

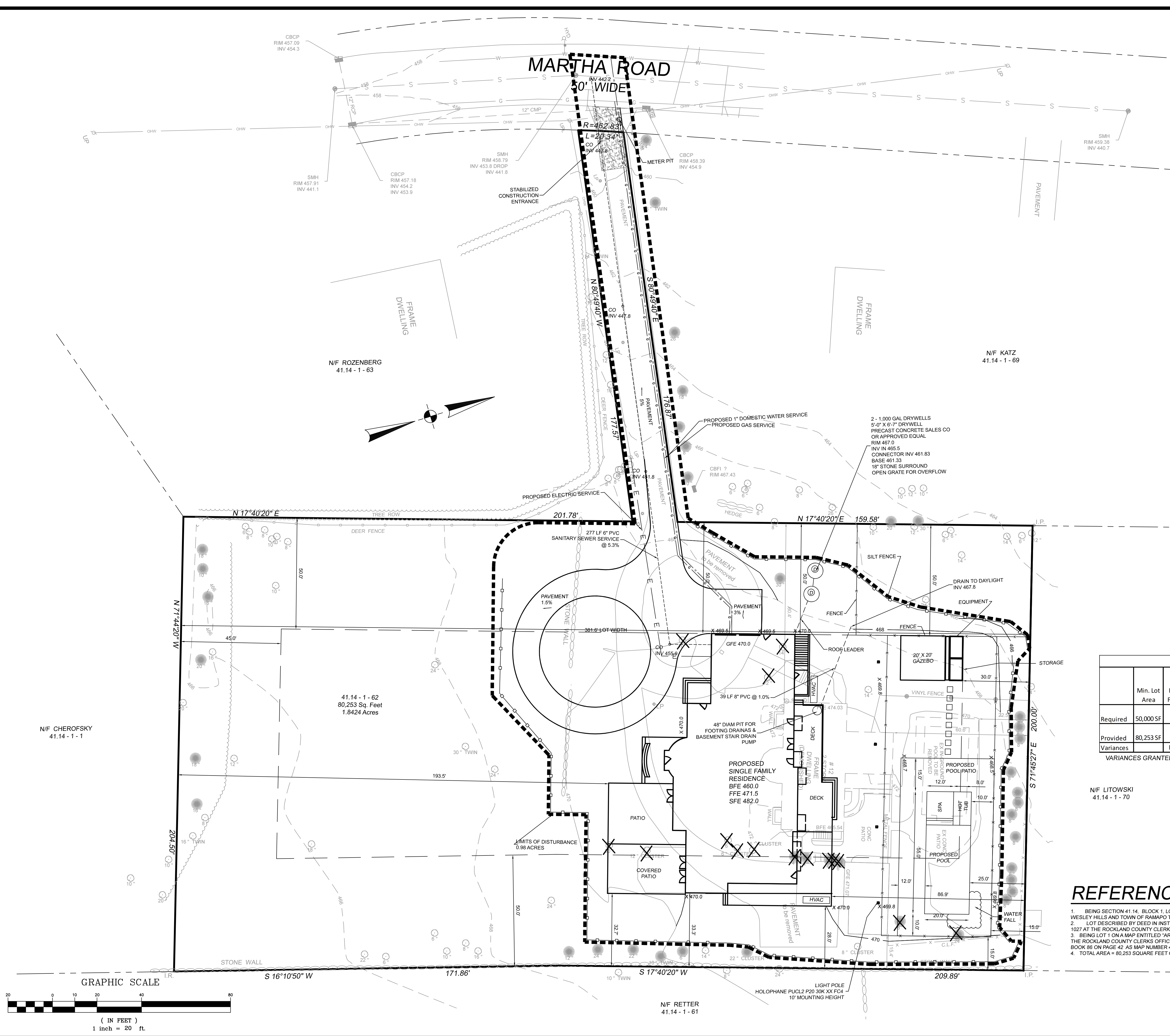
SURVEY NOTES:

- IT IS A VIOLATION OF THE STATE EDUCATION LAW SECT 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED SEAL ARE A VALID ORIGINAL PRODUCT OF THE LAND SURVEYOR. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES AND PURPOSE INDICATED HEREON ANY CLAIM FOR LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE AGREEMENT ANY EXTENSION OF USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT HOLDS THE SURVEYOR HARMLESS FOR UNAUTHORIZED USE BY OTHER PARTIES PERSONS OR GOVERNMENTAL APPROVALS AND RENDERS THIS SURVEY MAP NULL & VOID. THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
- THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED FOR A SPECIFIC PURPOSE AND IS BASED ON SPECIFIC CONTRACTUAL REQUIREMENTS FOR THIS TRANSACTION. USE OF THIS MAP FOR SURVEY INSPECTION UPDATES IS STRICTLY PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, ENLARGED, REDUCED, TRACED OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF A CIVIL TEC ENGINEERING & SURVEYING PC REPRESENTATIVE WHO'S SIGNATURE & SEAL APPEAR HEREON.
- PROPERTY CORNER MARKERS WERE NOT INSTALLED AS PART OF THIS SURVEY.
- VERTICAL DATUM IS NAVD88.

REFERENCES

- BEING SECTION 41.14, BLOCK 1, LOT 62 OF THE VILLAGE OF WESLEY HILLS AND TOWN OF RAMAPO TAX MAPPING.
- LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2020 AT PAGE 1027 AT THE ROCKLAND COUNTY CLERKS OFFICE.
- BEING LOT 1 ON A MAP ENTITLED "ARNOLD C. GILBERT", FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON OCTOBER 12, 1973 IN BOOK 86 ON PAGE 42 AS MAP NUMBER 4464.
- TOTAL AREA = 80,253 SQUARE FEET OR 1.8424 ACRES.

DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 41.14 - 1 - 62			
SURVEY MAP			
FOR			
12A MARTHA ROAD			
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 7/06/20
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243			DRAWN BY: WPD
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: SPD
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			JOB No. 3814
STEPHEN P. DOLSON, P.L.S. N.Y. Lic. No. 50554			SCALE: 1"=20'
			DWG No. 1 OF 5



VICINITY MAP
1" = 300'

- GENERAL NOTES
1. BASED ON THE VILLAGE OF WESLEY HILLS TAX MAP, THIS LOT IS 62 ON MAP 41.14 BLOCK 1.
 2. AREA OF TRACT: 80,253 SQ FT OR 1.8424 AC
 3. ZONE: R-50
 4. NUMBER OF PROPOSED LOTS: 1
 5. RECORD OWNER: DEVORAH & MARK FRIEDMAN
12A MARTHA ROAD
MONSEY, NY 10952
SAME
 6. APPLICANT:
 7. EXISTING USE: RESIDENTIAL
 8. PROPOSED USE: SINGLE FAMILY RESIDENCE
 9. THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239N OF THE GENERAL MUNICIPAL LAW.
 10. ALL HOUSES TO BE SEWERED BY GRAVITY WITH A MIN. SLOPE OF 2%.
 11. THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS
 12. 3/4" CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED.
 13. ALL NEW UTILITIES TO BE UNDERGROUND.
 14. FIRE DISTRICT - MOLESTON.
 15. SCHOOL DISTRICT - SUFFERN CENTRAL
 16. WATER DISTRICT - RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER
 17. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
 18. ELECTRIC DISTRICT - ORANGE & ROCKLAND
 19. SEWER DISTRICT - BENEFITED AREA NO. 5
 20. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS MAP, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
 21. BASEMAP FROM A SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC DATED JULY 6, 2020.
 22. ALL FOOTING DRAINS SHALL BE PUMPED AND DAYLIGHTED.
 23. BASEMENT SHALL HAVE A ZOEELLER 1/2 HP SUBMERSIBLE SUMP PUMP OR APPROVED EQUAL.

IMPERVIOUS IN FRONT YARD: 4,347 SF (DRIVEWAY)	LOT COVERAGE:
AREA OF FRONT YARD: 22,624 SF	DRIVEWAY 5,446 SF
FRONT YARD IMPERVIOUS RATIO: 4,347 SF IMPERVIOUS/22,624 SF = 0.19	DWELLING 5,275 SF
	GAZEBO, POOL EQUIPMENT 560 SF
	POOL, SPA, HOT TUB 1,100 SF
	POOL PATIO 2,260 SF
	WALKWAYS, WINDOW WELLS, STAIRS, TERRACES, ETC. 2,558 SF
	TOTAL 17,199 SF
	TOTAL IMPERVIOUS COVERAGE:
	17,199 SF/80,253 SF = 0.21
	NO STEEP SLOPES
	PARKING CALCULATION:
	SINGLE FAMILY HOME REQUIRES 2 SPACES
	2 GARAGE SPACES PROVIDED

Bulk Requirements: R-50 Single Family Residence											
	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yard	Min. Rear Yard	Max. Impervious Surface Ratio	Max. Front Yard Impervious Surface Ratio	Max. Building Coverage	Max. Building Height
Required	50,000 SF	100 FT	150 FT	50 FT	30 FT	75 FT	50 FT	0.2	0.15	0.1185	2.5 stories/ 25 FT
Provided	80,253 SF	20.3 FT	381.6 FT	50 FT	87 FT	281 FT	28 FT	0.21	0.19	0.11	2 stories/ 23 FT
Variances		Existing					Yes	Yes	Yes		40 FT

VARIANCES GRANTED ON SEPTEMBER 16, 2020

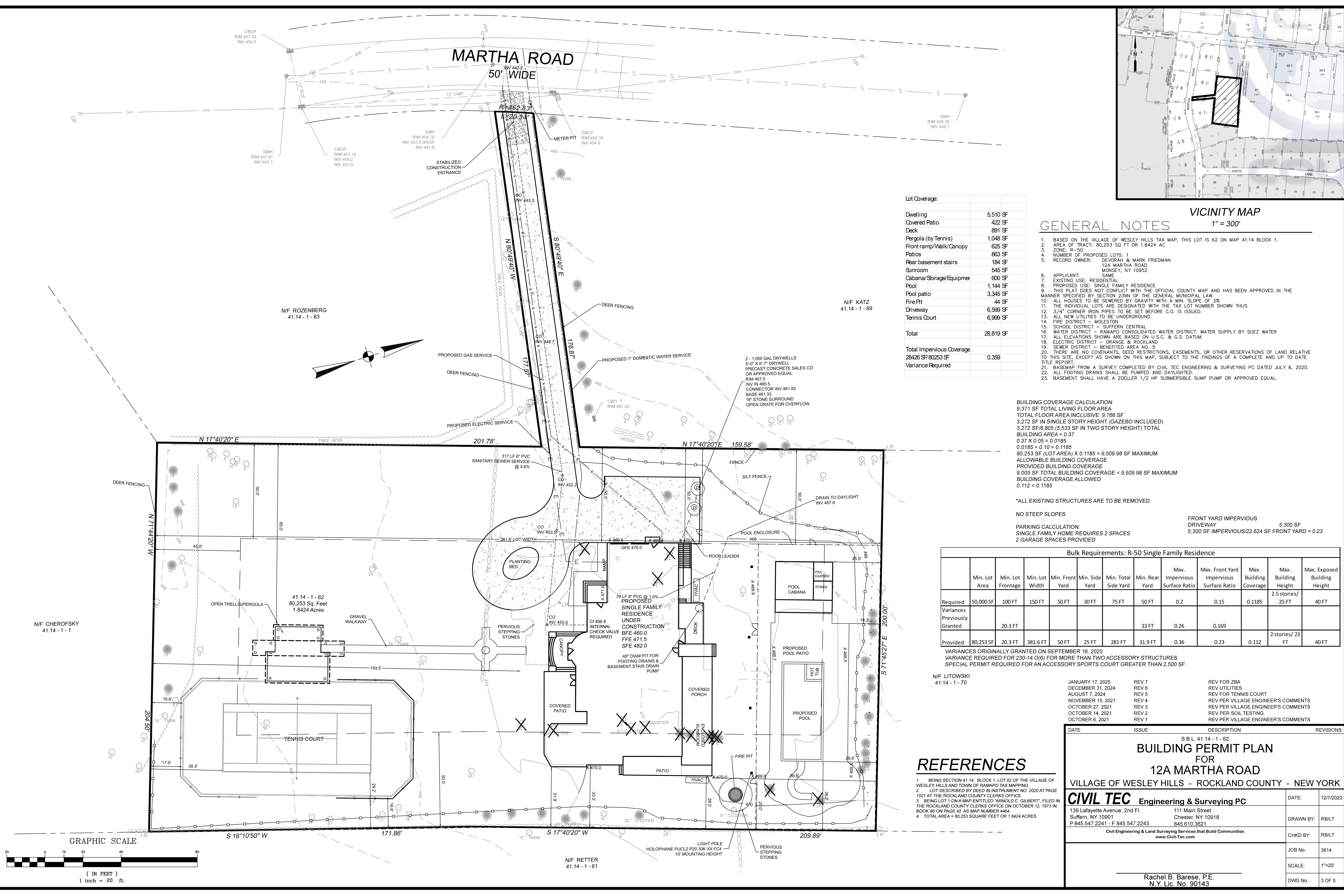
N/F LITOWSKI
41.14 - 1 - 70

NOVEMBER 15, 2021	REV 4	REV PER VILLAGE ENGINEER'S COMMENTS
OCTOBER 27, 2021	REV 3	REV PER VILLAGE ENGINEER'S COMMENTS
OCTOBER 14, 2021	REV 2	REV PER SOIL TESTING
OCTOBER 6, 2021	REV 1	REV PER VILLAGE ENGINEER'S COMMENTS

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4. TOTAL AREA = 80,253 SQUARE FEET OR 1.8424 ACRES.

DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 41.14 - 1 - 62			
BUILDING PERMIT PLAN APPROVED 2021			
FOR			
12A MARTHA ROAD			
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 12/7/2020
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243			DRAWN BY: RB/LT
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: RB/LT
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			JOB No. 3814
Rachel B. Barese, P.E. N.Y. Lic. No. 90143			SCALE: 1"=20'
			DWG No. 2 OF 5



VICINITY MAP
1" = 300'

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 2. AREA OF TRACT: 80,253 SQ FT OR 1.8424 AC
 3. ZONE: R-50
 4. NUMBER OF PROPOSED LOTS: 1
 5. RECORD OWNER: DEVORAH & MARK FRIEDMAN
12A MARTHA ROAD
MONSEY, NY 10952
SAME
 6. APPLICANT:
 7. EXISTING USE: RESIDENTIAL
 8. PROPOSED USE: SINGLE FAMILY RESIDENCE
 9. THIS PLAT DOES NOT CONFLICT WITH THE OFFICIAL COUNTY MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239N OF THE GENERAL MUNICIPAL LAW.
 10. ALL HOUSES TO BE SEWERED BY GRAVITY WITH A MIN. SLOPE OF 2%.
 11. THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS
 12. 3/4" CORNER IRON PIPES TO BE SET BEFORE C.O. IS ISSUED.
 13. ALL NEW UTILITIES TO BE UNDERGROUND.
 14. FIRE DISTRICT - MOLESTON.
 15. SCHOOL DISTRICT - SUFFERN CENTRAL
 16. WATER DISTRICT - RAMAPO CONSOLIDATED WATER DISTRICT. WATER SUPPLY BY SUEZ WATER
 17. ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. & G.S. DATUM.
 18. ELECTRIC DISTRICT - ORANGE & ROCKLAND
 19. SEWER DISTRICT - BENEFITED AREA NO. 5
 20. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS MAP, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE REPORT.
 21. BASEMAP FROM A SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC DATED JULY 6, 2020.
 22. ALL FOOTING DRAINS SHALL BE PUMPED AND DAYLIGHTED.
 23. BASEMENT SHALL HAVE A ZOEELLER 1/2 HP SUBMERSIBLE SUMP PUMP OR APPROVED EQUAL.

Lot Coverage:		
Dwelling	5,510 SF	
Covered Patio	422 SF	
Deck	891 SF	
Pergola (by Tennis)	1,048 SF	
Front ramp/Walk/Canopy	625 SF	
Patios	863 SF	
Rear basement stairs	184 SF	
Sunroom	545 SF	
Cabana/Storage/Equipmer	600 SF	
Pool	1,144 SF	
Pool patio	3,345 SF	
Fire Pit	44 SF	
Driveway	6,599 SF	
Tennis Court	6,999 SF	
Total	28,819 SF	
Total Impervious Coverage	28426 SF/80253 SF	0.359
Variance Required		

BUILDING COVERAGE CALCULATION:
9,371 SF TOTAL LIVING FLOOR AREA
TOTAL FLOOR AREA INCLUSIVE: 9,766 SF
3,272 SF IN SINGLE STORY HEIGHT (GAZEBO INCLUDED)
3,272 SF/8,805 (5.533 SF IN TWO STORY HEIGHT) TOTAL
BUILDING AREA = 0.37
0.37 X 0.06 = 0.0185
0.0185 + 0.10 = 0.1185
80,253 SF (LOT AREA) X 0.1185 = 9,509.98 SF MAXIMUM
ALLOWABLE BUILDING COVERAGE
PROVIDED BUILDING COVERAGE
9,005 SF TOTAL BUILDING COVERAGE < 9,509.98 SF MAXIMUM
BUILDING COVERAGE ALLOWED
0.112 < 0.1185

*ALL EXISTING STRUCTURES ARE TO BE REMOVED

NO STEEP SLOPES

PARKING CALCULATION:
SINGLE FAMILY HOME REQUIRES 2 SPACES
2 GARAGE SPACES PROVIDED

FRONT YARD IMPERVIOUS DRIVEWAY 5,300 SF
5,300 SF IMPERVIOUS/22,624 SF FRONT YARD = 0.23

Bulk Requirements: R-50 Single Family Residence												
	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yard	Min. Rear Yard	Max. Impervious Surface Ratio	Max. Front Yard Impervious Surface Ratio	Max. Building Coverage	Max. Building Height	Max. Exposed Building Height
Required	50,000 SF	100 FT	150 FT	50 FT	30 FT	75 FT	50 FT	0.2	0.15	0.1185	2.5 stories/ 25 FT	40 FT
Variances Previously Granted		20.3 FT					33 FT	0.26	0.169			
Provided	80,253 SF	20.3 FT	381.6 FT	50 FT	25 FT	281 FT	31.9 FT	0.36	0.23	0.112	2 stories/ 23 FT	40 FT

VARIANCES ORIGINALLY GRANTED ON SEPTEMBER 16, 2020
VARIANCE REQUIRED FOR 230-14.0(6) FOR MORE THAN TWO ACCESSORY STRUCTURES.
SPECIAL PERMIT REQUIRED FOR AN ACCESSORY SPORTS COURT GREATER THAN 2,500 SF

N/F LITOWSKI
41.14 - 1 - 70

JANUARY 17, 2025
DECEMBER 31, 2024
AUGUST 7, 2024
NOVEMBER 15, 2021
OCTOBER 27, 2021
OCTOBER 14, 2021
OCTOBER 6, 2021

REV 7

REV 6

REV 5

REV 4

REV 3

REV 2

REV 1

REV FOR ZBA
REV UTILITIES
REV FOR TENNIS COURT
REV PER VILLAGE ENGINEER'S COMMENTS
REV PER VILLAGE ENGINEER'S COMMENTS
REV PER SOIL TESTING
REV PER VILLAGE ENGINEER'S COMMENTS

DATE	ISSUE	DESCRIPTION	REVISIONS
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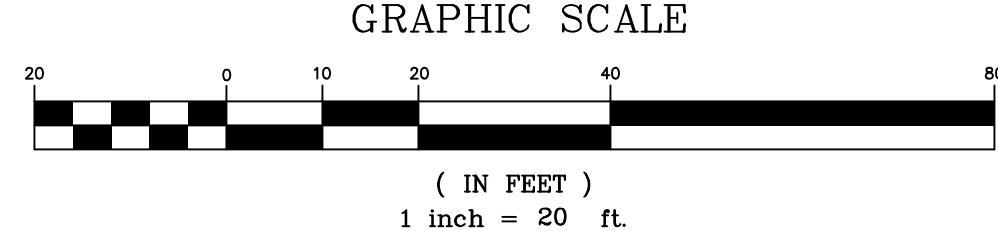
S.B.L. 41.14 - 1 - 62
**BUILDING PERMIT PLAN
FOR
12A MARTHA ROAD**
VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC 139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243	111 Main Street Chester, NY 10918 845.610.3621	DATE: 12/7/2020 DRAWN BY: RB/LT CHKD BY: RB/LT JOB No. 3814 SCALE: 1"=20' DWG No. 3 OF 5
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Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

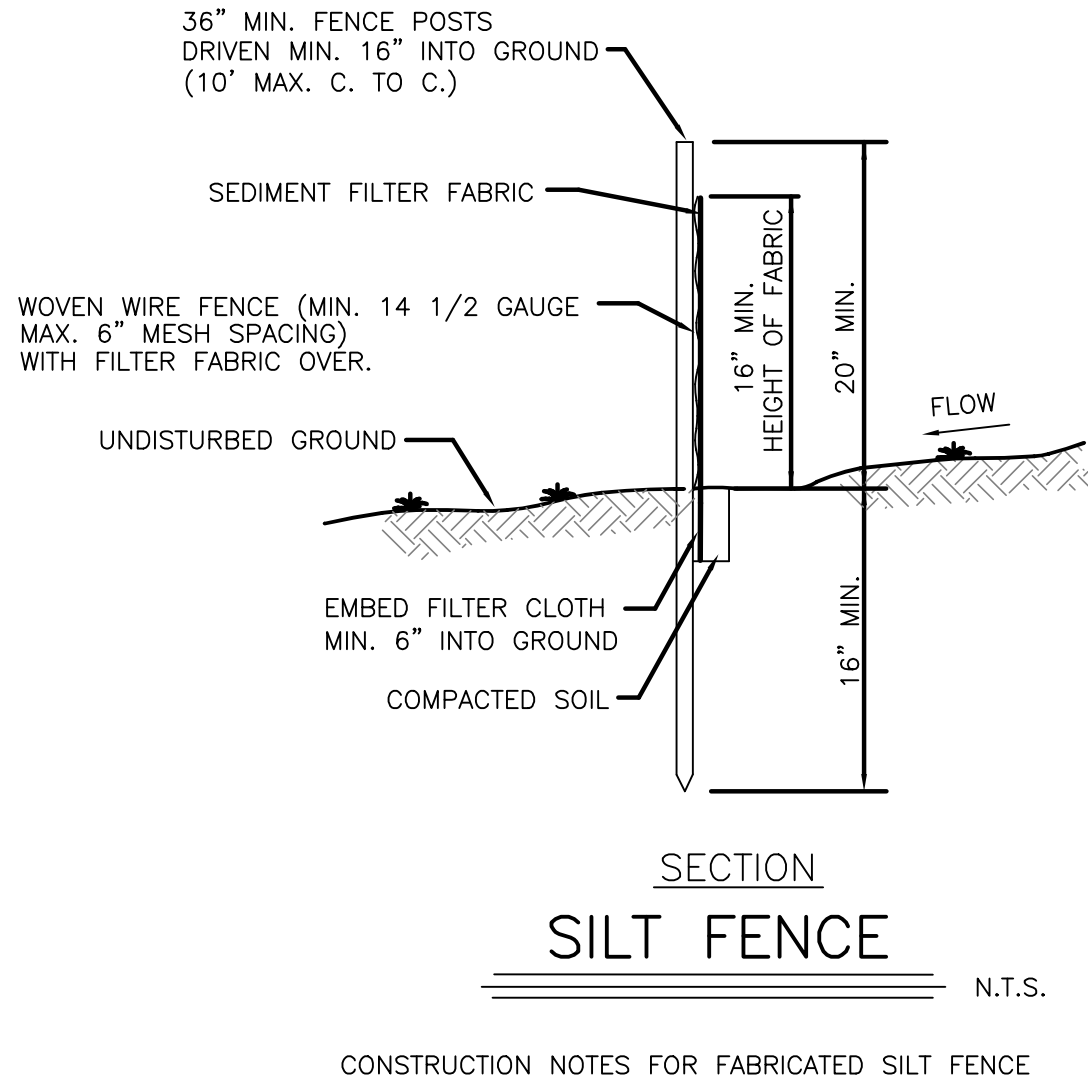
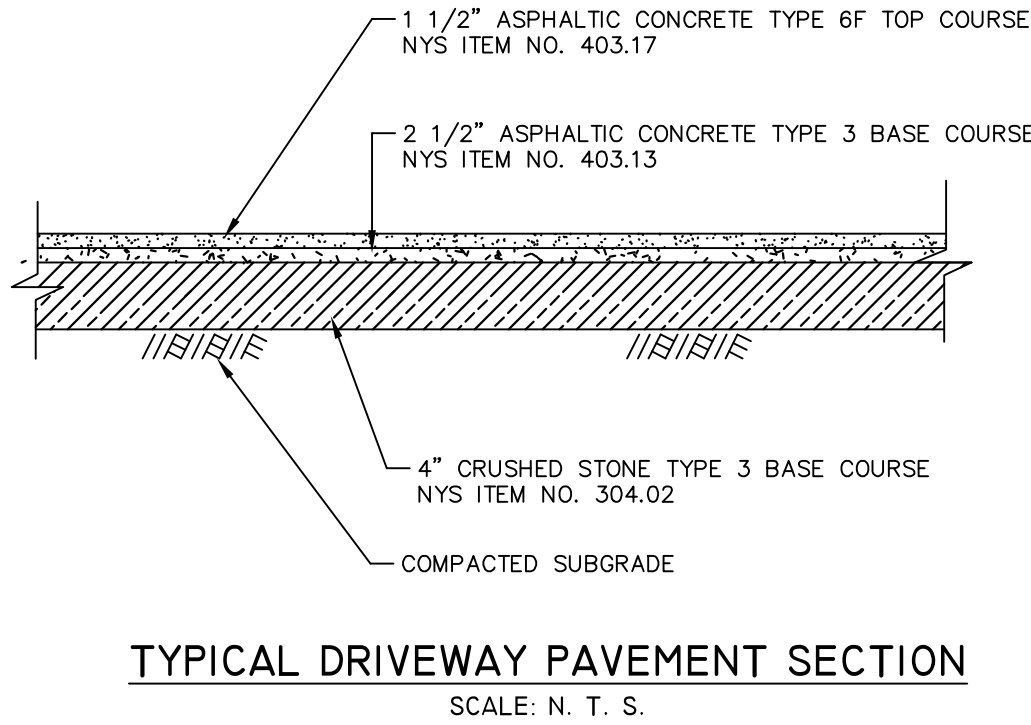
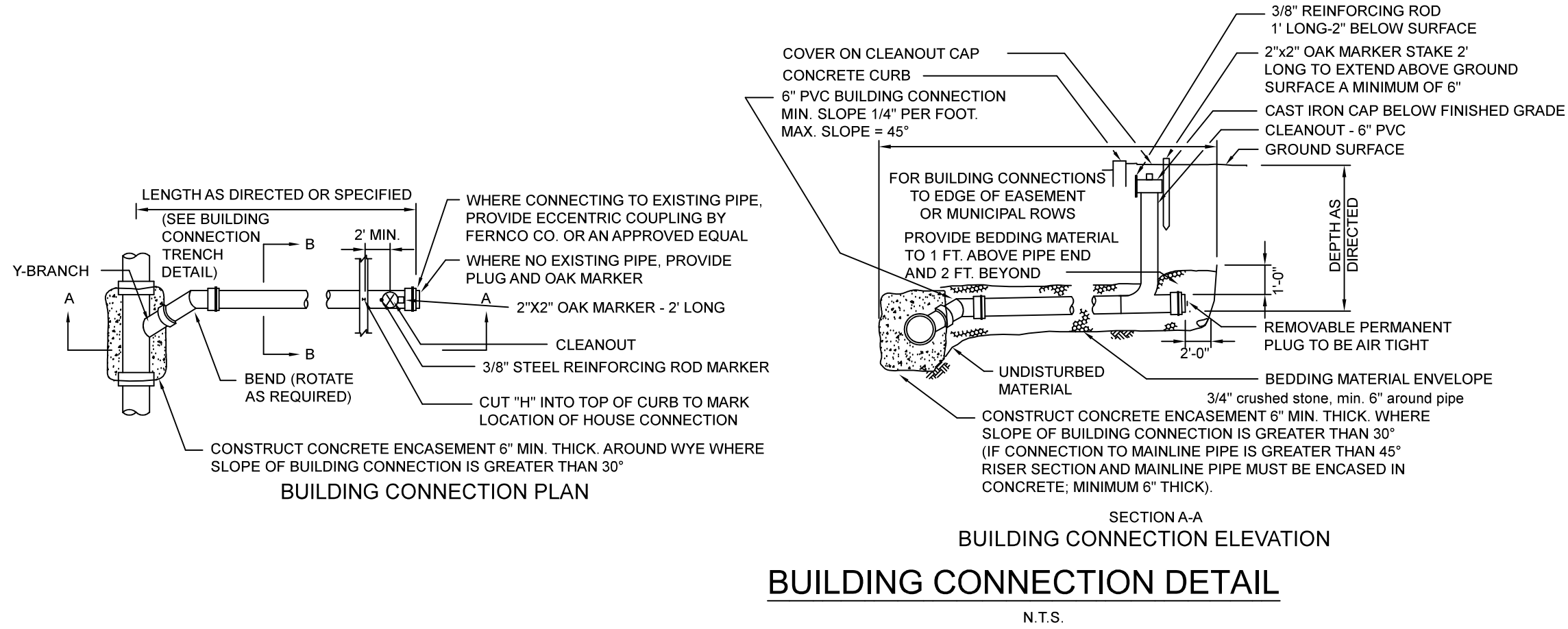
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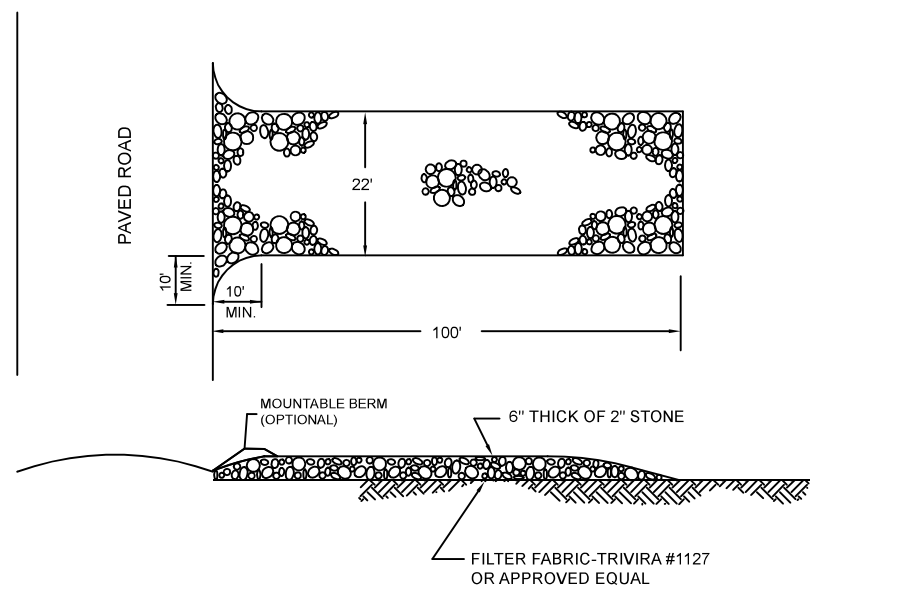


(IN FEET)
1 inch = 20 ft.

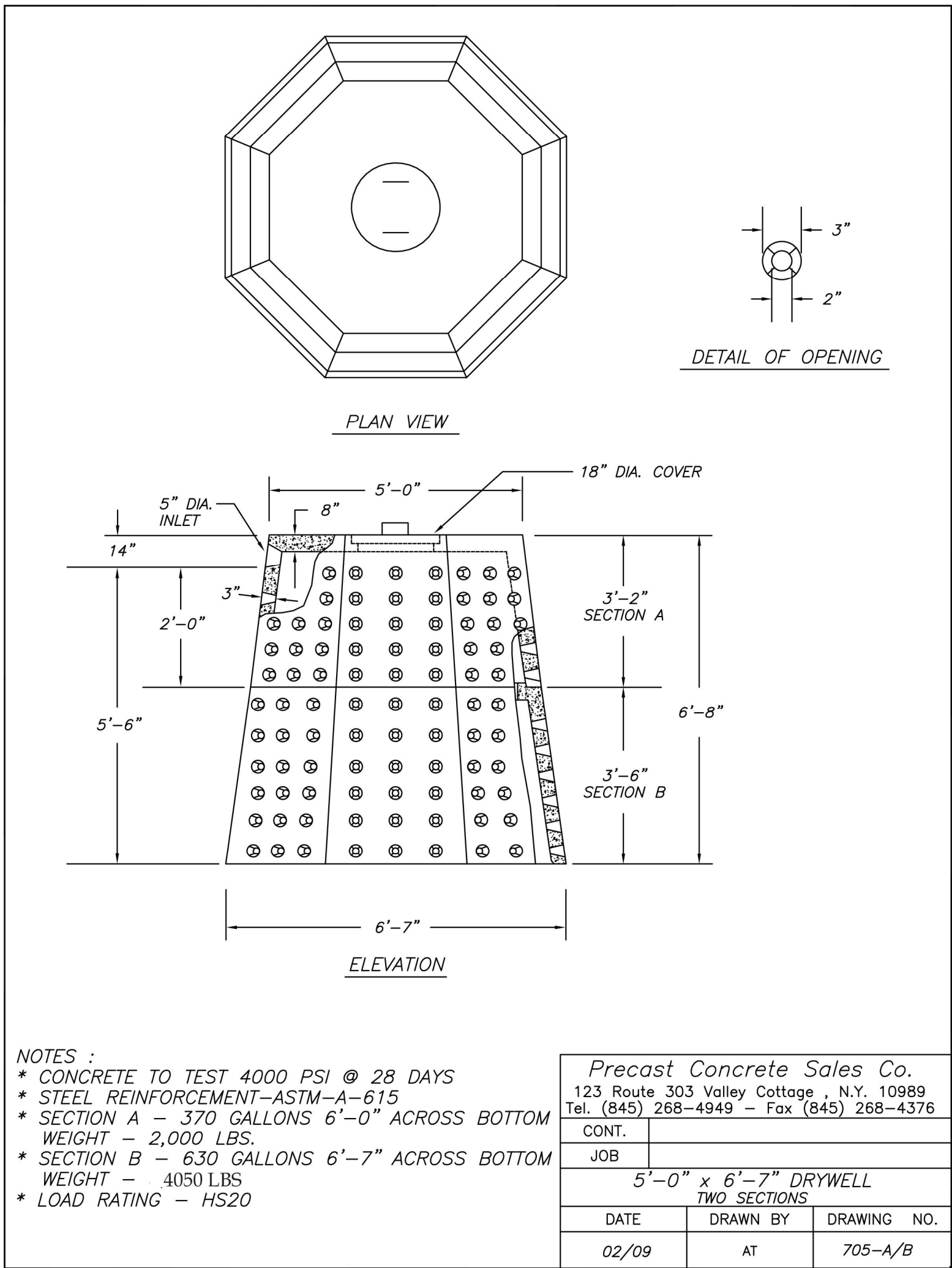
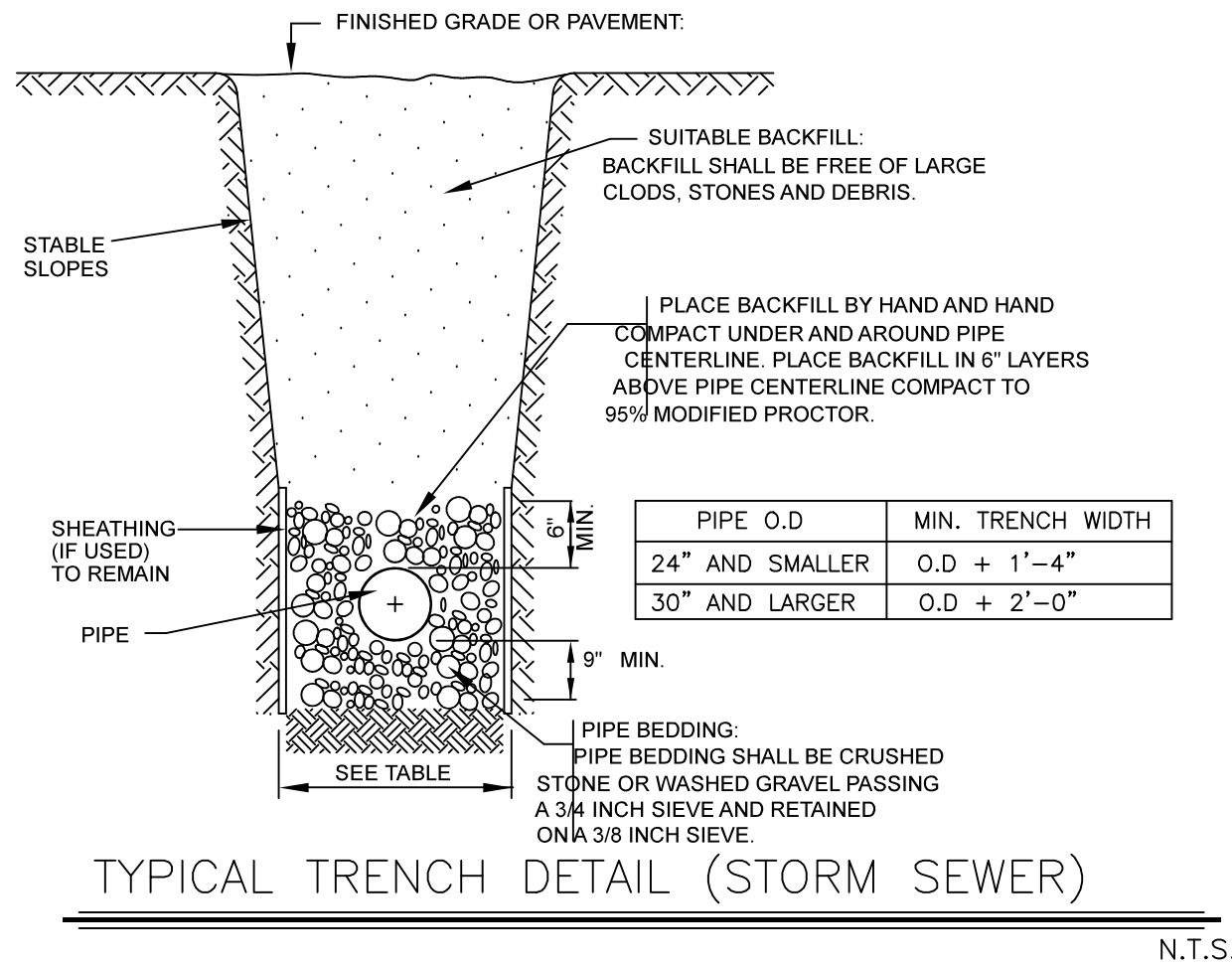




- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 - POST TO BE STEEL EITHER "I" OR "U" TYPE OR 2" HARDWOOD.
 - FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
 - PREFABRICATED UNIT - GEOFAB. ENVIROFENCE OR APPROVED EQUAL.



- CONSTRUCTION SPECIFICATIONS
- STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN 6 INCHES.
 - WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



NOTES :

- * CONCRETE TO TEST 4000 PSI @ 28 DAYS
- * STEEL REINFORCEMENT-ASTM-A-615
- * SECTION A - 370 GALLONS 6'-0" ACROSS BOTTOM WEIGHT - 2,000 LBS.
- * SECTION B - 630 GALLONS 6'-7" ACROSS BOTTOM WEIGHT - 4050 LBS
- * LOAD RATING - HS20

Precast Concrete Sales Co. 123 Route 303 Valley Cottage, N.Y. 10989 Tel. (845) 268-4949 - Fax (845) 268-4376		
CONT.		
JOB		
5'-0" x 6'-7" DRYWELL TWO SECTIONS		
DATE	DRAWN BY	DRAWING NO.
02/09	AT	705-A/B

EROSION CONTROL & SEDIMENT NOTES

- A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHALL BE SEEDED DOWN OR MULCHED IMMEDIATELY.
- STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
- DURING CONSTRUCTION, ALL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
- AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
- THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
- CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
- THE MACADAM SURFACE SHALL BE SWEEPED "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURB.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
- CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.

JANUARY 17, 2025	REV 7	REV FOR ZBA	
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VILLAGE OF WESLEY HILLS - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 7/21/21
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243			DRAWN BY: RB/LT
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: RB/LT
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			JOB No. 3814
<hr/> Rachel B. Barese, P.E. N.Y. Lic. No. 90143			SCALE: AS SHOWN
			DWG No. 5 OF 5