

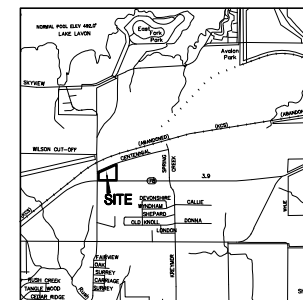
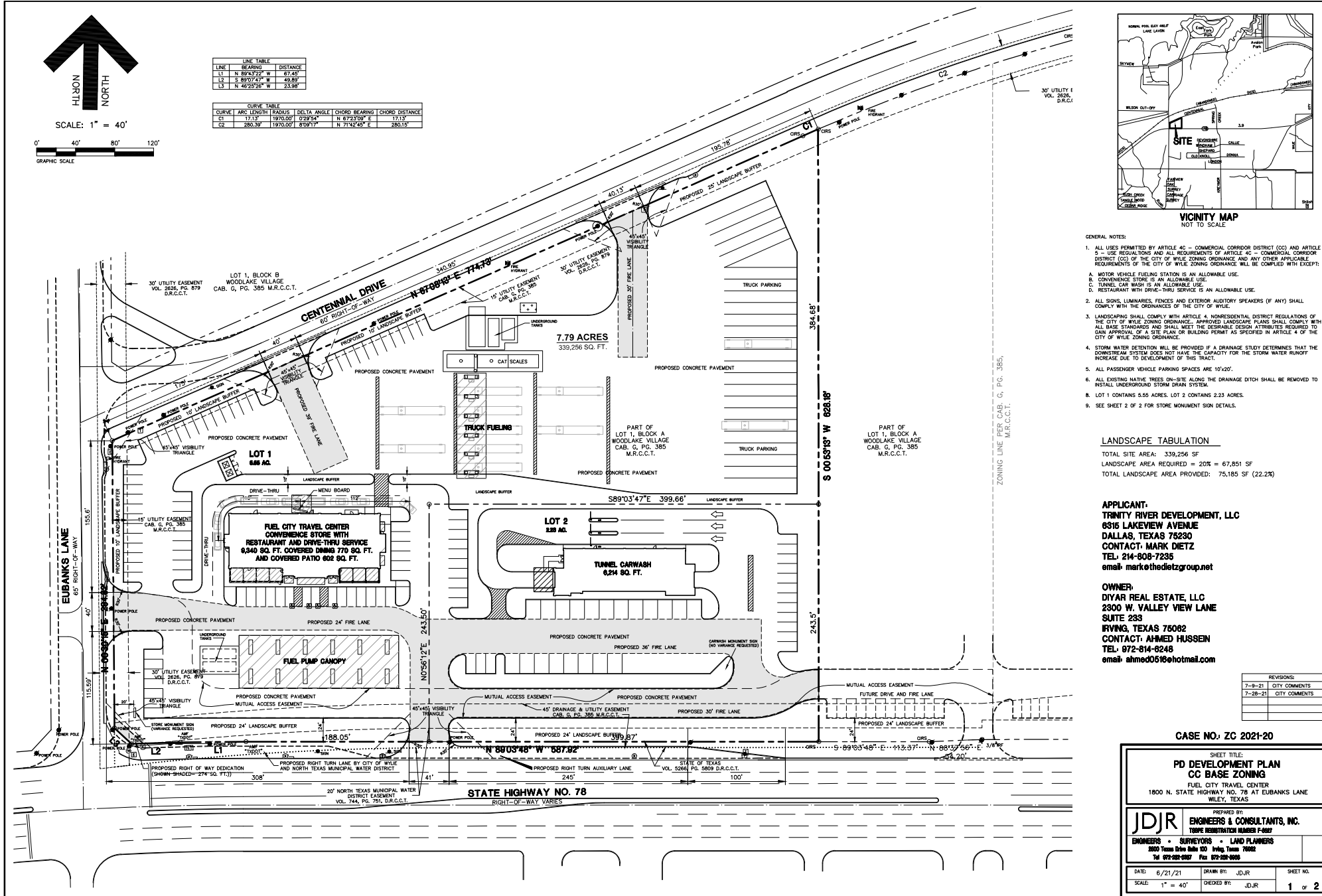


SCALE: 1" = 40'



LINE	BEARING	DISTANCE
L1	N 89°43'22" W	67.45'
L2	S 89°01'41" W	49.85'
L3	N 48°29'28" W	23.98'

CURVE	ARC LENGTH	TRADIUS	DELTA ANGLE	CHORD BEARING	CHORD DISTANCE
C1	17.13'	1070.00'	0°29'54"	N 87°23'09" E	17.13'
C2	280.30'	11970.00'	8°09'17"	N 71°42'49" E	280.19'



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- ALL USES PERMITTED BY ARTICLE 4C - COMMERCIAL CORRIDOR DISTRICT (CC) AND ARTICLE 5 - USE REGULATIONS AND ALL REQUIREMENTS OF ARTICLE 4C - COMMERCIAL CORRIDOR DISTRICT (CC) OF THE CITY OF WILEY ZONING ORDINANCE AND ANY OTHER APPLICABLE REQUIREMENTS OF THE CITY OF WILEY ZONING ORDINANCE WILL BE COMPLIED WITH EXCEPT:
 - A. MOTOR VEHICLE FUELING STATION IS AN ALLOWABLE USE.
 - B. CONVENIENCE STORE IS AN ALLOWABLE USE.
 - C. TUNNEL CAR WASH IS AN ALLOWABLE USE.
 - D. RESTAURANT WITH DRIVE-THRU SERVICE IS AN ALLOWABLE USE.
- ALL SIGNS, LUMINAIRES, FENCES AND EXTERIOR AUDITORY SPEAKERS (IF ANY) SHALL COMPLY WITH THE ORDINANCES OF THE CITY OF WILEY.
 - LANDSCAPING SHALL COMPLY WITH ARTICLE 4 NONRESIDENTIAL DISTRICT REGULATIONS OF THE CITY OF WILEY ZONING ORDINANCE. APPROVED LANDSCAPE PLANS SHALL COMPLY WITH ALL BASE STANDARDS AND SHALL MEET THE DESIRABLE DESIGN ATTRIBUTES REQUIRED TO GAIN APPROVAL OF A SITE PLAN OR BUILDING PERMIT AS SPECIFIED IN ARTICLE 4 OF THE CITY OF WILEY ZONING ORDINANCE.
 - STORM WATER DETENTION WILL BE PROVIDED IF A DRAINAGE STUDY DETERMINES THAT THE DOWNSTREAM SYSTEM DOES NOT HAVE THE CAPACITY FOR THE STORM WATER RUNOFF INCREASE DUE TO DEVELOPMENT OF THIS TRACT.
 - ALL PASSENGER VEHICLE PARKING SPACES ARE 10'x20'.
 - ALL EXISTING NATIVE TREES ON-SITE ALONG THE DRAINAGE DITCH SHALL BE REMOVED TO INSTALL UNDERGROUND STORM DRAIN SYSTEM.
 - LOT 1 CONTAINS 5.55 ACRES. LOT 2 CONTAINS 2.33 ACRES.
 - SEE SHEET 2 OF 2 FOR STORE MONUMENT SIGN DETAILS.

LANDSCAPE TABULATION

TOTAL SITE AREA: 339,256 SF
LANDSCAPE AREA REQUIRED = 20% = 67,851 SF
TOTAL LANDSCAPE AREA PROVIDED = 75,185 SF (22.2%)

APPLICANT:
TRINITY RIVER DEVELOPMENT, LLC
6316 LAKEVIEW AVENUE
DALLAS, TEXAS 75230
CONTACT: MARK DIETZ
TEL: 214-808-7235
email: markdietzgroup.net

OWNER:
DIYAR REAL ESTATE, LLC
2300 W. VALLEY VIEW LANE
SUITE 233
IRVING, TEXAS 75082
CONTACT: AHMED HUSSEIN
TEL: 972-614-6248
email: ahmed0518@hotmail.com

REVISIONS:
7-9-21 CITY COMMENTS
7-28-21 CITY COMMENTS

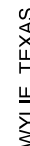
CASE NO: ZC 2021-20

SHEET TITLE:
PD DEVELOPMENT PLAN
CC BASE ZONING

FUEL CITY TRAVEL CENTER
1800 N. STATE HIGHWAY NO. 78 AT EUBANKS LANE
WILEY, TEXAS

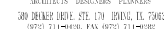
JDJR ENGINEERS & CONSULTANTS, INC.
TYPE REGISTRATION NUMBER F-0027
ENGINEERS • SURVEYORS • LAND PLANNERS
2600 Texas Drive Suite 100 Irving, Texas 75039
Tel: 972-502-5000 Fax: 972-502-5005

DATE: 6/21/21	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 40'	CHECKED BY: JDJR	1 of 2



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06/02/21



1800 N. STATE HWY 78
WYLIE, TEXAS

CONCEPTUAL ELEVATIONS

A101



"CONCEPTUAL ELEVATIONS SUBJECT TO CHANGE"



FUEL CITY
★★★★★
WYLIE, TEXAS

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06/02/21



REVISIONS:

FUEL CITY

1800 N. STATE HWY 78
WYLIE, TEXAS

PROJECT NUMBER:	Project Number
ISSUE DATE:	Issue Date
APPROVED BY:	Author
CHECKED BY:	Checker
TITLE NAME:	Q:\Project\Fuel City\Style, Thread\BOM\BOM-COST-REV.DWG

3-D VIEWS

A102