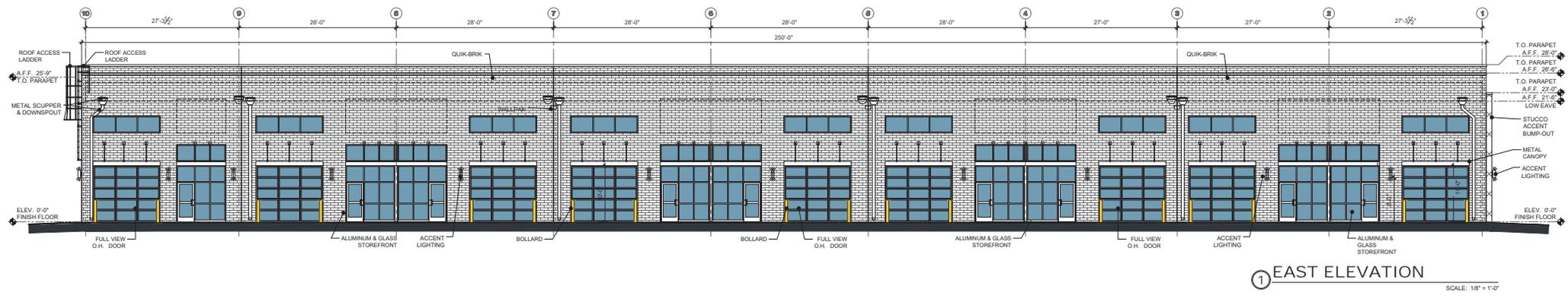
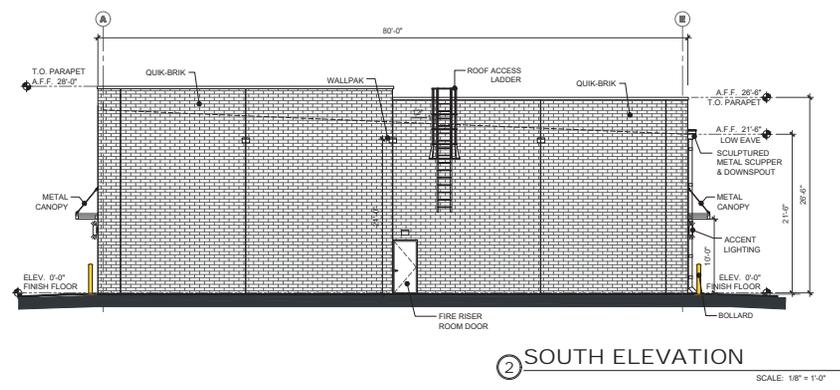
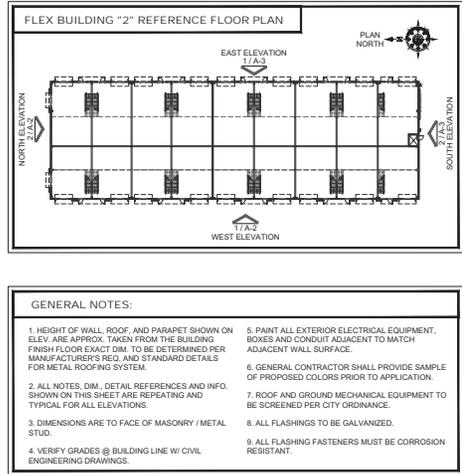
 ATRIECON atriecon@gmail.com P.O. BOX 700956 SAN ANTONIO, TX 78270 (214) 214-0956	SHEET TITLE: FLEX BUILDING "2" WEST & NORTH EXTERIOR ELEVATIONS	URBAN GARAGES WYLLIE FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLLIE, TEXAS 75098	© 2025 ATRIECON B20 ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND CONCEPTS, WORKING AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN ARE NOT SUBJECT TO COPYRIGHT. ALL INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. FAILURE TO COMPLY WITH THESE TERMS SHALL PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: <table border="1"> <thead> <tr> <th>REVISION NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </tbody> </table>	REVISION NO.	DATE	DESCRIPTION	01	09/05/25	INITIAL CITY SUBMITTAL DATE:	JOB NO: 3029-100-02 INITIAL CITY SUBMITTAL DATE: DESIGN BY: L.S. DRAWN BY: K.S. SHEET NUMBER: <h1>A-3</h1>
			REVISION NO.	DATE	DESCRIPTION						
01	09/05/25	INITIAL CITY SUBMITTAL DATE:									

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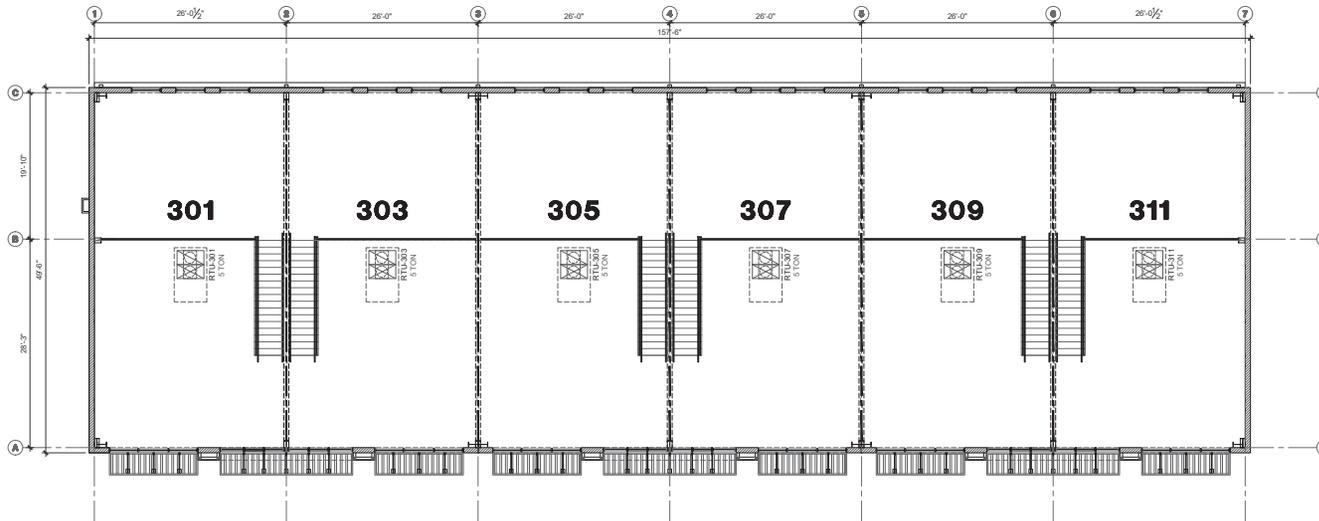
ELEVATIONS LEGEND	
	1. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	2. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR.
	4. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	5. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS. LOCATIONS BASED ON FINAL ROOF DESIGN.
	6. METAL AWNING / CANOPY. 30" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	7. BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD. 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
	8. METAL COPING. PRE-FINISHED METAL COPING. COLOR: BLACK
	9. METAL DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE. REFER TO SHEET.
	10. WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE.
	11. QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	12. SUITE LOGO LOCATION. BY OTHERS
	13. ROOF SLOPE. TPO ROOF T2 / 12" SLOPE. FINAL DESIGN PER PEMB
	14. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK-THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS. MOD. FL-09
	15. BALCONY. PRE-FAB METAL BALCONY WITH 42" GUARDRAIL

NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND		
	A. DOOR TYPE	
	W. WINDOW TYPE	
	K. KEY NOTTE	



<p>ATRICON atricon@gmail.com P.O. BOX 700956 SAN ANTONIO, TX 78270 (214) 242-0050</p>	<p>SHEET TITLE:</p> <p>FLEX BUILDING "2" EAST & SOUTH EXTERIOR ELEVATIONS</p>	<p>URBAN GARAGES WYLIE</p> <p>FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098</p>	<p>© 2025 ATRICON BDO</p> <p>ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </tbody> </table>	REV. NO.	DATE	DESCRIPTION	01	09/05/25	INITIAL CITY SUBMITTAL DATE:	<p>JOB NO: 3025-100-02</p> <p>INITIAL CITY SUBMITTAL DATE:</p> <p>DRAWN BY: L.S. CHECKED BY: K.S.</p> <p>SHEET NUMBER</p> <p>A-4</p>
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01	09/05/25	INITIAL CITY SUBMITTAL DATE:									

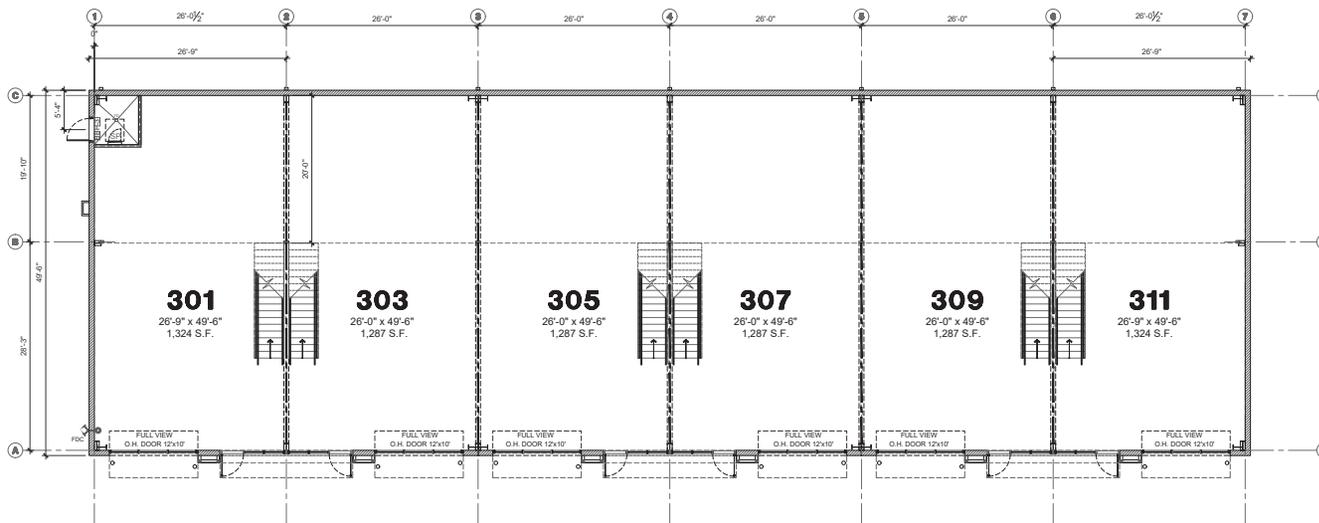


② UPPER WINDOWS FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	QUIK-BRICK EXTERIOR WALL, INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUIK-BRICK COLOR, ACCENT BAND LOCATIONS.
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)
	INTERIOR WALL
	DOOR TYPE
	WINDOW TYPE
	WALL TYPE
	o.s.o. DOWNSPOUT
	C.J. CONTROL JOINT

- GENERAL NOTES**
- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
 - INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IRC SECTION B03.
 - ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
 - ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
 - GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
 - VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.

URBAN GARAGES WYLIE FLEX BUILDING "3"					
157.5 FT x 49.5 FT					
SUITE	UNIT SIZE	SUITE AREA	W/MIZZANINE		
TAG	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	Sq. Ft.
301	26.75	49.5	1,324.1	20	535
303	26	49.5	1,287	20	520
305	26	49.5	1,287	20	520
307	26	49.5	1,287	20	520
309	26	49.5	1,287	20	520
311	26.75	49.5	1,324.1	20	535
			7,796.25	8,150	



① FLOOR PLAN
SCALE: 1/8" = 1'-0"

URBAN GARAGES
WYLIE
FLEX BUILDING "3"
CENTENNIAL DR. & N STATE HWY 78
WYLIE, TEXAS 75098

SHEET TITLE
FLEX BUILDING "3"
FLOOR PLAN & UPPER WINDOWS FLOOR PLAN

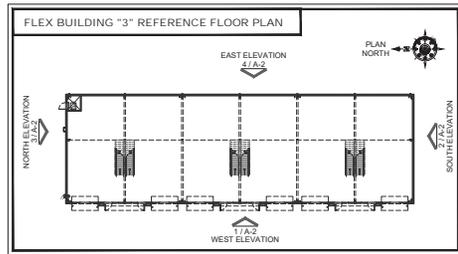
ATRICON
atrimon@gmail.com
P.O. BOX 70855
SAN ANTONIO, TX 78270
PH. 210-420-0635

ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS, ARE COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. FEATURES AND FINISHES ARE NOT SUBJECT TO CHANGE. ALL INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO CONSTRUCT AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.

REVISIONS:	
PRELIM SUBMITTAL	09/05/25

JOB NO: 2025-109-73
INITIAL CITY SUBMITTAL DATE:
DRAWN BY: LB. CHECKED BY: KS.

SHEET NUMBER
A-1



ELEVATIONS LEGEND

1	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: LESTONE	2	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: GRAY
3	STOREFRONT / WINDOW: ALUMINUM FRAME W/ TINT LOW-E GLAZING FRAME COLOR:	4	HM DOORS & FRAMES: COLOR: BLACK DOORS PER SCHEDULE REFER TO SHEET A-4
5	OVERHEAD DOORS: REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS COLOR: BLACK	6	WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE
7	GUTTERS & DOWNSPOUTS METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.	8	QUIK-BRIK CONTROL JOINT CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS
10	METAL AWNING / CANOPY 36" DEPTH, LENGTH VARIES, SEE FLOOR PLAN. REFER TO STRUCTURAL.	9	SUITE LOGO LOCATION -BY OTHERS
12	BOLLARDS 6" DIA. 3" STEEL PIPE CONCRETE FILLED BOLLARD 4'-2" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.	11	ROOF SLOPE: TYP. ROOF 1/2" / 12" SLOPE FINAL DESIGN PER PEMB
14	METAL COPING: PRE-FINISHED METAL COPING. COLOR: BLACK	13	ROOF ACCESS FIXED LADDER: WITH CAGE & WALK-THRU INSTALL PER MANUF. SPECS PRECISION LADDERS MOD. FL-09
15	BALCONY: PRE-FAB METAL BALCONY WITH 42" GUARDRAIL		

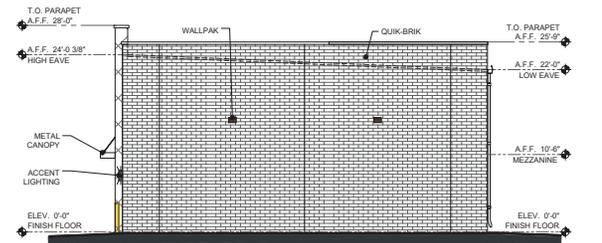
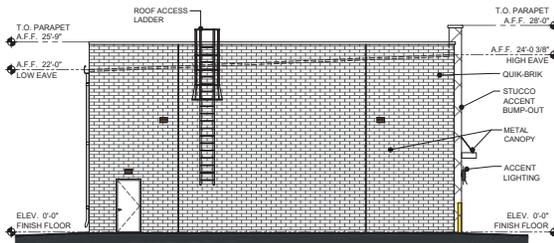
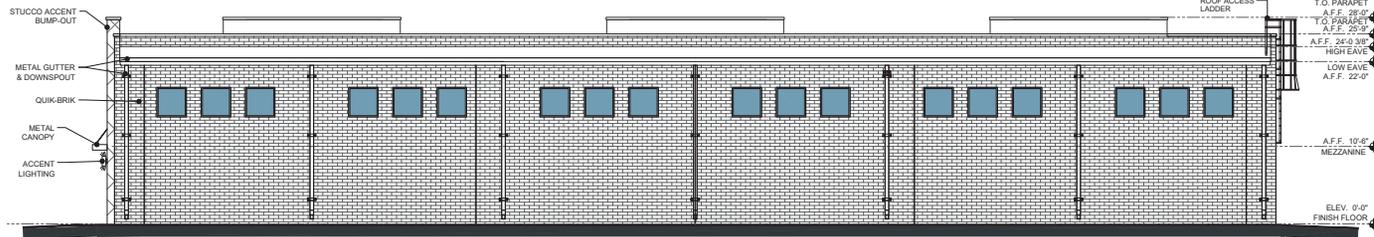
NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND

○ DOOR TYPE ◻ WINDOW TYPE □ KEY NOTE

GENERAL NOTES:

- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
- ALL NOTES, DIM. DETAIL REFERENCES AND INFO. SHOWN ON THIS SHEET ARE REPEATING AND TYPICAL FOR ALL ELEVATIONS.
- DIMENSIONS ARE TO FACE OF MASONRY / METAL STUD.
- VERIFY GRADES @ BUILDING LINE W/ CIVIL ENGINEERING DRAWINGS.
- PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT WALL SURFACE.
- GENERAL CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED COLORS PRIOR TO APPLICATION.
- ROOF AND GROUND MECHANICAL EQUIPMENT TO BE SCREENED PER CITY ORDINANCE.
- ALL FLASHINGS TO BE GALVANIZED.
- ALL FLASHING FASTENERS MUST BE CORROSION RESISTANT.



URBAN GARAGES
WYLLIE
FLEX BUILDING "3"
CENTENNIAL DR. & N STATE HWY 78
WYLLIE, TEXAS 75098

SHEET TITLE:
FLEX BUILDING "3" EXTERIOR ELEVATIONS

ATRIECON
atriecon@gmail.com
P.O. BOX 70855
SAN ANTONIO, TX 78270
PH. 210-420-0635

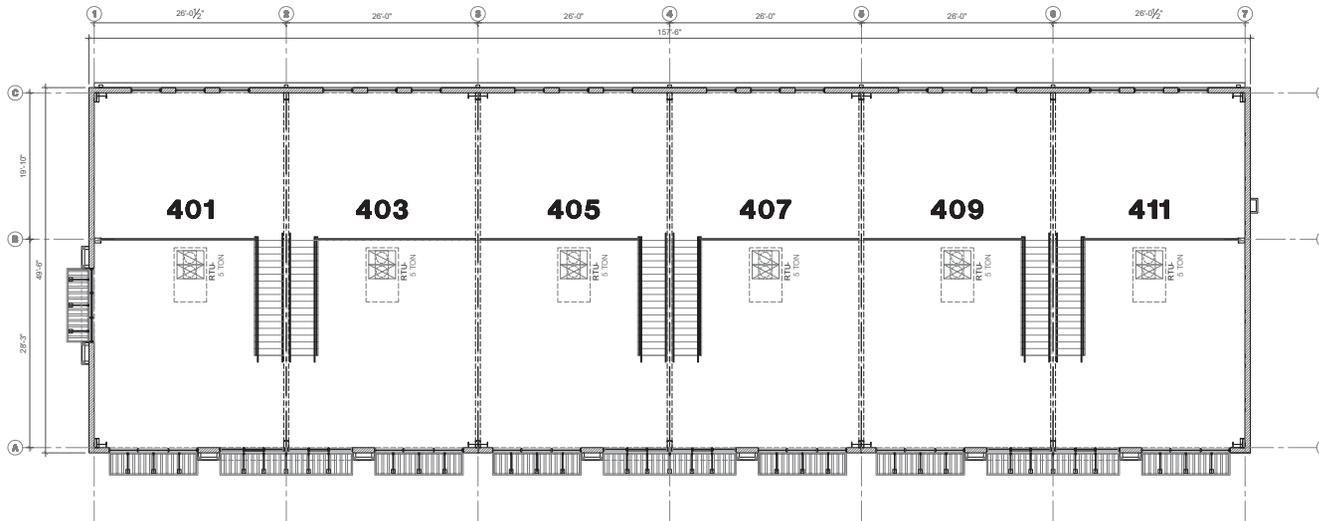
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REVISIONS:

PRELIM PD SUBMITTAL	09/05/25
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JOB NO: 3025-19-73
INITIAL CITY SUBMITTAL DATE: -
DRAWN BY: L.A. DESIGNED BY: K.S.

SHEET NUMBER
A-2



② UPPER WINDOWS FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

QUICK BRK EXTERIOR WALL.
INSULATED WITH CORE-FILL 500.
SEE EXTERIOR ELEVATIONS FOR QUICK-BRK
COLOR / ACCENT BAND LOCATIONS.

1-HR DEMISING FIRE WALL PER FINAL
TENANT LAYOUT (FUTURE)

INTERIOR WALL

○ DOOR TYPE □ D.S. □ DOWNSPOUT

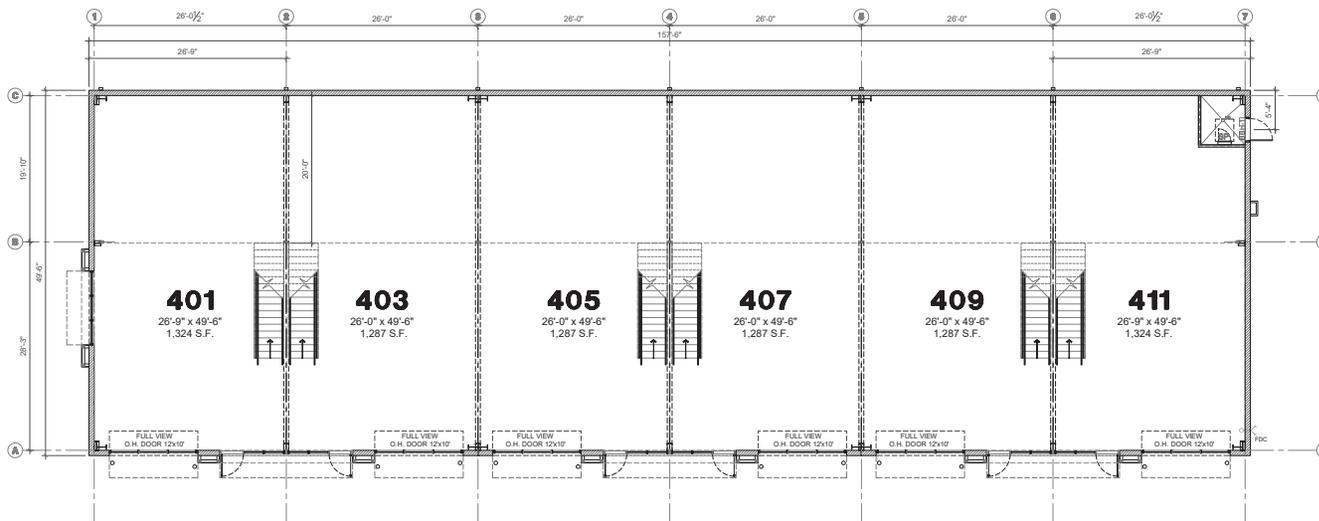
⬢ WINDOW TYPE □ CONTROL JOINT

◇ WALL TYPE

- GENERAL NOTES**
- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
 - INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.
 - ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
 - ALL WALL ASSEMBLIES SHALL BE CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
 - GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
 - VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.

**URBAN GARAGES WYLIE
FLEX BUILDING "4"**

SUITE TAG	UNIT SIZE		SUITE AREA		W/MEZZANINE	
	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	Sq. Ft.	
401	26.75	49.5	1,324.1	20	535	
403	26	49.5	1,287	20	520	
405	26	49.5	1,287	20	520	
407	26	49.5	1,287	20	520	
409	26	49.5	1,287	20	520	
411	26.75	49.5	1,324.1	20	535	
			7,796.25		3,150	



① FLOOR PLAN
SCALE: 1/8" = 1'-0"

**URBAN GARAGES
WYLIE
FLEX BUILDING "4"**
CENTENNIAL DR. & N STATE HWY 78
WYLIE, TEXAS 75088

SHEET TITLE
FLEX BUILDING
"3"
FLOOR PLAN &
UPPER WINDOWS
FLOOR PLAN

ATRICON
atricon@gmail.com
P.O. BOX 708855
SAN ANTONIO, TX 78270
PH. 210-420-0535

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DOCUMENTATION.

REVISIONS:

PRELIM SUBMITTAL 09/05/25

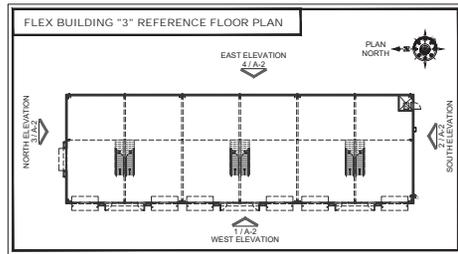
JOB NO: 2025-105-14

INITIAL CITY SUBMITTAL DATE:

DRAWN BY: L.A. CHECKED BY: K.S.

SHEET NUMBER

A-1



ELEVATIONS LEGEND

1	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: LIMESTONE	2	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: GRAY
3	STOREFRONT / WINDOW: ALUMINUM FRAME W/ TINT LOW-E GLAZING FRAME COLOR:	4	HM DOORS & FRAMES: COLOR: BLACK DOORS PER SCHEDULE REFER TO SHEET A-4
5	OVERHEAD DOORS: REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS COLOR: BLACK	6	WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE
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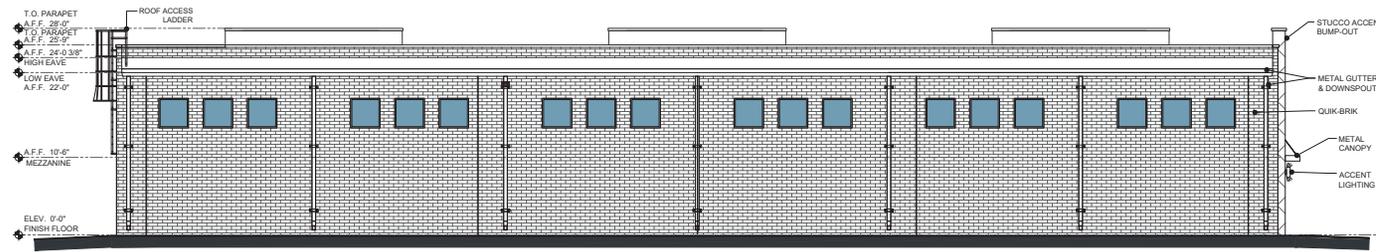
NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND

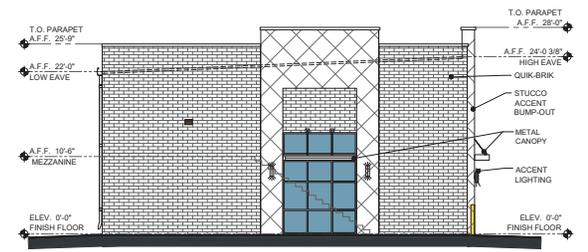
○ DOOR TYPE ◻ WINDOW TYPE □ KEY NOTE

GENERAL NOTES:

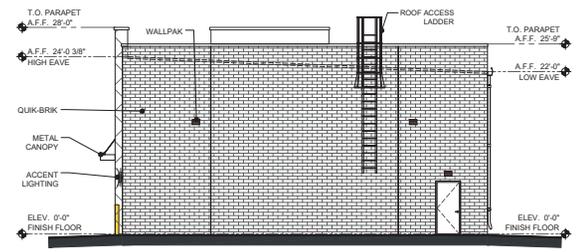
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4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

URBAN GARAGES
WYLIE
FLEX BUILDING "4"
CENTENNIAL DR. & N STATE HWY 78
WYLIE, TEXAS 75098

SHEET TITLE
FLEX BUILDING "4"
EXTERIOR ELEVATIONS



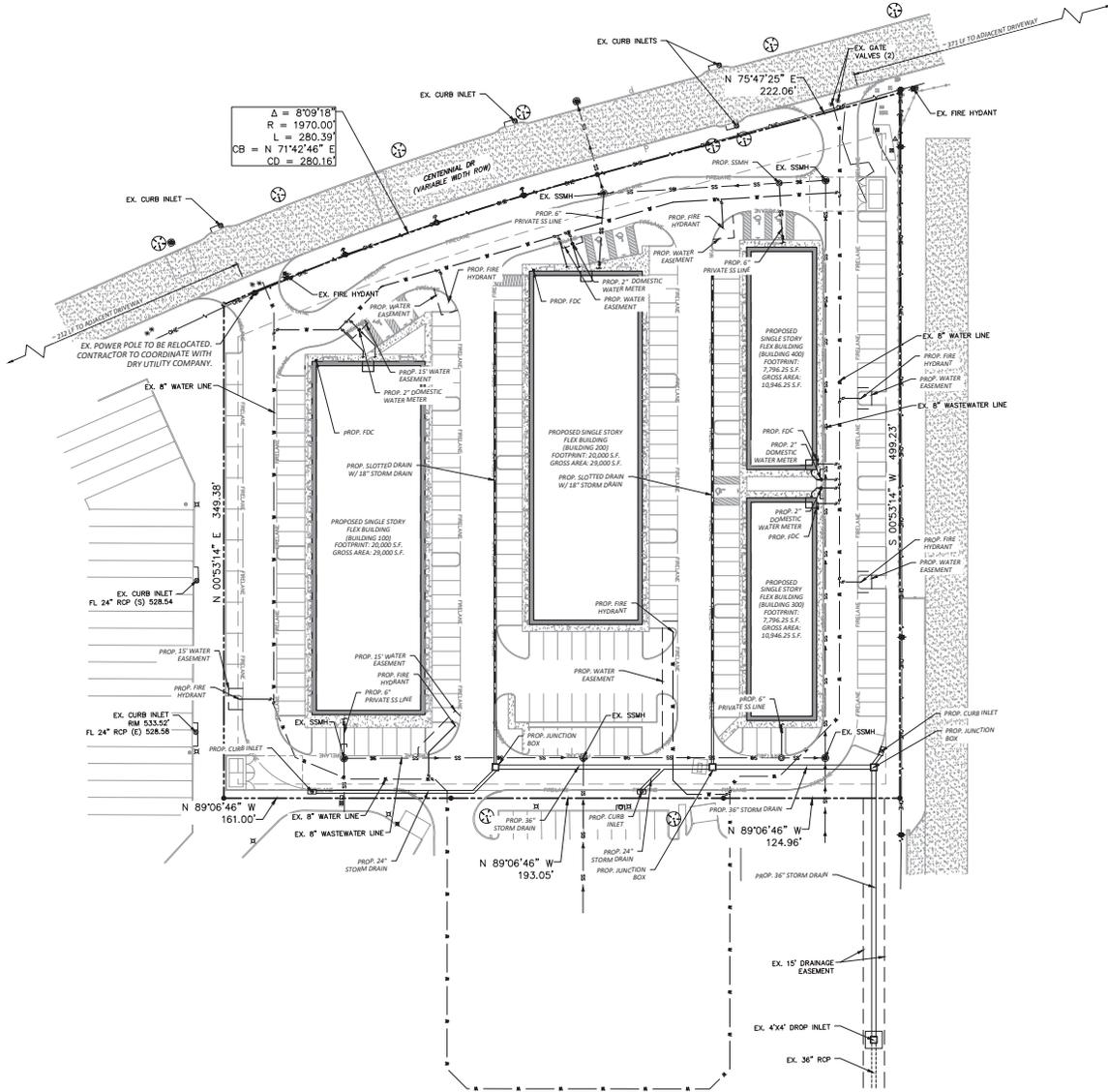
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REVISIONS:

PRELIM PD SUBMITTAL	09/05/25
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JOB NO: 3025-10-14
INITIAL CITY SUBMITTAL DATE: -

DRWN BY: L.A. DESIGNED BY: K.S.
SHEET NUMBER
A-2

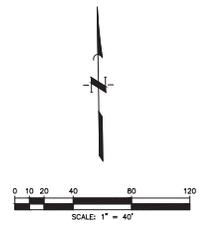
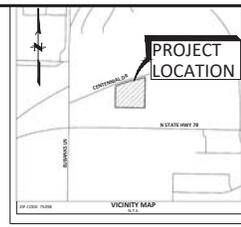


$\Delta = 8'09''18''$
 $R = 1970.00'$
 $L = 280.39'$
 $CB = N 71'42''46'' E$
 $CD = 280.16'$

EX. POWER POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH DRY UTILITY COMPANY.

EX. CURB INLET FL 24" RCP (S) 528.54

EX. CURB INLET RW 533.52 FL 24" RCP (E) 528.56



LEGEND

- EXISTING LEGEND**
- FIRE HYDRANT W/ GATE VALVE
 - WATERLINE W/ GATE VALVE
 - WATERLINE W/ METER
 - SANITARY SEWER W/ MANHOLE
 - SANITARY SEWER W/ CLEANOUT
 - STORM SEWER W/ MANHOLE
 - STORM SEWER W/ CURB INLET
 - OVERHEAD ELECTRIC
 - PROPERTY LINE
 - EXISTING CONCRETE PAVEMENT

- PROPOSED LEGEND**
- WATERLINE W/ GATE VALVE
 - WATERLINE W/ BF PREVENTER & METER
 - WATERLINE W/ FIRE HYDRANT
 - SANITARY SEWER W/ MANHOLE
 - SANITARY SEWER W/ CLEANOUT
 - STORM SEWER W/ MANHOLE
 - STORM SEWER W/ CURB INLET
 - PROPOSED SIDEWALK

NOTES

1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL PARKING ISLAND RADII ARE 3' UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
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 www.texas811.org
 Texas811 or 1-800-545-6005

OWNER/DEVELOPER

URBAN GARAGES MCKINNEY, LLC
 6136 FRISCO SQUARE BLVD, SUITE 400
 FRISCO, TX 75034
 TEL (469) 252-1123
 CONTACT: CARL FLEMING

ARCHITECT

ATRIECON SDG, LLC
 P.O. BOX 700856
 SAN ANTONIO, TEXAS 78270
 TEL (210) 420-0635
 CONTACT: LAURA DUNCAN

CIVIL ENGINEER

QUIDDITY ENGINEERING, LLC
 2805 DALLAS PARKWAY, SUITE 600
 PLANO, TEXAS 75093
 TEL (972) 265-7174
 CONTACT: ALEK W. STRIMPLE, PE

LANDSCAPE ARCHITECT

QUIDDITY ENGINEERING, LLC
 2805 DALLAS PKWY, SUITE 600
 PLANO, TEXAS 75093
 TEL (972) 488-3880
 CONTACT: JORDAN KAYLOW, PLA

APP.	
REVISED	
NO.	DATE

QUIDDITY

DESIGNED BY: AWE
 CHECKED BY: AWE
 DRAWN BY: JACOT

DATE: JANUARY 2026
 JOB NO.: 2024-006-01

INTERIM REVIEW

Not intended for construction, bidding or permit purposes.

Engineer: ALEK W. STRIMPLE, P.E.
 P.E. Serial No.: 142588
 Date: JANUARY 2026

URBAN GARAGES WYLIE
 1800 STATE HWY 75, WYLIE, TX 75098

PRELIMINARY UTILITY AND DRAINAGE PLAN
 URBAN GARAGES ADDITION, LOT 6, BLOCK A
 01/20/2026

C:\2024\2024-006-01 Urban Garages - Wylie\2 Design Phase\CAD\Plan\2024-006-01 Utility and Drainage plan.dwg, 01/20/2026, 1:53pm, hrculac