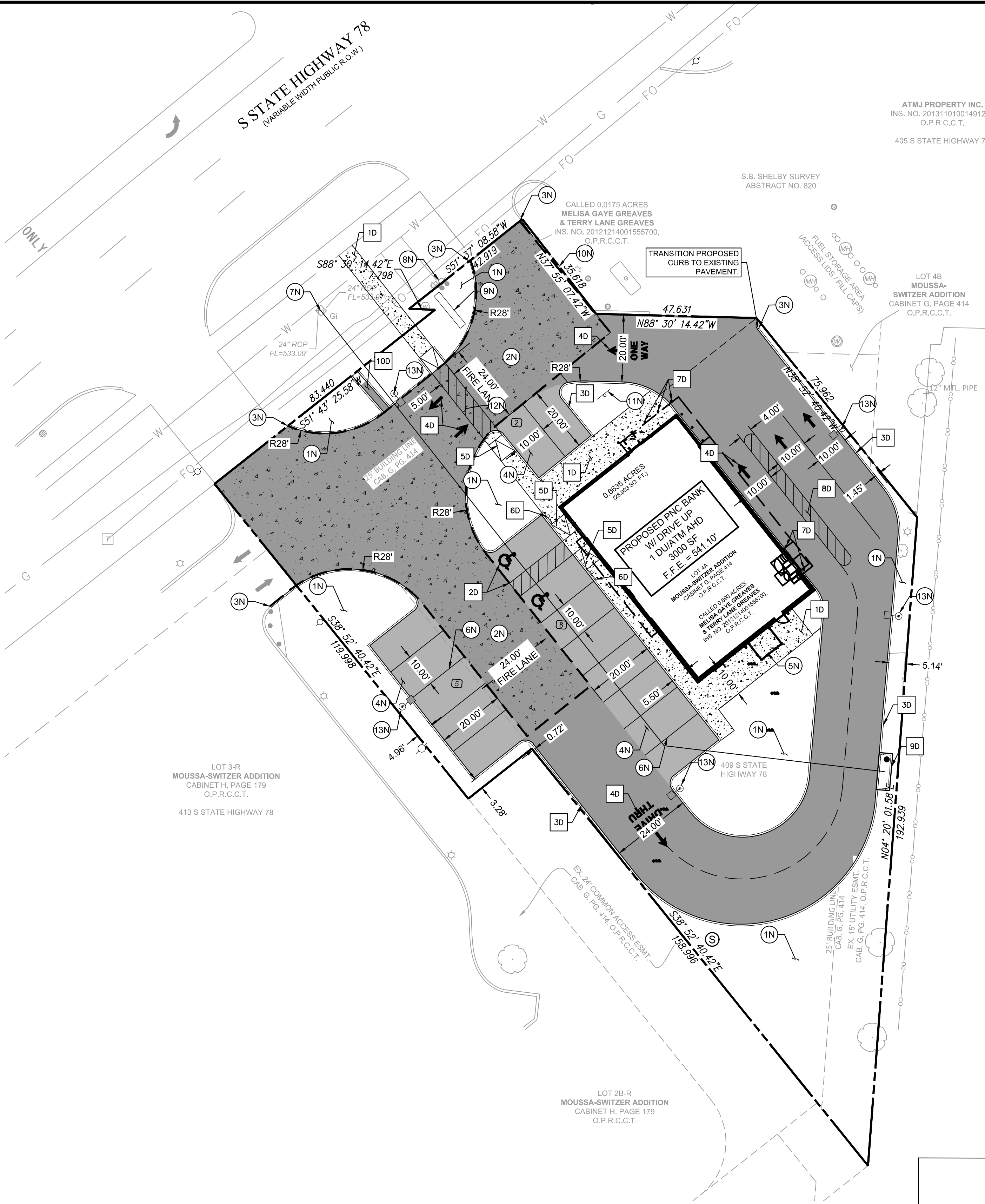


V:\070777 - PNC TX Ficoo, RM-423 and Hwy 39\070777-01-016 (ENG) - Civil Design Services\Wylie, TX\Engineering\Engineering Plans\Site Plan\Site Plan.dwg, SITE PLAN, October 14, 2025, 3:34 PM, bhov

BENCHMARK
VERTICAL CONTROL IS NAVD88 ESTABLISHED FROM CITY OF WYLIE
BENCHMARK ID 4, HAVING A PUBLISHED ELEVATION OF 562.91'.



PAVING LEGEND

- LIGHT DUTY CONCRETE**
5" 3,500 PSI (28) DAYS
6" SUBGRADE 95% MAX DENSITY
STABILIZED WITH 7% LIME BY DRY
WEIGHT W/NO. 4 BARS PLACED AT
18 INCHES ON CENTERS EACH WAY
- MEDIUM DUTY CONCRETE**
6" 3,500 PSI (28) DAYS
8" SUBGRADE 95% MAX DENSITY
STABILIZED WITH 7% LIME BY DRY
WEIGHT W/NO. 4 BARS PLACED AT
24 INCHES ON CENTERS EACH WAY
- HEAVY DUTY CONCRETE**
7" 4,500 PSI (28) DAYS
8" SUBGRADE STABILIZED 95% MAX
DENSITY WITH 7% LIME BY DRY WEIGHT
W/NO. 4 BARS PLACED AT 18 INCHES ON
CENTERS EACH WAY AND SMOOTH
DOWELS 12 INCH ON CENTER, 100%
TIED CHAIRS.
- **REFER TO GEOTECHNICAL REPORT BY EARTH ENGINEERING ,
INC. DATED JUNE 09, 2025 FOR MORE DETAILS**

- EXISTING LEGEND**
- CIRS 5/8" IRON ROD WITH CAP SET
STAMPED "SPOONER 5922"
- CIRF IRON ROD WITH CAP FOUND
- IRF IRON ROD FOUND
- XCF "X" CUT FOUND
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS
COLLIN COUNTY, TEXAS
- CONTROL POINT
- PROPERTY CORNER
MARKER - AS NOTED
- POWER POLE
- GUY WIRE
- LIGHT POLE
- ELECTRIC METER
- ELECTRIC BOX (PANEL)
- TELEPHONE RISER
- GAS METER
- TREE (AS DESCRIBED)
- CM (CREPE MYRTLE)
- DOUBLE-TRUNK TREE
- MULTI-TRUNK TREE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SAN. SEWER MANHOLE
- SAN. SEWER CLEANOUT
- INLET RIM
- BOLLARD POST
- SIGN
- MONITORING WELL
- OVERHEAD ELEC.
- U.G. FIBER OPTIC
- U.G. GAS
- U.G. WATER
- U.G. SAN. SEWER
- U.G. STORM SEWER
- CHAIN LINK FENCE
- WOOD FENCE
- CONCRETE AREA
- GRATE INLET
- SPOT ELEVATION
- EDGE OF CONCRETE ELEVATION
- GUTTER ELEVATION
- TOP OF CURB ELEVATION
- SUBJECT PROPERTY LINE
- EXISTING EASEMENT LINE
- FIRELINE PAINT MARKS
- INVERT REFERENCE
- CANOPY - COVERED AREA
- SCREENING WALL

NOTES

- 1N LANDSCAPE AREA
- 2N FIRE LANE CONCRETE PAVEMENT
- 3N END CURB
- 4N PARKING AREA CONCRETE
- 5N TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 6N 6" WIDE WHITE PARKING LOT STRIPE
- 7N EXISTING GRATE INLET
- 8N EXISTING FIRE HYDRANT
- 9N MONUMENT SIGN
- 10N EXISTING CURB TO REMAIN
- 11N ONE WAY - "DO NOT ENTER" SIGN
- 12N CROSSWALK
- 13N LIGHT POLE

DETAILS

- 1D SIDEWALK
- 2D ADA PARKING AND STRIPING
- 3D CONCRETE CURB & GUTTER
- 4D DIRECTIONAL PAVEMENT MARKING
- 5D ADA RAMP
- 6D ADA SIGN
- 7D BOLLARDS
- 8D PAVEMENT STRIPING
- 9D CURB INLET
- 10D CONCRETE FLUME

FLOOD STATEMENT

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.
48085C0420J DATED JUNE 02, 2009 PREPARED BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN
COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X.

PROPOSED LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED CURB & GUTTER
- FIRE LANE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- CONCRETE SIDEWALK
- PARKING COUNT

SITE DATA TABLE

PROJECT NAME	PNC BANK
ZONING	CORRIDOR COMMERCIAL DISTRICT
PROPOSED USE	BANK W/ DRIVE UP ATM WINDOW
LOT AREA/SF AND AC	28,903 SF / 0.66 AC
OVERALL AREA/SF AND AC	28,903 SF / 0.66 AC
BUILDING AREA (GROSS SQUARE FOOTAGE)	3000 SF
BUILDING HEIGHT (FEET AND NUMBER OF STORIES)	17' 10" (1-STORY)
LOT COVERAGE	52%
FLOOR AREA RATIO (FOR NON-RESIDENTIAL ZONING)	0.10
TOTAL PARKING REQUIRED (WITH RATIO)	1 PARKING SPACE PER 400 SF
TOTAL PARKING REQUIRED	1:400 = 3000 / 400 = 8 SPACES
MAXIMUM PARKING COUNT	10 SPACES
TOTAL PARKING PROVIDED	15 SPACES
PROVIDED ADA SPACES	2 SPACES

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE ALTA/NSPS LAND TITLE SURVEY PREPARED BY SPOONER & ASSOCIATES, INC., DATED MAY 21, 2025 FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER AND FIRE MARSHALL'S OFFICE SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CITY OF WYLIE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE TxDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM HE STREET.
- CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE FOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADII ARE 5' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.
- ROW PERMITS REQUIRED FOR WORK WITHIN ROW.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN
IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL
DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES
BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY
RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE
OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY
LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

REVISIONS	DATE	DESCRIPTION
REVISION		

SITE & PAVING PLAN

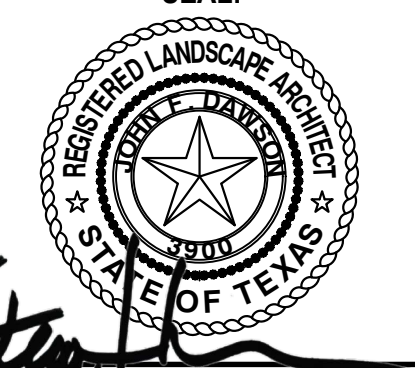
PNC BANK
409 S STATE HIGHWAY 78
WYLIE, TEXAS 75098

THIS DOCUMENT IS RELEASED FOR
THE PURPOSE OF INTERIM REVIEW,
MARK-UP, AND/OR DRAFTING
UNDER THE AUTHORITY OF
RYAN SAFFORD, P.E.
#98417
ON OCTOBER 14, 2025.
IT IS NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR
PERMIT PURPOSES.

DESIGN JJ	DRAWN JJ	CHKD BB
JOB No.	070777-01-016	SHEET C3.0

REVISIONS		
NO.	DESCRIPTION	DATE

DATE ISSUED: _____
REVIEWED BY: _____ JFD
DRAWN BY: _____ JFD
DESIGNED BY: _____ JFD
PROJECT NUMBER:
2027-0368-220
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SEAL:

SHEET TITLE:
LANDSCAPE
PLAN

SHEET ID:
Building Name

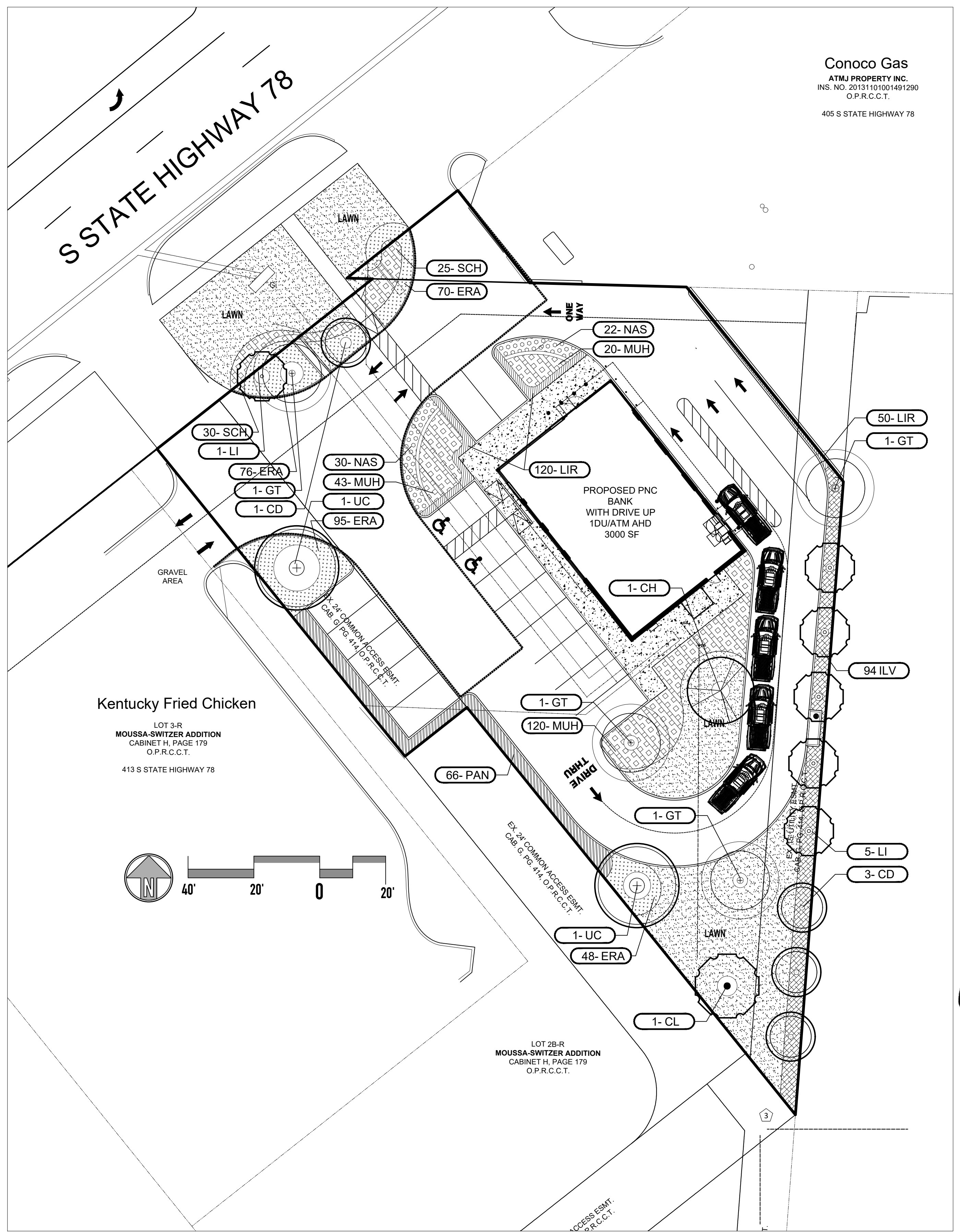
LP101

PROJECT STATUS:
100% CD

1 2 3 4 5

Plant List							
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	NOTE
TREES							
4	CD	Cornus drummondii	Roughleaf Dogwood	10' Ht. x 4' Spr.	As shown	Strong Central Leader-Symmetrical	
1	CH	Celtis laevigata	Sugar Hackberry	3" Caliper 15' Ht.	As shown	Strong Central Leader-Symmetrical	
1	CL	Chilopsis linearis	Desert Willow	10' Ht. x 4' Spr.	As shown	Single Trunk, Symmetrical, Matched	
6	LI	Lagastromia indica	Crepe Myrtle	10' Ht. x 4' Spr.	As shown	Single Trunk - Matched	
4	GT	Gleditsia triacanthos	Honey Locust	3" Caliper 15' Ht.	As shown	Strong Central Leader-Symmetrical	
2	UC	Ulmus crassifolia	Cedar Elm	3" Caliper 15' Ht.	As shown	Strong Central Leader-Symmetrical	
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	
Shrubs and Grasses							
289	ERA	Eragrostis elliotti	Elliott's Lovegrass	No. 3 Cont	22" o.c.	Full	
94	ILV	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	36" Ht. x 24" Wd.	36" o.c	Full to Base	
170	LIR	Liriope muscari	Lily Turf	No. 1 Cont	15" o.c.	Full	
55	SCH	Schizachyrium scoparium	Little Blue Stem	No. 3 Cont.	22" o.c.	Full	
233	MUH	Muhlenbergia capillaris 'White Cloud'	'White Cloud' Muhly Grass	No. 3 Cont	30" o.c.	Full	
52	NAS	Nassella tenuissiuma	Mexican Feather Grass	No. 3 Cont.	26" o.c.	Full	
66	PAN	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	No. 3 Cont.	36" o.c.	Full	
Note: Lawn: All lawn areas to receive Bermuda Tifway 419 or approved equal Irrigation: All plantings and lawn are to be 100% irrigated							

Element	1. Base Standard (all development must comply fully with all listed below)		Desirable (Each development must select 4 of the 8 desirables below)	
Landscaping in Required Yards	1. At least 20% of site shall be landscaped in NS, CR, CC, and BG Districts; 10% of site in CR and CC Districts for single buildings of 100,000 sq ft. or more; 10% of site in LI and HI Districts. 2. Landscaping is required in the front yard. 3. Landscaping is req. in side and rear yards adjacent to, or across the street from residential.	29,460sf Total Site 5,892sf 20% Req. 6,755sf 22% Prov. Provided Provided	1. Landscaping that exceeds the minimum by 10%. 2. Landscaping in side and rear yard not otherwise required.	
Landscaping of Parking Lots	1. Site plans requiring more than 12 spaces required to have 50 sq. ft. of landscaping per space. 2. No parking space further than 60' from landscaped area on site. 3. Parking rows 12 spaces or longer shall have landscaped islands at end. 4. All parking rows shall have landscaped areas at least every 12 spaces.	Provided Provided NA NA	1. Landscaping 10% or more in excess of 50 sq. ft./space. 2. Parking lots with no space further than 40 feet from a landscaped area. 3. Landscaped pedestrian connection to main entrance.	Provided Provided Provided
Visual Screening	1. Required screening in strip at least 5' wide, plants 3' in height when planted, include one flowering tree for every 20 linear feet of area.	Provided		
Landscaping of Street Frontage	1. At least 50% of required front yard developed as landscaped buffer, at least 10' in width. 2. Trees required in buffer, in groves or belts on a 30 - 40' spacing. 3. Required trees at least 3" in caliper.	Provided Provided Provided	1. Landscaping that exceeds the minimum by 10%. 2. Landscaping in side and rear yard not otherwise required.	Provided



Notes and Planting Specifications

SCOPE OF WORK

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, TOOLS AND SERVICES REQUIRED TO ACCOMPLISH ALL RELATED WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
2. LANDSCAPE PLANTING PLANS SHALL NOT BE UTILIZED TO DETERMINE LOCATIONS, DIMENSIONS OR MEASUREMENTS OF OTHER PROPOSED SITE IMPROVEMENTS.
3. WORK UNDER THIS CONTRACT SHALL ALSO INCLUDE THE FURNISHING AND PLACING OF ADDITIONAL TOPSOIL AS REQUIRED FOR PROPER IMPLEMENTATION OF PLANTING OPERATIONS. [COORDINATE WITH PM & SPECIFICATION]
4. LOCATIONS OF PLANT MATERIALS ARE APPROXIMATE. EXACT LOCATION OF PLANT MATERIALS SHALL BE STAKED OUT BY CONTRACTOR PRIOR TO PLANTING OPERATIONS; LOCATIONS OF STAKES MUST BE APPROVED BY LANDSCAPE ARCHITECT [AND TOWNSHIP ENGINEER][AND TOWNSHIP ARBORIST] BEFORE PLANTING OPERATIONS BEGIN.
5. UTILITIES: DETERMINE LOCATIONS OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
6. PLANTING DATE SCHEDULE: THE CONTRACTOR MUST SUBMIT A PROPOSED PLANTING DATE SCHEDULE. ONCE ACCEPTED, REVISE DATES ONLY AS APPROVED IN WRITING AFTER DOCUMENTATION OF REASONS FOR DELAYS.
7. ALL WORK SHALL BE PERFORMED IN ACCORDING TO WORKMAN LIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE TEXAS STANDARDIZED LANDSCAPE SPECIFICATIONS AND LOCAL LANDSCAPE ORDANCES.

SPECIES AND SIZE

SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. IN ADDITION, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2004. WHEN NOTED SPECIMEN MEANS AND EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNOT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

GENERAL PLANT REQUIREMENTS

ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, AND FREE OF DISEASED AND INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

CONTAINER GROWN STOCK

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND IN A HEALTHY GROWING CONDITION. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

PLANTS THAT ARE ROOT BOUND IN CONTAINERS ARE UNACCEPTABLE AND WILL BE REJECTED.

MEASUREMENTS

TREES:
HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OF DISEASE INFESTATION.

SHRUBS:
HEIGHTS SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINTS WHERE MATURE PLAN GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. Measurement ARE NOT TO INCLUDE ANDY TERMINAL GROWTH.

PALMS:
CLEAR TRUNK (C.T.), SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION O F THE TRUNK OR THE HEAD.

OVERALL HEIGHT (O.H.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO A POINT $\frac{1}{2}$ THE LENGTH OF THE UNOPENED BUD. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

IRRIGATION

ALL PLANT MATERIALS AND SOD SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED IRRIGATION DRAWINGS AND SECURING ALL PERMITS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INSURE THAT ALL NEW PLANTING RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND PLANT WARRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS IS MANDATORY, AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO AUGMENT NATURAL RAINFALL AND SITE IRRIGATION, TO INSURE PROPER PLANT DEVELOPMENT, SHALL BE PROVIDED AS PART OF THIS CONTRACT. THIS SYSTEM SHALL BE INSTALLED AND OPERATIONAL WITHIN TEN (10) DAYS OF THE INITIAL LANDSCAPE INSTALLATION. ONCE THE PLANTS HAVE BEEN ESTABLISHED THE DRIP IRRIGATION SYSTEM SHALL BE ADJUSTED BY THE INSTALLATION CONTRACTOR TO MAINTAIN PLANT VIABILITY AND MEET THE LOCAL MUNICIPALITY REQUIREMENTS.

UTILITIES

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR RESEARCHING AND CONTACTING APPROPRIATE AGENCIES TO DETERMINE LOCATION OF UTILITIES AND OBSTRUCTIONS PRIOR TO COMMENCING WORK. ANY UTILITIES OR OBSTRUCTIONS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

PERMITS-LICENCES-INSPECTIONS

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, INSPECTIONS, AND INSURANCE AS REQUIRED BY THE STATE AND LOCAL AGENCIES.
2. LANDSCAPE CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANTS AND PLANTING DETAILS TO ABIDE BY THOSE ORDINANCES AND DETAILS.

SITE PREPARATION PRIOR TO SOIL PLACEMENT

1. CONTRACTOR SHALL ENSURE ALL AREAS TO RECEIVE PLANTING SHALL BE FREE AND CLEAR OF ALL FOREIGN DEBRIS AND REQUIRED BUILDING MATERIALS TO A MINIMUM DEPTH OF 30".
2. NO LOOSE WOOD, CONCRETE, PLASTIC, METAL SHALL BE IN THE PLANTING AREAS.
3. NO STONE GREATER THAN $\frac{1}{2}$ " SHALL BE IN THE PLANTING AREAS.

TOPSOIL

1. EXISTING TOPSOIL SHOULD BE STOCKPILED FOR REUSE IN LANDSCAPE PLANTING AREAS. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO MEET FINISH GRADE. EXISTING TOPSOIL SHALL BE FRIABLE, LOAMY AND CLEAR OF ANY FOREIGN DEBRIS.
2. ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 8" FRIABLE, LOAMY, CLEAN TOPSOIL FREE OF ANY FOREIGN DEBRIS TO THE FINISHED GRADE.
3. IMPORTED TOPSOIL SHALL BE CLEAN, FRIABLE, LOAMY AND CONTAIN BETWEEN 5% TO 15% ORGANIC MATTER.
4. OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR AMENDMENTS.
5. MIX SPECIFIED SOIL AMENDMENTS PER RATES SPECIFIED BY LAB REPORTS THOROUGHLY BEFORE PLACEMENT.

PLANTING SOIL

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE ADDED AT A RATE OF SEVENTY-FIVE PERCENT (75%) PLANTING SOIL TO TWENTY-FIVE PERCENT (25%) EXISTING SOIL.

THIS SOIL MIX SHALL BE USED IN ALL PLANT PITS EXCEPT SABAL PALMS WHICH SHALL BE BACKFILLED WITH CLEAN SAND.

PLANTING SOIL SHALL BE A FERTILE, FRIABLE NATURAL TOPSOIL OR LOAMY CHARACTER. IT SHALL CONTAIN FORTY (40) TO FIFTY (50) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, STONE, LIME, PLANTS, ROOTS OR OTHER FOREIGN MATERIAL OR NOXIOUS WEEDS OR GRASSES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH.

SOD REPAIR AT RIGHT OF WAY AND OTHER

ANY EXISTING LAWN AREAS THAT WERE DAMAGED DURING CONSTRUCTION AND ARE TO REMAIN SHALL BE REPAIRED WITH LIKE SOD TO MATCH EXISTING. ALL LAWN AREAS SHALL BE FULLY COVERED WITH EDGES MEETING PLANTING AREAS WITH A CLEAN SHOVEL CUT EDGE. LAWN AREAS SHALL BE EVENLY PITCHED AND FREE OF DIVOTS, BOWLS OR, LOW POINTS. LANDSCAPE CONTRACTOR SHALL MAINTAIN REPAIRED LAWN UNTIL FULLY ESTABLISHED AND VIGOROUSLY GROWING.

COMMERCIAL FERTILIZER

TWO FERTILIZERS SHALL BE USED IN ALL TYPES OF PLANTINGS, EXCEPT PALMS. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIXTEEN PERCENT (16%) NITROGEN, SEVEN PERCENT (7%) PHOSPHORUS, TWELVE PERCENT (12%) POTASSIUM, PLUS IRON. TABLET FERTILIZER ("AGRIFORM" OR EQUAL) IN 21 GRAM SIZE SHALL BEE THE FOLLOWING REQUIREMENTS: TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM.

PLANT SIZE	16-7-12	AGRIFORM TABLET
1 & 2 GAL CONT.	$\frac{1}{2}$ LBS	1
3 GAL CONT.	$\frac{1}{3}$ LBS	2
7-15 GAL CONT.	$\frac{1}{2}$ LBS	4
1"-6" CALIPER	2 LBS PER 1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS PER 1" CALIPER	2 PER 1" CALIPER

UNDER THIS INSTALLATION LANDSCAPE CONTRACT "PERFECT PALM" OR LANDSCAPE ARCHITECT APPROVED EQUAL WILL BE APPLIED TO ALL PALMS AT INSTALLATION AND EVERY 6 WEEK DURING THE 1ST YEAR. APPLICATION RATES PER MANUFACTURER'S DIRECTIONS.

INSTALLATION

1. POSITION TREES GRASSES AND SHRUBS AT THEIR PLANNED LOCATIONS AND SECURE APPROVAL OF OWNER PRIOR TO INSTALLATION. MAKE ADJUSTMENT PER OWNER DIRECTION.
2. INSTALL PLANTING PER DETAILS ON SHEET LP-2.
3. PROVIDE 4" DEPTH SHOVEL CUT EDGE OF ALL BEDS PRIOR TO MULCH INSTALLATION.
4. WATER ALL PLANT MATERIAL IMMEDIATELY UPON PLANTING. MAINTAIN WATERING UNTIL PLANTS ARE FULLY ESTABLISHED.
5. REMOVE ALL TAGS, STRINGS, STRAPS, SYNTHETIC BURLAP, WIRE, ROPE AND OTHER MATERIALS THAT MAY INHIBIT GROWTH.
6. WITH STERILIZED TOOLS REMOVE BROKEN BRANCHING, SUCKERING OR CRISSCROSSED BRANCHING.

MULCH

PARKING LOT AND BUILDING PLANTING: MULCH MATERIAL SHALL BE 3" INCHES OF SHREADED BROWN HARDWOOD MULCH (STERILIZED AND FREE OF SEEDS) OR APPROVED EQUAL, MOISTENED AT TIME OF INSTALLATION TO PREVENT WIND DISPLACEMENT.

SUBSTITUTIONS

NO SUBSTITUTIONS OF PLANT MATERIAL TYPES OR SIZES WILL BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. B&B MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR CONTAINER GROWN MATERIAL UNLESS PREVIOUSLY APPROVED. ALTERNATE SUBSTITUTIONS SHALL BE INDICATED IN BID. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE

WARRANTY

ALL TREES, PALMS, SHRUBS, VINES, GROUNDCOVER AND MISCELLANEOUS PLANT MATERIALS AS INCLUDED HEREIN SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD 12 MONTHS (1 YEAR) AFTER FINAL ACCEPTANCE BY THE OWNER. All LAWN AREAS SHALL BE WARRANTED FOR A MINIMUM PERIOD FOR 180 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER.

DOCUMENT UNDERSTANDING

IN THE EVENT OF A DISCREPANCY WITHIN THE LANDSCAPE DOCUMENTS, THE PLANTING PLAN TAKES PRECEDENCE OVER THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO THE FINAL PLANTING AND DECORATIVE GRADING LAYOUT CONFIGURATIONS AND SHALL PROVIDE DIRECTION IN THE EVENT OF FIELD CONDITIONS THAT MAY BE IN CONFLICT WITH THE PLAN.

PLANTING DATE SCHEDULE

THE CONTRACTOR MUST SUBMIT A PROPOSED PLANTING DATE SCHEDULE. ONCE ACCEPTED, REVISE DATES ONLY AS APPROVED IN WRITING AFTER DOCUMENTATION OF REASONS FOR DELAYS.

CLEANUP

UPON THE COMPLETION OF ALL PLANTING OWRK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM THEIR WORK. AN 'ACCEPTABLE CONDITION' SHALL BE AS DEFINED AND APPROVED BY THE OWNER'.

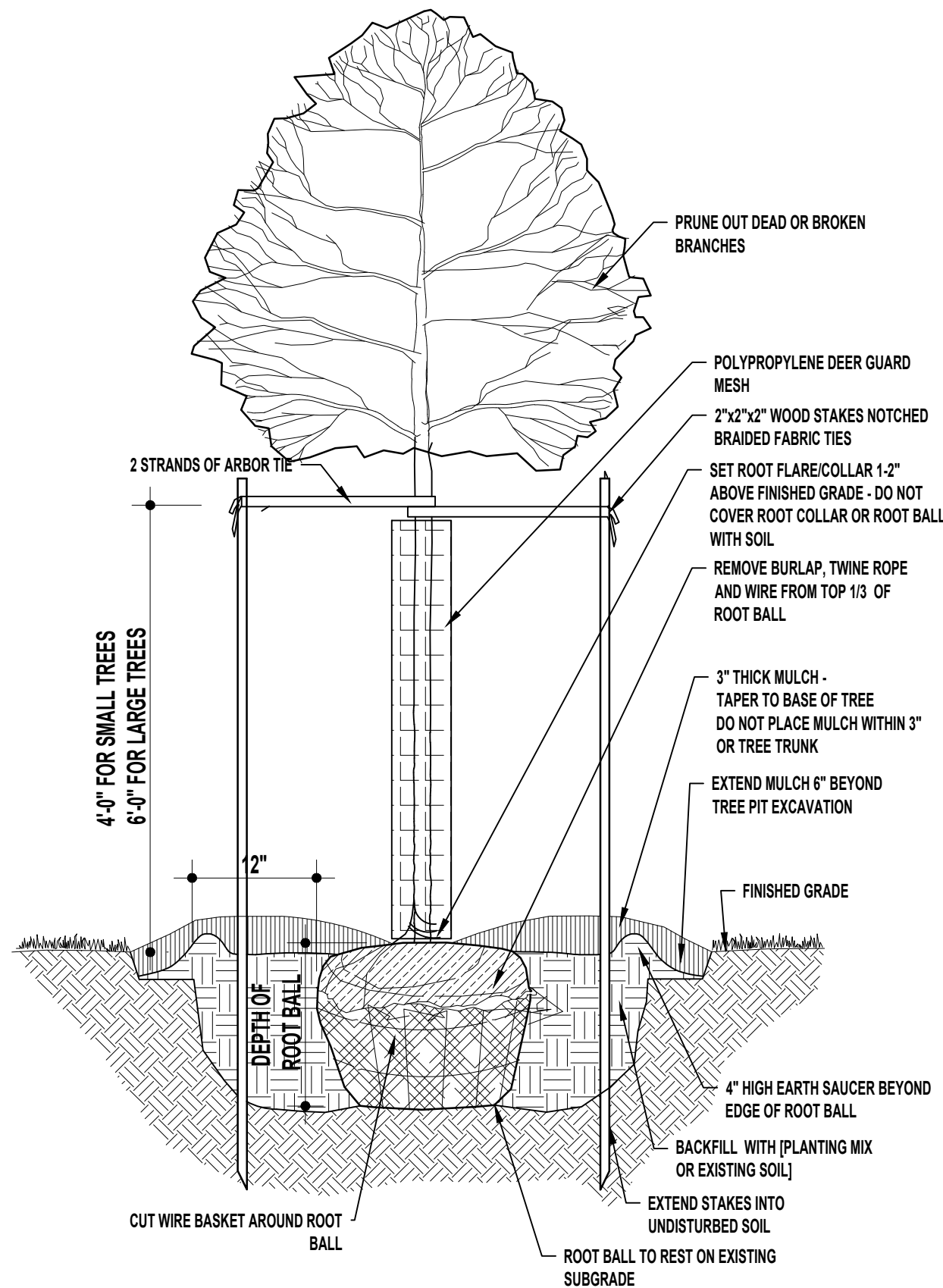
MAINTENANCE

MAINTENANCE FOR THIS CONTRACT SHALL BE 120 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF INSTALLATION.

MAINTAIN TREES, SHRUBS, GRASSES AND OTHER PLANTS BUY TRIMMING, PRUNING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH.

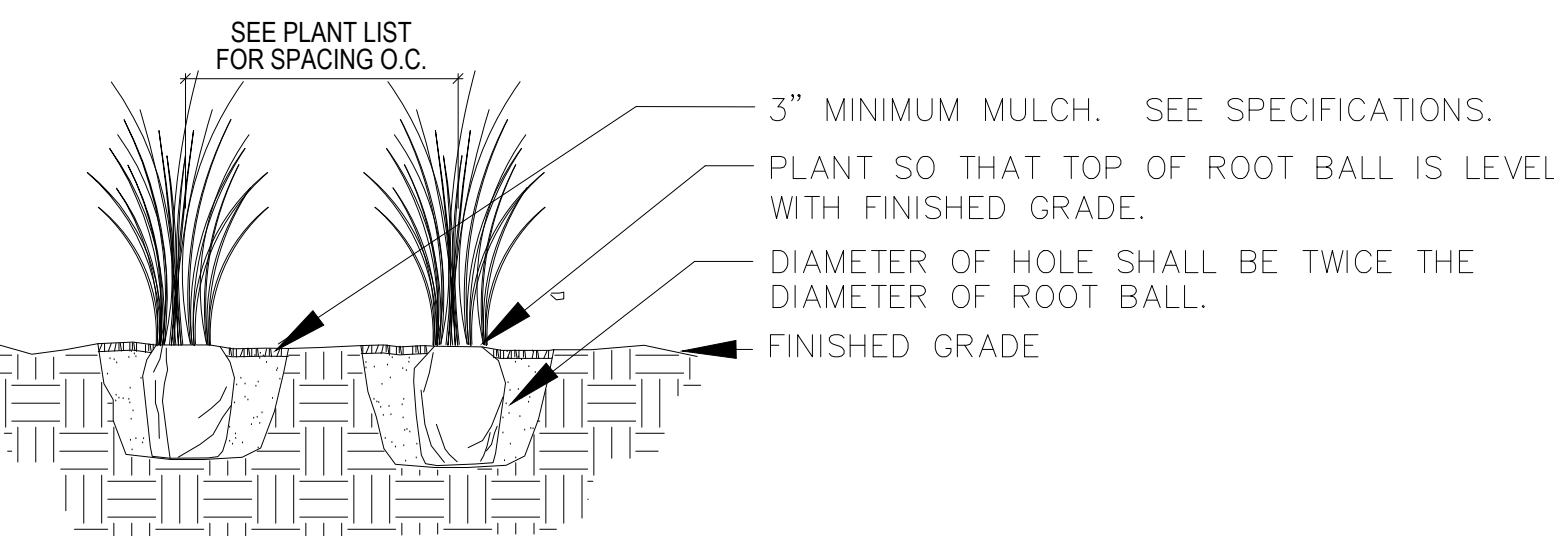
MAINTAIN LAWNS AND PLANTING BY MOWING, WATERING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH LAWN FREE OF ERODING OR BARE AREAS.

REPLACE ANY REQUIRED PLANTINGS WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING.

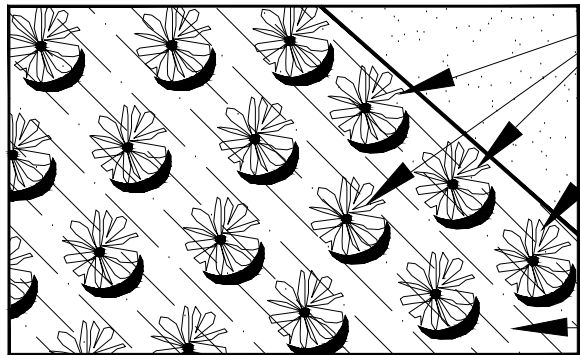


1 TREE PLANTING DETAIL

3/4" = 1'-0"



Section

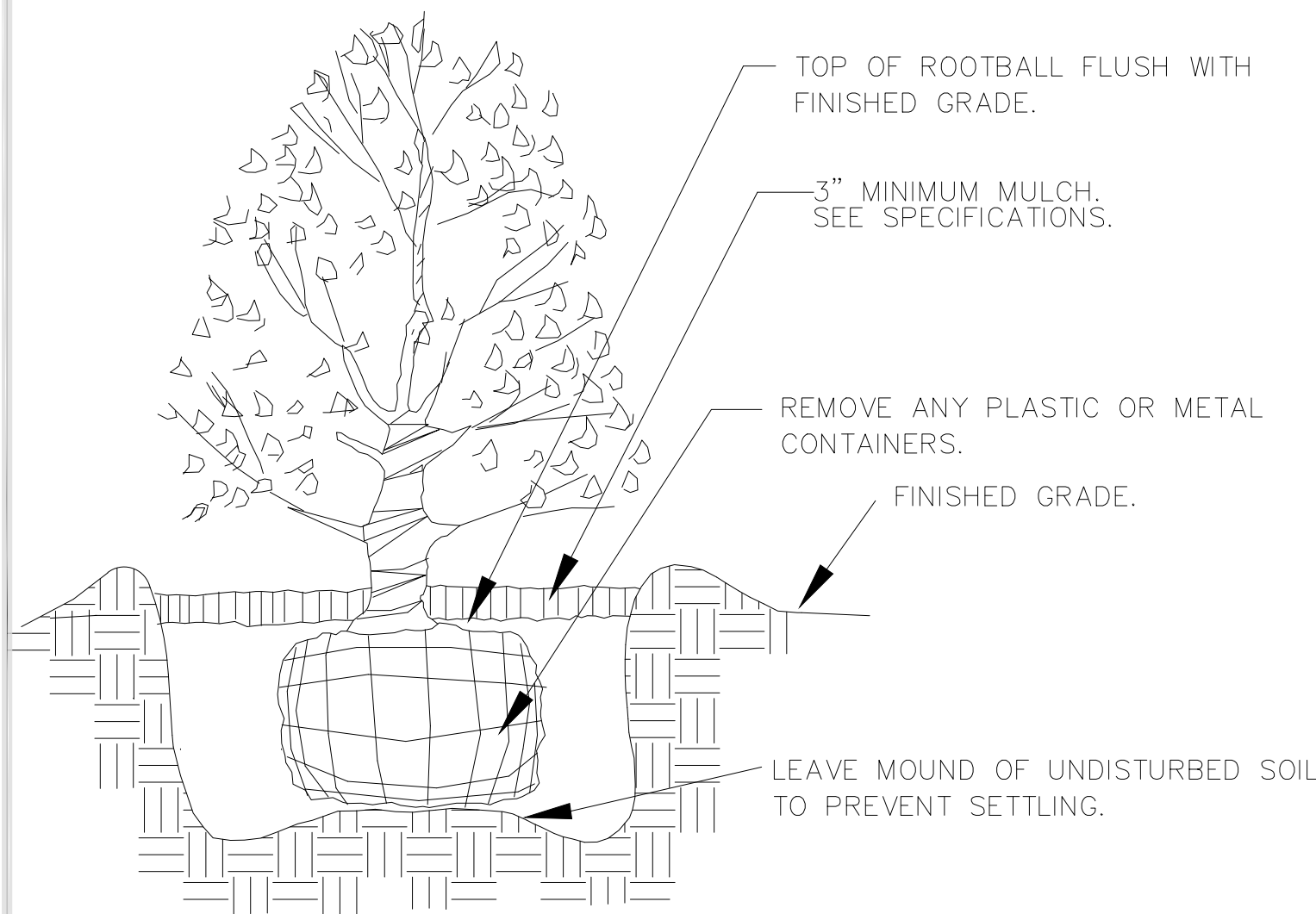


Plan

2 GRASS PLANTING DETAIL

3/4" = 1'-0"

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



3 SHRUB PLANTING DETAIL

3/4" = 1'-0"

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

RS&H

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PROJECT TITLE:
PNC BANK WYLIE, TX

PROJECT ADDRESS:
409 STATE HIGHWAY 78,
WYLIE TEXAS 75098

REVISIONS

NO.	DESCRIPTION	DATE

DATE ISSUED: _____
REVIEWED BY: _____ JFD
DRAWN BY: _____ JFD
DESIGNED BY: _____ JFD
PROJECT NUMBER:
2027-0368-220
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SEAL:



SHEET TITLE:

**LANDSCAPE
SPECIFICATIONS**

SHEET ID:

Building Name

LP102

PROJECT STATUS:

100% CD

TURF SPRAY HEAD - AS MANUFACTURED BY RAINBIRD, 1804-SAM-PRS IN TURF AREAS. USE HUNTER MP ROTATOR NOZZLES AS INDICATED ON PLAN.

MSS IDENTIFIES MP-ROTATOR NOZZLE BY SERIES. EX: M1=M1000, M35 INDICATES MP3500 NOZZLE.

M10M INDICATES AREA OF COVERAGE BY COLOR. EXAMPLE: M=(MAROON) M1000=90-210 DEG.

INDICATES APPLICATION. EX: t=TURF HEAD, 4" POP UP, g=GROUND COVER 12" POP UP.

BUBBLER - PRESSURE COMPENSATING BUBBLER (0.5 G.P.M.), HUNTER MSBC-50 NOZZLE ON 6" RAINBIRD 1806 6" POPUP SPRAY HEAD. ONE OR TWO BUBBLERS PER TREE AS SHOWN ON PLAN.

INDICATES DRIP TUBING BY NETAFIM, NETAFIM TECHLINE CV TLCV4-12, 18" LATERAL SPACING. REFER TO DETAIL AND MANUFACTURER RECOMMENDATIONS FOR INSTALL.

1250 SF DRIP ZONE SF, IF APPLICABLE

A-5 ZONE IDENTIFICATION

DRIP IRRIGATION TYPE (SHRUB, TURF, DRIP, ROTOR, OR BUBBLER)

1" 5.8 ZONE SIZE IN GALLONS PER MINUTE

VALVE SIZE THIS ZONE

1/2" MAIN LINE - USE 1/2" SCH 40 PVC PIPE AS DESIGNATED ON PLANS.

SLEEVE - USE TWO (2) SIZES LARGER THAN SPRINKLER PIPE DESIGNATED FOR CROSSING PAVING. WHEN REQUIRED, VALVE WIRING MAY BE RUN IN THE SAME SLEEVES. USE SCH 40 PVC PIPE OR AS

ENCLOSURE - WEATHERMATIC SMARTWIRE 2-WIRE SYSTEM (SL9648TW), WITH SLWM-SS-4800 ENCLOSURE. INSTALL SLWS WEATHER SENSOR. FINAL LOCATION IS TO BE DETERMINED BY OWNER OR HIS REPRESENTATIVE AFTER CONSULTING WITH PROJECT ARCHITECT.

REMOTE CONTROL VALVE - BLACK MAX SERIES AS MFG'D BY WEATHERMATIC. SIZE AS NOTED ON PLAN. USE ONLY APPROVED SPIGOTS SUCH AS 3M DBY CONNECTORS. SLDEC DECODERS ARE REQUIRED FOR TWO WIRE CONTROLLER. USE SCZ-2M-4W-10 DRIP KIT FOR DRIP ZONES.

QUICK COUPLING VALVE - SERIES 44LRC AS MFG'D BY RAINBIRD. PROVIDE A QUICK COUPLER KEY W/ SWIVEL HOSE ELL FOR EVERY THREE (3) VALVES. VALVE BOX IS REQUIRED TO HAVE A PURPLE LID. NOTE THAT MASTER VALVE WILL NEED TO BE OPENED TO HAVE ACCESS TO WATER.

ISOLATION GATE VALVE - LINE SIZE

DOUBLE CHECK BACKFLOW PREVENTER

EXISTING WATER METER, REF. CIVIL PLANS

LATERAL LINE - SIZE AS NOTED ON PLAN. DO NOT DEVIATE ON SIZING. USE ONLY CLASS 200 OR 315 PVC PIPE.

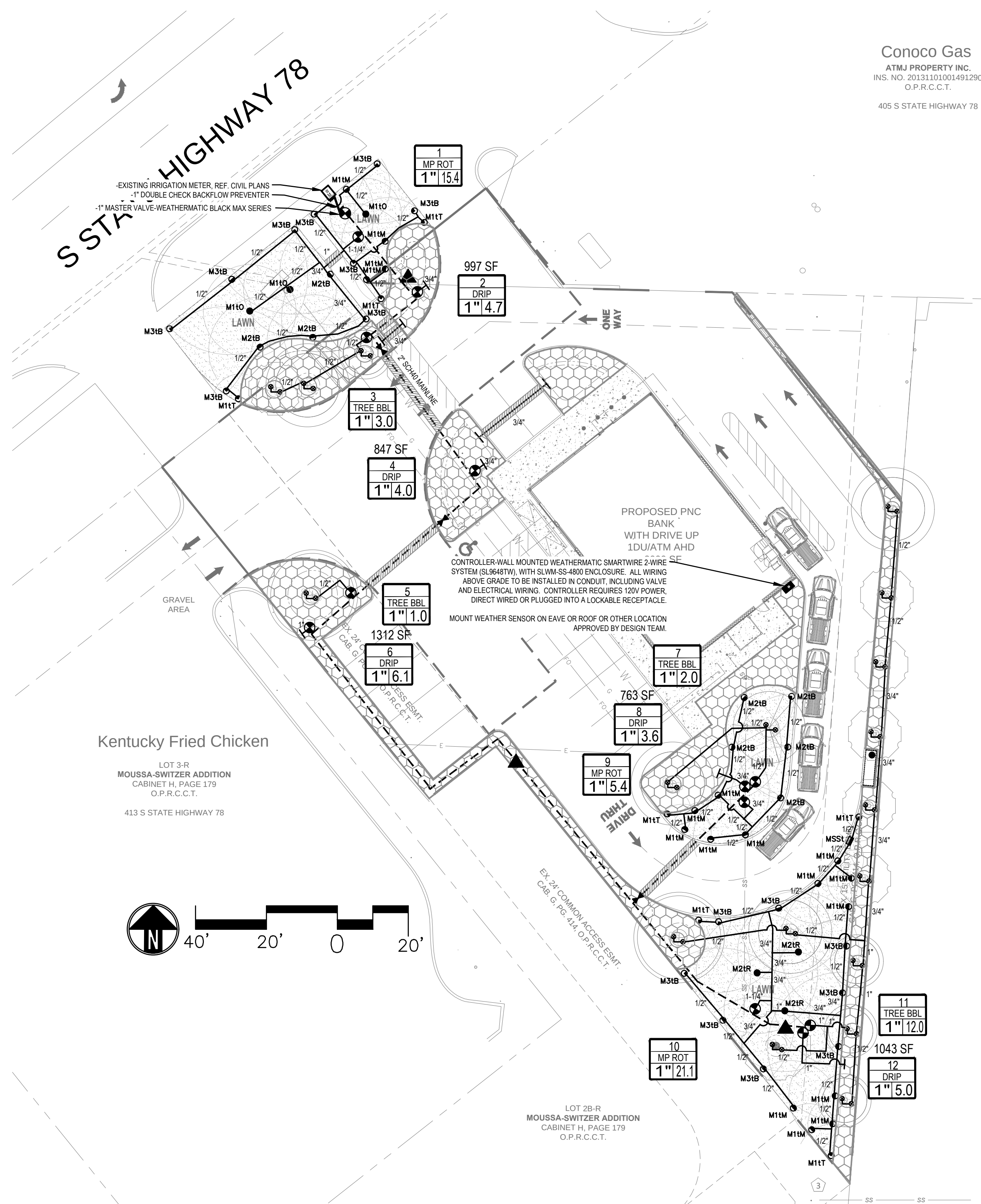
1. SPRINKLER LINES AS SHOWN ARE DIAGRAMMATIC BUT SHOULD BE REASONABLY FOLLOWED. LOCATIONS OF SPRINKLER HEADS SHALL BE ESTABLISHED BY THE CONTRACTOR BUT DESIGN SPACING MAY NOT BE EXCEEDED WITHOUT AUTHORIZATION FROM LANDSCAPE ARCH.
2. INSTALL ALL VALVES IN 12" RECTANGULAR VALVE BOXES. VALVE SHOULD BE CENTERED IN BOX TO ALLOW EASY ACCESS TO SOLENOID ASSEMBLY AND COVER BOLTS.
3. ZONE PIPE SIZING IS PARTICULARLY IMPORTANT ON PROJECTS WHERE LONG RUNS ARE NECESSARY. "RULE OF THUMB" SIZING IS NOT ALLOWED ON THIS PROJECT. SIZING AS SHOWN MUST BE FOLLOWED.
4. INSTALL RAIN & FREEZE SWITCHES IN AN ELEVATED LOCATION CLEAR OF TREES OR OTHER OBSTRUCTIONS. INSTALL IN LOCATION EXPOSED TO EXTERIOR AMBIENT CONDITION.
5. ALLOW A MINIMUM OF 4" CLEARANCE FROM ANY STRUCTURE WHEN INSTALLING SPRINKLER HEADS. THIS INCLUDES SIDEWALKS, CURBS, BUILDINGS, ETC..
6. INSTALL SLEEVING SUCH THAT A MINIMUM OF 6" EXTENDS BEYOND CURBS, WALKS, OR WALLS.
7. AFTER INSTALLATION SYSTEM MUST BE BALANCED BY ADJUSTING FLOW CONTROLS ON VALVES. SPRAY ZONES SHALL BE ADJUSTED TO 25 PSI-30 PSI AT THE FURTHEST HEAD IN EACH ZONE.
8. SYSTEM SHALL REQUIRE MINIMUM OF 59 LBS. STATIC PRESSURE FOR SYSTEM TO OPERATE PROPERLY. IRRIGATION CONTRACTOR SHALL NOTIFY SPRINKLER SYSTEM DESIGNER OF PRESSURE DEFICIENCIES OR ANY OTHER SITE PROBLEMS THAT MAY ALTER THE EFFECTIVENESS OF THE SYSTEM.
9. ONLY HAND TRENCHING IS ALLOWED WITHIN THE ROOT PROTECTION ZONES OF EXISTING ZONES. NO CUTTING OF ROOTS LARGER THAN 2 INCHES.

<u>Typical Weekly, Based on Precipitation Rate</u>	Total Hours of Operation	20.81
	Total Zones:	12

ZONE TYPE	Precipitation Rate (in/hr)	Water Desired Inch/Week	Time per cycle (min)	No. of Zones	Total Minutes	Total Hours
MP ROTATOR	0.45	1.00	133.33	3	400.0	6.67
.5 GAL TREE BUBBLER	1.79	1.00	33.52	4	134.1	2.23
DRIP	0.42	1.00	142.86	5	714.3	11.90

IT WILL BE NECESSARY TO DIVIDE TIME INTO 2 TO 3 CYCLES TO MINIMIZE RUNOFF. A TYPICAL SCHEDULE WOULD ALLOW WATERING TO OCCUR TWO DAYS PER WEEK. TOTAL WATERING TIME WOULD BE DIVIDED BY THE NUMBER OF WATERING DAYS. THIS SCHEDULE IS DESIGNED FOR SUMMER WATER USAGE. CONTRACTOR RESPONSIBLE FOR WATERING SCHEDULE DURING ESTABLISHMENT. FOLLOW LOCAL ORDINANCES DURING DROUGHT RESTRICTIONS

MOST CRITICAL ZONE CONTROLLER	
PRESSURE REQUIREMENT CALCULATIONS AT FARTHEST ZONE	
DESIGN STATISTICS FOR CALCULATIONS	
SPRINKLER HEAD REQUIREMENT:	40 PSI
TOTAL ZONE FLOW:	21 GPM
ELECTRIC VALVE SIZE:	1"
STATIC PRESSURE LESS 10%:	NOT AVAILABLE
ACCUMULATIVE LOSSES FROM WATER SOURCE TO FURTHEST HEAD	
ZONE PIPE/FITTING LOSS:	2.1 PSI
1" ELECTRIC VALVE LOSS:	3.3 PSI
ELEVATION NET GAIN/LOSS:	0 PSI
SYSTEM MAINLINE LOSS:	1.2 PSI
MASTER VALVE LOSS:	3.3 PSI
WATER METER LOSSES:	2.2 PSI
BACKFLOW DEVICE LOSSES:	5 PSI
COPPER SERVICE LINE:	1.5 PSI
TOTAL NET LOSS:	18.6 PSI
DESIGN PRESSURE:	58.6 PSI
NOTE:	
CONTRACTOR IS TO VERIFY STATIC PRESSURE AT SITE PRIOR TO INSTALLATION. IF STATIC PRESSURE IS LESS THAN DESIGN PRESSURE, NOTIFY IRRIGATION CONSULTANT BEFORE CONTINUING.	



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Texas Registration Nos. BR 751*F-3401

PROJECT TITLE:
PNC BANK WYLIE, TX

PROJECT ADDRESS:
409 STATE HIGHWAY 78,
WYLIE TEXAS 75098

[illegible]

DATE ISSUED:	
REVIEWED BY:	SG
DRAWN BY:	SG
DESIGNED BY:	SG
PROJECT NUMBER:	
2027-0368-220	
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SHEET TITLE:
IRRIGATION
PLAN

SHEET ID:
Building Name

IR101

PROJECT STATUS:
100% CD

