

FIRE LANE MAINTENANCE NOTE:

1. DESIGNATED FIRE LANE SHALL BE SURFACED WITH MIN. 4000 PSI, #4 @ 18" OCEW 6" CONCRETE WITH 6" LIME TREATED SUBGRADE TO SUPPORT ANY FIRE DEPARTMENT VEHICLE AND SHALL REMAIN STRUCTURALLY UNAFFECTED BY BAD WEATHER.

2. APPROVED STRIPING SHALL BE PROVIDED AND MAINTAINED FOR THE FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS AND TO PROHIBIT THEIR OBSTRUCTION.

3. 6-INCH WIDE RED STRIPING SHALL BE ALONG THE PERIMETER AND CONTAIN THE WORDS "FIRE LANE NO PARKING" IN 4-INCH HIGH WHITE LETTERS, AT 25 FOOT INTERVALS.

4. IT SHALL BE RESPONSIBILITY OF THE OPERATOR/OWNER OF PREMISES HAVING A FIRE LANE TO MAINTAIN IT IN GOOD CONDITION, FREE OF OBSTRUCTION.

SITE DATA SUMMARY TABLE

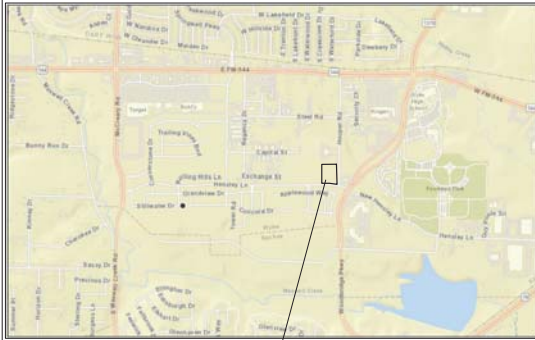
ITEM	
ZONING (from zoning map)	LIGHT INDUSTRIAL (LI)
LAND USE(from zoning ordinance)	LIGHT INDUSTRIAL
LOT AREA (square feet & acres)	87,096 SF ± (2.0 AC±)
PROP. BUILDING FOOT PRINT AREAS	32,606 S.F.
TOTAL BUILDING AREAS (square feet)	32,606 S.F.
LOADING/UNLOADING AREA	3600 SF
BUILDING HEIGHT	26.0'
NUMBER OF STOREY	ONE
LOT COVERAGE	37.43%
PARKING	
TOTAL PARKING SPACES REQUIRED : 1 PARKING SPACE FOR 1000 SF	
TOTAL PARKING SPACES REQUIRED (32,676-3600)/750	30 SPACES
PROVIDED PARKING (# spaces)	32 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	7 SPACES

SCHEDULE:

1. PRELIMINARY PLAT SUBMITTAL: 03/01/2022
2. CIVIL CONSTRUCTION DRAWINGS SUBMITTAL: 03/28/2022
3. BUILDING DRAWINGS SUBMITTAL: 03/07/2022
4. CONSTRUCTION START: 05/01/2022
5. CONSTRUCTION END: 11/01/2022

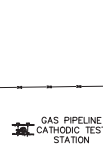
NOTE:

EXTERIOR BUILDING FINISH: PREFABRICATED METAL

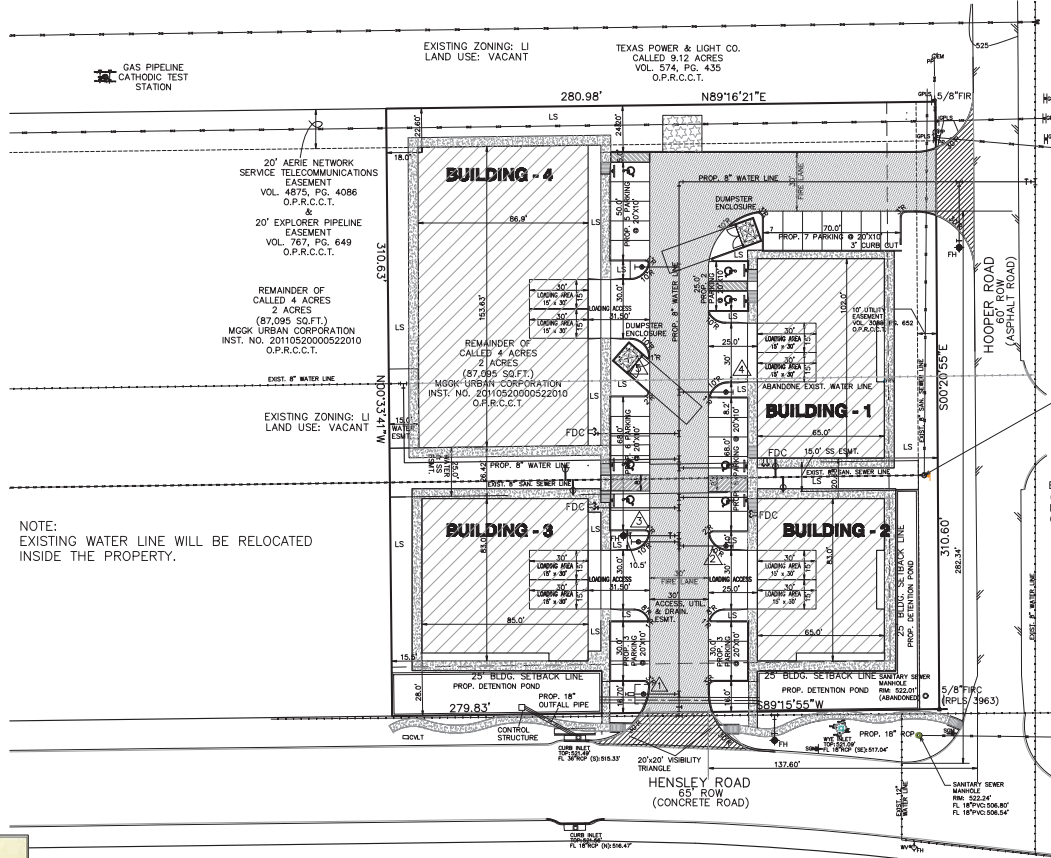


VICINITY MAP
N.T.S.

PROJECT SITE



DUMPSTER NOTE:
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



NOTE:
EXISTING WATER LINE WILL BE RELOCATED INSIDE THE PROPERTY.

TYPICAL PAVING SECTION	
	PAVEMENT IN ROW 8" - 4000 PSI Class "C" Concrete with #4 Bars at 18" O.C.E.W. Minimum 6" Lime Stabilization On Compacted Subgrade
	FIRE LANE & GARBAGE TRUCK ROUTE 7" - 4000 PSI Class "C" Concrete with #4 Bars at 18" O.C.E.W. Minimum 6" Lime Stabilization On Compacted Subgrade
	PARKING AREA PAVEMENT: 5" - 4000 PSI Class "C" Concrete with #4 Bars at 18" O.C.E.W. Minimum 6" Lime Stabilization On Compacted Subgrade
	DUMPSTER: 7" - 4000 PSI Class "C" Concrete with #4 Bars at 18" O.C.E.W. Minimum 6" Lime Stabilization 6/24" Compacted Subgrade, Re-work of FSI (Where Fill is Encounter)
	SIDEWALK: 4" - 3000 PSI Concrete with #4 Bars at 18" O.C.E.W. 2" Sand Bed on Compacted Subgrade

ALL CONCRETE FOR PAVEMENT SHALL BE 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.

EXISTING ZONING: PD
(ORD # 2003-1)
LAND USE: DOCTOR'S OFFICE

WATER METER SCHEDULE

I.D	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
△	IRRIGATION	1.0"	1	N/A	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED

NOTE:
THE PURPOSE OF THIS SITE PLAN IS TO
CONSTRUCT A 4-METAL BUILDING

LEGEND

G7495/70	EXIST. GUTTER ELEVATION
CLVT	EXIST. CABLE VAULT
WV#	EXIST. WATER VALVE
ΦFH	EXIST. FIRE HYDRANT
SSMH	EXIST. SANITARY SEWER MANHOLE
Φ	EXIST. TREE
—X—X—X—	EXIST. FENCE
—W—W—W—	EXIST. WATER LINE
—SS—SS—	EXIST. SANITARY SEWER LINE
—STM—STM—	EXIST. STORM SEWER LINE
500	EXIST. CONTOUR

OWNER
ADC Industrial, LLC
Contact: Joseph Keles
3815 Blossom Dr.
Sachse, Texas 75048
PH: 469 996 1363
E-mail: jphkeles@gmail.com

CIVIL ENGINEER
ND & ASSOCIATES, LLC
Contact: Naim Khan, P.E. CFM
603 Cherry Tree Lane
Wylie, Texas 75098
PH: 214 533 7181
E-MAIL: naim1207@yahoo.com

SURVEYOR
GEONAV, LLC
Contact: (Joe) Chris Howard, RPLS, PLS (OK)
3410 Midcourt Road, Suite 110
Carrollton, Texas 75006
chris.howard@geonav.com
C: 972-243-2409
C: 281-701-3989

ARCHITECT
OCULUS Architects, INC.
Contact: Fokrudin Khondaker
14310 Rich Branch Drive
North Potomac
MD 20878

LANDSCAPE ARCHITECT
T.H. Pritchett/Associates
Contact: Tom Pritchett
1218 Camino Lago
Irving, TX 75039
PH. 214 697 25804



Md. Naim Uddin Khan 2-28-2022
ENGINEER NO. 87776. THESE PLANS WERE
PREPARED UNDER THE RESPONSIBLE SUPERVISION
OF MD. NAIM UDDIN KHAN REGISTERED
PROFESSIONAL ENGINEER
THE SEAL APPEARING ON THIS DOCUMENT HAS
AUTHORIZED BY MD. NAIM UDDIN KHAN P.E.
#87776

SITE PLAN

HENSLEY PARK

550 HOPPER ROAD, WYILE, TX 75098
AREA: 87,095 SF/2.0 ACRES

ND & Associates, LLC
603 Cherry Tree Lane
Wylie, Texas 75098
Contact: Naim Khan, P.E., CFM
PH: (214) 633 7181
EMAIL: naim1207@yahoo.com
FIRM # F - 13340

Date : 2/28/2022

Design : ND

Draft : ND

Checked : ND

PROJECT NO :
850-WYL-2022

SCALE: 1" = 30'

C-2