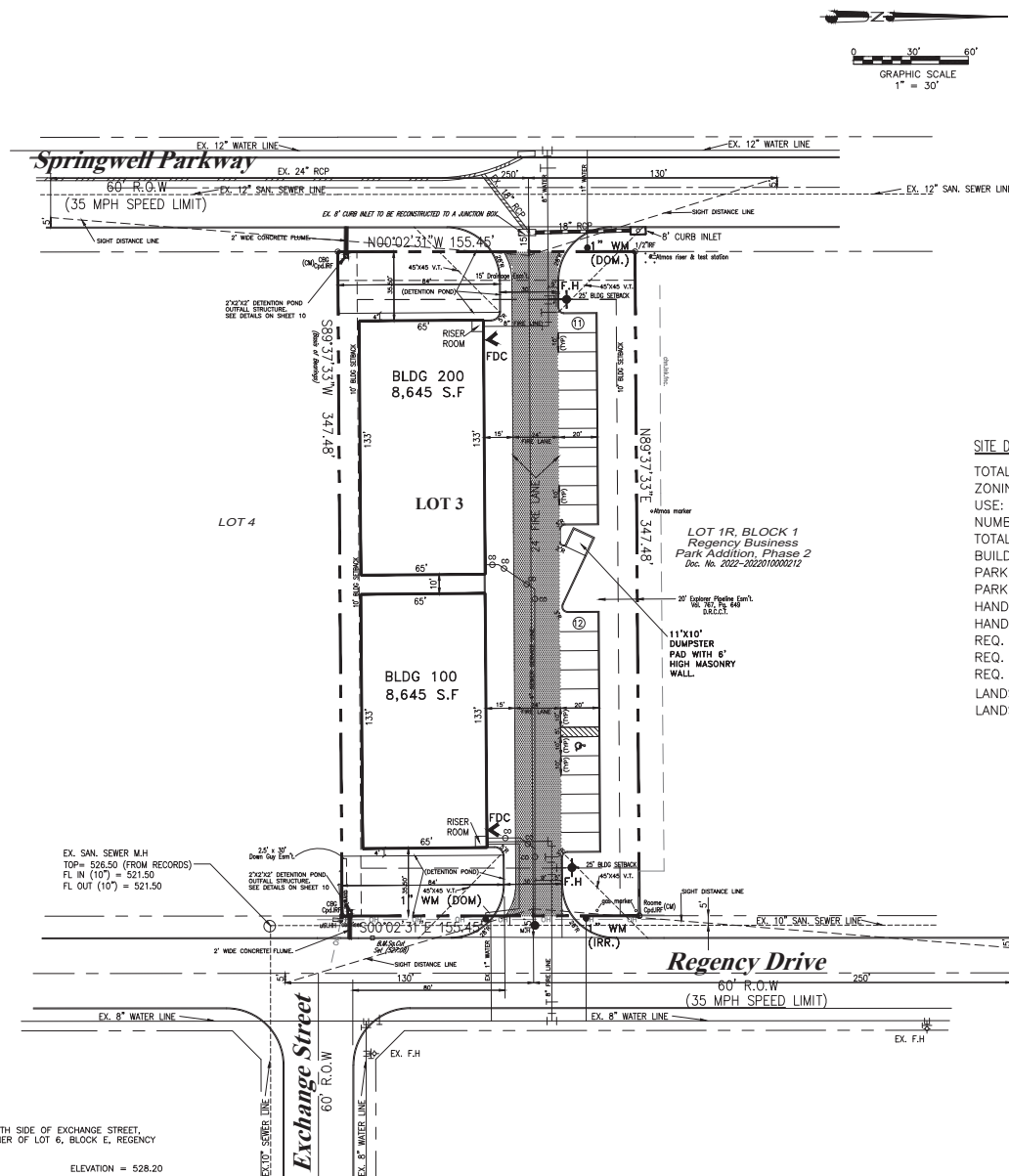
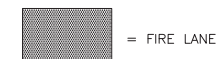


LOCATION MAP (NTS)

SITE DATA:

TOTAL AREA OF SITE = 1.24 Acre (OR 54014.86 S.F.)
 ZONING: "LI", LIGHT INDUSTRIAL
 USE: OFFICE WAREHOUSE
 NUMBER OF BUILDINGS: 2
 TOTAL BUILDING AREA: 17,290.00 S.F.
 BUILDING HEIGHT: 19 FEET
 PARKING SPACES REQUIRED: 1 PER 750 S.F. = 23
 PARKING SPACES PROVIDED: 23
 HANDICAP PARKING SPACES REQUIRED: 2
 HANDICAP PARKING SPACES PROVIDED: 2
 REQ. MIN. FRONT SETBACK (FEET): 25'
 REQ. MIN. SIDE SETBACK (FEET): 10'
 REQ. MIN. REAR YARD SETBACK (FEET): 25'
 LANDSCAPE AREA REQUIRED = 5,401.49 S.F. (10% OF SITE GROSS AREA)
 LANDSCAPE AREA PROVIDED = 18,756.16 S.F. (34.72 % OF SITE GROSS AREA)

LEGEND:



BENCHMARK:
 SET "X" ON TOP OF CURB ON SOUTH SIDE OF EXCHANGE STREET,
 11.50 FEET FROM NORTHEAST CORNER OF LOT 6, BLOCK E, REGENCY
 BUSINESS PARK, PHASE-2

ELEVATION = 528.20

REGENCY OFFICE/WAREHOUSE ADDITION

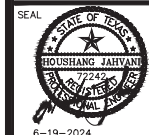
Lot 3, Block D, Regency Business Park - Phase 2
 214 Regency Drive Buildings 100 and 200
 Wylie, Texas 75098

JAHVANI CONSULTING ENGINEERS, INC.

TYPE REGISTRATION NO. F-10198
 2121 N. JOSEY LANE, #100
 CARROLLTON, TEXAS 75006
 TEL. (214) 718-9469
 jahvani@hotmail.com



REVISIONS DATE



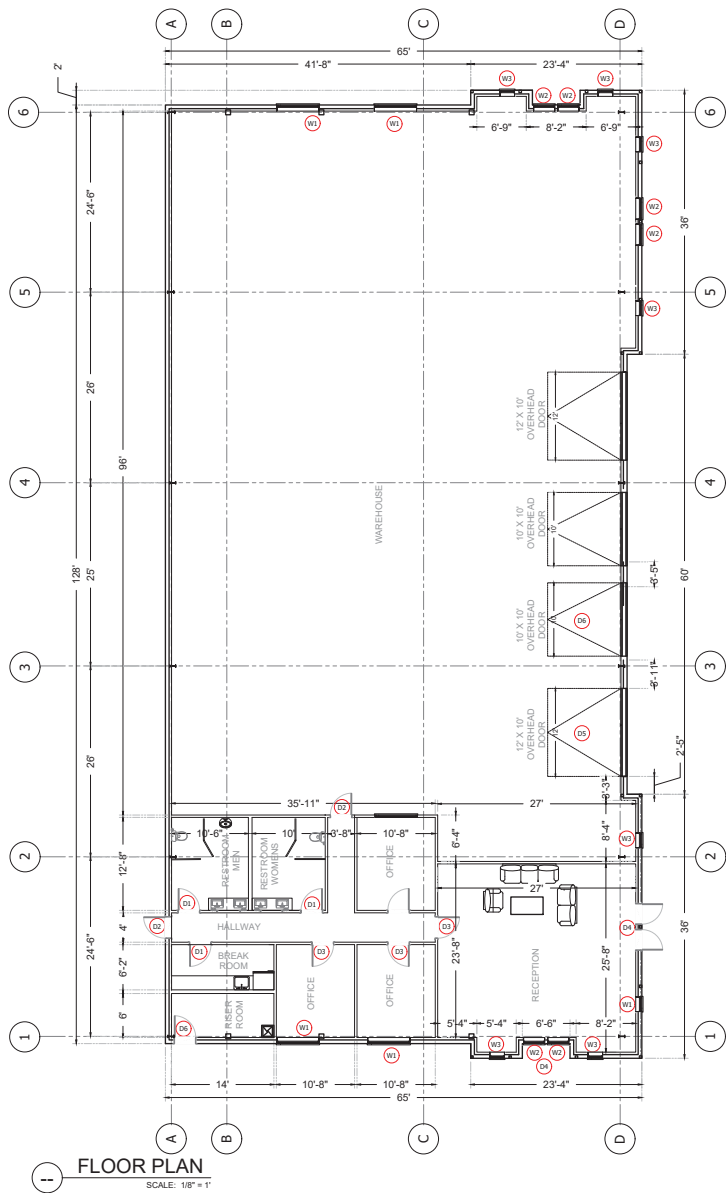
DWG. TITLE:
SITE PLAN

PROJECT #:
 DRAWN BY: HJ
 SCALE: 1" = 30'
 FILE NO:

DATE 6-19-2024

3 OF 13
 SHEET NUMBER

36 X 24 PAPER



ALL WORK SHALL COMPLY WITH:
2021 INTERNATIONAL BUILDING CODE

WINDOWS SCHEDULE							
TAG	MARK	SIZE		U-FACTOR	TYPE	ROOM	QTY
		WIDTH	HEIGHT				
W1	2080	5'-9"	1'-9"	30	FIX	RECEPTION	8
W2	2010	2'-10"	8'-0"	30	FIX	LOBBY	4
W3	3080	3'-0"	8'-0"	30	FIX	WAREHOUSE	2

DOOR SCHEDULE							
TAG	MARK	SIZE		THK	TYPE	ROOM	QTY
		WIDTH	HEIGHT				
D1	3068	3'-0"	6'-8"	0'-2.25"	SOLID CORE	RESTROOM WOMEN	1
	3068	3'-0"	6'-8"	0'-2.25"	SOLID CORE	RESTROOM MEN	1
	3068	3'-0"	6'-8"	0'-2.25"	SOLID CORE	BREAK ROOM	1
D2	3068	3'-0"	6'-8"	0'-2.75"	SAFETY	HALL WAY	1
	3068	3'-0"	6'-8"	0'-2.75"	SAFETY	RISER ROOM	1
	3068	3'-0"	6'-8"	0'-2.75"	SAFETY	WAREHOUSE	1
D3	3068	3'-0"	6'-8"	0'-2.25"	GLASS/ALUM	RECEPTION	2
	3068	3'-0"	6'-8"	0'-2.25"	GLASS/ALUM	OFFICE 1	1
	3068	3'-0"	6'-8"	0'-2.25"	GLASS/ALUM	OFFICE 2	1
D4	6080	6'-0"	8'-0"	0'-2.25"	GLASS/ALUM	LOBBY	1
D5	120100	12'-0"	10'-0"	--	METAL	OVERHEAD	2
D6	100100	10'-0"	10'-0"	--	METAL	OVERHEAD	2

ALL DIMENSIONS SHALL BE VERIFIED WITH ARCHITECTURAL PLANS
BY SUPPLIERS AND CONTRACTORS PRIOR TO FABRICATION & WORK



RAY MOGHIMI
214 REGENCY DRIVE
WYLIE, TEXAS 75098

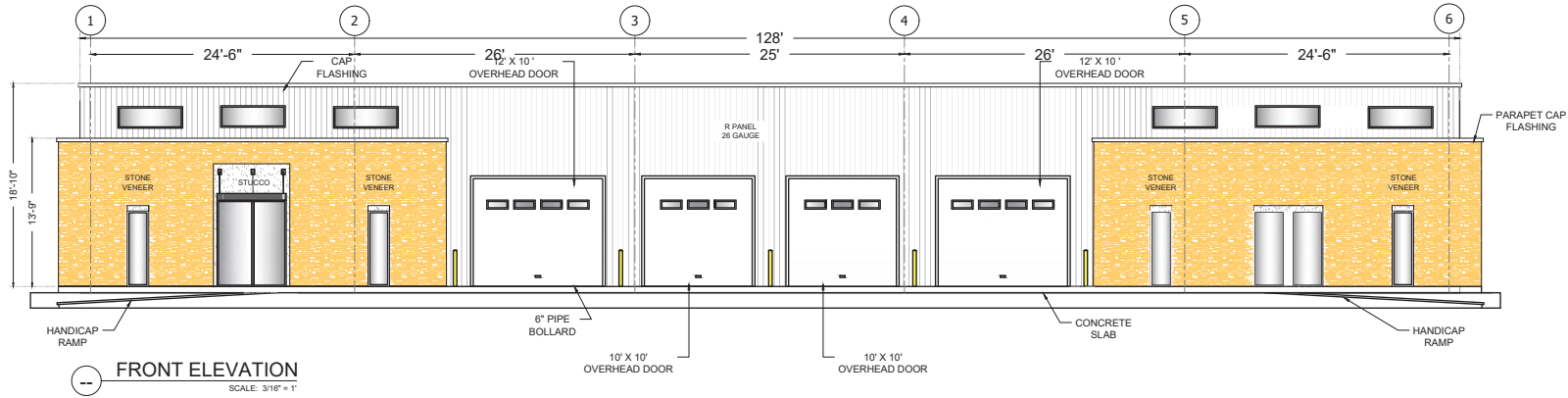


COMMERCIAL BUILDING
214 REGENCY DRIVE
WYLIE, TEXAS 75098
REGENCY BUSSINES PAR-PHASE 2
BLK D LOT 1-4

PROJ: RD-24020
SV-1:
SV-2:
SHEET TITLE
FLOOR PLAN

SHEET NO.

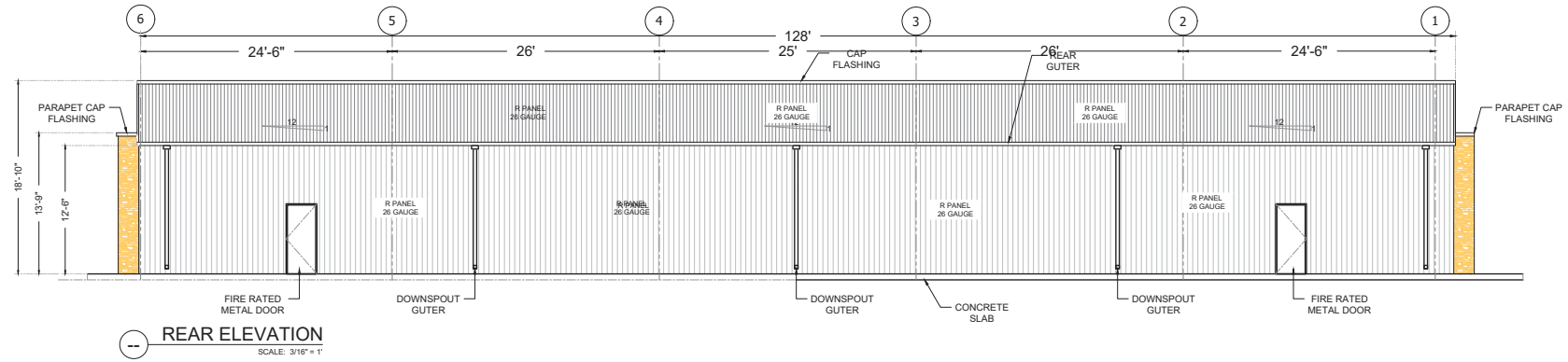
A-1



FRONT ELEVATION

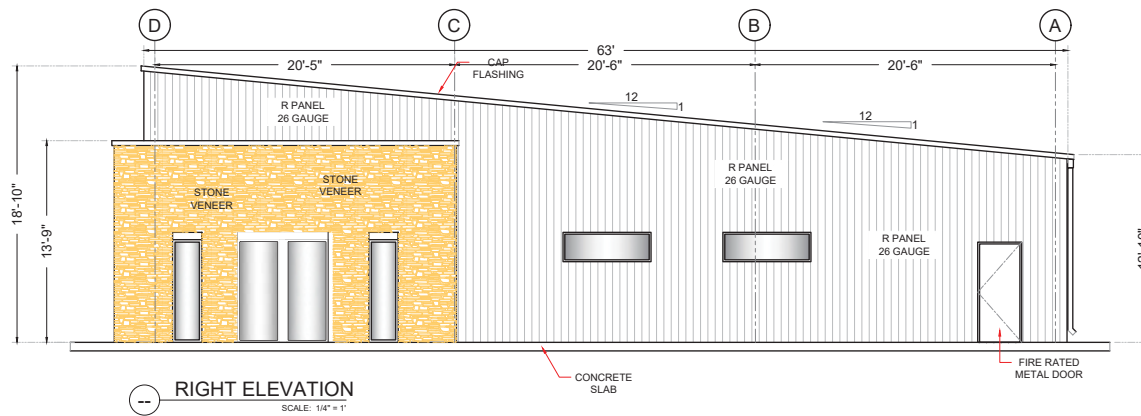
SCALE: 3/16" = 1'

EXTERIOR WALL FINISH SCHEDULE					
	ELEMENT	MATERIAL	COLOR/NAME	SQ.FT.	%
	EXTERIOR WALL (MAIN ENTRANCE)	STONE	OLDWORLD	777.3	18.9
	EXTERIOR WALL WARE HOUSE	R PANEL	DARK GRAY	2679.5	65.1
	EXTERIOR WALL (OVER DOOR)	STUCCO	STUCCO	25.2	0.1
	ROOF	R PANEL	WHITE		



REAR ELEVATION

SCALE: 3/16" = 1'



	ELEMENT	MATERIAL	COLOR/NAME	SQ.FT	%
	EXTERIOR WALL (MAIN ENTRANCE)	STONE	OLDWORLD	469.0	23.4
	EXTERIOR WALL WARE HOUSE	R PANEL	DARK GRAY	638	63
	EXTERIOR WALL (OVER DOOR)	STUCCO	STUCCO	5.1	0.0
	ROOF	R PANEL	WHITE		

