

ZC

- PROPERTY ADDRESS: 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS, ROCKLAND COUNTY, NEW YORK
- 2. BEING SECTION 41.06, BLOCK 1, LOT 38 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING. LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2002 AT PAGE 43993 AT THE ROCKLAND COUNTY CLERK'S OFFICE. BEING LOT 1 ON A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DECEMBER 21, 1973 IN BOOK 86 ON PAGE 57 AS MAP NUMBER 4479. THE LOT WAS CREATED AS PART OF AN AVERAGE
- DENSITY SUBDIVISION AS SHOWN ON MAP 4479.
- 3. APPLICANT/OWNER: ELANA MOTECHIN
- 18 ROVEN RD WESTLEY HILLS, NY 10952
- EXISTING USE: SINGLE FAMILY HOUSE
- PROPOSED USE: SINGLE FAMILY HOUSE
- EXISTING CONDITIONS BASED ON A SURVEY PREPARED BY: CIVIL TEC ENGINEERING & SURVEYING PC TITLED "OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 18 ROVEN ROAD, VILLAGE OF WESLEY HILLS,- SECTION 41.06
- BLOCK 1 LOT 38 DATED: 10-05-2022 3/4 " CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED
- . ALL NEW UTILITIES TO BE UNDERGROUND.
- 9. FIRE DISTRICT MONSEY
- 10. SCHOOL DISTRICT EAST RAMAPO
- . WATER DISTRICT- RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER .
- 14. NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- 15. SEWER AND WATER SERVICE LINES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF
- 16. SANITARY SEWER INFILTRATION AND EXFILTRATION TESTING OF CONSTRUCTION STANDARDS FOR ROCKLAND COUNTY SEWER DISTRICT NO. 1 SPECIFIED THAT " THE INFILTRATION RATE SHALL NOT EXCEED 25 GALLONS PER 24 HOURS PER MILE PER NOMINAL DIAMETER IN INCHES." CERTIFICATION OF OCCUPANCY MAY NOT BE ISSUED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NYS ROCKLAND COUNTY HEALTH DEPARTMENT AND TO THE ROCKLAND SEWER DISTRICT NO.1.
- 17. DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES)TO THE TOWN ENGINEERS SATISFACTION
- 18. ALL ELEVATIONS SHOWN ARE ON U.C.S. & G.S. DATUM.
- 19. ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT
- 20. ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT OF
- 21. THE LOCATION OF EXISTING UTILITIES MUST BE VERIFIED.
- ALL RETAINING WALLS GREATER THAN FOUR FEET IN HEIGHT MUST BE CERTIFIED AND INSPECTED BY A PROFESSIONAL ENGINEER.
- DISTURBED AREA FOR THE REMOVAL OF THE EXISTING DRIVEWAY TO BE RESTORED WITH TOPSOIL AND SEED.
- 24. PERCOLATION AND DEEP HOLE TESTS ARE REQUIRED TO BE PERFORMED FOR THE PROPOSED DRYWELL FACILITY. THE TESTS SHALL BE WITNESSED/APPROVED BY VILLAGE ENGINEER REPRESENTATIVE. PERCOLATION TESTS ARE TO BE PERFORMED AT THE LOCATION AND ELEVATION OF THE BOTTOM OF THE PROPOSED SYSTEM. DEEP HOLE TESTS SHALL EXTEND AT LEAST (3) FEET BELOW THE PROPOSED SYSTEM.
- 25. VILLAGE ENGINEER TO BE NOTIFIED 48 HOURS PRIOR TO DRAINAGE INSTILLATION AND WITNESS/APPROVED.

R-50 (RESIDENTIAL AVERAGE DENSITY SUBDIVISION)	REQUIRED	PROPOSED	
MINIMUM LOT AREA (SQUARE FEET)	25,000 SF *	25,884 SF	
MINIMUM LOT FRONTAGE (SQUARE FEET)	90 FT	348 FT	
MINIMUM LOT WIDTH (FEET)	125 FT *	190 FT	
MINIMUM EFFECTIVE SQUARE, SIDE (FEET)	125 FT	129 FT	
FRONT YARD	35 FT *	37.3 FT	
REAR YARD	35 FT *	40.1 FT	
SIDE YARD (ONE)	20 FT *	20.0 FT	
TOTAL SIDE YARDS	50 FT *	50.0 FT	
MAXIMUM IMPERVIOUS SURFACE RATIO	0.25	0.43 (V)	
MAXIMUM FRONT YARD IMPERVIOUS SURFACE RATIO	0.20	0.19	
MAXIMUM BUILDING COVERAGE	0.10	0.34 (V)	
MAXIMUM BUILDING HEIGHT (STORIES)	2 ½	2 1 2	
MAXIMUM BUILDING HEIGHT (FEET)	25 FT	28.9 FT (V)	
MAXIMUM EXPOSED BUILDING HEIGHT	40 FT	39 FT	
ACCESSORY SWIMMING POOL REQUIREMENTS			
SIDE YARD	15 FT	7.4 FT TO POOL, (1.7 FT TO RAISED REAR YARD) (V)	
REAR YARD	15 FT	23.4 FT TO POOL, (0.0 FT TO RAISED REAR YARD)	

(V) - VARIANCE

* IN ACCORDANCE WITH PLAN TITLED "SUBDIVISION OF PROPERTY FOR J.C. BERD, INC", PREPARED BY ADLER, CARUSO AND YOUNG ENGINEERS/PLANNERS/LANDSCAPE ARCH'TS

- §230-14(O) A VARIANCE IS REQUIRED WHERE AN ACCESSORY POOL MAY NOT BE LOCATED CLOSER THEN 15' TO A SIDE OR REAR LOT LINE AND THE PROPOSED POOL IS 7.4' FROM THE SIDE LOT LINE, (THE RAISED REAR YARD IS 1.7' FROM THE SIDE LOT LINE, AND THE RAISED REAR YARD IS 0.0 FROM THE REAR LOT LINE).
- MAXIMUM IMPERVIOUS SURFACE RATIO IS 0.25 AND 0.43 IS PROPOSED.

 §230-17 A VARIANCE IS REQUIRED WHERE THE

MAXIMUM BUILDING COVERAGE IS 0.10 AND 0.34 IS

§230-17 - A VARIANCE IS REQUIRED WHERE THE

§230-17 - A VARIANCE IS REQUIRED WHERE THE
 MAXIMUM BUILDING HEIGHT IS 2 ½ STORIES OR 25 FEET

AND $2\frac{1}{2}$ STORIES AND 28.9' IS PROPOSED.

IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED	
LOT AREA	25,884 SF	
BUILDING AREA	5,005 SF	
DRIVEWAY AREA	1,429 SF	
REAR PATIO AND POOL AREA	3,832 SF	
TERRACE AREAS	375 SF	
WALKWAY AREAS	489 SF	
TOTAL IMPERVIOUS AREA	11,130 SF	
IMPERVIOUS SURFACE RATIO	0.43	
FRONT YARD IMPERVIOUS SURFACE RATIO CALCULATIONS	PROPOSED	
FRONT YARD LOT AREA *	9,451 SF	
FRONT YARD IMPERVIOUS AREA	1,798 SF	
FRONT YARD IMPERVIOUS	0.40	

* THE AREA FROM THE NEAREST BUILDING CORNER TO THE FRONT LOT LINE.

SURFACE RATIO

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIG AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED DISCLOSED WITHOUT WRITTEN CONSENT OF THE ENGINEER.		
VOOEE BODTNOV BE		
YOSEF PORTNOY PE 10 GILA PLACE		

REQUIRED

PARKING

2 SPACES >2 SPACES

PROPOSED

25,884 SF

5,005 SF

3.253 SF

579 SF

0.19

PROPOSED

574.9 FT

28.9 FT

IN ACCORDANCE WITH THE DEFINITION IN §230-5 IF THE GRADE ADJACENT TO THE PROPOSED BUILDING IS RAISED THE GRADE AT THE STREET LINE SHALL BE USED AS THE EXISTING GRADE. THE AVERAGE EXISTING GRADE IS BASED ON THE GRADE AT THE STREET LINE. TAKING THE AVERAGE OF 547' AND 546.5' TO OBTAIN AN AVERAGE

** THE HEIGHT TO THE EAVE OF THE LARGEST ROOF IS BASED ON THE ARCHITECTURAL PLANS. THE HEIGHT FROM THE FIRST FLOOR TO THE EAVE IS 21'. THE FIRST FLOOR ELEVATION IS 553.9' + 21' = 574.9'.

PARKING USE

DWELLING UNITS

(ONE-FAMILY)

BUILDING COVERAGE CALCULATIONS

LOT AREA

BUILDING AREA

REAR PATIO

POOL

BUILDING COVERAGE INCLUDING

PATIO AND POOL

BUILDING COVERAGE EXCLUDING

BUILDING HEIGHT CALCULATIONS

AVERAGE EXISTING GRADE *
HEIGHT TO EAVE OF THE

LARGEST ROOF **
BUILDING HEIGHT

EXISTING GARDE OF 546.75'.

NO. REVISION

REVISED PER TOWNSHIP

REVISED PER TOWNSHIP

ADJUST HOUSE LOCATION 07/09/24 ZF

REVIEW LETTER

REVIEW LETTER
REVISED GRADING

12/24/24 ZF

10/08/24 ZF

08/02/24 ZF

DATE BY

PROJECT:
SINGLE-FAMILY RESIDENCE

LAKEWOOD, NJ, 08701

LOCATION:

SECTION 41.06, BLOCK 1, LOT 38
VILLAGE OF WESLEY HILLS
ROCKLAND COUNTY
NEW YORK

18 ROVEN ROAD

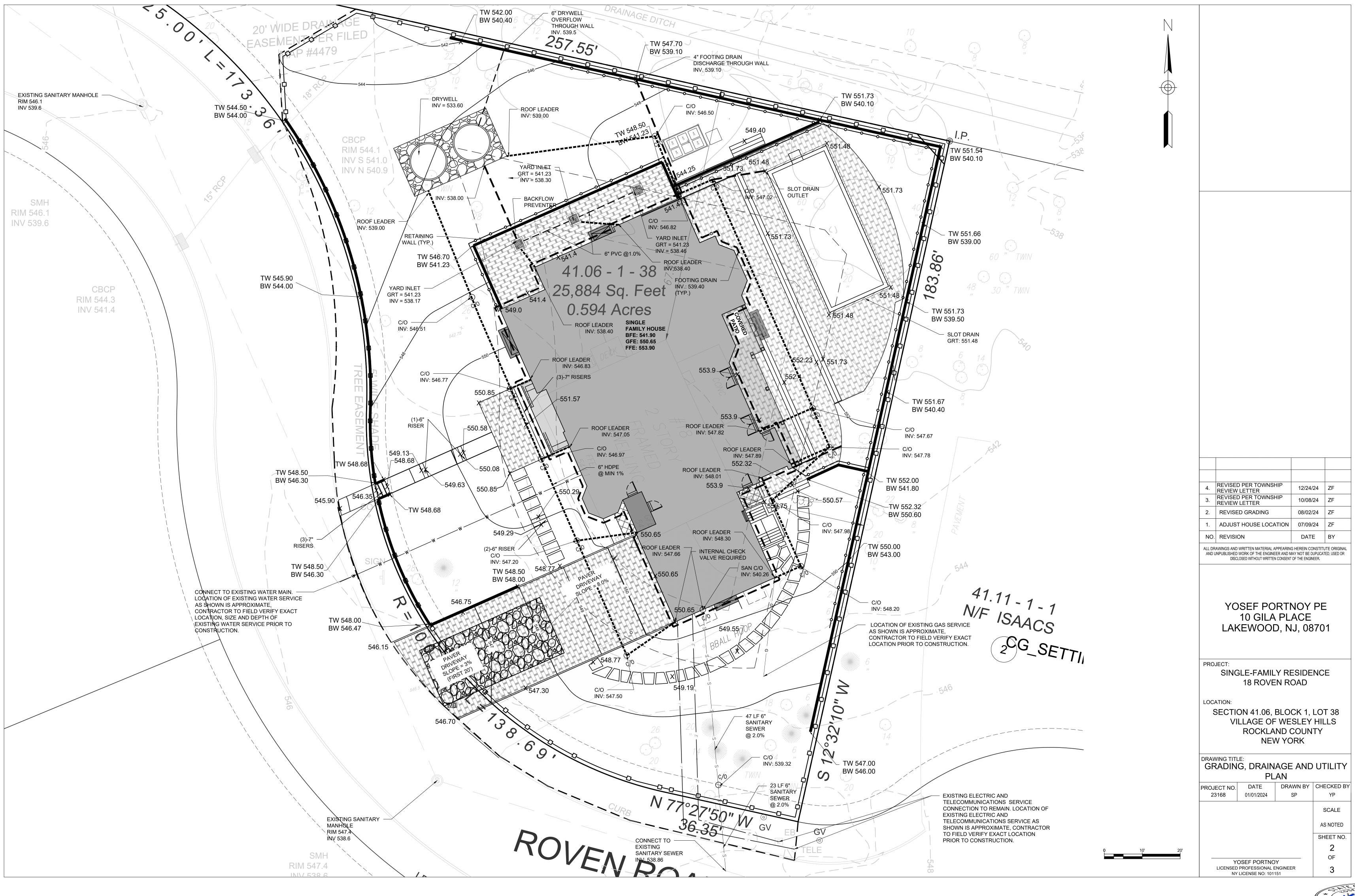
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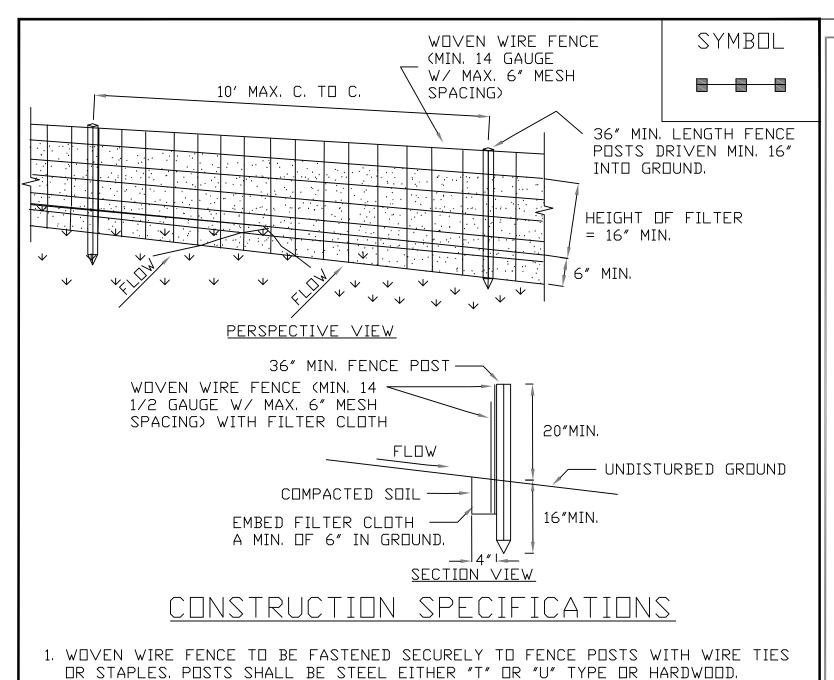
PROJECT NO.	DATE	DRAWN BY	CHECKED BY
23168	01/01/2024	SP	YP

PLOT PLAN

2310	08	01/01/2024	SP	YP
				SCALE
				AS NOTED
				SHEET NO.
				1
	Y	OSEF PORTNO	Y	OF
LI	CENSED	PROFESSIONAL E LICENSE NO: 1011	NGINEER	3

SATEO





- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE,
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

-1 1/2" RADIUS

CONCRETE CURB DETAIL

4500 PSI AIR-ENTRAINED PORTLAND CEMENT CONCRETE

DRY SUBGRADE

3/4" CRUSHED STONE BASE

5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

6" MAXIMUM MESH OPENING.

CURB NOTES:

IN PLACE.

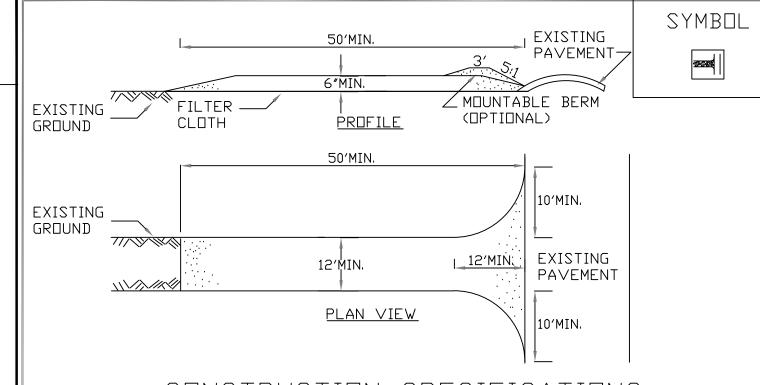
1. CURB SHALL BE CAST

2. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN FOOT INTERVALS,

TO FULL DEPTH OF

CONCRETE CURB DETAIL

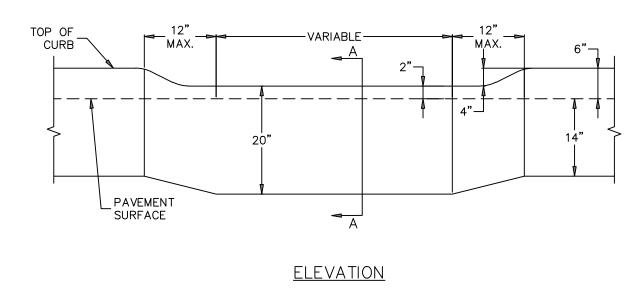
SILT FENCE

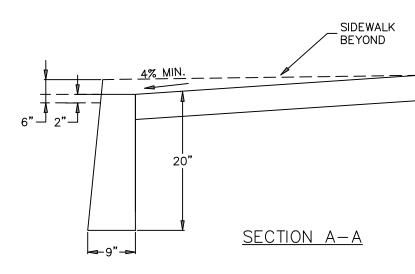


CONSTRUCTION SPECIFICATIONS

- . STONE SIZE USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT PDINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEDTEXTILE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON-STRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION, W YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
W YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE





DEPRESSED CURB DETAIL N.T.S.

1. CONCRETE TO TEST 4000 PSI MIN. ON 28 DAY COMPRESSIVE TEST. 2. STEEL SEPARATIONS SHALL BE USED WITH ALL THE FORMS TO

CREATE A CONSTRUCTION JOINT EVERY 10 FEET ALONG CURB. 3. CONTRACTOR TO NOTIFY VILLAGE ENGINEER PRIOR POURING.

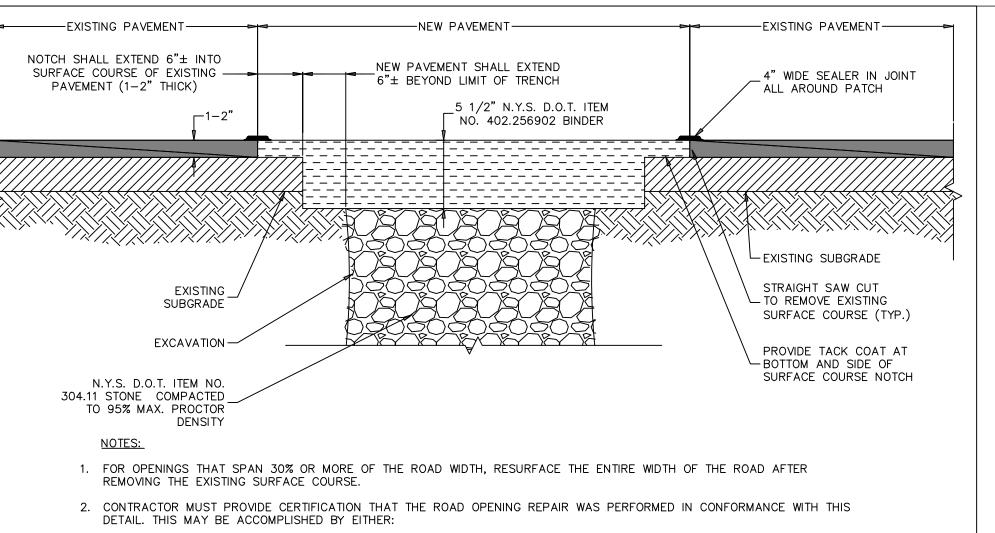
VILLAGE OF WESLEY HILLS

ROCKLAND COUNTY, N.Y.

VILLAGE OF WESLEY HILLS ROCKLAND COUNTY, N.Y. DEPRESSED CURB DETAIL

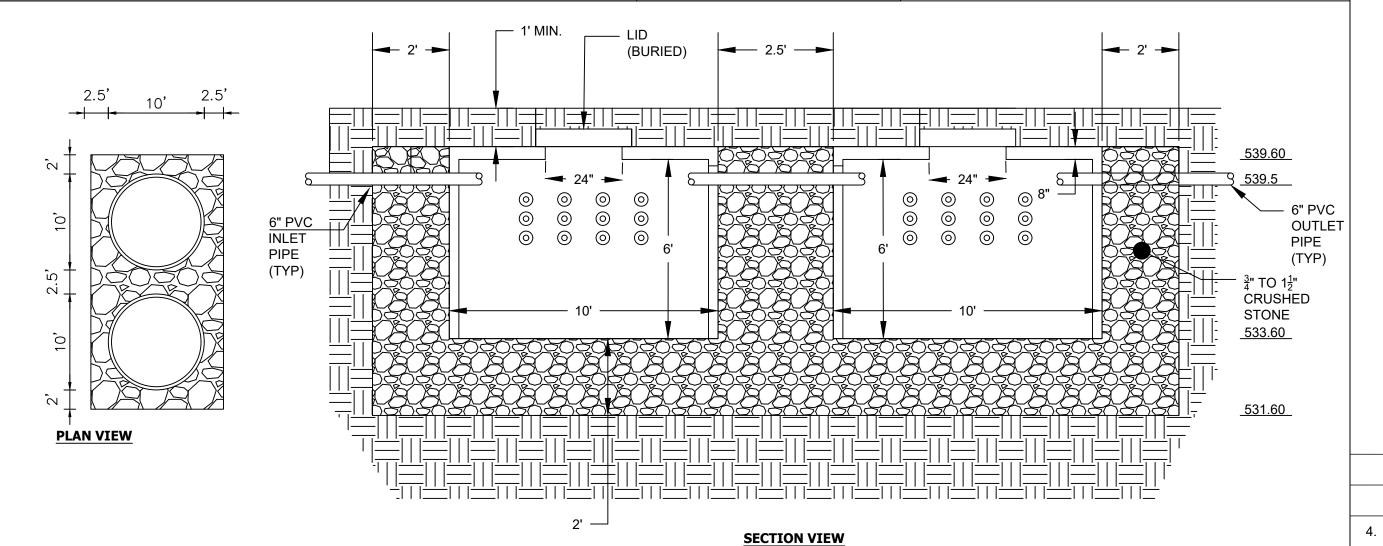
STABILIZED CONSTRUCTION

ACCESS



- a. PROVIDE CERTIFICATION FROM A N.Y.S. LICENSED PROFESSIONAL ENGINEER CERTIFYING THAT THE MATERIALS AND CONSTRUCTION OF THE ROAD OPENING REPAIR CONFORM TO THE VILLAGE DETAIL.
- b. COORDINATE WITH THE VILLAGE ENGINEERING CONSULTANT TO SCHEDULE THEIR WITNESSING OF THE CONSTRUCTION. (THE VILLAGE WILL IN TURN BACK CHARGE THE CONTRACTOR FOR THE COST OF THE ENGINEERING CONSULTANTS SERVICES.)
 THE ENGINEERING CONSULTANT WILL PROVIDE THE REQUIRED CERTIFICATION.

VILLAGE OF WESLEY HILLS ROAD OPENING REPAIR DETAIL ROCKLAND COUNTY, N.Y. N.T.S. ROAD OPENING REPAIR DETAIL



DRYWELL N.T.S

SEEPAGE PIT SHALL BE BY PEERLESS CONCRETE PRODUCTS OR APPROVED EQUAL.

SEEPAGE PIT INSTALLATION IS SUBJECT TO SOIL PERCOLATION TEST AND GROUNDWATER ELEVATION DETERMINATION IN THE FIELD.

REVISED PER TOWNSHIP 12/24/24 ZF REVIEW LETTER REVISED PER TOWNSHIP 10/08/24 ZF REVIEW LETTER REVISED GRADING 08/02/24 ZF ADJUST HOUSE LOCATION 07/09/24 ZF NO. REVISION DATE BY

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YOSEF PORTNOY PE 10 GILA PLACE LAKEWOOD, NJ, 08701

SINGLE-FAMILY RESIDENCE 18 ROVEN ROAD

LOCATION:

SECTION 41.06, BLOCK 1, LOT 38 VILLAGE OF WESLEY HILLS ROCKLAND COUNTY **NEW YORK**

DRAWING TITLE

DETAILS

DATE	DRAWN BY	CHECKED BY
01/01/2024	SP	YP
		SCALE
		3
VOSEE DORTNOV		
LICENSED PROFESSIONAL ENGINEER NY LICENSE NO: 101151		3
	01/01/2024 OSEF PORTNO PROFESSIONAL E	01/01/2024 SP OSEF PORTNOY PROFESSIONAL ENGINEER

