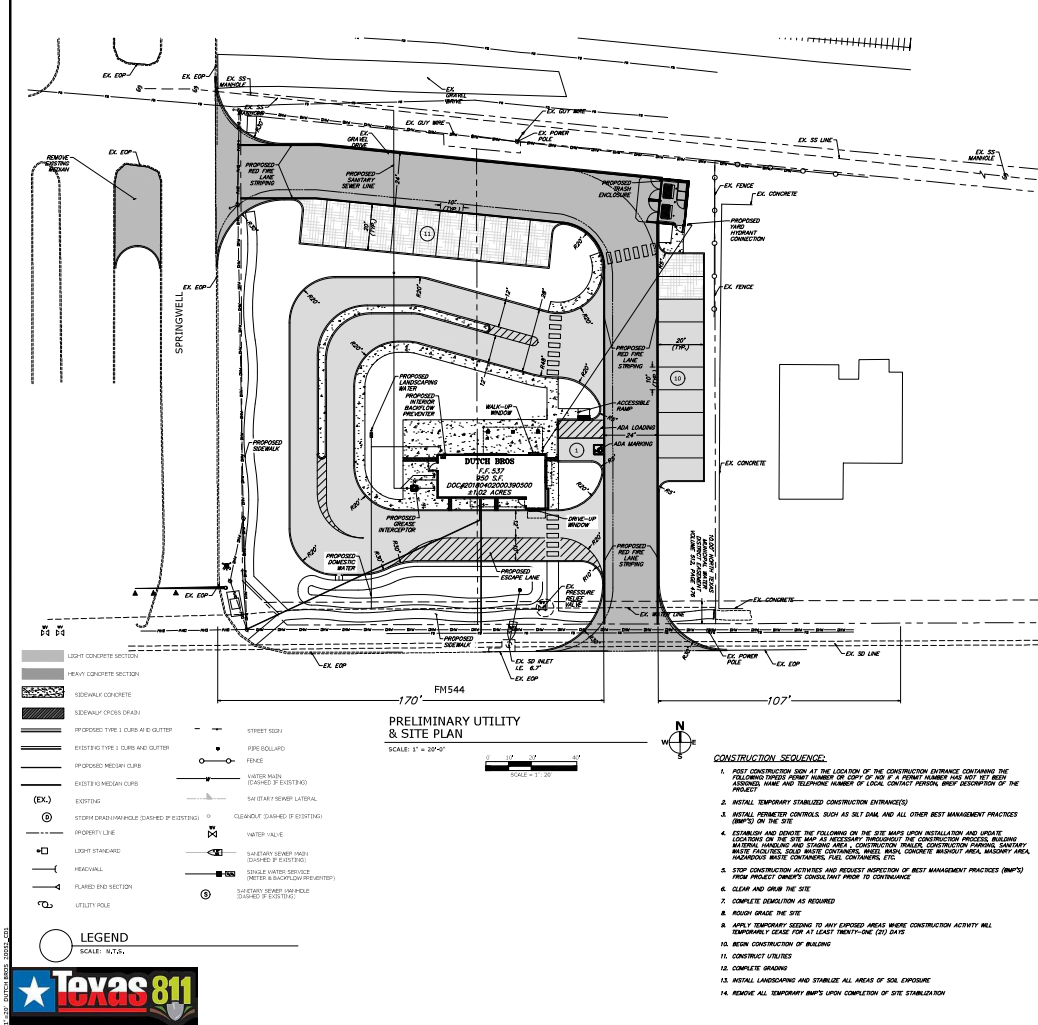


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VICINITY MAP

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(972) 324-9922
Attn: Matt Satterman, P.E.

Surveyor:
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(972) 472-2004

Landscape Architect:
Bella Firma
6444 South Central Expressway, Suite 501
Dallas, Texas 75225
(214) 955-7192
Attn: Kim Hwang

SITE INFORMATION

SITE INFORMATION
LOT SIZE: 44,501 SF (1.02 AC)
FLOOD ZONE: X
BUILDING SETBACK:
FRONT: 25'
SIDE: 10'
REAR: 10'
BUILDING COVER: 910 SF
LOT COVERAGE: 3.47%
SITE IMPERVIOUS PERCENTAGE: 65.04%

PARKING ALLOWED:
RATIO REQUIRED: 1:150 SF
REQUIRED PARKING: (910/150) = 6
MAXIMUM PARKING: (771/150) = 5

SPACES PROVIDED:
13 NEAR DRIVE/SURFACE
9 STANDARD STALL
1 ADA STALL
22 TOTAL

TECTONICS DESIGN GROUP

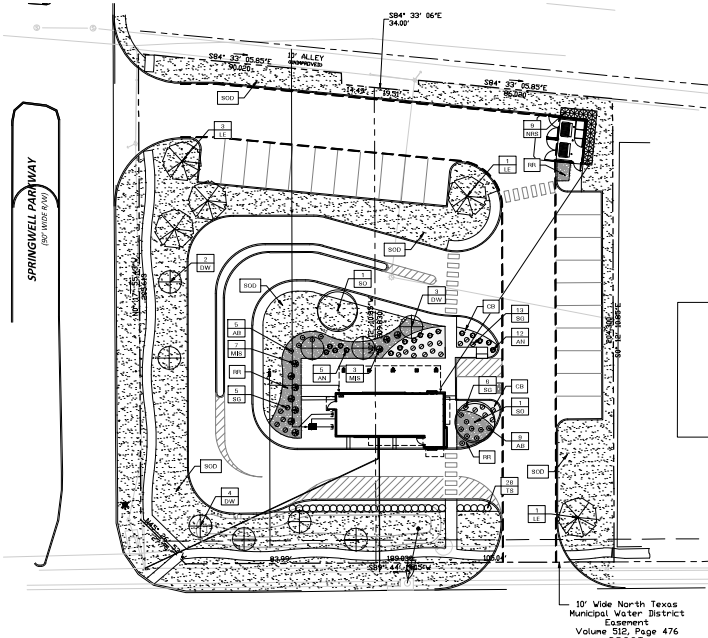
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MAIN & MAIN
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tel 214-308-0008

PRELIMINARY UTILITY AND SITE PLAN

C0.1



LANDSCAPE NOTES

7. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SET ELEMENTS AND UTILITY LANDSCAPES AND RECORD THE LOCATION AND DEPTH OF ALL EXISTING CONDITIONS WAS SUPPLIED BY THE OWNER.
8. CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING OF ANY EVEREST CALLED WHEN WORKING IN THE VICINITY OF ANY EXISTING UNDERGROUND UTILITIES.
9. CONTRACTOR SHALL PROVIDE A minimum 20' SET AWAY FROM ALL STRUCTURES.
10. CONTRACTOR SHALL FILL GRADE AREAS TO ACHIEVE FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE TOPSOIL, IF BELOW FINISHED GRADE SHALL BE REPLACED TO FINISHED GRADE. CONTRACTOR SHALL FILL GRADE IN LAWN AREAS.
11. CONTRACTOR SHALL FILL LAWN AREAS SHALL SEPARATELY TO FINISH GRADE. FINISH GRADE SHALL BE 1" ABOVE FINISHED GRADE. CONTRACTOR SHALL WALKERS ON GRASS, CUT STEEL EDGING AT 45 DEGREE ANGLE TO FINISH GRADE. CONTRACTOR SHALL FILL GRADE IN LAWN AREAS.
12. TOP OF EACH WALK SHALL BE 12" MINIMUM BELOW THE TOP OF EACH WALK AND CURBS.
13. ALL LAWN AREAS SHALL BE SOILD SOIL. CONTRACTOR SHALL UNLESS OTHERWISE NOTED IN DRAWINGS.
14. ALL REQUIRED LANDSCAPE AREAS SHALL BE FILL WITH AN AUTUMN COLOR FOLIAGE TREES AND SHRUBS. CONTRACTOR SHALL FILL GRADE IN LAWN AREAS AND EXPOSED/TRANSPARENCY ETC. WEATHERABLE MATERIALS SHALL BE USED. CONTRACTOR SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND BE RESPONSIBLE FOR THE DESIGN.
15. CONTRACTOR SHALL PROVIDE NO PHYSICAL SETTING PRICES FOR ALL MATERIAL PROVIDED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

GENERAL LAWN NOTES

3. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOWNSHIP WITH OWNER'S SCHEDULE.
4. CONTRACTOR SHALL LEAVE LAWN AREAS IN BELOW LISTED FINISHED GRADE PRIOR TO PAVING INSTALLATION.
5. CONTRACTOR SHALL GRAB AREAS TO ACHIEVE LAWN CONTOURS AS INDICATED ON CIVIL PLANS. ADJUSTMENTS TO ACHIEVE POSITIVE DRAINAGE TO EXISTING DRAINAGE ARE REQUIRED. EXISTING DRAINAGE LOCATED AT TOP AND BOTTOM OF SLOPES AND EXISTING DRAINAGE GRADUE. EXISTING DRAINAGE AREAS WHERE WATER MAY STAND.
6. ALL LAWN AREAS SHALL BE THE GRADE INDICATED ON CIVIL PLANS. CONTRACTOR SHALL OBTAIN APPROVAL BY THE OWNER'S CONSTRUCTION MANAGER PRIOR TO ANY LANDSCAPE ACTIVITY PRIOR TO PAVING INSTALLATION.
7. CONTRACTOR SHALL REMOVE ALL ROADSIDE BUSHES, TREES, AND ALL PLANTS, TREES, AND ALL CONCRETE REBARS, ETC. PRIOR TO PLACING TOPSOIL AND PAVING INSTALLATION.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS TO CIVIL PLAN ACCEPTANCES, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, AND FERTILIZING. CONTRACTOR SHALL MAINTAIN LAWN AREAS TO KEEP PLANTS IN A VIGOROUS HEALTH.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE ADEQUATE SOIL CULTURE FOR TURF.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING TO PREVENT JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

LANDSCAPE TABULATIONS

- | CITY OF WYLLIE, TEXAS | |
|---|--|
| SITE LANDSCAPE | |
| 1. Twenty (20%) percent of the site to be landscape area | |
| Total Site Area: 40,388 s.f. (0.927 AC) | |
| Required | Provided |
| 8,078 s.f. (20%) | 12,339 s.f. (30%) |
| PARKING LOT LANDSCAPE | |
| 1. Fifty (50) s.f. of landscape area per parking space. | |
| No parking space further than 50' (feet) from landscape area on site. | |
| All parking areas shall have landscape areas at least every twelve (12) parking spaces. | |
| Parking Spaces: 22 | |
| Required | Provided |
| 1,109 s.f. | 1,374 s.f. |
| All spaces within 60' of landscape area | All spaces within 60' of landscape area |
| Landscape areas at least every 12 parking spaces | Landscape areas at least every 12 parking spaces |

STREET FRONTAGE LANDSCAPE

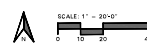
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|---|---|
| 1. As least fifty (50%) percent of the required yard width, as landscape buffer, at least ten (10) feet in width. | |
| 2. Landscape (3' tree, 3' col., at 30' x 40' min.) | |
| 3. Four (4') foot min. mounding concrete walkway. | |
| <p>RM 54c: 125 LSI.</p> <p>Required</p> <p>20' landscape buffer</p> <p>(5) trees, 3' col.</p> <p>4' mounding concrete walkway</p> | <p>Provided</p> <p>20' landscape buffer</p> <p>(5) trees, 3' col.</p> <p>4' mounding concrete walkway</p> |
| <p>Springwell Parkway: 205 LSI.</p> <p>Required</p> <p>20' landscape buffer</p> <p>(5) trees, 3' col.</p> <p>4' mounding concrete walkway</p> | <p>Provided</p> <p>20' landscape buffer</p> <p>(5) trees, 3' col.</p> <p>4' mounding concrete walkway</p> |

DESIRABLE LANDSCAPE REQUIREMENTS

1. Landscaping that exceeds the minimum by 10%.
2. Parking lots with no space further than 40' from landscaped area.
3. Landscaped pedestrian connection to main entrance.
4. Increase in minimum width of landscape buffer by 20%.

PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	TREES				
PAW	<i>Palmyra decumbens</i>	Panama Palm	9	50 gal.	container
LE	<i>Ornithoecus parviflorus</i> "Silvermist"	Leacock Elm	5	3" cal.	container
	<i>Quercus alba</i>	Chinquapin Oak	3	3" cal.	container
SHRUBS AND CLIMBERS					
AB	<i>Abelia grandifolia</i> "Hose Creek"	Dwarf Abelia "Hose Creek"	14	5 gal.	container
AN	<i>Andropogon tobiasii</i> "Andromeda"	Andromeda Juniper	17	6 gal.	container
AL	<i>Albizia julibrissin</i> "Angelina"	Missouri Lilac "Angelina"	10	6 gal.	container
NBS	See page "Noble's Rosemary"	Noble's B. Rosemary Shrub	9	7 gal.	container
SD	<i>Sedum spectabile</i>	Stonecrop	24	6 gal.	container
LO	<i>Lonicera sempervirens</i> "Green Clasp"	Green Clasp	20	6 gal.	container
RO	<i>Rosa carolina</i>	Carolina Rose	2	2" db.	solid stock
CC	<i>Cypripedium</i>	Common Broomrape	2	4" db.	solid stock
		Colorado River Hick			
		Coastal Red Oak			

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



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02	DRAWN:	RH
	DESIGNED:	RH
	CHECKED/DISTAMPED:	



06/08/2

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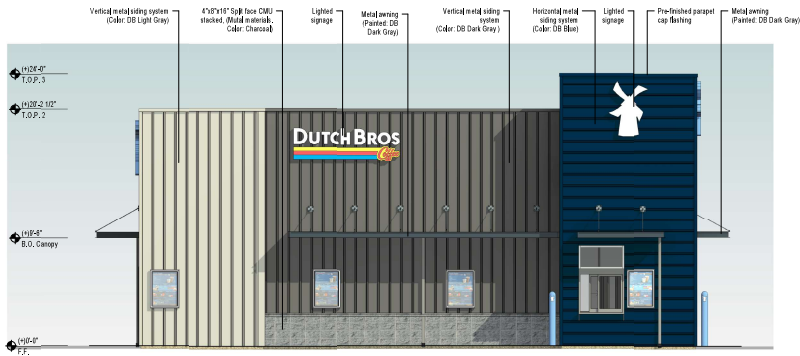
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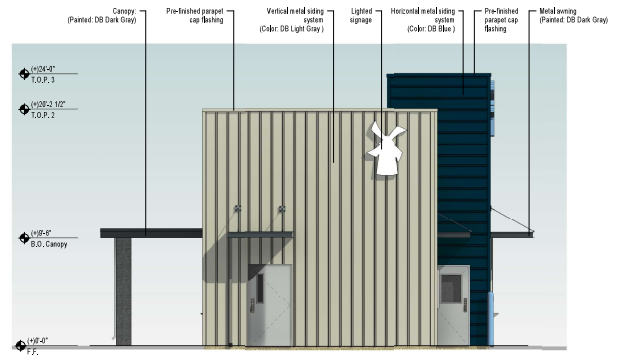
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LANDSCAPE PL

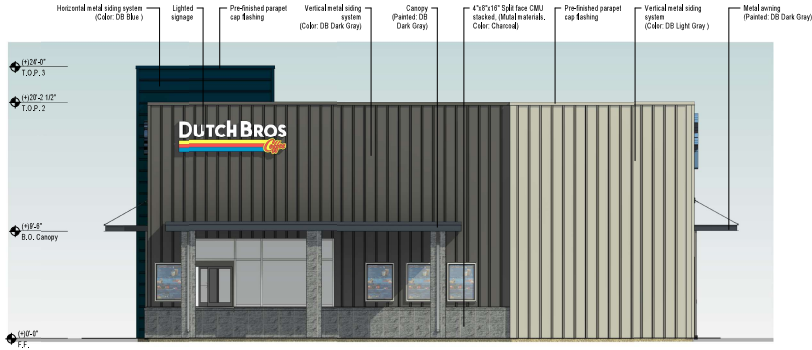
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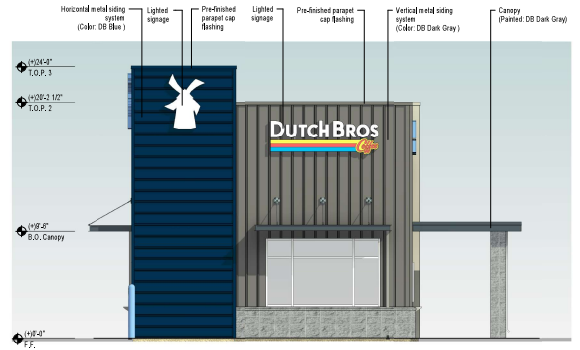
Drive-Up Elevation



Rear Elevation



Walk-In Elevation



Front Elevation (Primary Elevation)



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Conceptual Elevations

Wylie, Texas

PR.1

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Front #Primary Direction Drive Thru



Front #Primary Direction Walk-In



Rear Walk-In



Rear Drive Thru



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Perspectives

Wylie, Texas

PR.1A

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