

VICINITY MAP
 N.T.S.
 PROPERTY ID: 2854580
 CITY OF WYLIE, COLLIN COUNTY, TEXAS
 ZIP CODE: 75098

PROPOSED DEVELOPMENT SCHEDULE	
ZONING PROCESS	FEB 2023 - APR 2023
CIVIL PLANS	APR 2023 - JUN 2023
CONSTRUCTION	JUN 2023 - OCT 2023

SITE DATA TABLE	
BLOCK:	EXISTING B
LOT:	EXISTING 1R-3-1
NUMBER OF LOTS INCL:	EXISTING 1
ZONING:	EXISTING CC (COMMERCIAL CORRIDOR)
PROPOSED USE:	- RESTAURANT W/DRIVE-THRU
BUILDING AND SITE DIMENSIONS:	
LOT AREA:	AC (SF) 0.74866 (34,264)
MAIN BUILDING AREA:	SF 2,858
MAX. BUILDING HEIGHT:	FT 80
IMPERVIOUS AREA:	SF 25,549
LOT COVERAGE MAX:	% 80
LOT COVERAGE ACTUAL:	% 8.50
SETBACKS:	
MIN. FRONT BUILDING:	FT 35
SIDE BUILDING:	FT 10
REAR BUILDING:	FT 10
LANDSCAPE REQUIREMENTS:	
REQUIRED LANDSCAPE AREA:	SF 7,853 (20% LOT + 50%/PARK)
PROVIDED LANDSCAPE AREA:	SF 9,012
PARKING REQUIREMENTS:	
MIN. PARKING ALLOWED:	SPACES 19 (1 SP PER 150 SF BLDG)
MAX. PARKING ALLOWED:	SPACES 24
PARKING PROVIDED:	SPACES 20
ADA PARKING REQUIRED:	SPACES 1
ADA PARKING PROVIDED:	SPACES 2

CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	CP # OUT	7,256,987.79	2,555,682.37	537.31'
501	CP-5/8" CIRS "BA CONTROL"	7,256,917.61	2,555,278.49	543.06'
502	CP # OUT	7,257,187.50	2,555,300.96	541.18'
503	CP-5/8" CIRS "BA CONTROL"	7,257,168.44	2,555,688.57	538.10'

ZONING ORDINANCE REQUIREMENTS - FIGURE 4.7 SITE DESIGN
 1. INDIVIDUAL BUILDING WITH FOOTPRINT EQUAL OR LESS THAN 10,000 SF.
 2. FRONT FACADE OF BUILDING TO BE ORIENTED TO STREET.
 3. BUILDING WITH NO MORE THAN ONE ROW OF PARKING IN FRONT.
 4. COMBINED ACCESS POINTS WITH ADJACENT TRACTS.

DEVELOPMENT SERVICES, INC.
 TEXAS REGISTRATION #7-002239
 1607 Lee & Country Lane, Suite 200, Mckinney, Texas 75069 (714) 487-4911

Proposed Bojangles
 Lot 1R-3-1, Block B
 Jacobs Addition
 Springwell Parkway Associates, LLC
 149 Conant Road, Manchester, CT 06042

NO:	DATE:
ISSUE:	



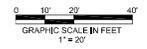
DRAWN: SWG
 CHECKED: SWG
 DATE: 02/20/23
 SHEET TITLE:
 ZONING/PLANNING EXHIBIT

ALL DIMENSIONS AND WRITTEN INFORMATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TEXAS ENGINEERING PROFESSIONAL ACT AND CHAPTERS 1001-1005, 1007-1009 AND 1010-1015 OF THE TEXAS ENGINEERING PROFESSIONAL ACT.

SHEET
EX100



1 ZONING/PLANNING EXHIBIT SITE PLAN



OWNER/DEVELOPER:
 SPRINGWELL PARKWAY ASSOCIATES, LLC
 149 COLONIAL ROAD
 MANAGER: SCOTT BEARD
 CONTACT: JOSH GARDNER
 PHONE: 817-252-6888
 EMAIL: JGARDNER@SPRINGWELLTX.COM

CIVIL ENGINEER:
 DEVELOPMENT SERVICES, INC.
 960 TOWN & COUNTRY LANE #220
 HOUSTON, TEXAS 77058
 CONTACT: STEVEN W. GRIGGS, P.E.
 PHONE: 936-225-1467
 EMAIL: SWGRIGGS@DEVELOPMENTSERVICESINC.COM

BUILDING ARCHITECT:
 GREGORY BISHOP ARCHITECTS
 421 W. HARWOOD ROAD
 HOUSTON, TEXAS 77004
 CONTACT: RANDALL BYRD
 PHONE: 817-252-1444
 EMAIL: RBISHOP@GREGORYBISHOPARCHITECTS.COM

LANDSCAPE ARCHITECT:
 ANN MARIE DEBINSKI
 P.O. BOX 1798
 ALBUQUERQUE, TEXAS 75008
 CONTACT: ANNAMARIE DEBINSKI, R.L.A.
 PHONE: 817-252-6888
 EMAIL: ANN@ANNMARIEDEBINSKI.COM

SURVEYOR:
 SPOONER SURVEYORS
 309 BYERS STREET SUITE 100
 FLEISHER, TEXAS 75059
 CONTACT: ERIC SPOONER
 PHONE: 817-252-6888
 EMAIL: ESPOONER@SPOONERSURVEYORS.COM



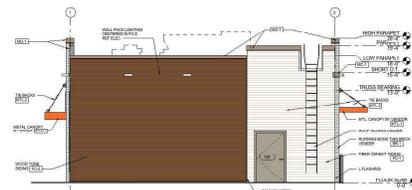
1 NORTH ELEVATION (FRONT)

SCALE: 1/8" = 1'-0"



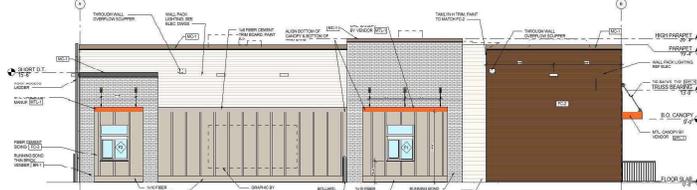
2 WEST ELEVATION

SCALE: 1/8" = 1'-0"



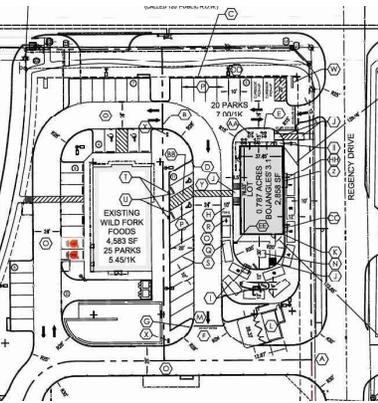
3 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



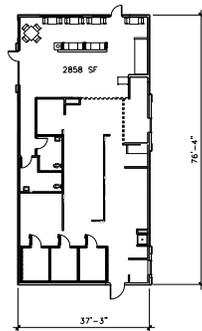
4 EAST ELEVATION

SCALE: 1/8" = 1'-0"



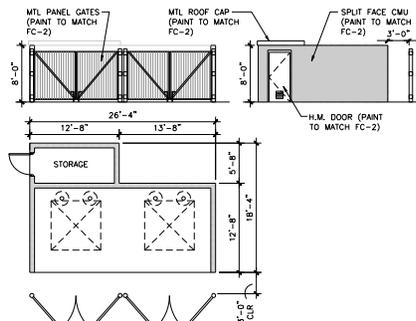
5 KEY PLAN (SITE)

SCALE: NTS



6 FLOOR PLAN

SCALE: 1/16" = 1'-0"



7 TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
NO.	DESCRIPTION	MANUF.	FINISH / STYLE
BR-1	11THN BRICK VENEER	AUTHENTIC BRICK	MAGNOLIA BAY
FC-1	FIBERCEMENT SIDING	HARDIE PLANK LAP SIDING	SMOOTH, 8" PRIMED, PAINTED BENJAMIN MOORE, OC-54 WHITE WISP
FC-2	FIBERCEMENT SIDING	HARDIE PLANK LAP SIDING	CEDARMILL, 8" PRIMED, PAINTED BENJAMIN MOORE, MONOCOMB 1103
FC-3	FIBERCEMENT SIDING	JAMES HARDIE	VERTICAL PANEL SMOOTH & BATTEN BOARD, PID BENJAMIN MOORE 456 DUFFERIN TERRACE
MC-1	SPR-FIN. METAL COPING	DURO-LAST	SIERRA TAN
SF-1	STOREFRONT ASSEMBLY	KAWNEER	CLEAR ANODIZED

MATERIAL TABULATIONS

	NORTH	WEST	SOUTH	EAST
GROSS	725	1434	681	1497
NET	557	1249	648	1468
WDS/DRS	148	185	33	29
BRICK	0	153	0	302
	(0%)	(12.2%)	(0%)	(20.7%)
CEMENTITIOUS SIDING	545	1071	648	1153
	(98.8%)	(85.7%)	(100%)	(78.5%)
CANOPY	32	25	0	13
	(4.7%)	(2.0%)	(0%)	(1.0%)

ZONING ORDINANCE

FIGURE 4.9 ARCHITECTURAL DESIGN REQUIREMENTS (DESIRABLES)

BUILDING MATERIALS

1. USE OF TWO COMPLEMENTARY PRIMARY FACADE MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAILING. (BRICK AND CEMENTITIOUS SIDING SELECTED AS TWO PRIMARY MATERIALS.)

BUILDING ARTICULATION, FORM AND MASSING

1. APPLICATIONS OF BASE STANDARDS TO FACADES NOT FACING A PUBLIC STREET. (PRIMARY MATERIALS AND ARCHITECTURAL DETAILING WAS CARRIED AROUND ALL FOUR FACADES.)
 2. USE OF ARCHITECTURAL DETAILING AND/OR MATERIALS TO PROVIDE VARIETY IN VISUAL APPEARANCE. (THE BUILDING IS USING VARIED MATERIALS AND PATTERNS AS WELL AS RAISED PARAPETS AND CANTILEVERED CANOPIES.)



OWNER

FIRST HARTFORD REALTY CORP.
 2529 6th Ave
 Fort Worth, TX 76110
 Phone: (817) 230-4885
 Contact: Josh Gardner

APPLICANT

DEVELOPMENT SERVICES, INC.
 900 Town & Country Ln., Suite 220
 Houston, Texas 77024
 Phone: (281) 732-1457
 Contact: Steven W. Griggs, P.E.

ARCHITECT

GENESIS DESIGN GROUP, INC.
 9500 Ray White Rd, Suite 200
 Fort Worth, Texas 76244
 Phone: (817) 285-7444
 Contact: Randall L. Byrd
 email: rbyrd@genesisarchitects.com

THE SHOPS AT WYLIE
SUBDIVISION: JACOBS ADDITION, LOT 1R-3-1, BLOCK B
CITY PROJECT NO:
PREPARED DATE: 01-24-23



421 W. Harwood, Ste 100
 Hurst, Texas 76054-2028
 phone: (817) 285-7444
 fax: (817) 285-7214
 www.genesisarchitects.com

Texas Firm #BR-2139

Bojangles
 3008 FM 544 WEST, WYLIE, TX

FACADE
 PLAN
 SUBMITTAL



01-30-2023

SD-1

23-001

REVISIONS: A - FACADE PLAN FOR PLANNING SUBMITTAL - 01-24-23

