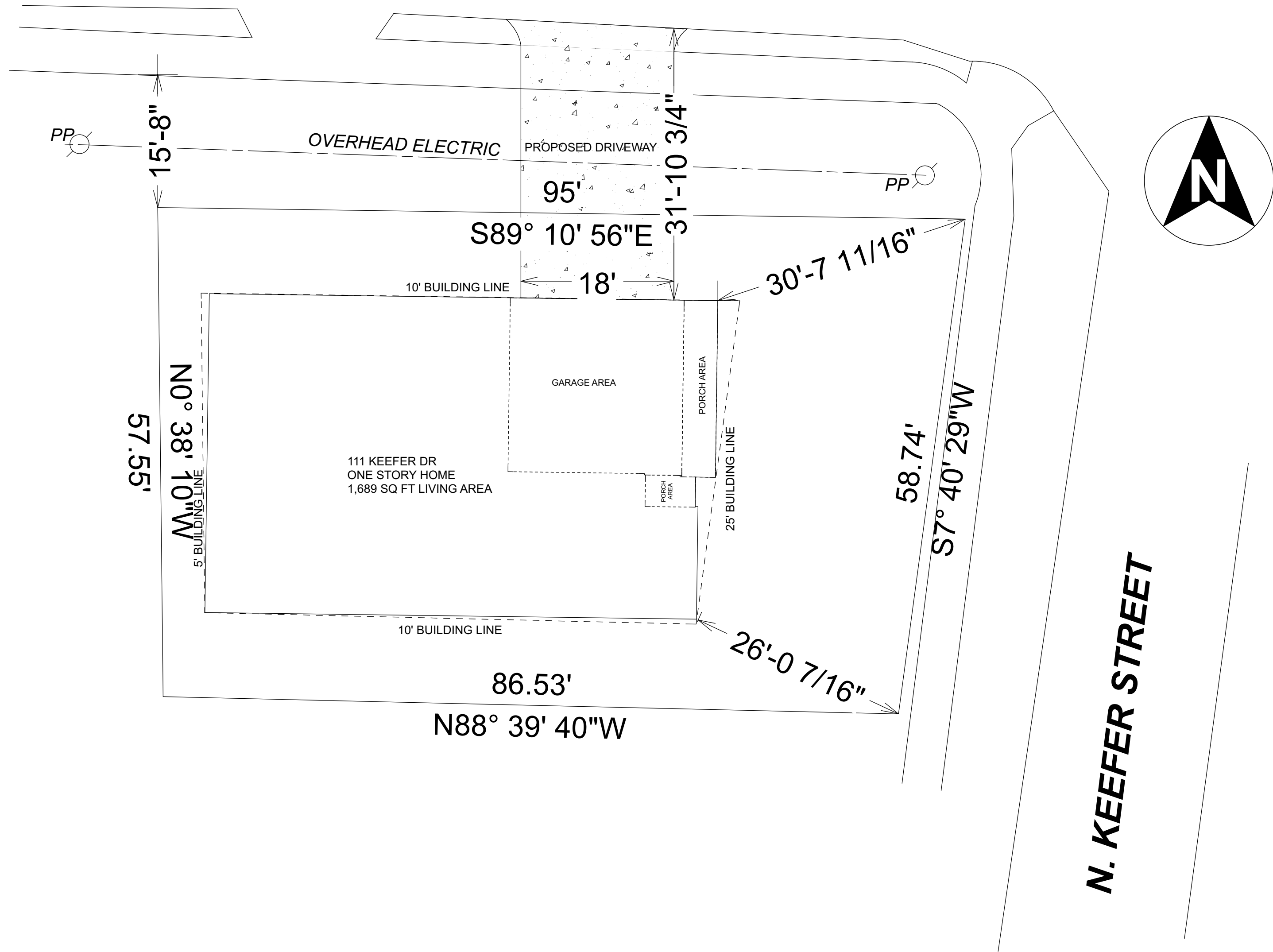


GENERAL NOTES

1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE 2021 IRC AND ALL APPLICABLE STATE, FEDERAL, & LOCAL CODES & AMENDMENTS.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
4. ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.
5. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
8. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY OWNER & ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
10. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
11. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
12. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.
13. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
14. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND/OR ENGINEER.
15. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND CORRECT STUD SPACING.
16. MECHANICAL CONTRACTOR TO VERIFY ANY CHASE AREA NOT SHOWN ON DRAWINGS. ALL SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
17. CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY THE OWNER OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.

W. MARBLE STREET



SITE PLAN

LEGAL DESCRIPTION
BROWN & BURNS, BLK 9, LOT 40R; REPLAT

SQUARE FOOTAGE	
PROPOSED LIVING AREA	1,689 SQ FT
PROPOSED PORCH/PATIO AREA	104 SQ FT
PROPOSED GARAGE AREA	400 SQ FT
TOTAL AREA	2,193 SQ FT
LOT SIZE	5,259 SQ FT
PERCENTAGE OF LOT	41.7% SQ FT



VICINITY MAP

THD

TORRES HOMES DESIGNS

INFO@THDTX.COM

214-854-5420

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SEAL:

ADDRESS: 111 KEEFER DR WYLIE, TX 75098
DATE:  9/15/2023
DRAWN BY:  ATOR
DESCRIPTION: CRAFTSMAN STYLE SINGLE FAMILY RESIDENCE ONE STORY   4 BEDROOM, 2 BATH
SCALE:  1' = 10'
SHEET TITLE:  SITE PLAN



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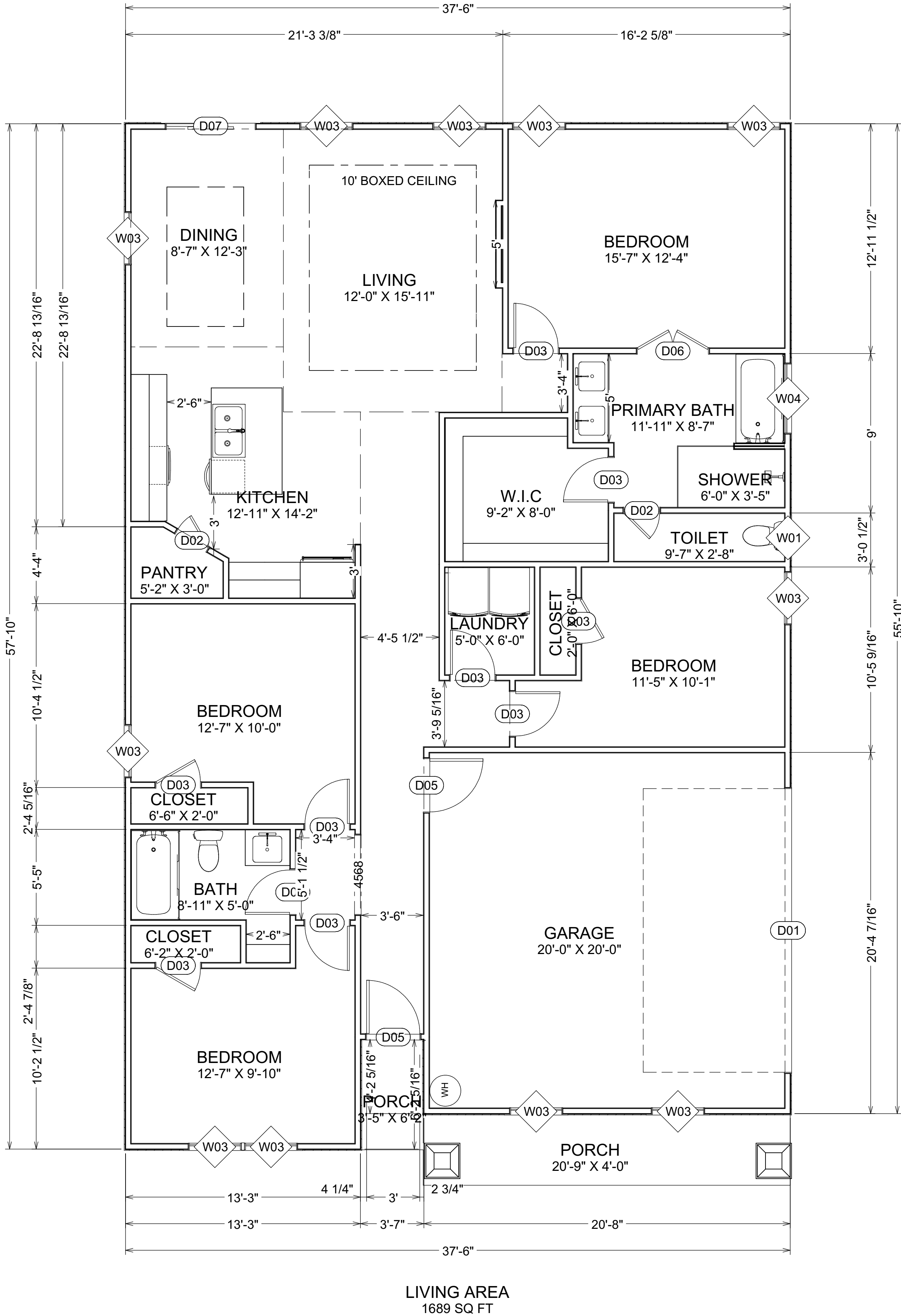
DRAWN BY:  
  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
  
1/4" = 1'

SHEET TITLE:  
  
FLOOR PLAN

A-2



CURRENT ADOPTED CODES:  
2021 INTERNATIONAL RESIDENTIAL CODE  
2020 NATIONAL ELECTRIC CODE  
2021 INTERNATIONAL ENERGY CONSERVATION CODE

WINDOW SCHEDULE				
NUMBER	QTY	HEIGHT	WIDTH	DESCRIPTION
W01	1	24"	24"	SINGLE HUNG
W02	1	36"	24"	FIXED GLASS
W03	11	72"	36"	SINGLE HUNG
W04	1	24"	48"	SINGLE HUNG

DOOR SCHEDULE				
NUMBER	QTY	HEIGHT	WIDTH	DESCRIPTION
D01	1	96"	192"	GARAGE-GARAGE DOOR CHD05
D02	2	80"	24"	HINGED-DOOR P04
D03	10	80"	30"	HINGED-DOOR P04
D05	2	80"	36"	EXT. HINGED-DOOR E21
D06	1	80"	48"	DOUBLE HINGED-DOOR P04
D07	1	80"	60"	EXT. SLIDER-GLASS PANEL

## SQUARE FOOTAGE

PROPOSED LIVING AREA	1,689 SQ FT
PROPOSED PORCH/PATIO AREA	104 SQ FT
PROPOSED GARAGE AREA	400 SQ FT
TOTAL AREA	2,193 SQ FT

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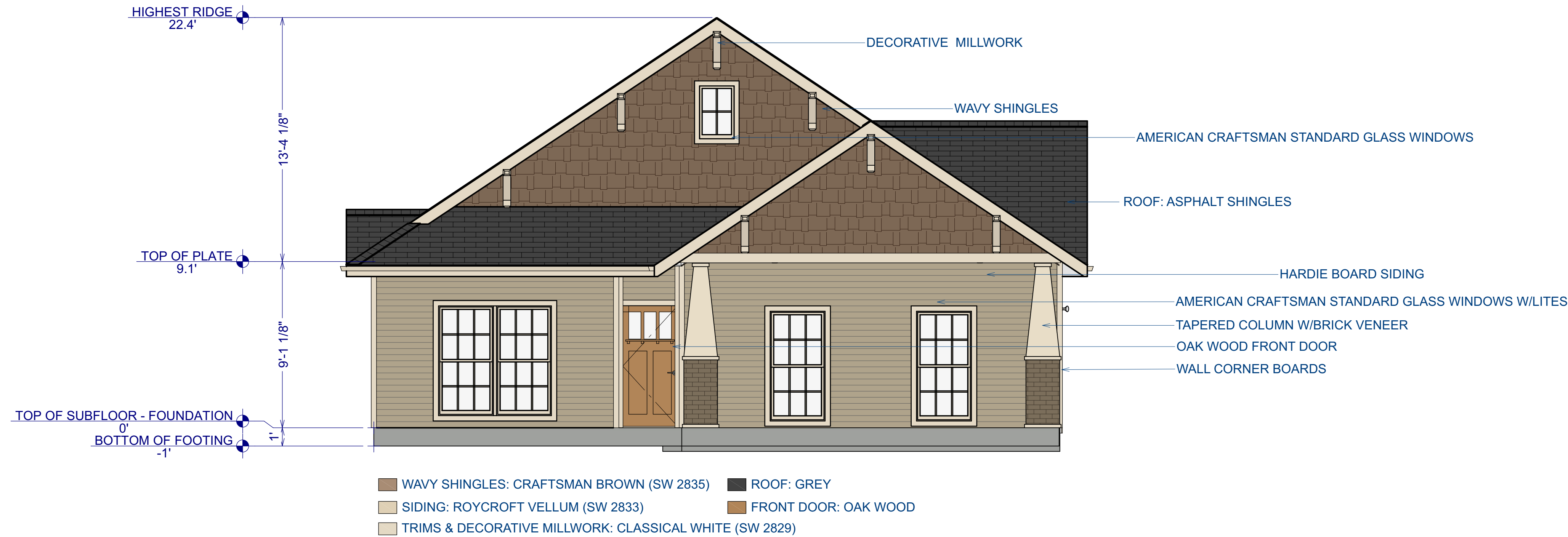
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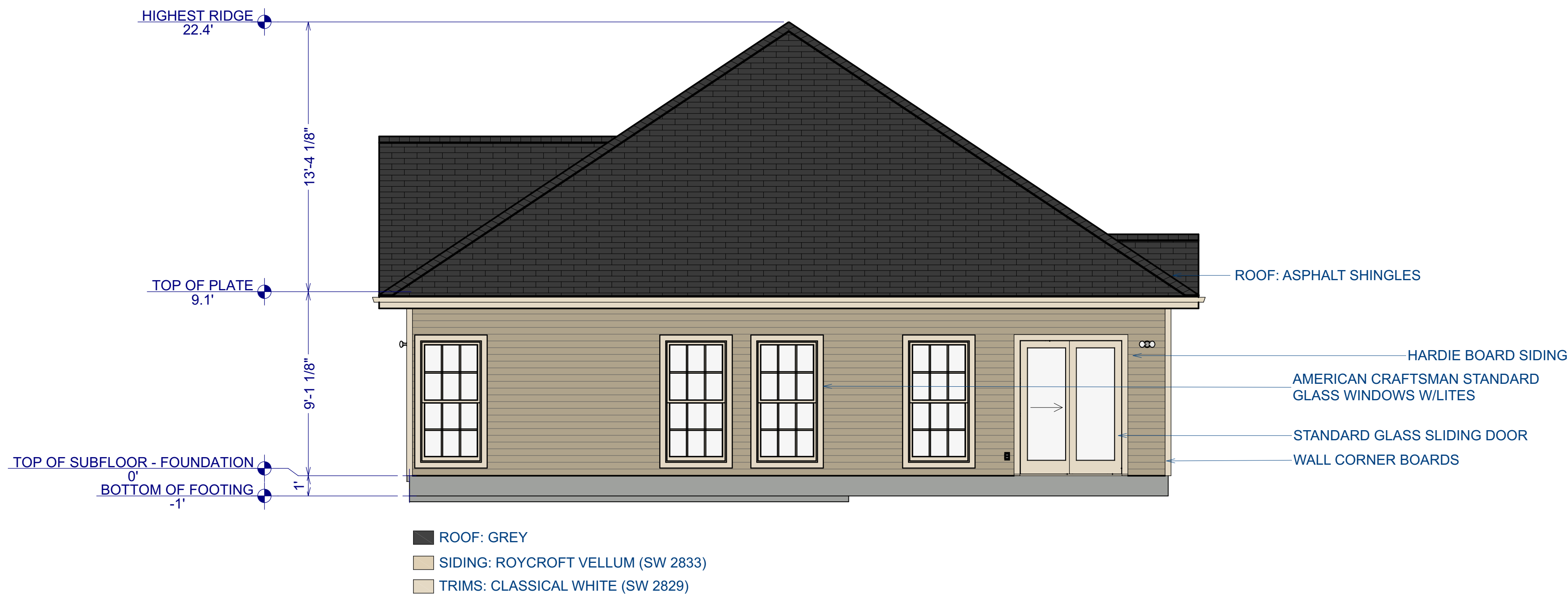
SCALE:  
  
1/4" = 1'

SHEET TITLE:  
  
FRONT & REAR ELEVATIONS

A-3



FRONT ELEVATION



REAR ELEVATION



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SCALE:  
  
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SHEET TITLE:  
  
RIGHT & LEFT ELEVATIONS

A-4



LEFT ELEVATION



RIGHT ELEVATION

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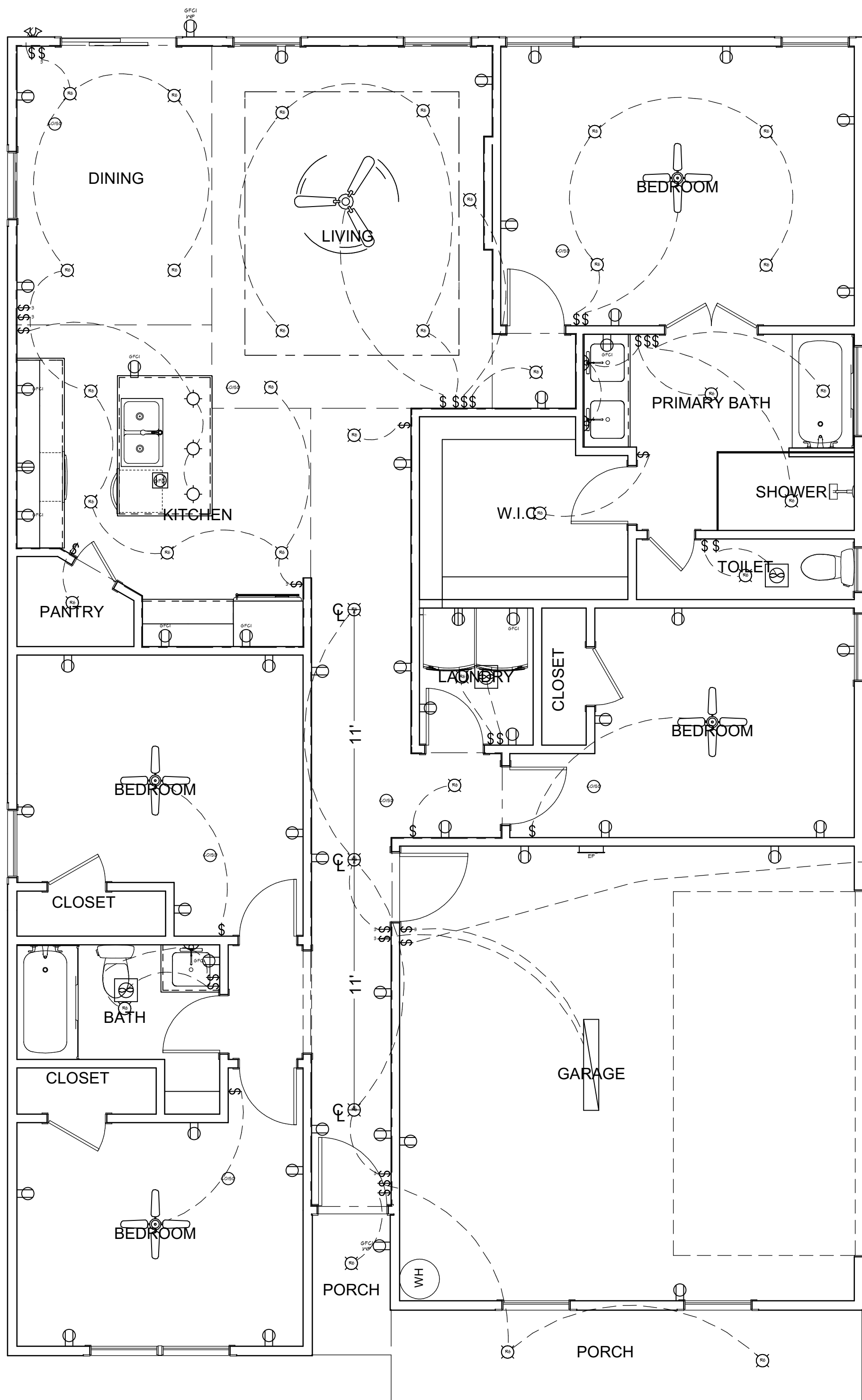
DATE:  
9/15/2023

DRAWN BY:  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
ELECTRICAL & LIGHTING PLAN



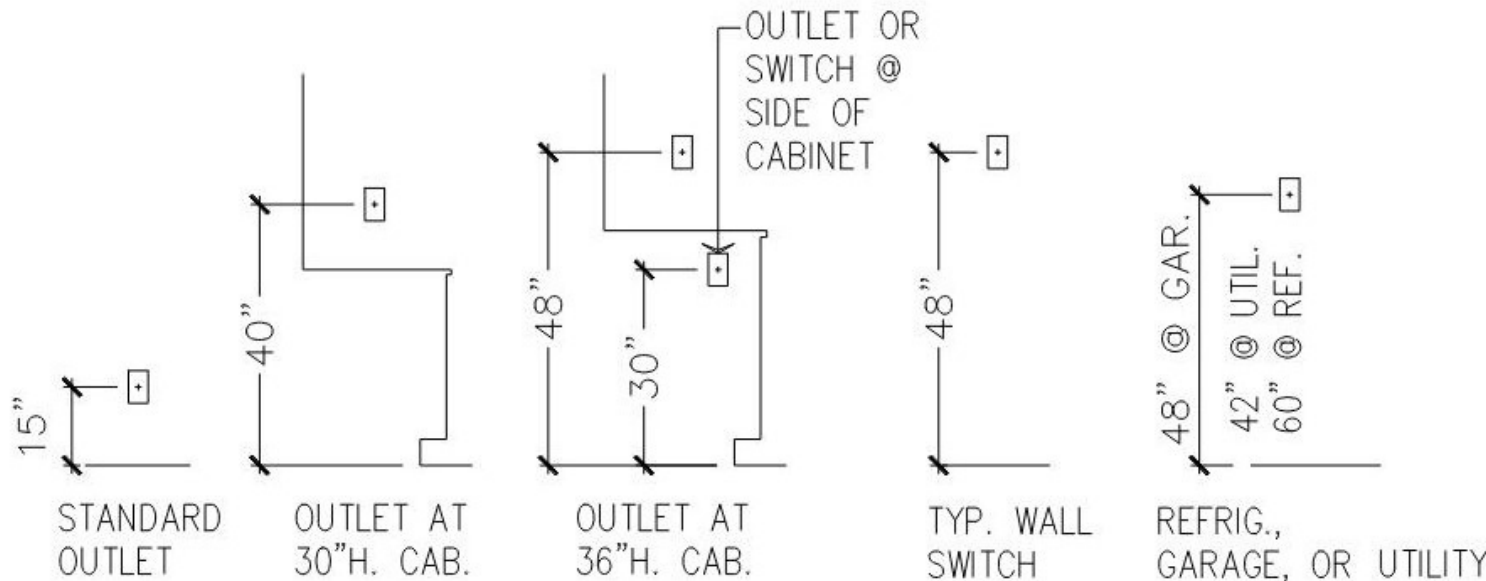
LIVING AREA  
1689 SQ FT

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	QTY
	3 BLADE CEILING FAN	1
	CEILING FAN (LIGHTS)	4
	220V	2
	DUPLEX	40
	GFCI	8
	GFCI DUPLEX FLOOR RECEPTACLE	1
	RECESSED DOWN LIGHT 6	35
	GRAN TENOS	3
	PENDANT	3
	CO/SMOKE DETECTOR	7
	EXHAUST FAN	3
	MEDIUM RECESSED TUBE LIGHT [48W6D]	1
	DUAL SPOTLIGHT	2
	GFCI WEATHERPROOF RECEPTACLE	2
	ELECTRICAL PANEL - SURFACE MOUNTED	1
	SINGLE POLE SWITCH	27
	3-WAY SWITCH	8

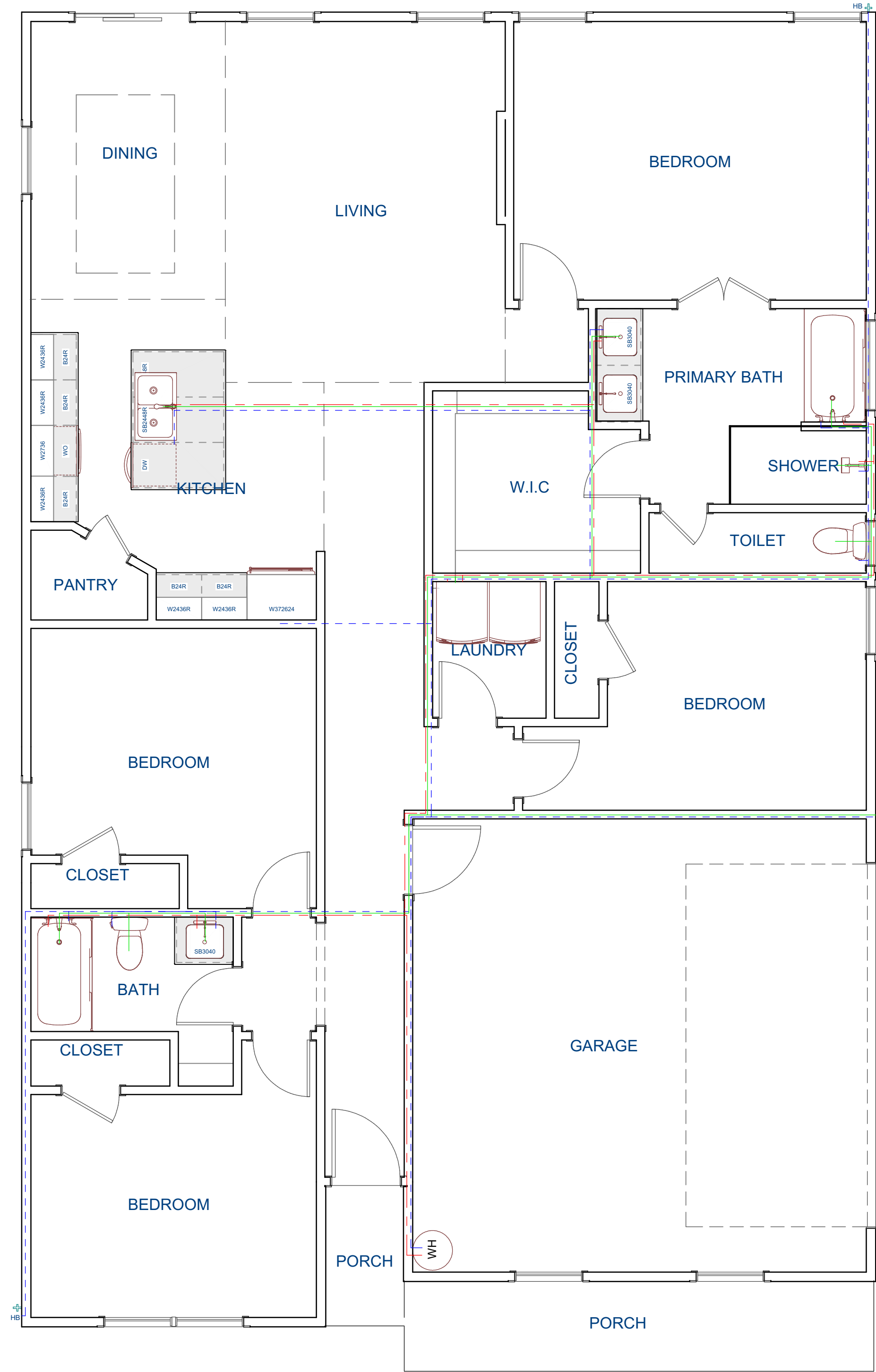
GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARDS OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

ELECTRIC FIXTURE HEIGHTS

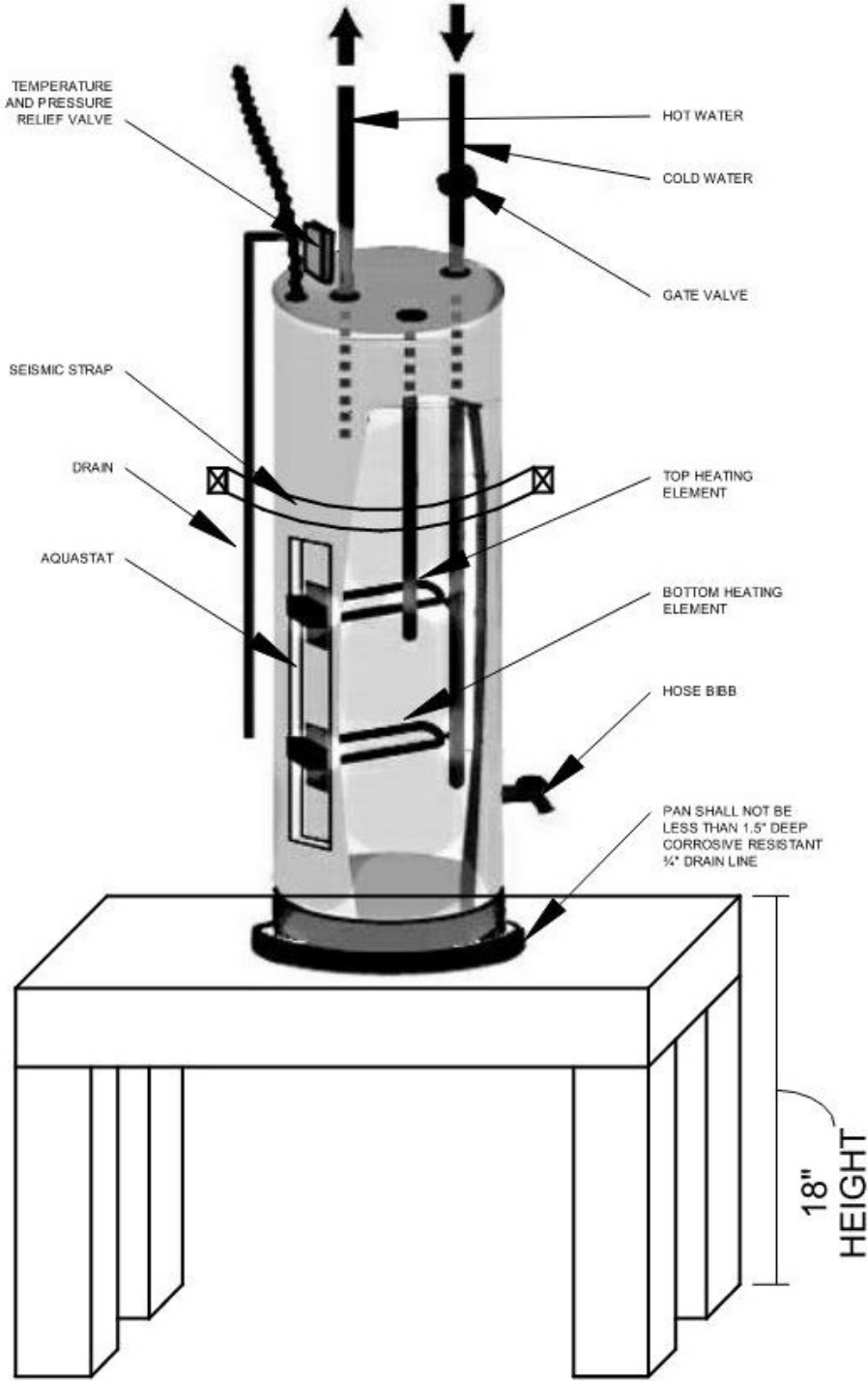




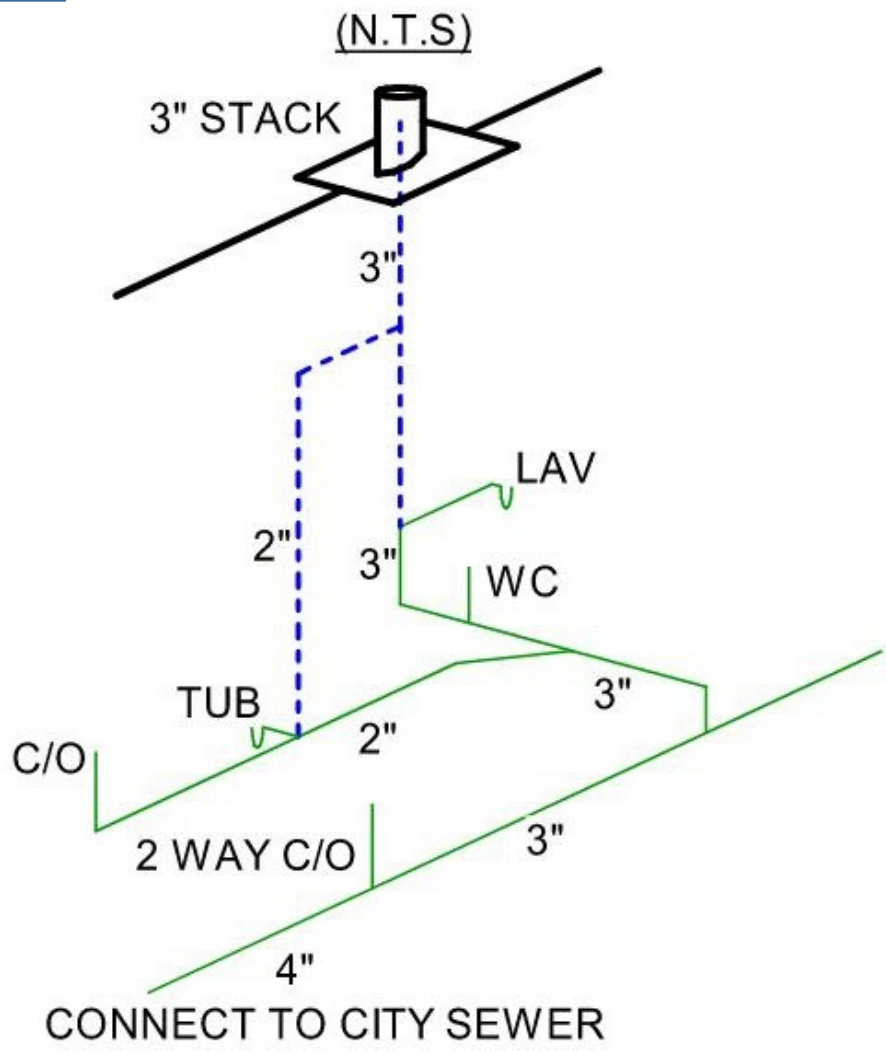


LIVING AREA  
1689 SQ FT

NOTE: (N.T.S)  
WATER HEATERS TO BE INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURE'S INSTRUCTIONS



CONNECT TO CITY SEWER LINE  
CONNECT TO CITY WATER LINE

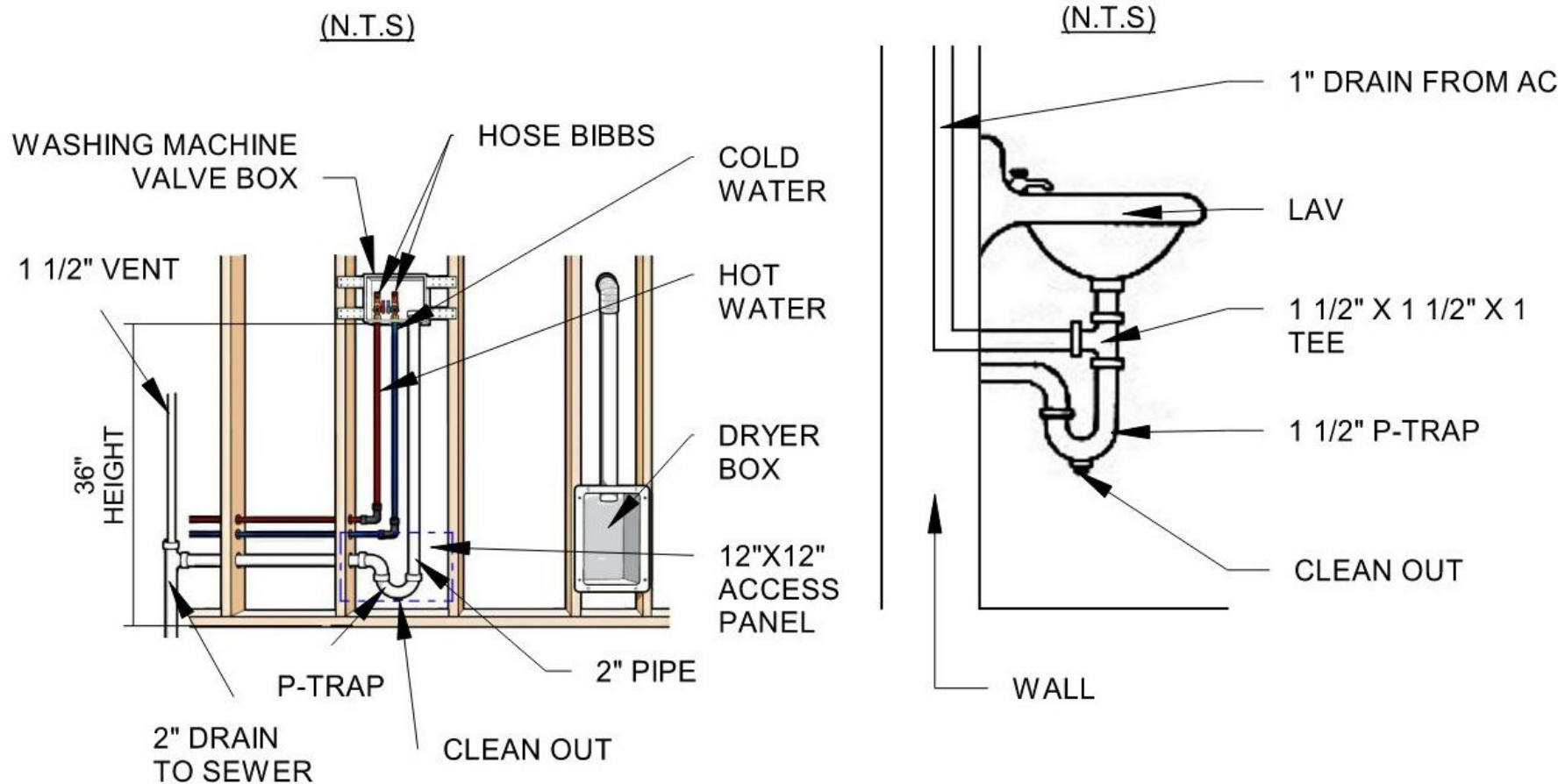


NOTE:  
WATER HEATER OPTION TO BE DECIDED  
BY OWNER/GENERAL CONTRACTOR

PLUMBING	
	COLD WATER LINE
	HOT WATER LINE
	SEWER LINE
	WATER HEATER

PLUMBING GENERAL NOTES

1. ALL PLUMBING WORK SHALL BE IN CONFORMANCE WITH THE TEXAS PLUMBING CODE, LATEST EDITION ADOPTED BY THE STATE OF TEXAS WITH TEXAS AMENDMENTS, MUNICIPAL OR CITY CODES, AND THE AUTHORITY HAVING JURISDICTION. INSTALLATION OF PLUMBING FIXTURES AND ACCESSORIES, INCLUDING FLUSH CONTROL VALVES INTENDED FOR PEOPLE WITH DISABILITIES, SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
2. INSTALLATION OF PLUMBING PIPING SHALL BE FULLY COORDINATED WITH STRUCTURAL, ARCHITECTURAL, ELECTRICAL, AND HVAC DRAWINGS TO AVOID CONFLICT. NO PLUMBING (WATER, DRAINS, VENT, OR GAS PIPING) SHALL BE INSTALLED DIRECTLY ABOVE ANY ELECTRICAL PANELS. COORDINATE WITH OTHER DIVISIONS BEFORE PROCEEDING WITH INSTALLATION.
3. PROVIDE WATER HAMMER ARRESTERS AT PLUMBING FIXTURES AND GROUPS OF PLUMBING FIXTURES THAT ARE SUBJECT TO WATER HAMMER. SELECT ARRESTERS IN ACCORDANCE WITH THE PLUMBING AND DRAINAGE INSTITUTE STANDARD.
4. ALL PLUMBING SERVICES GOING INTO THE BUILDING AND LEAVING THE BUILDING SHALL BE CONNECTED TO THE SITE UTILITIES, COORDINATE WITH SITE UTILITIES. COORDINATE ALL EXTERIOR UNDERGROUND PLUMBING WORK WITH THE SITE UTILITIES BEFORE COMMENCING WORK. COORDINATE ALL UNDERGROUND PIPING WITH FOUNDATION DRAWINGS.
5. INSTALL BALL VALVE CLOSE TO WATER MAIN ON EACH BRANCH AND RISER SERVING PLUMBING EQUIPMENT AND FIXTURES.
6. ALL EQUIPMENT, FIXTURES, AND SERVICEABLE DEVICES SHALL BE INSTALLED WITH ACCESS AND CLEARANCE FOR MAINTENANCE. COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER TRADES TO PROVIDE THIS ACCESS AND CLEARANCE.
7. INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S INSTRUCTIONS.
8. IF EQUIPMENT, FIXTURES, AND MATERIAL, OTHER THAN THAT SCHEDULED OR SPECIFIED, IS APPROVED AND PROVIDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS AND VERIFY THE SPACE ALLOTTED FOR ADEQUACY AND CLEARANCE REQUIREMENTS.
9. COORDINATE ALL LOCATIONS AND SIZES OF STRUCTURAL FLOOR AND WALL PENETRATIONS WITH THE GENERAL CONTRACTOR AND PROVIDE CODE REQUIRED SEALS AT ALL FIRE RATED WALL, CEILING, ROOF AND FLOOR PENETRATIONS.
10. ACCESS DOORS AND/OR PANELS SHALL BE PROVIDED AT ALL MAINTENANCE AND SERVICE LOCATIONS FOR CONCEALED CONTROL DEVICES, VALVES AND PLUMBING EQUIPMENT/ DEVICES. UNLESS A SIZE IS SPECIFICALLY NOTED, PANELS SHALL BE SIZED TO SERVICE EQUIPMENT/DEVICE. DOORS AND PANELS SHALL HAVE THE SAME FIRE RATING AS THE WALL OR CEILING IN WHICH THEY ARE INSTALLED. ACCESS DOORS AND/OR PANELS ARE NOT REQUIRED WHERE ADJUSTMENT, MAINTENANCE AND REPLACEMENT ARE POSSIBLE THROUGH LAY INSUSPENDED CEILING.
11. INSTALL SHUT OFF VALVES AT EACH FIXTURE. INSTALL BRANCH SHUTOFF VALVES WHERE INDICATED ON PLANS. LOCATE AND ORIENT VALVE OPERATORS FOR EASE OF ACCESS AND FULL LIMITS OF OPERATION.
12. OPENINGS DUE TO INSTALLATION OF DRAINAGE AND VENT SYSTEMS SHALL BE PROTECTED WITH A TEST PLUG SECURED AND LOCKED IN PLACE UNTIL FINAL CONNECTIONS ARE INSTALLED,
13. INSULATION AND VAPOR BARRIER SHALL BE PROVIDED ON ALL PIPING AND/OR EQUIPMENT SUBJECT TO HEAT LOSS, CONDENSATION, OR CONSTITUTING A POTENTIAL BURN HAZARD. INSULATION SHALL NOT BE CRUSHED OR COMPRESSED THROUGH INTERFERENCE WITH SYSTEMS INSTALLED BY OTHER TRADES OR BUILDING CONSTRUCTION.
14. INSTALL PLUMBING AND PIPING HIGH POINTS AS TIGHT AS POSSIBLE TO THE BUILDING STRUCTURE TO ALLOW PROPER PITCH AND MAXIMIZE CEILING HEIGHT.
15. ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH A CHROME PLATED ESCUTCHEON AT EACH FINISHED ENTRY/EXIT.
16. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND BE SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TO THE UNDERSIDE OF STRUCTURE.



**THD**  
TORRES HOMES DESIGNS  
INFO@THDTX.COM  
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WYLIE, TX 75098

DATE:  
  
9/15/2023

DRAWN BY:  
  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
  
1/4" = 1'

SHEET TITLE:  
  
PLUMBING PLAN

**A-6**



SEAL:

DATE: 9/15/2023

DESCRIPTION:

CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SHEET TITLE:

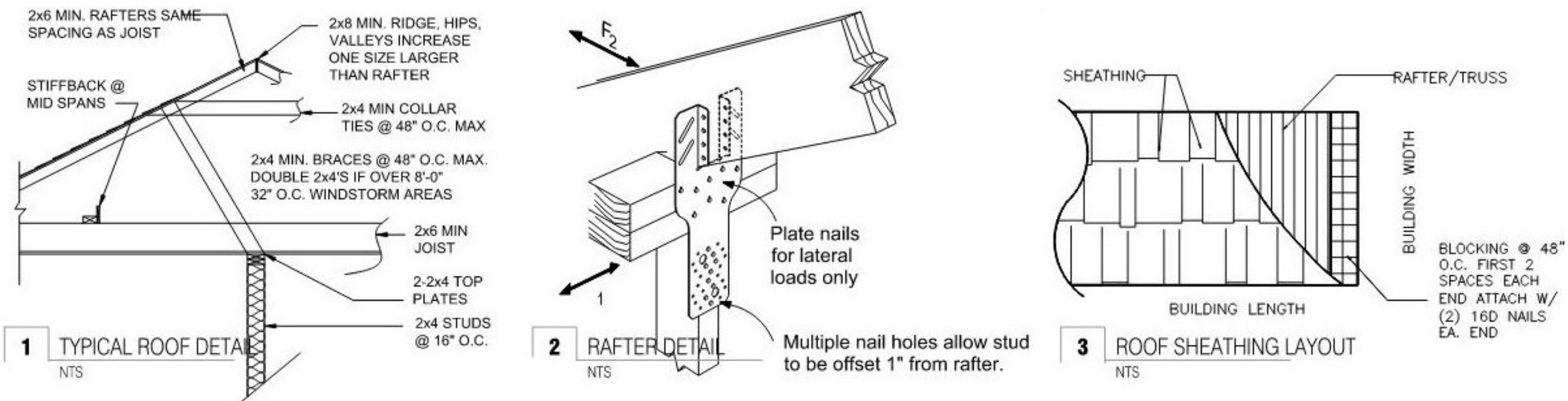
ROOF PLAN

ROOF PLAN  
SCALE = 1/4" = 1'-0"  
-ROOF AS SPECIFIED @ 8/12  
PITCH UNLESS NOTED  
OTHERWISE  
-ALL OVERHANGS @ 18  
UNLESS NOTED OTHERWISE

1. ALL LUMBER TO BE NO.2 SYP OR DOUGLAS FUR, 19% M.C. U.O.N.
2. USE BLOCKING WHERE REQUIRED BY 2021 IBC.
3. CONNECTIONS TO BE PROPERLY INSTALLED WHERE REQUIRED PER 2018 IBC.
4. NAILS IN CONTACT WITH TREATED WOOD ARE TO BE STAINLESS STEEL OR A MIN. G185 HDG. OR 10D GALVANIZED STEEL WITH A SIMPSON H2.5 (MAX. #185).
5. TRANSFER ALL LOAD BEARING POINTS TO FOUNDATION.
6. SILL PLATES FOR ALL EXTERIOR WALLS SHALL BE PREPARED TREATED LUMBER, OR SHALL BE PROVIDED WITH AN APPROVED VAPOR BARRIER BENEATH THEM.
7. ALL STUD WALLS SHALL BE S.P.F. #2 OR BETTER, KD (19% M.C.) OR #2 SOUTHERN PINE (U.O.N)
8. ALL EXT. AND LOAD BEARING STUD WALLS: STUD SPACING SHALL NOT EXCEED 16" O.C. FOR 2X4 STUDS AND 24" O.C. FOR 2X6 STUDS U.O.N.
9. EXT. JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES AND SHALL BE NAILED WITH NOT LESS THAN EIGHT 16d FACE NAILS ON EACH SIDE OF THE JOINT. PLATES SHALL BE NOMINAL 2 INCHES IN DEPTH AND HAVE A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.
10. AT GABLE ENDS, AT LEAST EVERY OTHER GABLE STUD SHALL BE ATTACHED TO THE DOUBLED TOP PLATE AND THE RAFTER WITH A SIMPSON H2.5.
11. BUILDER SHALL MAKE EXTRA STEPS TO ENSURE THAT UPPER LEVEL LOAD BEARING WALLS CAN POSTERIORLY TRANSFER THE LOADS TO THE SUPPORTS DIRECTLY BELOW THEM. INSTALL BLOCKING OR STUD COLUMNS BELOW FLOOR DECKING.
12. ALL ROOF FRAMING DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE.

1. DESIGN LOADS:  
ROOF LIVE LOADS                      20 PSF
2. ALL ROOF'S SHALL BE FRAMED 2X6 #2 SYP RAFTERS  
SPACED @ 16" O.C. WITH A MAXIMUM OF 17'-11". ALL  
RAFTER JOINTS SHALL BE BRACED W/PLYWOOD  
GUSSETS BOTH SIDES.
3. PURLINS ARE TO BE SAME DEPTH AS RAFTERS THEY  
ARE SUPPORTING.
4. ALL HIPS, RIDGES AND VALLEYS TO BE AT LEAST ONE  
MILL SIZE LARGER THAN RAFTERS THEY ARE  
SUPPORTING.
5. PROVIDE COLLAR TIES AT 4'-0" O.C. ON ALL RIDGES.
6. ROOF SHEATHING SHALL BE COMPOSITE SHINGLES OVER  
3/8" DRIFTING FELLER OR 1/2" CDX PLYWOOD OR OSB  
STRUCTURAL PANELS. EXPOSURE I.
7. CONTRACTOR SHALL FIELD VERIFY ALL  
ARCHITECTURAL FEATURES AND IS RESPONSIBLE  
FOR FIT AND FINISH.

**ROOF VENTING NOTES:**  
 PROVIDE ADEQUATE VENTING FOR ATTIC  
 USING A COMBINATION OF CONTINUOUS  
 SOFFIT VENTING AND EITHER CONTINUOUS  
 RIDGE VENTS AT ALL ROOF RIDGES OR VENT  
 TILES TO COORDINATE WITH ROOF TILES.  
 OWNER TO MAKE FINAL DECISION. IF VENT  
 TILES ARE SELECTED, THEY SHALL BE  
 LOCATED ON THE UPPER 1/3 OF THE ROOF  
 AND INSTALLED ON THE ROOF PLANES NOT  
 VISIBLE FROM THE MAIN ENTRY DRIVE. REFER  
 TO ROOF TILE MANUFACTURER  
 SPECIFICATIONS FOR ANY ADDITIONAL  
 VENTING NOTES OR REQUIREMENTS.





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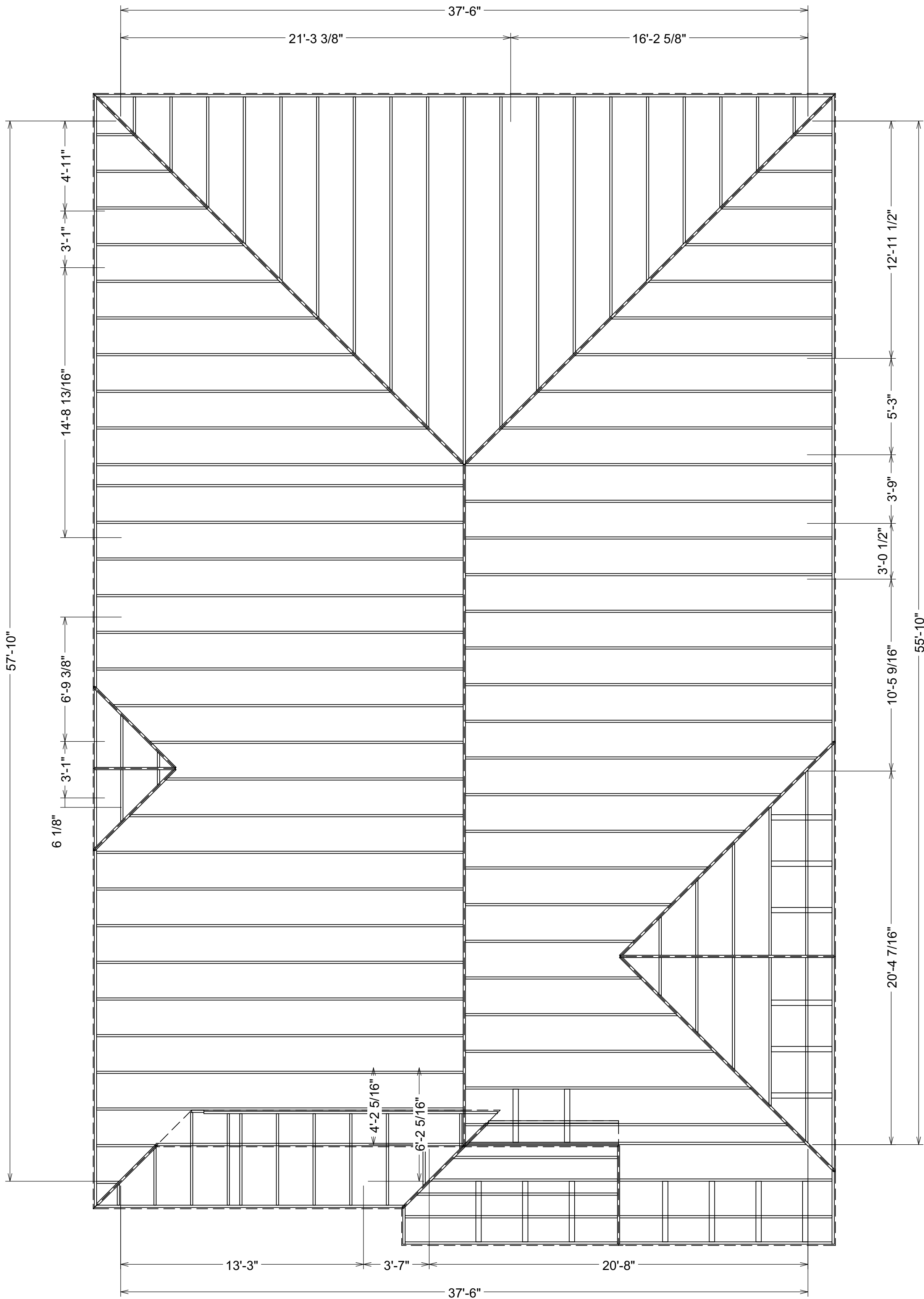
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ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
ROOF FRAMING PLAN

A-8



- FRAMING NOTES:
1. ROOF PITCH 8:12 UNLESS NOTED
  2. ROOF TO BE COMPOSITION SHINGLE
  3. RAFTERS MUST MEET LOCAL CODE
  4. RAFTERS MUST BE SUPPORTED BY CONTINUOUS BRACING HORIZONTAL SPANS OF 15' OR GREATER
  5. SUPPORT ALL RIDGES, VALLEYS AND HIPS AT 8' MAX
  6. RAFTERS MAY BE SPLICED ONLY AT CONTINUOUS BRACING
  7. FASCIA OVERHANG 18" UNLESS NOTED

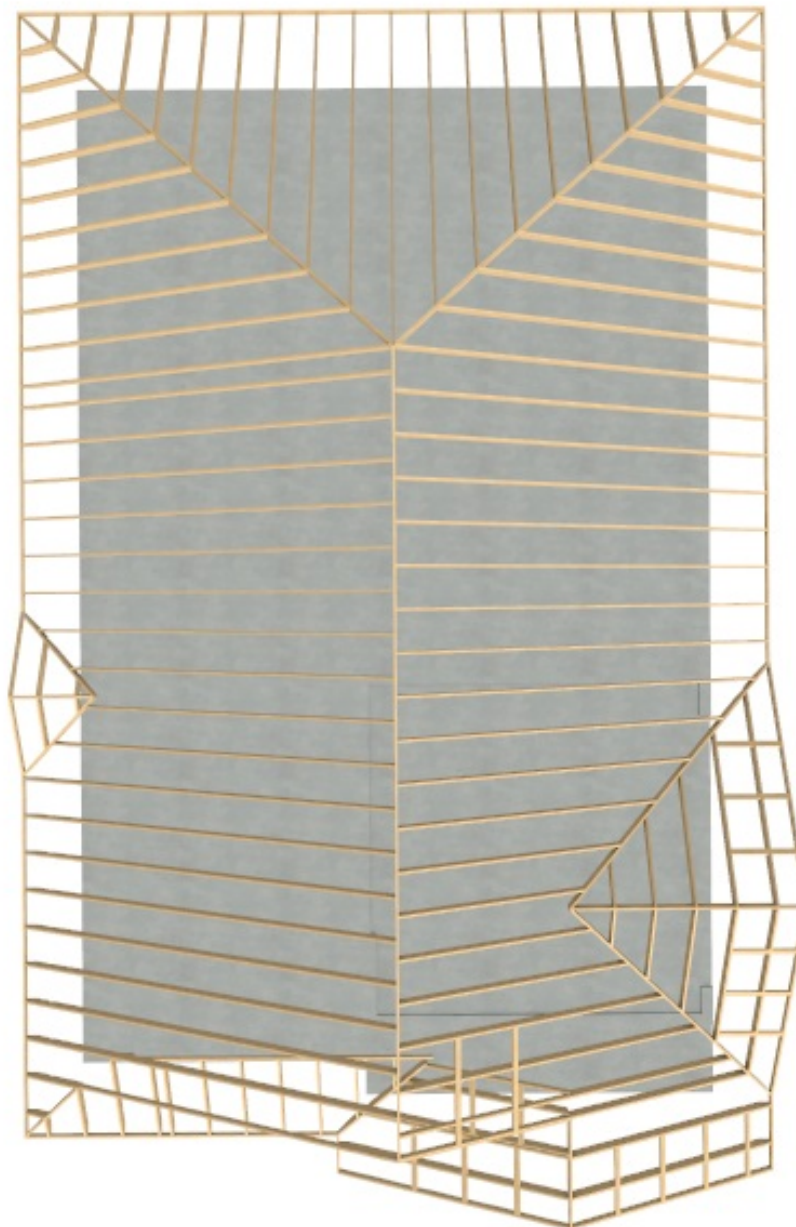
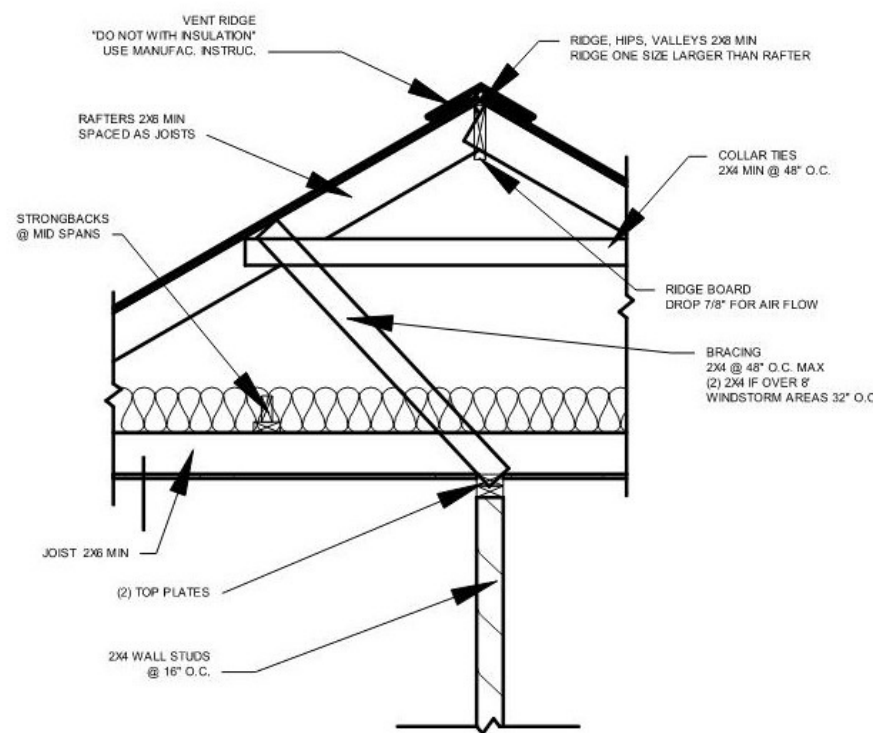
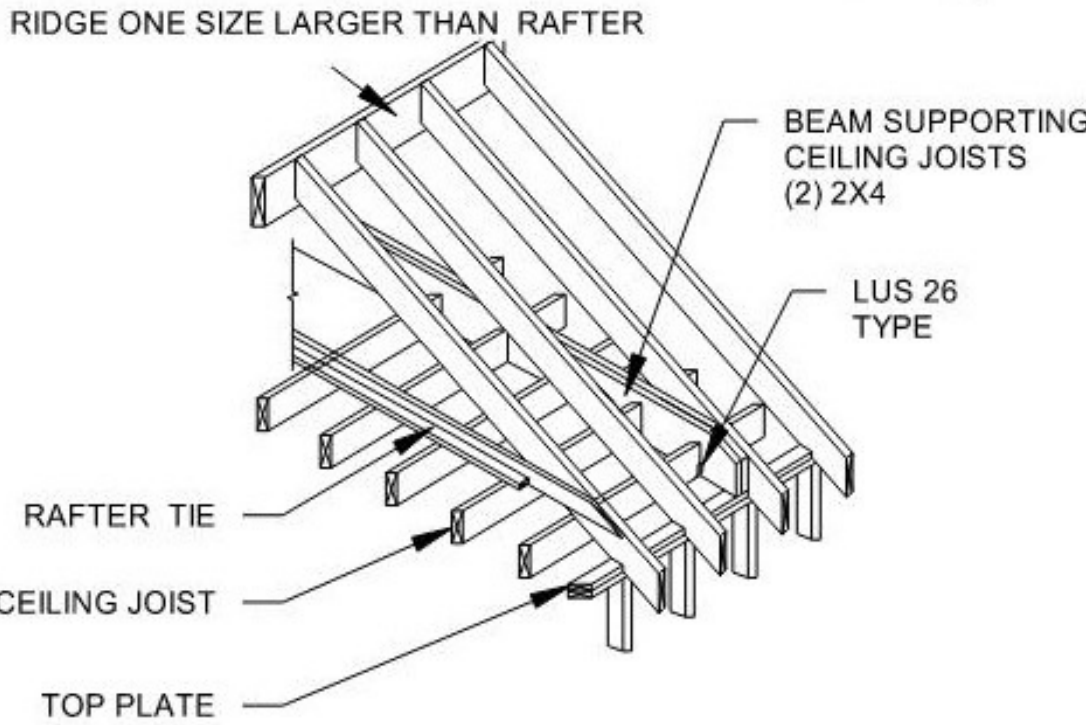


IMAGE NTS

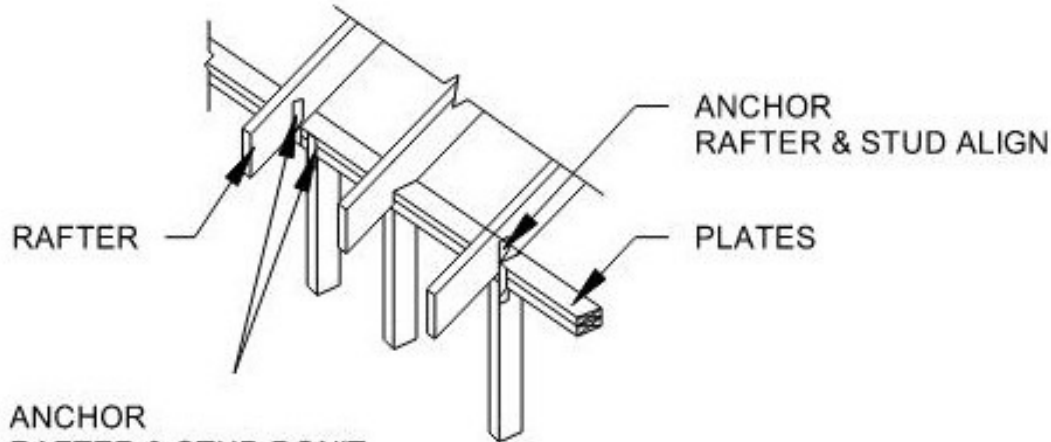
ROOF CROSS SECTION (N.T.S)



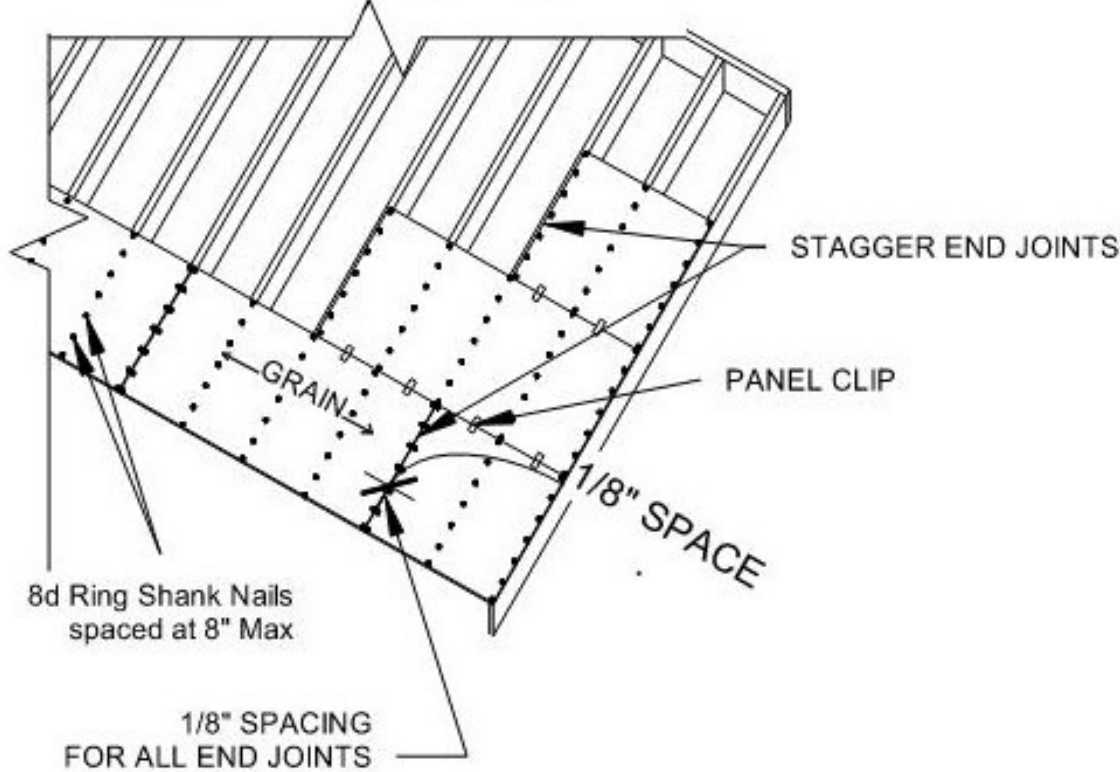
BEAMS AND RAFTERS (N.T.S)



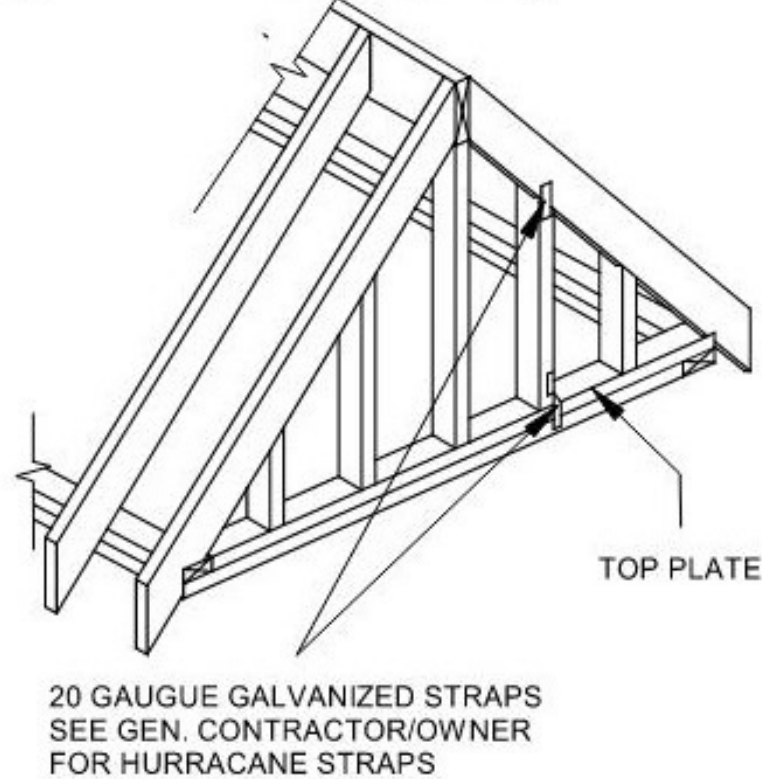
RAFTERS TO WALL (N.T.S)



SHEATHING (N.T.S)



GABLE AND STUDS (N.T.S)





DESIGNER DISCLAIMER: We have exercised great effort and care in the creation of this home design and the completion of these construction drawings. However the designer, have not been contracted to provide personal consultation, site supervision or field inspection services and have no control over the construction materials, methods or sequencing used by the builder. For these reasons, as well as the gross variations in local building codes, the designer assume no responsibility for any damages, including structural failures resulting from errors or omission in these construction drawings. We strongly recommend that you, the homeowner, have these drawings thoroughly reviewed by a licensed architect, professional engineer, certified residential designer or general contractor licensed to practice in your area, in addition to your local building officials, prior to beginning construction.

SEAL:

ADDRESS:

111 KEEFER DR  
WYLIE, TX 75098

DATE:

9/15/2023

DRAWN BY:

ATOR

DESCRIPTION:

CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

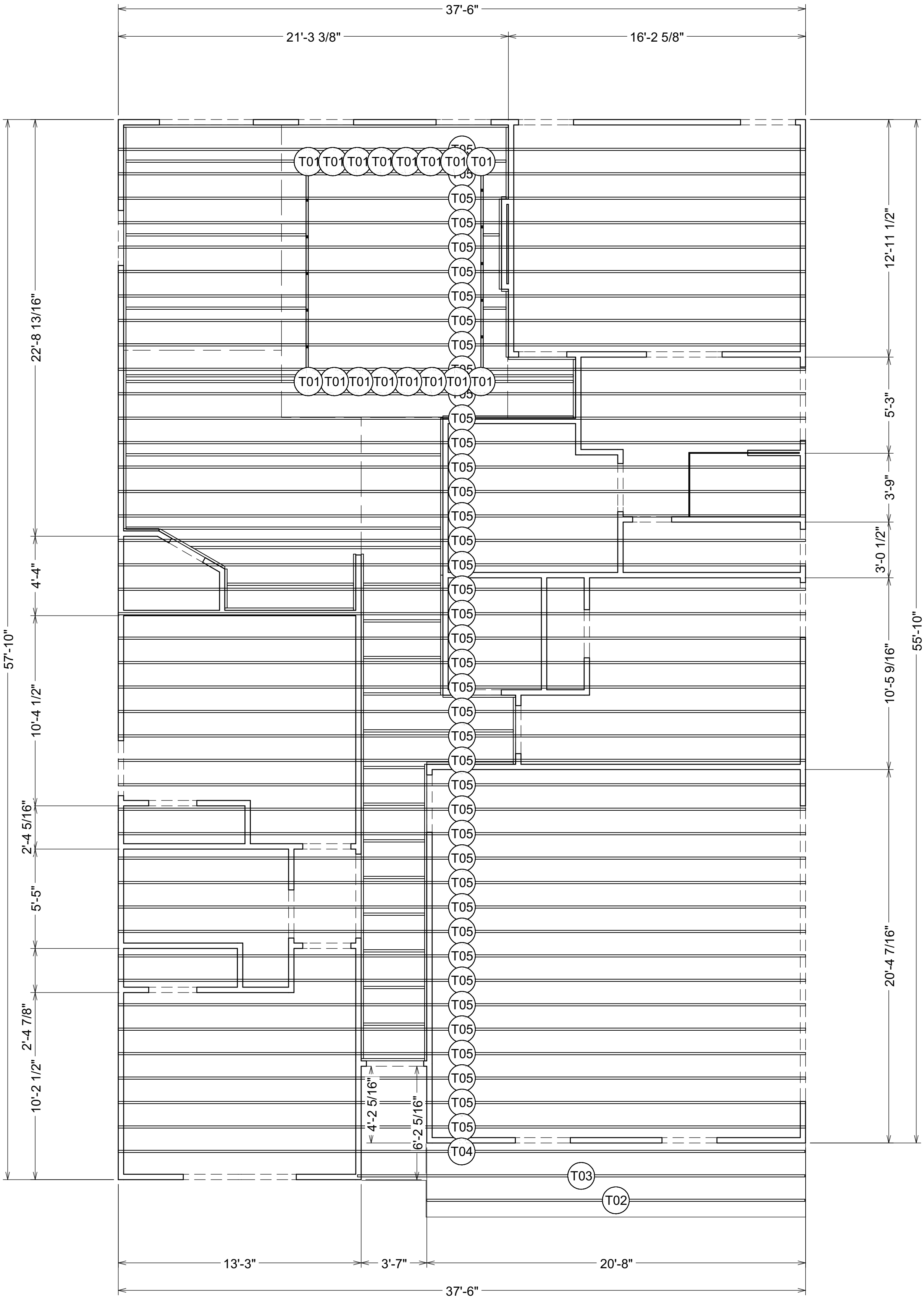
SCALE:

1/4" = 1'

SHEET TITLE:

CEILING FRAMING PLAN

A-9





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SEAL:

ADDRESS:  
111 KEEFER DR  
WYLIE, TX 75098

DATE:  
  
9/15/2023

DRAWN BY:  
  
ATOR

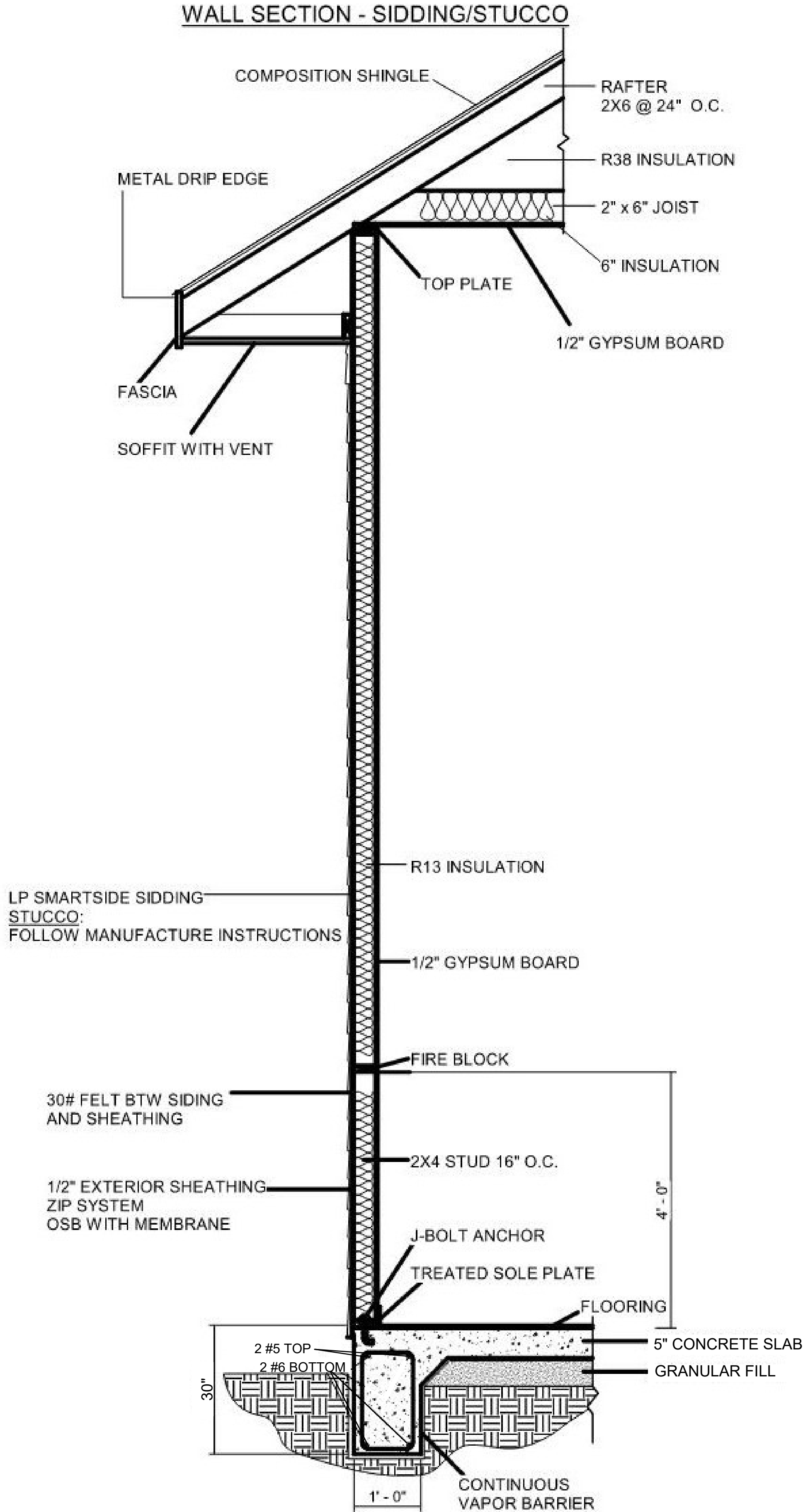
DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
  
NTS

SHEET TITLE:  
  
WALL SECTION DETAILS

A-10

(N.T.S)





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SEAL:

ADDRESS:  
111 KEEFER DR  
WYLIE, TX 75098

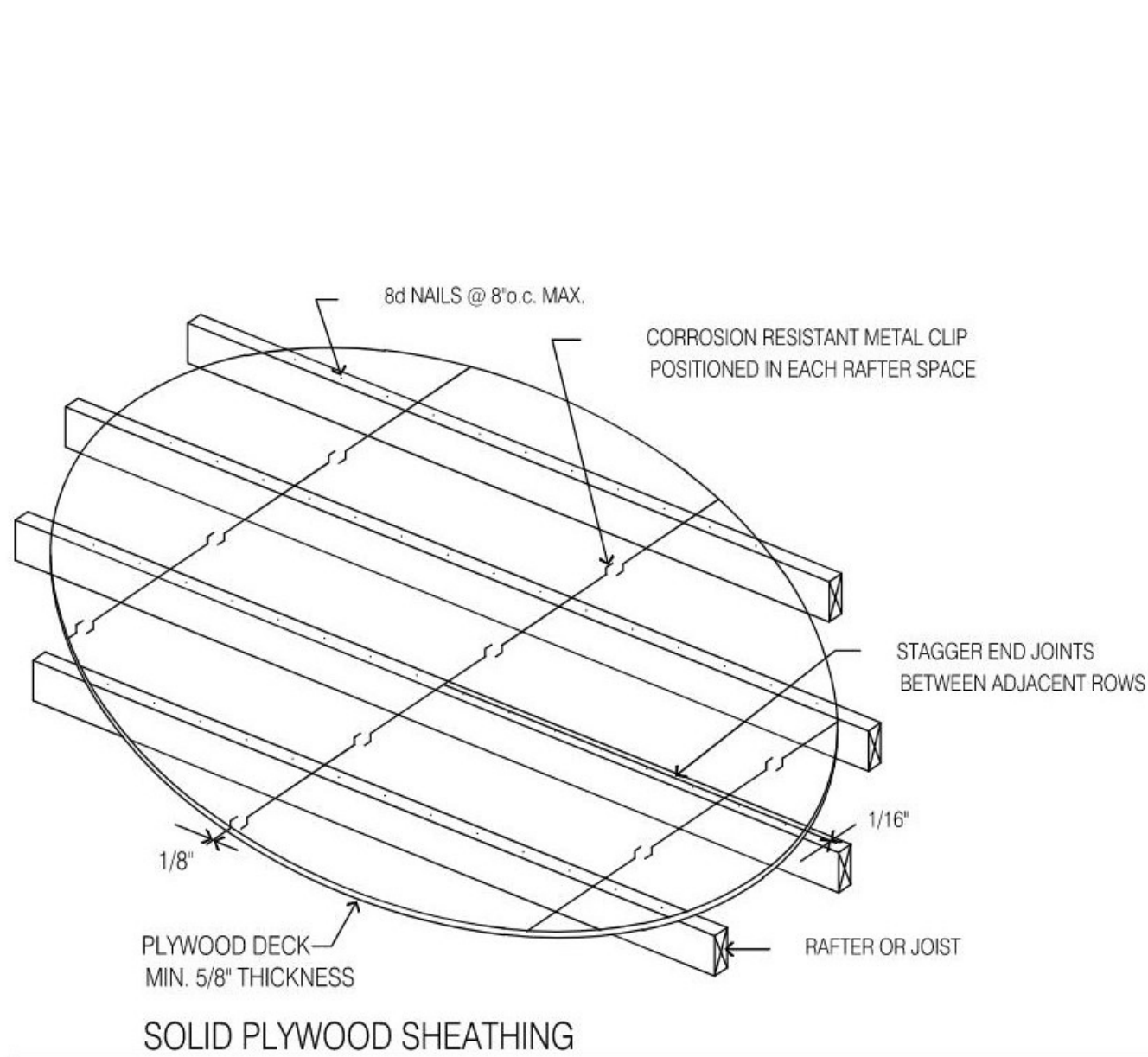
DATE:  
9/15/2023

DRAWN BY:  
ATOR

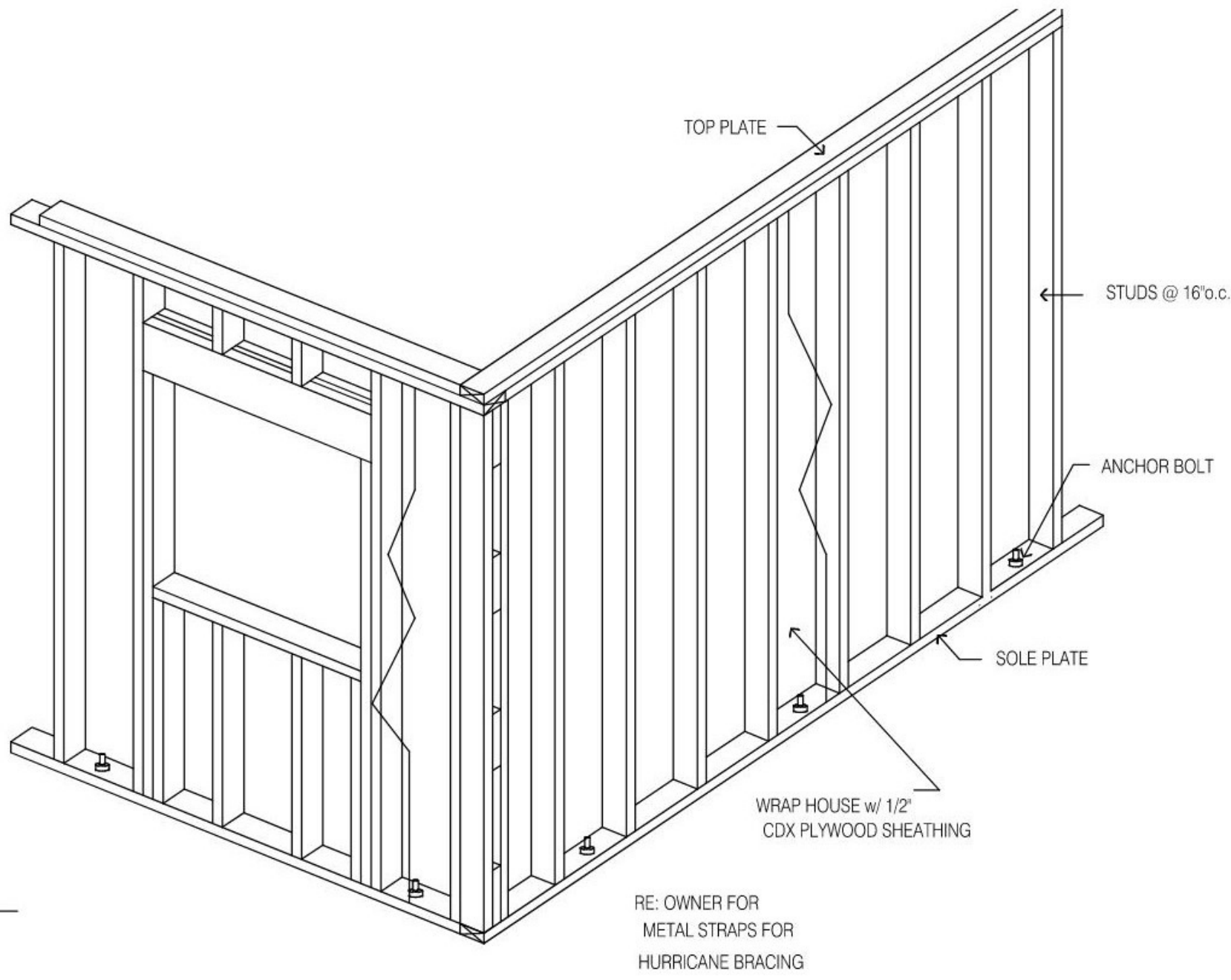
DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
NTS

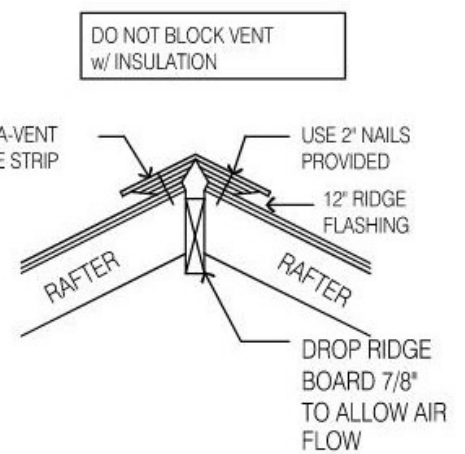
SHEET TITLE:  
FRAMING DETAILS



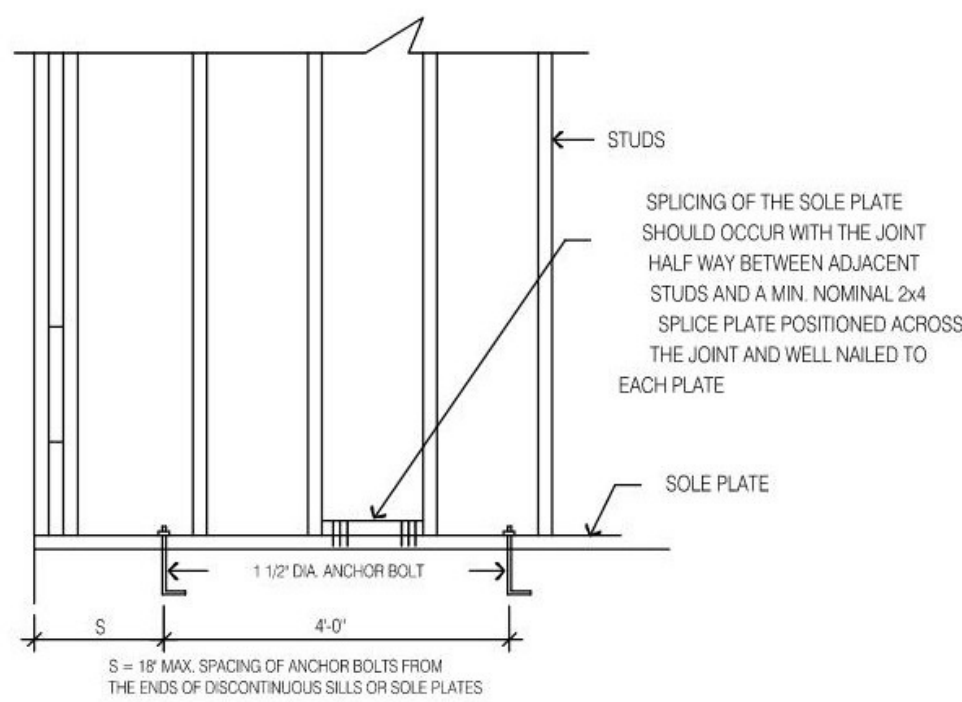
SOLID PLYWOOD SHEATHING



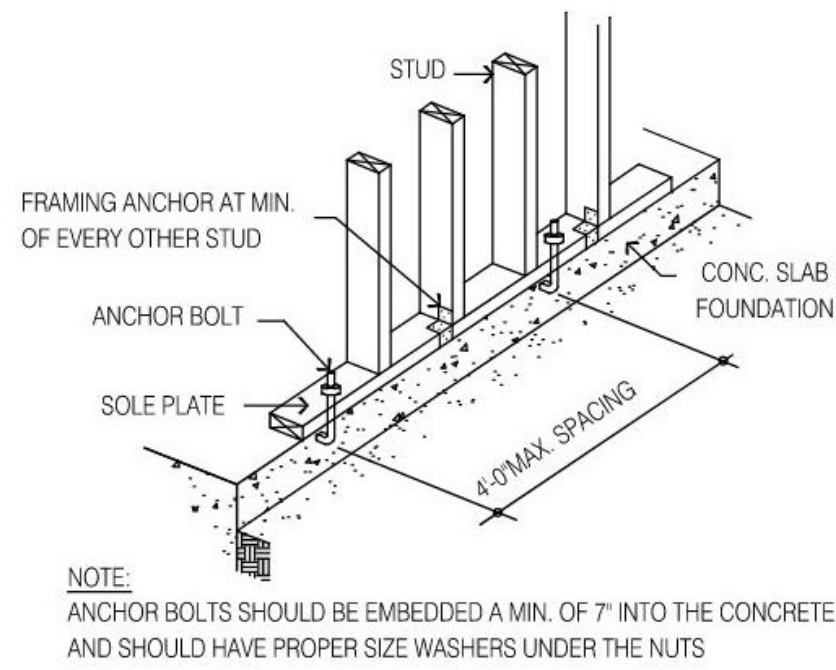
LATERAL BRACING OF EXTERIOR WALLS



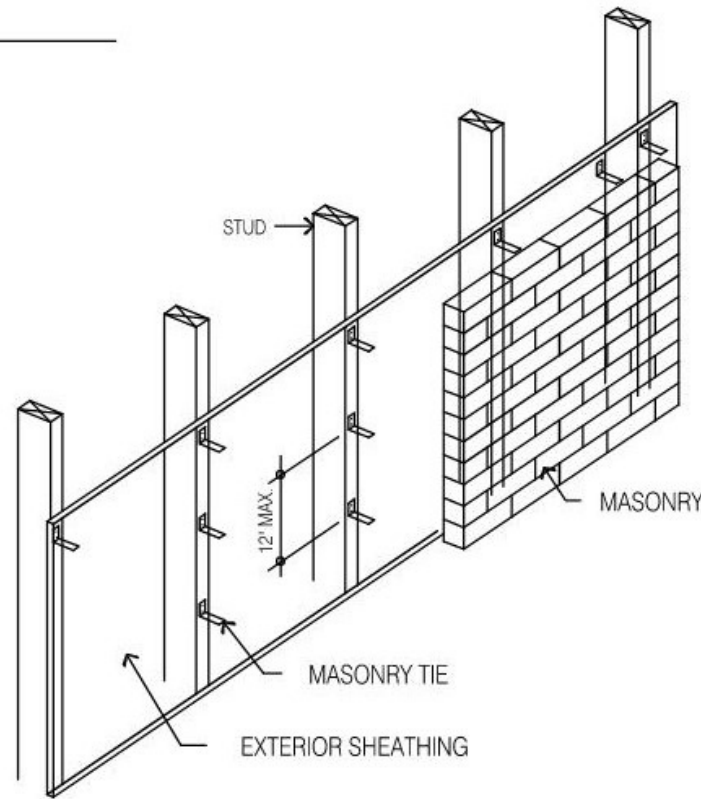
RIDGE VENT DETAIL



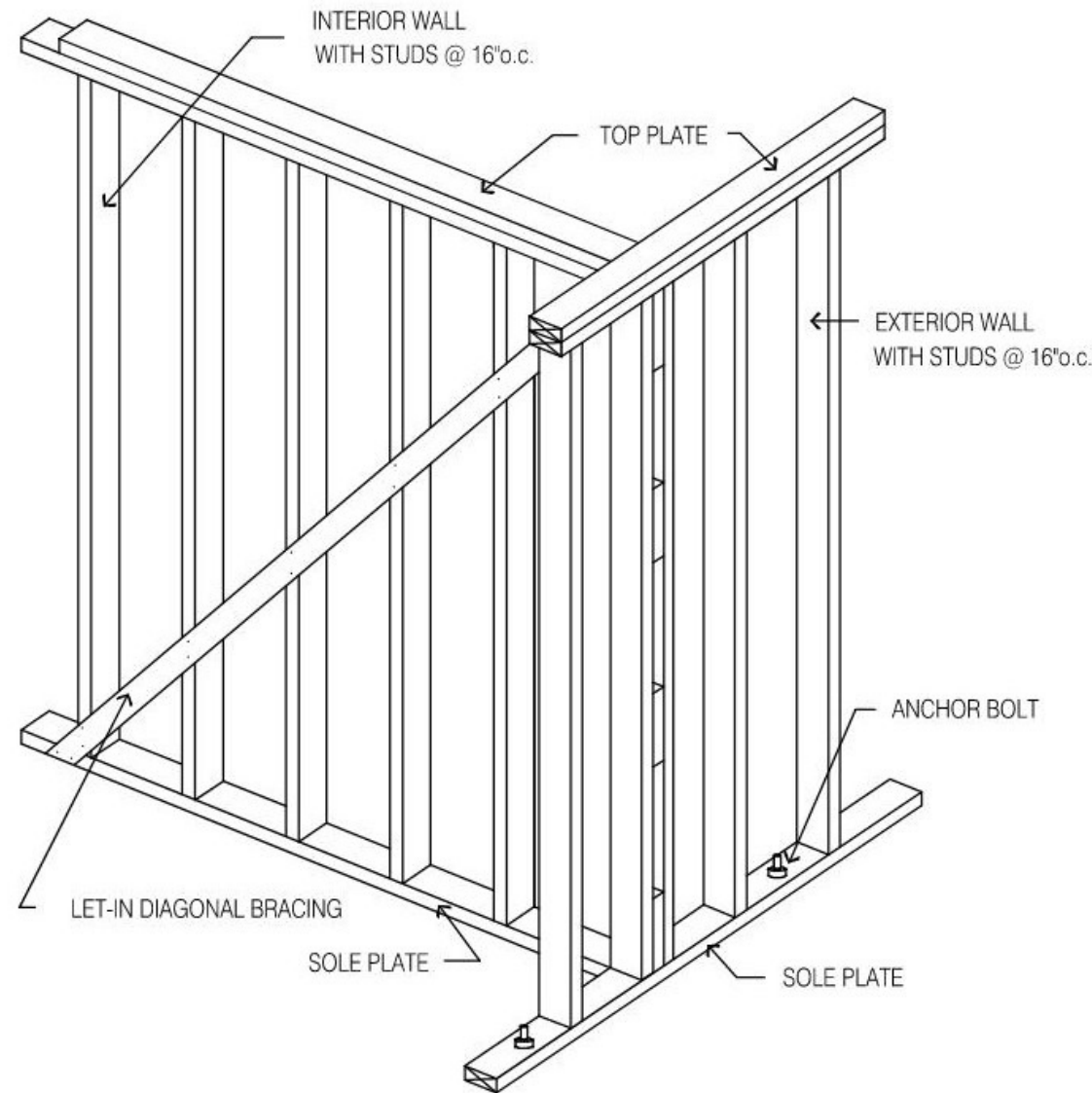
SPLICING OF SILLS OR SOLE PLATES



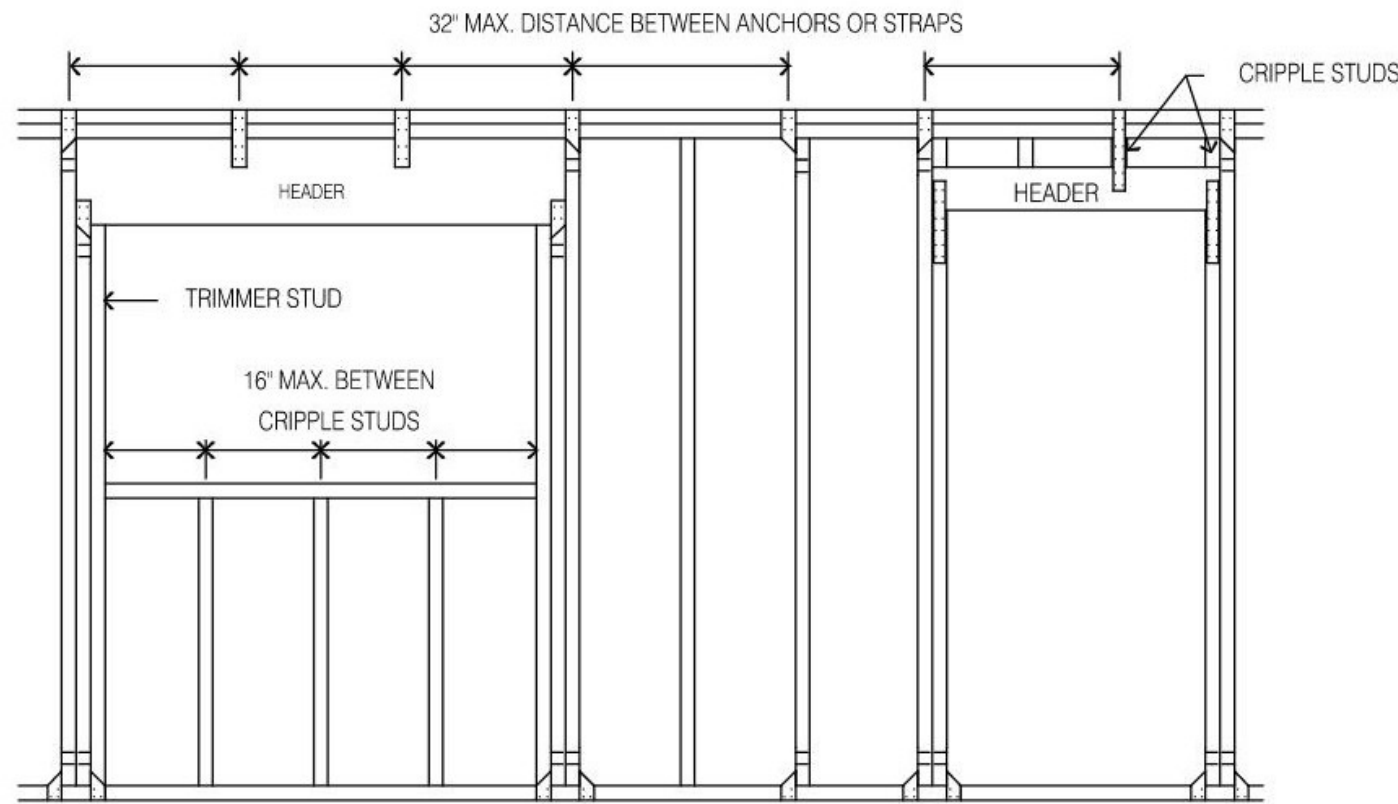
ANCHOR SILL PLATE TO FOUNDATION



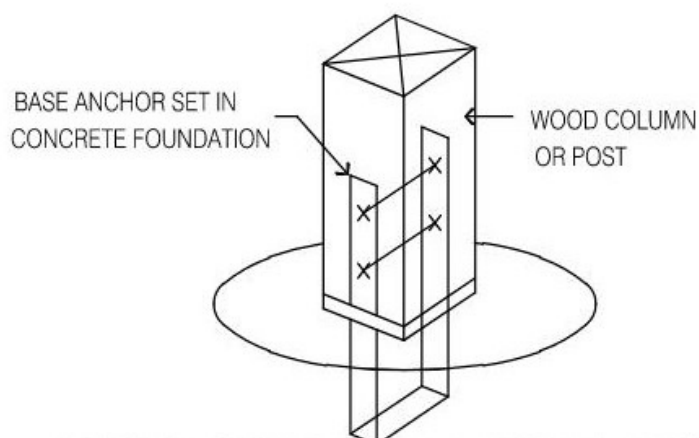
ANCHORING MASONRY VENEER TO WALL FRAMING



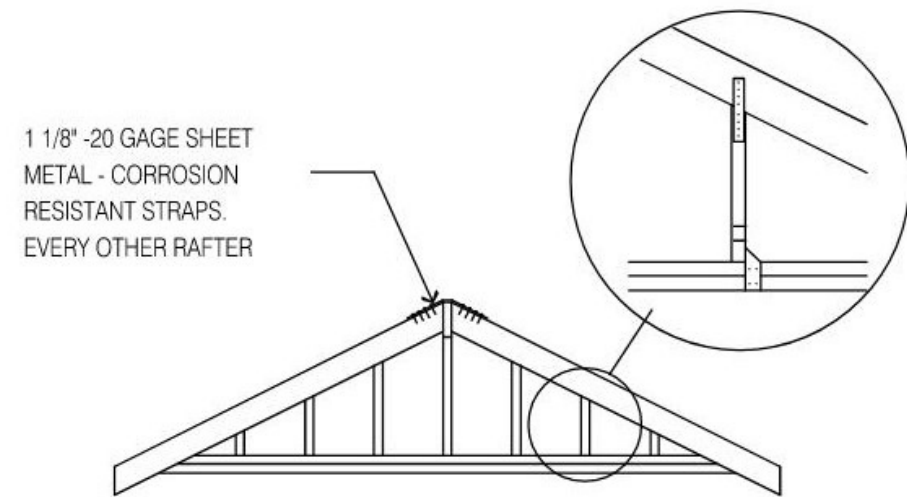
LATERAL BRACING OF INTERIOR WALL  
AT INTERSECTION WITH AN EXTERIOR WALL



ANCHORAGE OF HEADERS



TYPICAL ANCHORAGE OF WOOD COLUMN  
OR POST TO A CONCRETE FOUNDATION



CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE

- NOTE
1. ALL CEILINGS TO BE 9' UNLESS NOTED.
  2. BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
  3. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
  4. W.H. & HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
  5. PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
  6. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMELY W/ IRC SECTION R308.4.8.