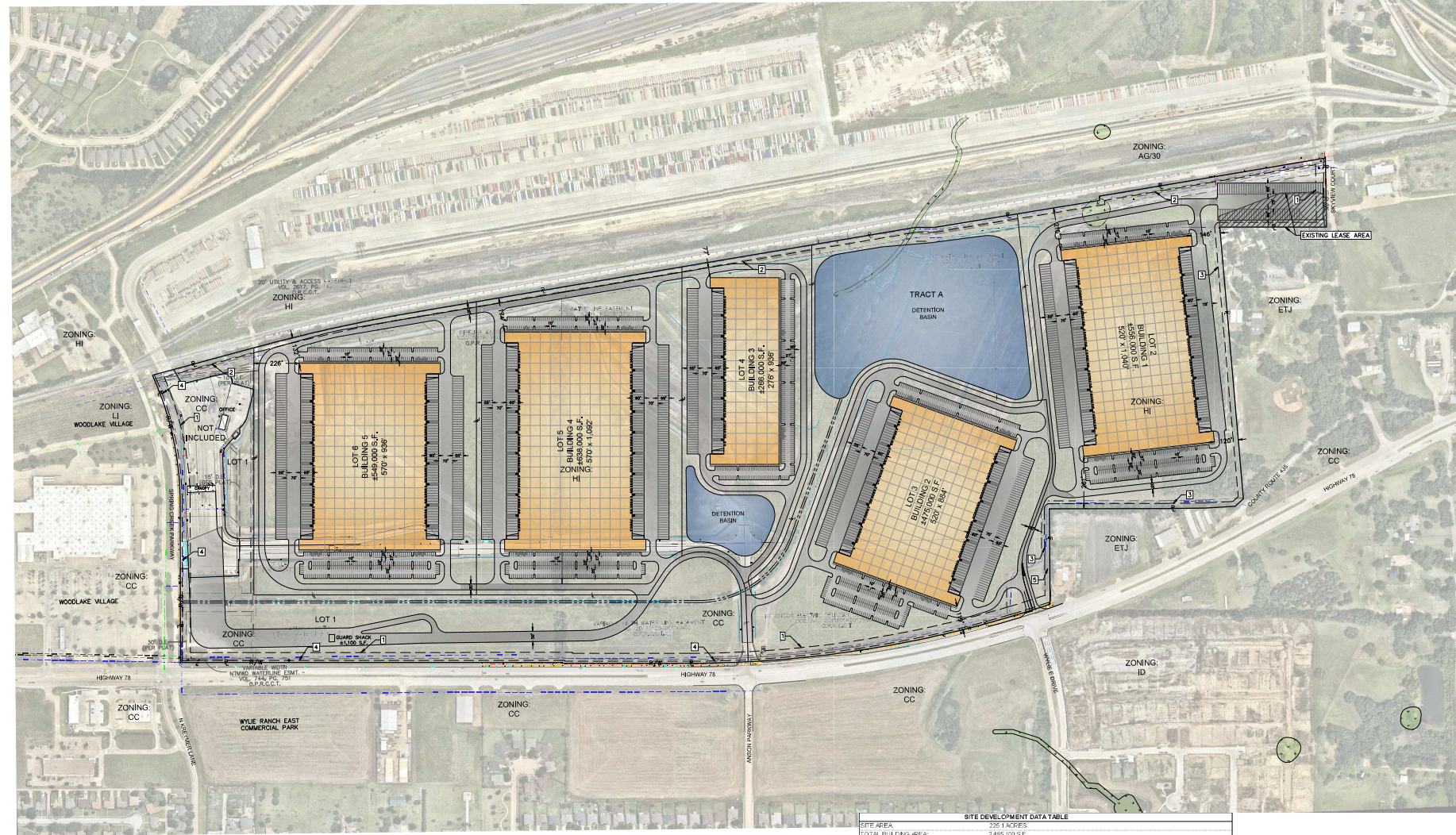




LEGEND:

- 1. 50' FRONT BUILDING SETBACK
- 2. 25' REAR BUILDING SETBACK
- 3. 25' SIDE BUILDING SETBACK
- 4. 10' LANDSCAPE BUFFER

PROJECT TEAM:

OWNER:
KANSAS CITY SOUTHERN
427 WEST 12th STREET
KANSAS CITY, MO 64105

DEVELOPER:
NORTHPOINT DEVELOPMENT
12977 N. OUTER 40 ROAD, SUITE 203
ST. LOUIS, MO 63141
CONTACT: JOSH WILLIS
PHONE: 314.881.0106
EMAIL: JWILLIS@NORTHPOINTKC.COM

ENGINEER:
SITEPOINT, LLC
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT: MELISSA DEGENIA, PE
PHONE: 816.888.7380
EMAIL: MDEGENIA@NORTHPOINTKC.COM

SURVEYOR:
SITEPOINT, LLC
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT: TOSH ROBERTS, PLS
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LANDSCAPE ARCHITECT:
SITEPOINT, LLC
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT: BRIAN P. FORGUER, PLA
PHONE: 816.888.7380

ARCHITECT:
STUDIOPOINT ARCHITECTURE
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT:
PHONE: 816.888.7380

SITE DEVELOPMENT DATA TABLE					
SITE AREA	251.14 ACES				
TOTAL BUILDING AREA	2,485,000 SF				
TOTAL BUILDING COVERAGE	9.9%				
CITY OF WYLIE REQUIREMENTS					
CURRENT ZONING: AGRICULTURAL (A20), HEAVY INDUSTRIAL (H1), COMMERCIAL CORRIDOR (CC)					
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)					
PROPOSED USES: DISTRIBUTION CENTER					
SITE DATA					
	REQUIRED	LOT 1 PROVIDED	LOT 2 PROVIDED	LOT 3 PROVIDED	LOT 4 PROVIDED
BUILDING SQUARE FOOTAGE (SF):	1.1M	1.1M	1,053,316	1,153,000	295,000
LOT AREA (AC.)	0 AC.	27.8 AC.	40.4 AC.	34.9 AC.	21.8 AC.
BUILDING HEIGHT:	0'	80'	80'	80'	80'
BUILDING COVERAGE:	50%	0%	0%	33%	21%
BUILDING SETBACKS:					
FRONT:	50'	50'	50'	50'	50'
REAR:	25'	25'	25'	25'	25'
SIDE:	25'	25'	25'	25'	25'
PARKING:					
	REQUIRED SPACES	PROVIDED SPACES (1)	PROVIDED SPACES (2)	PROVIDED SPACES (3)	PROVIDED SPACES (4)
REQUIRED (1):	1,343	1	278	238	133
TOTAL PROVIDED:	1,867	0	341	370	242
TRAILER STALLS:			155	126	
PARKING DIMENSIONS:	10'x20'	10'x20'	10'x20'	10'x20'	10'x20'
DRIVE AISLE WIDTH:	24' (TWO-WAY)	24' (TWO-WAY)	24' (TWO-WAY)	24' (TWO-WAY)	24' (TWO-WAY)
(1) PROPOSED PARKING RATIO: 1 SPACE PER 2,000 SF GROSS FLOOR AREA (GFA)					
DEVELOPMENT SCHEDULE*					
COMPLETION SCHEDULE (1)	2021-2023	2021-2023	2023-2025	2025-2029	2029-2031
*DEVELOPMENT SCHEDULE MAY VARY DEPENDING ON MARKET DEMAND					

NOTES:

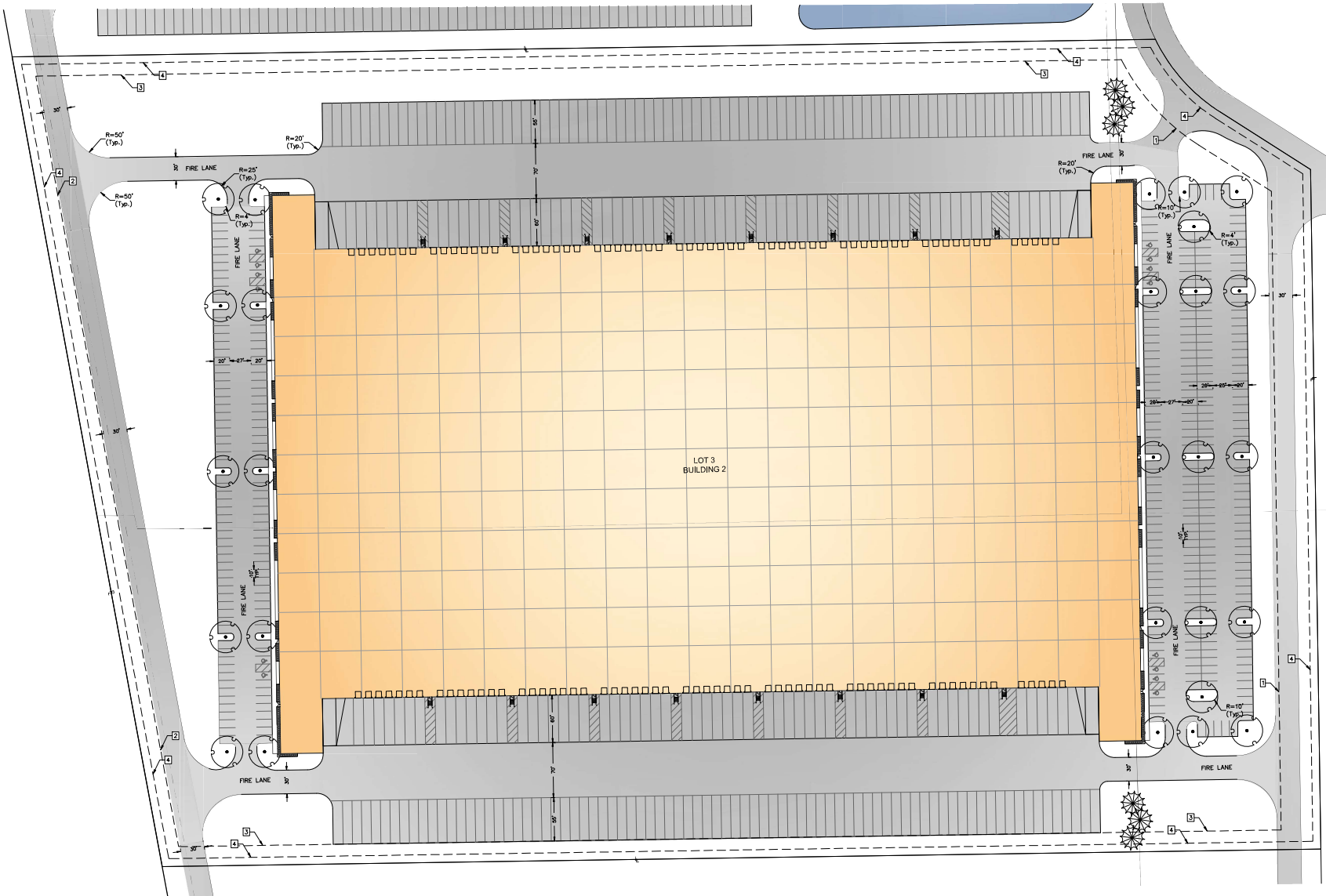
- A. BOUNDARY: DEEDS
- B. CONTOURS: SAM SURVEY, DATED 3/22/2019
- C. BUILDING FOOTPRINT: NONE

LEGEND:

- EXISTING INDEX CONTOURS
- EXISTING INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- PROPOSED INTERMEDIATE CONTOURS
- STORM SEWER
- SANITARY SEWER
- WATER MAINS
- ELECTRICAL
- GAS
- STREAM
- WETLANDS
- EXISTING UTILITIES ARE DASHED



PLAN SHEET A7 OF 12
WYLIE LOGISTICS PARK
KANSAS CITY SOUTHERN
2021.04.15
SCALE 1:200



- LEGEND
- 1. 50' FRONT BUILDING SETBACK
 - 2. 25' REAR BUILDING SETBACK
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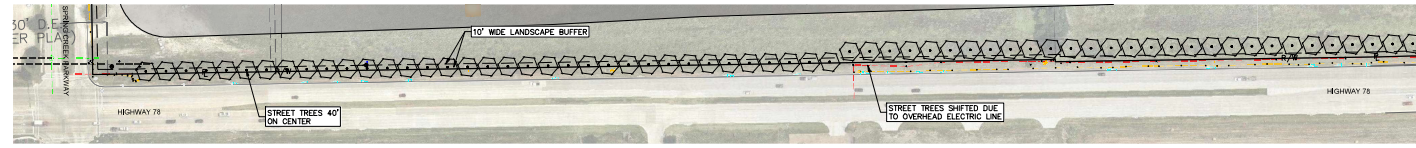
ARCHITECT
STODOLNICH ARCHITECTURE
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT:
PHONE: 816.888.7380

- CONCEPTUAL PLANT LIST:
- EVERGREEN TREES:
9' HEIGHT
WHITE PINE, SPRUCE
 - DECIDUOUS TREES:
2" CALIPER 8-80
MAPLES, OAKS, LINDENS
 - SHRUBS:
3-5 GALLON
GRO-LOW FRAGRANT SUMAC
HICKS YEW
MORNING LIGHT MISCANTHUS
 - STREET TREES:
3" CALIPER 8-80

NOTES:

- A. BOUNDARY: DEEDS
- B. CONTOURS: 3M SURVEY, DATED 3/22/2019
- C. BUILDING FOOTPRINT: NONE

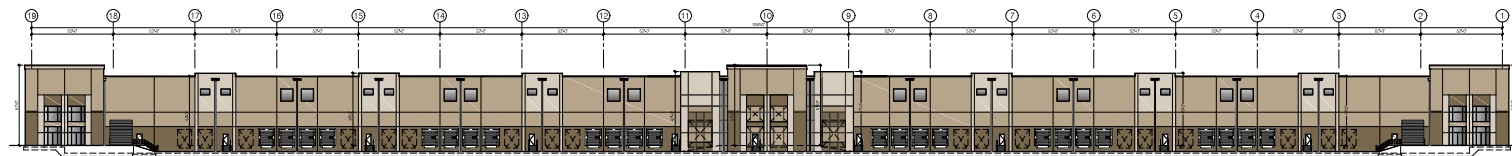
- LEGEND
- EXISTING INDEX CONTOURS
 - EXISTING INTERMEDIATE CONTOURS
 - PROPOSED INDEX CONTOURS
 - PROPOSED INTERMEDIATE CONTOURS
 - STORM SEWER
 - SANITARY SEWER
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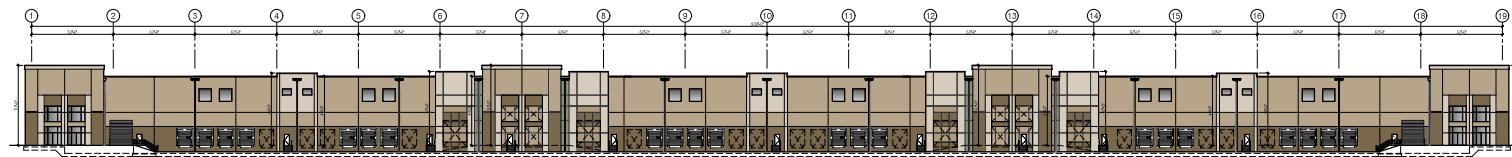
LOT 3 SITE PLAN DETAIL
SCALE: 1"=50'

STREET FRONTAGE TREE DETAIL
SCALE: 1"=50'

C:\WORK\KANSAS CITY SOUTHERN\WYLIE LOGISTICS PARK\PLANS\SCHEMATIC SITE PLAN A6 - BUILDING 2



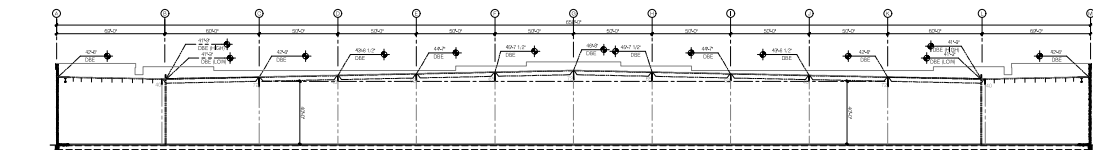
5 OVERALL WEST ELEVATION
Scale: 1/32" = 1'-0"



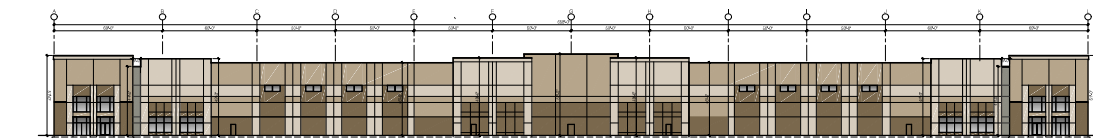
4 OVERALL EAST ELEVATION
Scale: 1/32" = 1'-0"



3 OVERALL SOUTH ELEVATION
Scale: 1/32" = 1'-0"



2 BUILDING SECTION
Scale: 1/32" = 1'-0"



1 OVERALL NORTH ELEVATION
Scale: 1/32" = 1'-0"

COLOR COATING LEGEND

1. ALL COATING COLORS TO MATCH ADJACENT PAINT FINISH (UNLESS NOTED)
2. ALL GUTTER, CONDUCTOR HEADS, AND DOWNSPUTS TO MATCH SPARK METALS SURVEY (UNLESS NOTED)
3. COLOR AND FINISHES TO MATCH EXTERIOR EDGES OF LAP PANELS (UNLESS NOTED)

- SHERWIN WILLIAMS SAWYER PORCELOX
- SHERWIN WILLIAMS SAWYER WARE STONE
- SHERWIN WILLIAMS SAWYER WARE STONE
- SHERWIN WILLIAMS MATCH CROWN METALS "SLATEY BROWN"
- SHERWIN WILLIAMS SAWYER NATURAL TANK



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ARCHITECT	STUDIO NORTH ARCHITECTURE
LANDSCAPE	GLASSER ASSOCIATES
FOUNDATIONS	WILSON ENGINEERING
STRUCTURAL	WILSON ENGINEERING
PLUMBING	DEVELOPMENT
MECHANICAL	DEVELOPMENT
ELECTRICAL	DEVELOPMENT
FIRE PROTECTION	DEVELOPMENT
CONTRACTOR	WILSON CONSTRUCTION



Southview
Commerce Center
Building 4

1000 10th Street, Suite 1000, Raleigh, NC 27601

Project No. 0000

Date: 02/15/21

Issued For: Preliminary Planning Set

Revisions:

No.	Date	Description

A4.01
BUILDING ELEVATIONS