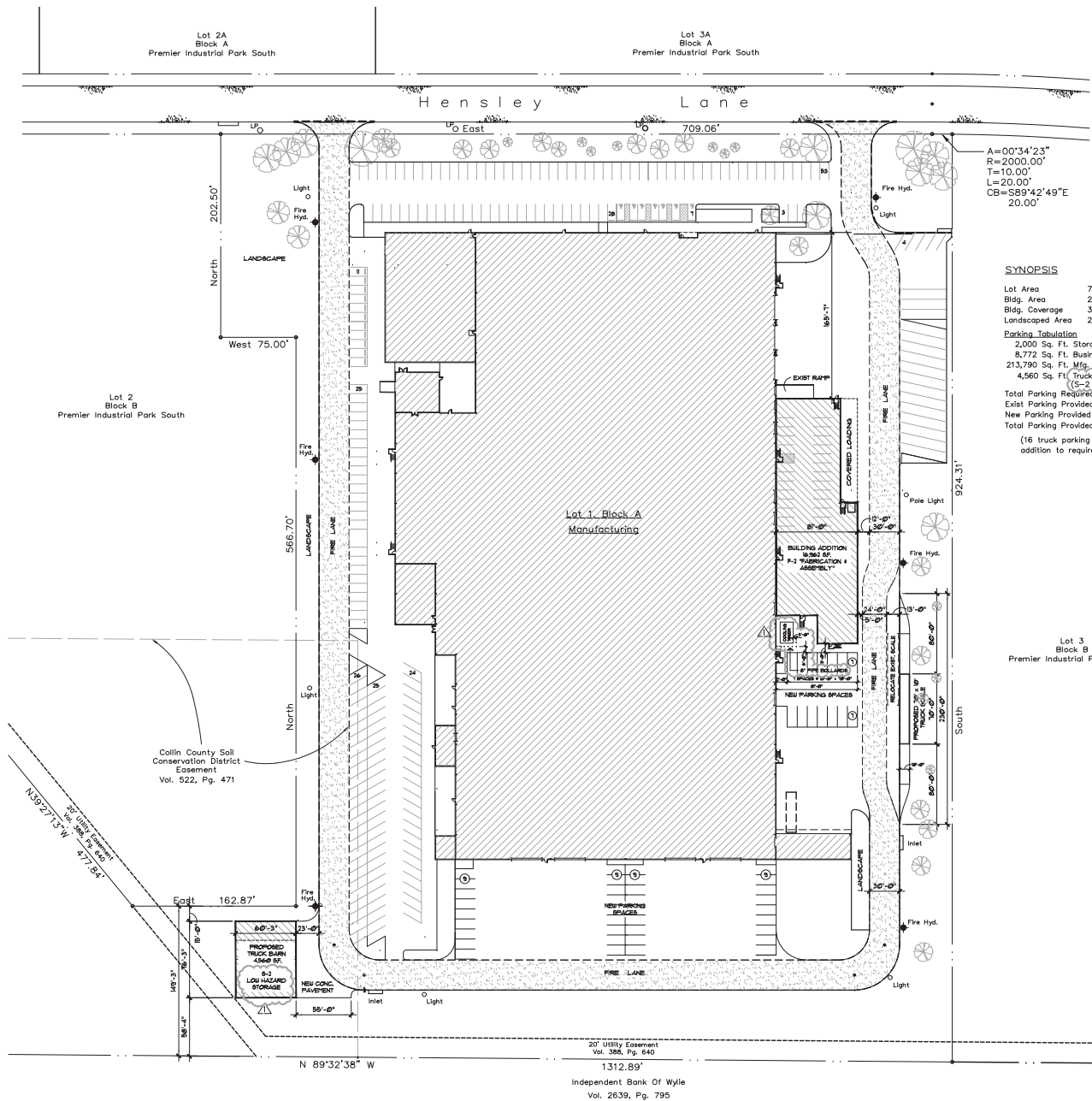




SYNOPSIS

Lot Area	749,497 Sq. Ft. (17.206 Ac.)
Bldg. Area	229,122 Sq. Ft.
Bldg. Coverage	30%
Landscape Area	288,172 Sq. Ft.
Parking Tabulation	
2,000 Sq. Ft. Storage @ 1/1000	2 Spa.
8,772 Sq. Ft. Business @ 1/300	30 Spa.
213,790 Sq. Ft. Mfg. @ 1/1000	214 Spa.
4,560 Sq. Ft. Truck Barn @ 1/1000	5 Spa.
(S-2 Storage)	
Total Parking Required	251 Spa.
Exist. Parking Provided	201 Spa.
New Parking Provided	50 Spa.
Total Parking Provided	251 Spa.
(16 truck parking spaces provided in addition to required auto parking)	

GENERAL NOTES

- All materials and construction shall conform to City of Wylie Stds. and Specifications, except as noted herein and approved by the City.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with O.S.H.A. Standards.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
- All dimensions are to the face of curb.
- All curb radii are 3' unless noted otherwise.
- All new parking spaces are 10'x20' unless noted otherwise.
- All on-site pavement shall be 6-inch thick, 3000 psi concrete with #3 bars @ 18" o.c.e.w. Unless noted otherwise all paving and earthwork operations shall conform to the recommendations in Geotechnical Investigation Report No. No. 5974, dated October 14, 1999 by Reed Engineering Group, Inc.
- Fire lanes shall be striped in accordance with the City of Wylie Standards.
- The Paving Contractor shall not place permanent pavement until all sleeving for irrigation, electric, gas, telephone, cable TV, site lighting, etc. has been installed. It shall be the Paving Contractor's responsibility to insure that all sleeving is in place prior to placing permanent paving.
- Concrete pavement shall be sawcut at 15' O.C.E.W. unless noted otherwise.

LEGEND

- 6" 3000 PSI Reinf. Conc. Pavement
- Proposed Expansion Joint

WAREHOUSE EXPANSION FOR: TOWER EXTRUSIONS

930 HENSLEY LANE
WYLIE, TEXAS 75098



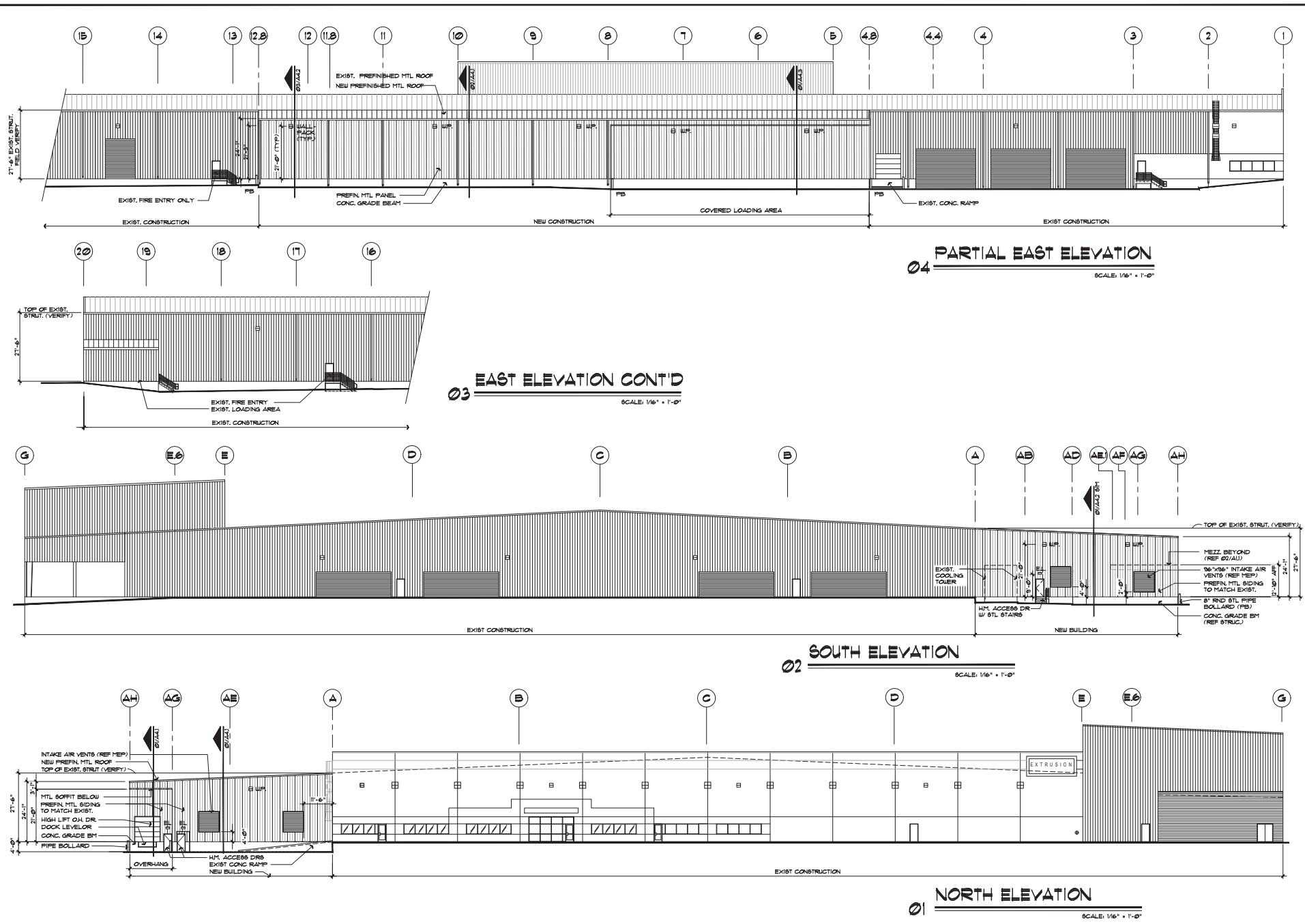
sma
+ architects pc

125 W. Main Street
Suite 200
Allen, TX 75013
tele 972 / 359-8788

DATE: 3-21-24
JOB NO.: TOWER
EXTRUSIONS

REVISIONS:
6-11-24 PROGRESS SET
7-11-24 PROGRESS SET
8-20-24 FINAL SET
9-21-24 REV 1

AS!



WAREHOUSE EXPANSION FOR:
TOWER EXTRUSIONS
 930 HENSLEY LANE
 WYLLIE, TEXAS 75098



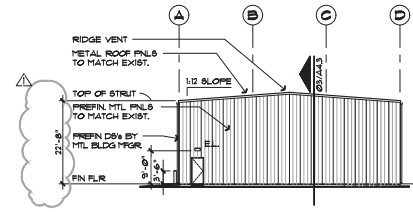
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125 W. Main Street
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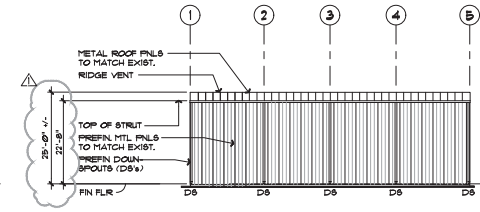
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 JOB NO.: TOWER EXTRUSIONS

REVISIONS:
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 7-11-24 PROGRESS SET
 8-20-24 FINAL SET

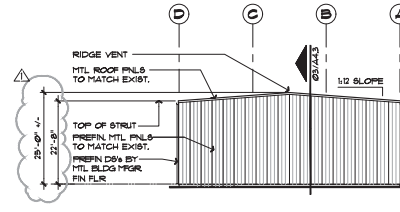
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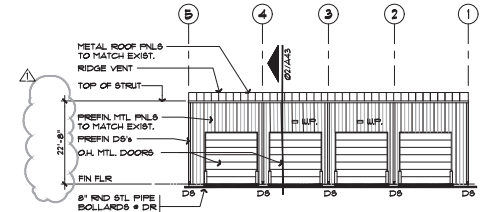
05 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



04 WEST ELEVATION
SCALE: 1/8" = 1'-0"



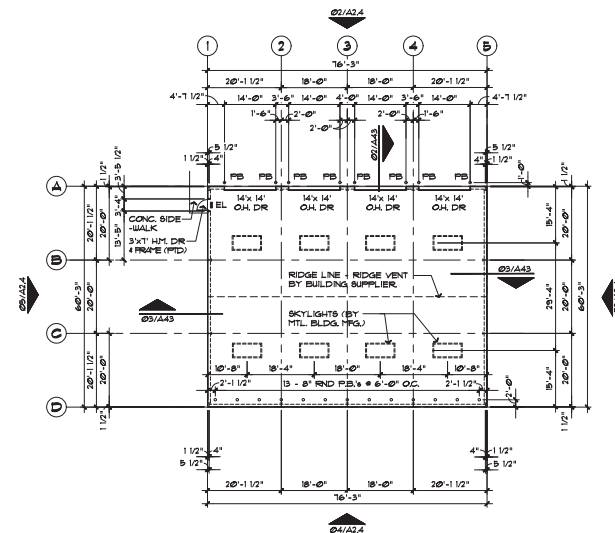
03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



02 EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTES

- 6" CONC SLAB OVER 1" SAND FILL OVER 10 MIL VAPOR BARRIER OVER SPEED SUBGRADE W/ 19.5 # 18" OC CELL.
- FF. ELEV. = 100'-0" (REF CIVIL FOR DATUM)
- ALL BUILDING ELEMENTS DESIGNED AND PROVIDED BY METAL BUILDING MANUFACTURER.



01 FLOOR PLAN TRUCK BARN
4,594 S.F. SCALE: 1/8" = 1'-0"



WAREHOUSE EXPANSION FOR:
TOWER EXTRUSIONS
930 HENSLEY LANE
WYLLIE, TEXAS 75098

TRUCK
BARN



sma
+ architects pc

125 W. Main Street
Allen, TX 75013
tel: 972 / 358-8788

DATE: 3-21-24
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EXTRUSIONS

REVISIONS:
6-11-24 PROGRESS SET
7-11-24 PROGRESS SET
8-20-24 FINAL SET
9-21-24 REV 1

A2.4