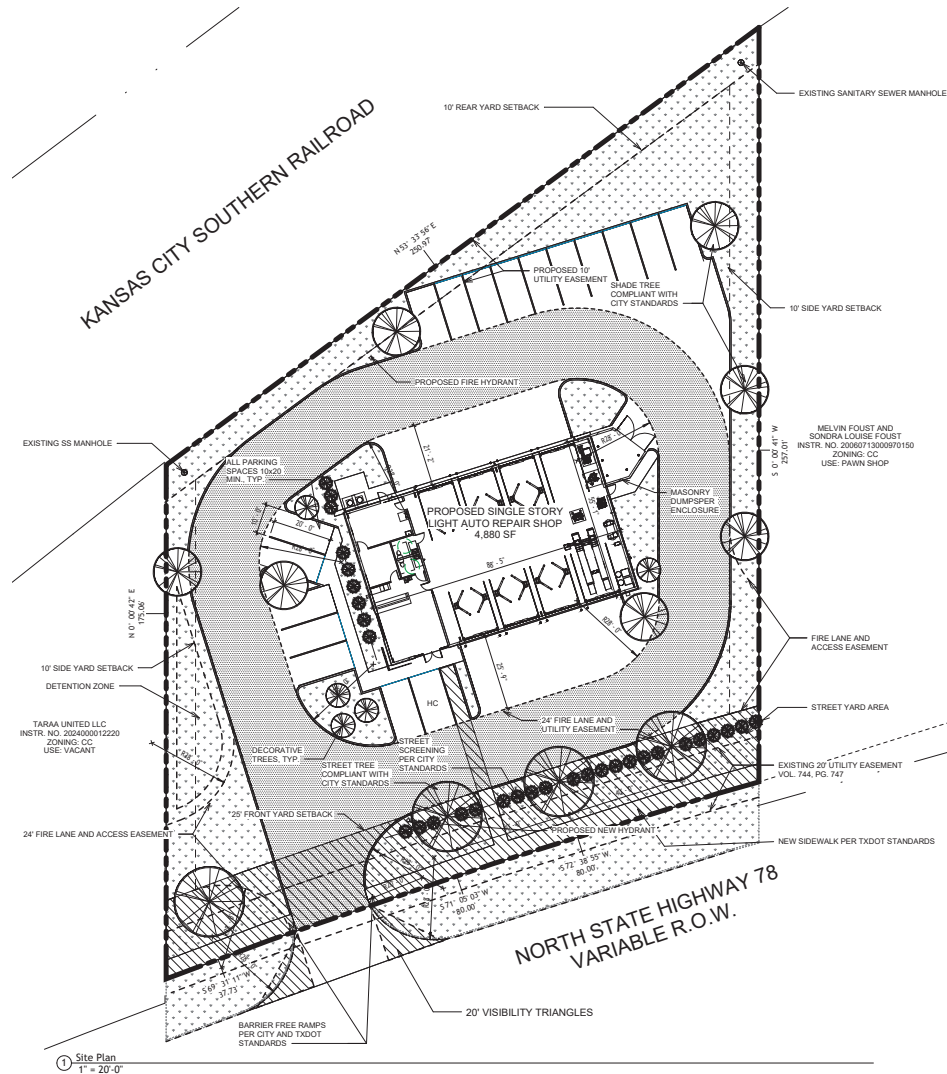
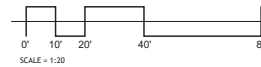




PRELIMINARY SITE PLAN NOTES

1. Fire lanes shall be designed and constructed per city standards.
2. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current, adopted International Building Code.
3. Sidewalks shall be provided per the City design Manual in the public Right of Way, unless a sidewalk easement is provided for a meandering sidewalk or an alternative design is approved by the city.
4. Barrier-free ramps, per city standards, shall be provided on sidewalks at all curb crossings.
5. All signage contingent upon approval by Building Inspections Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Outdoor lighting shall comply with illumination standards within city ordinance.
9. All private electrical transmission, distribution, and service lines must be underground.
10. Uses shall conform in operation, location, and construction to the following performance standards in the Zoning Ordinance: noise, smoke and particulate matter, odorous matter, fire or explosive hazard material, toxic and noxious matter, vibration, and/or other performance standards.
11. All proposed paving shall be concrete per city of Wylie standards.
12. Anticipated Construction Start: January, 2024
13. Fire lands shall be in place prior to any vertical construction



GREENLIGHT

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www.greenlightcompany

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P: 214.810.4333
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Owner:
Doris Wylie Development, LLC
7021 Tullamore Dr.
Frisco, TX 75035-2074



Site Data Summary Table	
General Site Data	
Zoning	CC (Commercial Corridor)
Proposed Land Use	Auto Repair, Light (SUP)
Lot Area (per plat)	43,560
Lot Area	1.00
Building Footprint Area (Approximate)	4,880
Area Covered by Canopy	96
Maximum Building Height (# Stories)	1
Maximum Building Height (Feet)	35'
Lot Coverage	11%
Floor Area Ratio	1/9
Parking	
Parking Required: Per 300 SF	17
Standard Parking Provided	16
Accessible Parking Required	1
Accessible Parking Provided	1
Total Parking Provided	17

Landscaping Area	
Landscape area requirement (20% of site)	
Street Yard Area	5317
Street Yard Landscape Provided	3290
Internal LS Provided	11,437
Total LS Area Provided:	14,727
Permeable Areas	
Permeable Pavement	0
Other Permeable Area	0
Total permeable Area	14,727
Impervious Area	
Building Area	4,880
Sidewalks, Pavement, and other impervious Flatwork	23,481
Other Impervious Area (curbs)	472
Total Impervious Area	28,833
Total Landscape Area, Impervious Area, Permeable Area	43,560
Total Area for Outdoor Storage	
Landscape Area (%)	33.8%

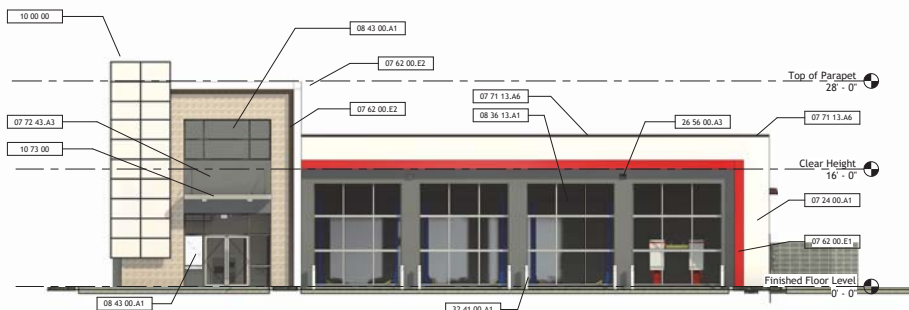


CITY OF WYLIE PROJECT: _____
SUP Site Plan
11 Addition
BLOCK A, LOT 1
990 North State Highway 78
1 ACRES
City of Wylie, Collin County Texas
FRANCISCO DE LA PINA SURVEY,
ABSTRACT NO. 688
Prepared September 26, 2025

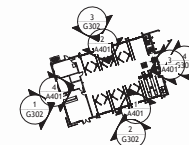


1 North Facade
1/8" = 1'-0"

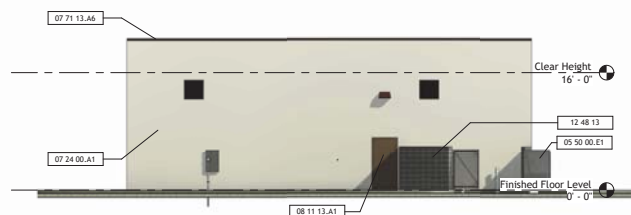
Keynotes	
Key Value	Keynote Text
05 50 00.E1	Solid Steel Door on Metal SubFraming
06 20 13.A1	Stained Wood Rainscreen
07 24 00.A1	EPS On Insulation Board
07 40 00.B1	4"x4" Square Gutter
07 41 00	Standing Seam Metal Roofing
07 62 00.E1	Fascia Profile - Type 1
07 62 00.E2	Fascia Profile - Type 2
07 71 13.A6	4" Metal Coping
07 72 33.A1	36"x36" Roof Hatch
07 72 43.A3	Painted PEW 8-Panel
08 11 13.A1	Hollow Metal Door and Frame
08 36 13.A1	Overhead Section Door - Manual
08 43 00.A1	4"x2" Nom Storefront with Insulated Glazing
10 00 00	Specialty Construction By owner
10 73 00	Prefabricated Metal Awning
12 48 13	
23 27 22.B1	Exterior Fresh Air Intake with bird screen
23 43 23.A1	Split System Condenser
26 27 13	Electricity Metering
26 56 00.A3	LED Wall Pack
32 41 00.A1	4" Steel Pipe Bollard



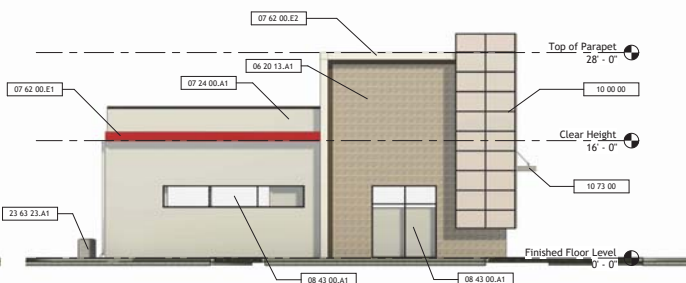
2 South Facade
1/8" = 1'-0"



3 Elevation Key
1" = 50'-0"



4 East Facade
1/8" = 1'-0"



5 West Facade
1/8" = 1'-0"

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V: 214.815.4333

Owner:
Dale WYFA Development, LLC
7021 Tullahoma Dr.
Patterson, TX 75023-2074

CITY OF WYLLIE PROJECT: _____
Facade Plans
I1 Addition
BLOCK A, LOT 1
990 North State Highway 78
1 ACRES
City of Wyllie, Collin County Texas
FRANCISCO DE LA PINA SURVEY,
ABSTRACT NO. 688
Prepared August 22, 2025



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V: 214.810.4333
V: 214.810.4333

Owner:
Dale WTX Development LLC
7001 Tule Lake Dr.
P.O. Box 1000
P.O. Box 1000

CITY OF WYLLIE PROJECT: _____

Color Renderings

I1 Addition
BLOCK A, LOT 1

990 North State Highway 78

1 ACRES
City of Wylie, Collin County Texas
FRANCISCO DE LA PINA SURVEY,
ABSTRACT NO. 688

Prepared August 22, 2025