[illegible]



DATE: SEPTEMBER 2025

CHECKED BY: AMS

ISSUED BY: AMS

JOB NO.: 2025-0006-01

DRAWN BY: TAOT

INTERIM REVIEW

Not intended for construction,
bidding or permit purposes.

Engineer: ALEK W. STRIMPLE, P.E.

P.E. Serial No.: 142586

Date: SEPTEMBER 2025

URBAN GARAGES WYLIE
1830N STATE HWY 78, WYLIE, TX 75098

SITE PLAN EXHIBIT
URBAN GARAGES ADDITION, LOT 6, BLOCK A
09/08/2025



ATRIECON SDG, LLC
P.O. BOX 700856
SAN ANTONIO, TEXAS 78270
TEL (210) 420-0635
CONTACT: LAURA DUNCAN

QUIDDITY ENGINEERING, LLC
2805 DALLAS PARKWAY, SUITE 600
PLANO, TEXAS 75093
TEL (972) 265-7174
CONTACT: ALEK W. STRIMPLE, PE

QUIDDITY ENGINEERING, LLC
2805 DALLAS PKWY, SUITE 600
PLANO, TEXAS 75093
TEL (972) 488-3880
CONTACT: JORDAN KAYLOW, PLA

	SITE DATA
	Lot 6
LOT AREA:	4.737 ACRES (206,344 SQ. FT.)
EXISTING ZONING:	PD
PROPOSED LANDUSE:	OFFICE
BUILDING AREA:	79,892.50 SQ. FT.
FLOOR/AREA RATIO:	0.39
PARKING REQUIRED:	202 SPACES (1 SPACE/400 SQ. FT.)
PARKING PROVIDED	
SURFACE PARKING:	215 SPACES
ACCESSIBLE PARKING:	7 SPACES
TOTAL PARKING:	222 SPACES

LEGEND

EXISTING LEGEND

	FIRE HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WATERLINE W/ METER
	SANITARY SEWER W/ MANHOLE
	STORM SEWER W/ CLEANOUT
	SANITARY SEWER W/ CURB INLET
	OVERHEAD ELECTRIC
	PROPERTY LINE
	EXISTING CONCRETE PAVEMENT

PROPOSED LEGEND

	WATERLINE W/ GATE VALVE
	WATERLINE W/ BF PREVENTER & METER
	WATERLINE W/ FIRE HYDRANT
	SANITARY SEWER W/ MANHOLE
	STORM SEWER W/ CLEANOUT
	SANITARY SEWER W/ MANHOLE
	STORM SEWER W/ CURB INLET
	PROPOSED SIDEWALK

NOTES

1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL PARKING ISLAND RADIi ARE 3' UNLESS OTHERWISE NOTED.

DESIGN DESIRABLES

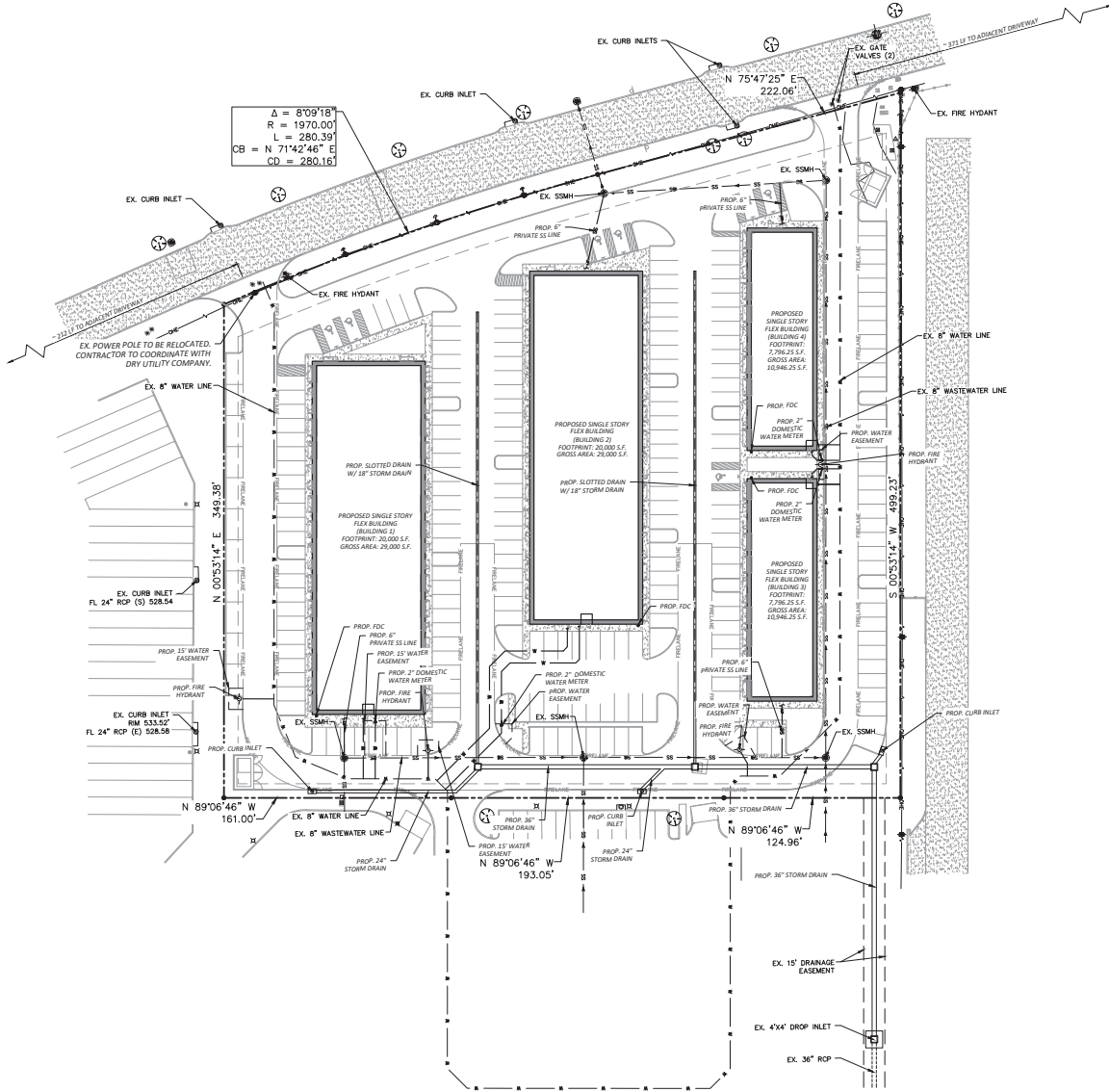
1. FIGURE 4-7 SITE DESIGN REQUIREMENTS
 - SITE PLAN WITH NO MORE THAN 50% OF PARKING IN FRONT OF THE BUILDING.
 - BUILDING WITH NO MORE THAN ONE ROW PARKING IN FRONT.
 - DRIVE ACCESS TO BUILDING FROM STREET.
 - DIRECT CONNECTION BETWEEN BUILDINGS AND STREET.
2. FIGURE 4-8 LANDSCAPING DESIGN REQUIREMENTS
 - LANDSCAPING IN SIDE AND REAR NOT OTHERWISE REQUIRED.
 - LANDSCAPING 10' OR MORE IN EXCESS OF 50 SQ. FT./SPACED PARKING LOTS WITH NO SPACE FURTHER THAN 40 FEET FROM A LANDSCAPED AREA.
 - INCREASE IN MINIMUM WIDTH OF LANDSCAPE BUFFER BY 20% FOR EACH ADDITIONAL STRUCTURE.
 - USE OF TWO COMPLEMENTARY PRIMARY MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAIL.
 - COPY SAME STYLE ENTIRE BLOCK.
 - APPLICATION OF BASE STANDARDS TO FACADES NOT FACING A LANDSCAPED STREET.
 - USE OF ARCHITECTURAL DETAILING AND/OR MATERIALS TO PROVIDE VARIETY IN VISUAL APPEARANCE.

DEVELOPMENT SCHEDULE

1. APPROXIMATE 3 MONTHS FOR CIVIL PLAN APPROVAL
2. APPROXIMATE 12 MONTHS FOR CONSTRUCTION

CONTRACTOR TO VERIFY ELEVATION AND LOCATION
OF ALL EXISTING UTILITIES PRIOR TO
COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005



OWNER/DEVELOPER

URBAN GARAGES MCKINNEY, LLC
6136 FRISCO SQUARE BLVD, SUITE 400
FRISCO, TX 75034
TEL (469) 252-1123
CONTACT: CARL FLEMING

ARCHITECT

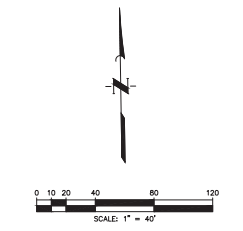
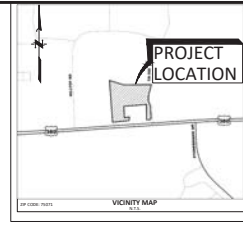
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LANDSCAPE ARCHITECT

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- PROPERTY LINE
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APP.	
REVISION	
DATE	
NO.	

DESIGNED BY: AWS
CHECKED BY: AWS
DATE: SEPTEMBER 2025
JOB NO.: 25024-000-01
DRAWN BY: JACOT

INTERIM REVIEW
Not intended for construction, bidding or permit purposes.
Engineer: ALEK W. STRIMPLE, P.E.
P.E. Serial No.: 142588
Date: SEPTEMBER 2025

URBAN GARAGES WYLE
3820N STATE HWY 75, WYLE, TX 75098

PRELIMINARY UTILITY AND DRAINAGE PLAN
URBAN GARAGES ADDITION, LOT 6, BLOCK A
09/08/2025