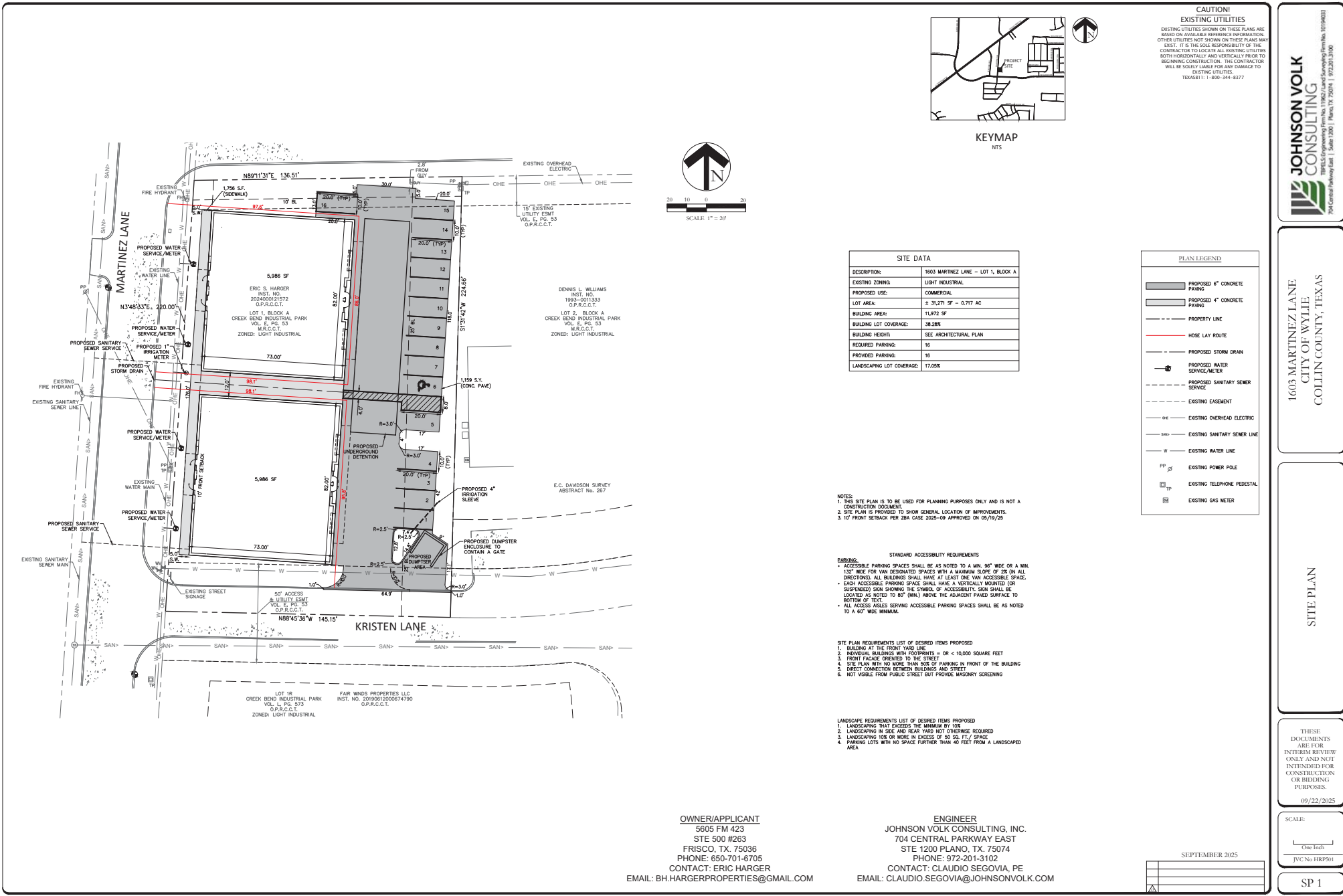
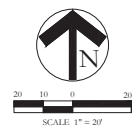


KEYMAP
NTS



SITE DATA	
DESCRIPTION:	1603 MARTINEZ LANE - LOT 1, BLOCK A
EXISTING ZONING:	LIGHT INDUSTRIAL
PROPOSED USE:	COMMERCIAL
LOT AREA:	± 31,271 SF ~ 0.717 AC
BUILDING AREA:	11,972 SF
BUILDING LOT COVERAGE:	38.28%
BUILDING HEIGHT:	SEE ARCHITECTURAL PLAN
REQUIRED PARKING:	16
PROVIDED PARKING:	16
LANDSCAPING LOT COVERAGE:	17.05%

PLAN LEGEND	
	PROPOSED 6" CONCRETE PAVING
	PROPOSED 4" CONCRETE PAVING
	PROPERTY LINE
	HOSE LAY ROUTE
	PROPOSED STORM DRAIN
	PROPOSED WATER SERVICE METER
	PROPOSED SANITARY SEWER SERVICE
	EXISTING EASEMENT
	EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING POWER POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING GAS METER

NOTES:
1. THIS SITE PLAN IS TO BE USED FOR PLANNING PURPOSES ONLY AND IS NOT A CONSTRUCTION DOCUMENT.
2. SITE PLAN IS PROVIDED TO SHOW GENERAL LOCATION OF IMPROVEMENTS.
3. 10' FRONT SETBACK PER ZBA CASE 2025-09 APPROVED ON 05/19/25

STANDARD ACCESSIBILITY REQUIREMENTS
PARKING:
• ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS. ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.
• EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 80' (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
• ALL ACCESSIBLE SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60' WIDE MINIMUM.

SITE PLAN REQUIREMENTS LIST OF DESIRED ITEMS PROPOSED
1. BUILDING AT THE FRONT YARD LINE
2. INDIVIDUAL BUILDING WITH FOOTPRINTS = OR < 10,000 SQUARE FEET
3. FRONT FACADE ORIENTED TO THE STREET
4. SITE PLAN WITH NO MORE THAN ONE OF PARKING IN FRONT OF THE BUILDING
5. DIRECT CONNECTION BETWEEN BUILDING AND STREET
6. NOT VISIBLE FROM PUBLIC STREET BUT PROVIDE MASONRY SCREENING

LANDSCAPE REQUIREMENTS LIST OF DESIRED ITEMS PROPOSED
1. LANDSCAPING THAT EXCEEDS THE MINIMUM P1 USE
2. LANDSCAPING IN SIDE AND REAR YARD NOT OTHERWISE REQUIRED
3. LANDSCAPING 10% OR MORE IN EXCESS OF 50 SQ. FT./SPACE
4. PARKING LOTS WITH NO SPACE FURTHER THAN 40 FEET FROM A LANDSCAPED AREA

OWNER/APPLICANT
5605 FM 423
STE 500 #263
FRISCO, TX. 75074
PHONE: 650-701-6705
CONTACT: ERIC HARGER
EMAIL: BH.HARGERPROPERTIES@GMAIL.COM

ENGINEER
JOHNSON VOLK CONSULTING, INC.
704 CENTRAL PARKWAY EAST
STE 1200 PLANO, TX. 75074
PHONE: 972-201-3102
CONTACT: CLAUDIO SEGOVIA, PE
EMAIL: CLAUDIO.SEGOVIA@JOHNSONVOLK.COM

SEPTEMBER 2025

1	2	3	4	5	6	7	8	9	10	11	12

CAUTION!
EXISTING UTILITIES

EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON AVAILABLE REFERENCE INFORMATION. OTHER UTILITIES NOT SHOWN ON THESE PLANS MAY EXIST. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE SOLELY LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES.

TEXAS 111-1-800-344-8377

JOHNSON VOLK CONSULTING

1603 MARTINEZ LANE
CITY OF WYLLIE
COLLIN COUNTY, TEXAS

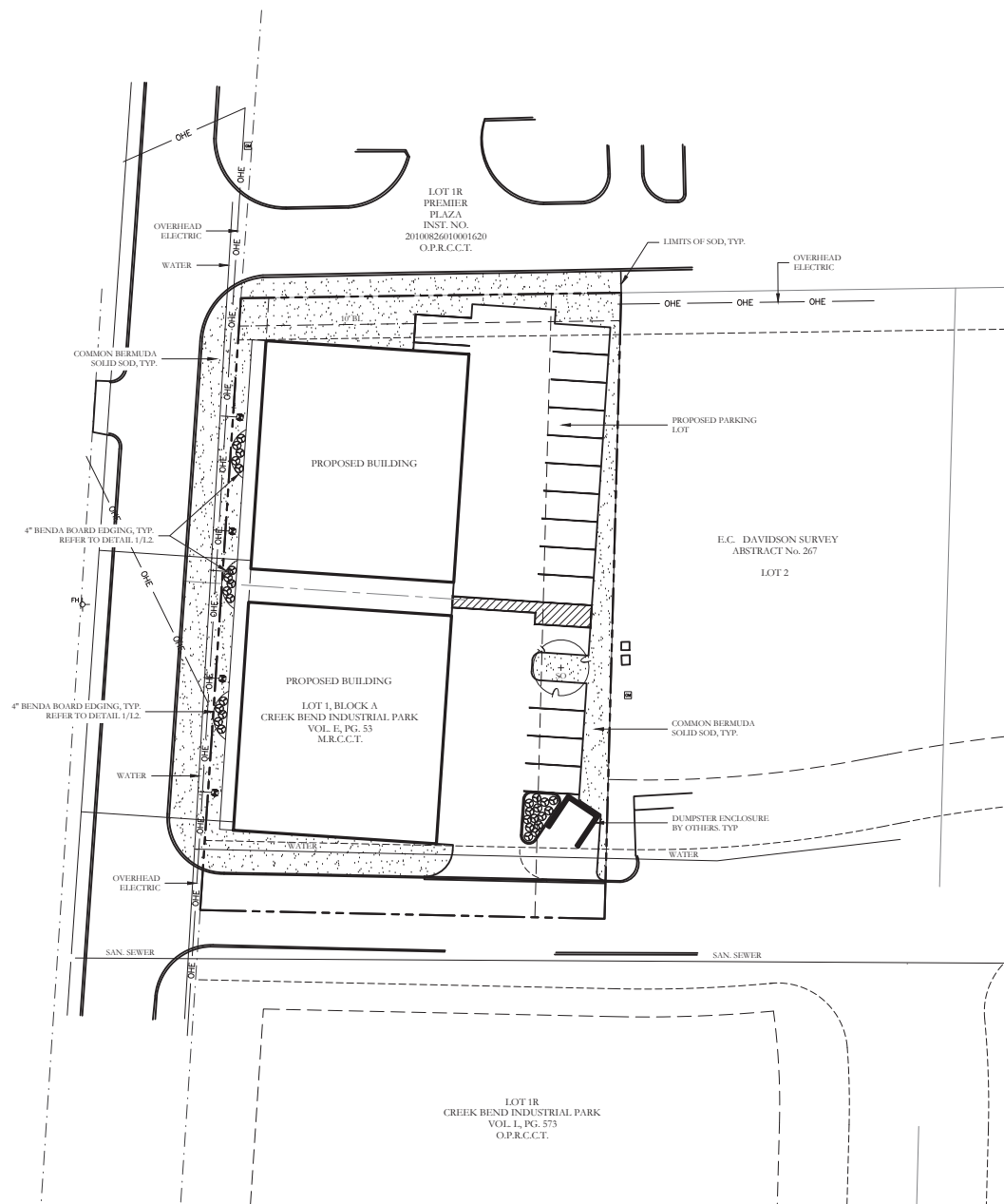
THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

09/22/2025

SCALE:
One Inch
JVC No. HRP501

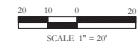
SP 1

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
		GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

LANDSCAPE PROVIDED
10% OF THE TOTAL AREA IS REQUIRED TO BE LANDSCAPED.
31,271 SF OF LOT AREA X 10% EQUALS 3,127.10 SF REQUIRED.
5,331 SF OF LANDSCAPE IS PROVIDED. (17.05% PROVIDED)



JOHNSON VOLK CONSULTING
304 Central Expressway East | Suite 1000 | Pecos, TX 79769 | P: 720.203.3100

1603 MARTINEZ LANE,
CITY OF WYLLIE, TEXAS

LANDSCAPE PLAN
LANDSCAPE PLANTING PLAN

October 18, 2025

SCALE:
1" = 20'

JVC No. HRP501

L1 of 2

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMITS.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE, AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC WORKS VISION REQUIREMENTS.

UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL PLANTINGS.

A MINIMUM THREE FEET (3') RADIIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.

ALL TREES PLANTED HEREIN SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOB AND THE EDGE OF THE ROOT BALL SHALL BE (6') MINIMUM FROM THE WATER METER. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN THE MINIMUM STANDARD FOR ALL TREES PLANTED.

TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.

ALL TREES PLANTED HEREIN SHALL BE OBTAINED ABOVE THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 6" FROM THE TRUNK OF THE TREE.

ALL TREES SHALL BE TESTED FOR DEFOLIATION. IF DEFOLIATION IS DETECTED, THE TREE DOES NOT DRAIN WATER WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.

ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL.

ALL TREES PLANTED HEREIN SHALL BE TESTED FOR DEFOLIATION.

ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.

NATIVE SOIL: TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SOIL: TOPSOIL SHALL BE STORED IN A COVERED AND ACCREDITED LABORATORY AND AMENDED PER THE LABORATORY'S RECOMMENDATIONS.

ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY ENGINEER. NO PERMIT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.

IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.

ALL VALVES, ELBS, OR COUPLERS SHALL BE LOCATED WITHIN THE CITY'S ROW.

IRRIGATION CONTROLLER SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE CITY'S ALLOWED WATER ALLOWANCE.

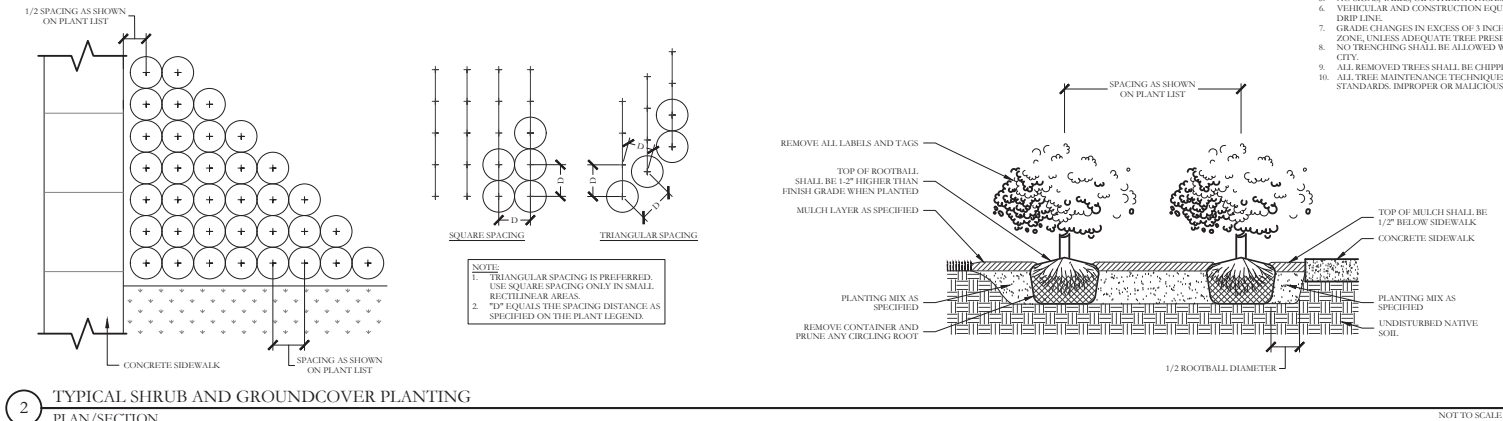
ALL VALVES SHALL BE LOCATED AT A MINIMUM OF 7' AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES.

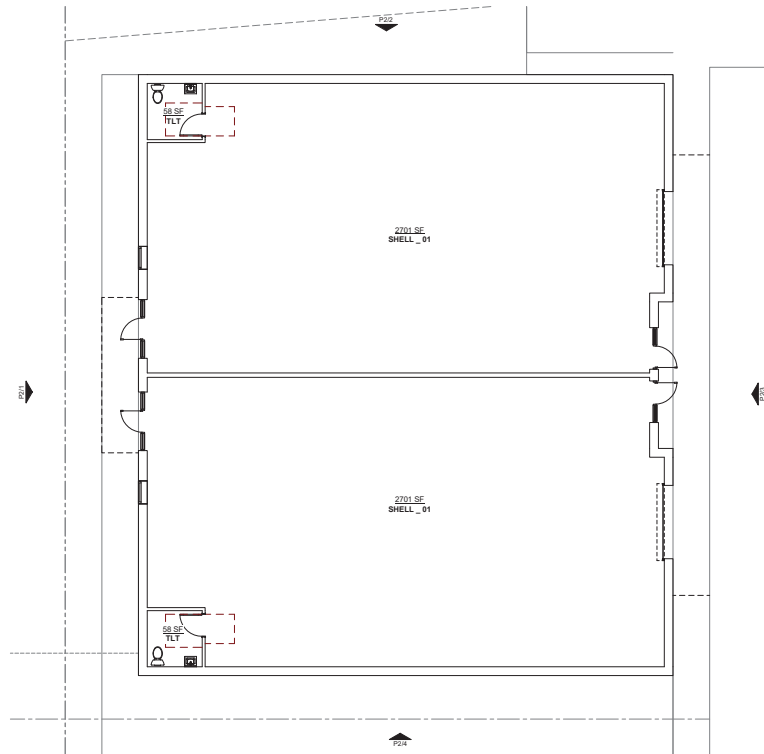
ALL VALVES SHALL BE LOCATED AT A MINIMUM OF 10' AWAY FROM THE CURB OR THE BORE DRAIN UNDER STREETS, DRIVE ALLEYS, AND FIRE LANES SHALL PROVIDE 2' OF CLEARANCE MINIMUM.

ALL VALVE HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FIED FROM STUBBED LATERALS OR BULLHEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN THE VALVE HEADS AND THE SANITARY SEWER LINES. UNDERGROUND INSTALLATION OF VALVES SHALL BE LOCATED AT A MINIMUM OF 10' AWAY FROM STORM SEWERS AND SANITARY SEWER LINES.

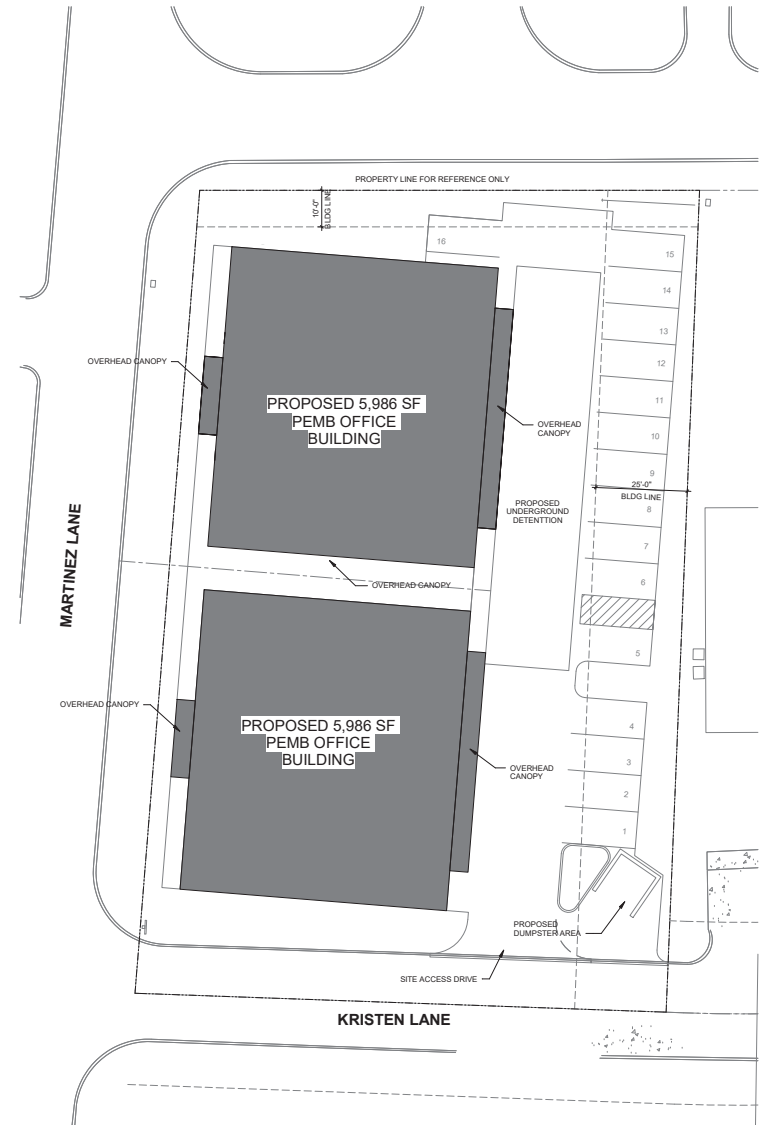
ALL VALVE COUPLERS OR CONNECTION ASSEMBLIES, GLOBE COUPLERS SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPAIRED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. PRUNING OF TREES SHALL BE DONE, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STUEL, TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

[illegible]



PROPOSED FLOOR PLAN | 1
SCALE: 1/8" = 1'-0" | P1



ARCHITECTURAL SITE PLAN | 2
SCALE: 1/16" = 1'-0" | P1



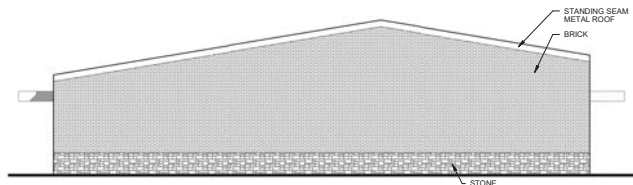
SE PERSPECTIVE | 6
SCALE: 1/8" = 1'-0" P2



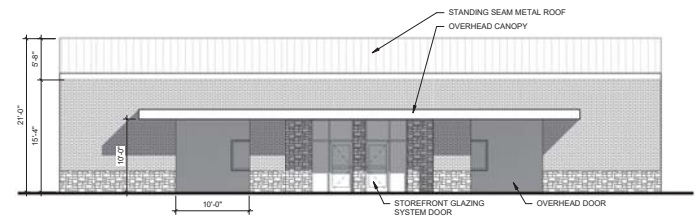
SW PERSPECTIVE | 5
SCALE: 1/8" = 1'-0" P2

ARCHITECTURAL DESIGN REQUIREMENTS

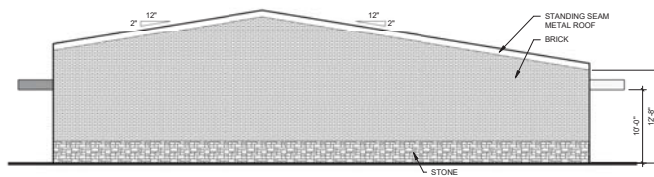
- A. BASE STANDARD
 1. BUILDING MATERIALS
 - A. OVERALL ELEVATION AREA: 1,039 SF; OVERALL AREA OF STONE: 228 SF OR 22% > 20% REQUIREMENT
 - B. ROOF PITCH AT 3:12
 - C. MATERIALITY AND ARCHITECTURAL STYLE TO MATCH ADJACENT COMMERCIAL BUILDINGS
 2. BUILDING ARTICULATION, FORM, AND MASSING
 - A. WALLS DO NOT EXCEED HW RATIO OF 1:2
 - B. EMPHASIS OF ENTRANCE WITH ARCHITECTURAL ELEMENT
 3. ARCHITECTURAL COMPATIBILITY
 - A. NA
- B. DESIRABLE (3 IMPLEMENTED DESIRABLES)
 1. USE OF TWO COMPLEMENTARY PRIMARY FACADE MATERIALS - BRICK AND STONE
 2. APPLICATION OF BASE STANDARDS TO FACADES NOT FACING A PUBLIC STREET
 3. USE OF ARCHITECTURAL DETAILING AND/OR MATERIAL TO PROVIDE VARIETY IN VISUAL APPEARANCE THROUGH USE OF MATERIAL, STOREFRONT, AND ENTRANCE CANOPIES



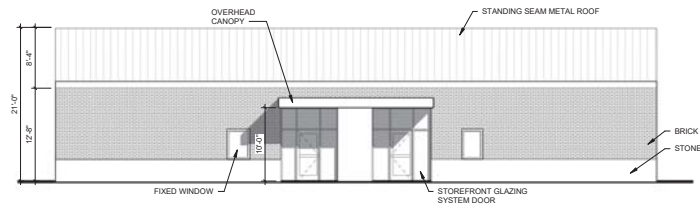
SOUTH ELEVATION | 4
SCALE: 1/8" = 1'-0" P2



EAST ELEVATION | 3
SCALE: 1/8" = 1'-0" P2



NORTH ELEVATION | 2
SCALE: 1/8" = 1'-0" P2



WEST ELEVATION | 1
SCALE: 1/8" = 1'-0" P2