

VICINITY MAP  
PROPERTY ID: 2854580 N.T.S. ZIP CODE: 75098  
CITY OF WYLIE, COLLIN COUNTY, TEXAS

PROPOSED DEVELOPMENT SCHEDULE	
ZONING PROCESS	FEB 2023 - APR 2023
CIVIL PLANS	APR 2023 - JUN 2023
CONSTRUCTION	JUN 2023 - OCT 2023

SITE DATA TABLE	
BLOCK:	EXISTING B
LOT:	EXISTING 1R-3-1
NUMBER OF LOTS INCL:	EXISTING 1
ZONING:	EXISTING CC (COMMERCIAL CORRIDOR)
PROPOSED USE:	- RESTAURANT W/DRIVE-THRU
BUILDING AND SITE DIMENSIONS:	
LOT AREA:	AC (SF) 0.74866 (34,264)
MAIN BUILDING AREA:	SF 2,858
MAX. BUILDING HEIGHT:	FT 30
IMPERVIOUS AREA:	SF 25,549
LOT COVERAGE MAX:	% 80
LOT COVERAGE ACTUAL:	% 8.50
SETBACKS:	
MIN. FRONT BUILDING:	FT 35
SIDE BUILDING:	FT 10
REAR BUILDING:	FT 10
LANDSCAPE REQUIREMENTS:	
REQUIRED LANDSCAPE AREA:	SF 7,853 (20% LOT + 50/PARK)
PROVIDED LANDSCAPE AREA:	SF 9,012
PARKING REQUIREMENTS:	
MIN. PARKING ALLOWED:	SPACES 19 (1 SP PER 150 SF BLDG)
MAX. PARKING ALLOWED:	SPACES 24
PARKING PROVIDED:	SPACES 20
ADA PARKING REQUIRED:	SPACES 1
ADA PARKING PROVIDED:	SPACES 2

CONTROL POINT TABLE			
POINT	DESCRIPTION	NORTHING	EASTING
500	CP X CUT	7,256,897.79	2,555,882.37
501	CP-5/8" CRS "50A" CONTROL	7,256,917.61	2,555,278.48
502	CP X CUT	7,257,187.50	2,555,300.96
503	CP-5/8" CRS "50A" CONTROL	7,257,168.44	2,555,888.57

ZONING ORDINANCE REQUIREMENTS - FIGURE 4-7 SITE DESIGN  
1. INDIVIDUAL BUILDING WITH FOOTPRINT EQUAL OR LESS THAN 10,000 SF.  
2. FRONT FACADE OF BUILDING TO BE ORIENTED TO STREET.  
3. BUILDING WITH NO MORE THAN ONE ROW OF PARKING IN FRONT.  
4. COMBINED ACCESS POINTS WITH ADJACENT TRACTS.

OWNER/DEVELOPER: SPRINGWELL PARKWAY ASSOCIATES, LLC  
149 COLONIAL ROAD  
MANASSAS, VA 20108  
CONTACT: JOSH GARDNER  
PHONE: 813-234-8888  
EMAIL: JGARDNER@SPRINGWELLPARKWAY.COM

CIVIL ENGINEER: DEVELOPMENT SERVICES, INC.  
980 TOWN & COUNTRY LANE #200  
HOUSTON, TEXAS 77054  
CONTACT: STEVEN W. GRIGGS, P.E.  
PHONE: 281-226-1467  
EMAIL: SWGRIGGS@DEVELOPMENTSERVICESINC.COM

BUILDING ARCHITECT: ANR CIVIL, LLC  
421 W. HARRIS ROAD  
HOUSTON, TEXAS 77054  
CONTACT: RANDALL BYRD  
PHONE: 813-226-1444  
EMAIL: RBYRD@ANRCIVIL.COM

LANDSCAPE ARCHITECT: ANR CIVIL, LLC  
P.O. BOX 1796  
ALISO, TEXAS 77008  
CONTACT: MANA RICHARDSON, R.L.A.  
PHONE: 572-524-6288  
EMAIL: MANDARICHARDSON@ANRCIVIL.COM

SURVEYOR: SPOONER SURVEYORS  
309 BYERS STREET SUITE 100  
FLEISHER, TEXAS 77039  
CONTACT: ERIC SPOONER  
PHONE: 813-234-8888  
EMAIL: ESPOONER@SPOONERSURVEYORS.COM



DEVELOPMENT SERVICES, INC.  
TEXAS REGISTRATION #7-00239  
980 Town & Country Lane Suite 200 Houston, Texas 77054 (713) 447-0211

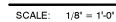
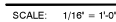
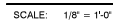
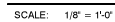
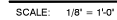
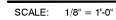
Proposed Bojangles  
Lot 1R-3-1, Block B  
Jacobs Addition  
Springwell Parkway Associates, LLC  
149 Colonial Road

DATE: \_\_\_\_\_  
ISSUE: \_\_\_\_\_  
NO: \_\_\_\_\_



DRAWN: SWG  
CHECKED: SWG  
DATE: 02/20/23  
SHEET TITLE: ZONING/PLANNING EXHIBIT  
ALL DRAWING AND WRITTEN REPRESENTATION SHALL BE THE PROPERTY OF DEVELOPMENT SERVICES, INC. AND SHALL REMAIN THE PROPERTY OF DEVELOPMENT SERVICES, INC. IF NOT OTHERWISE SPECIFIED.

SHEET  
EX100



23-001





