

# New Wilsonville Primary School

7151 Boeckman Road  
Wilsonville, OR 97070

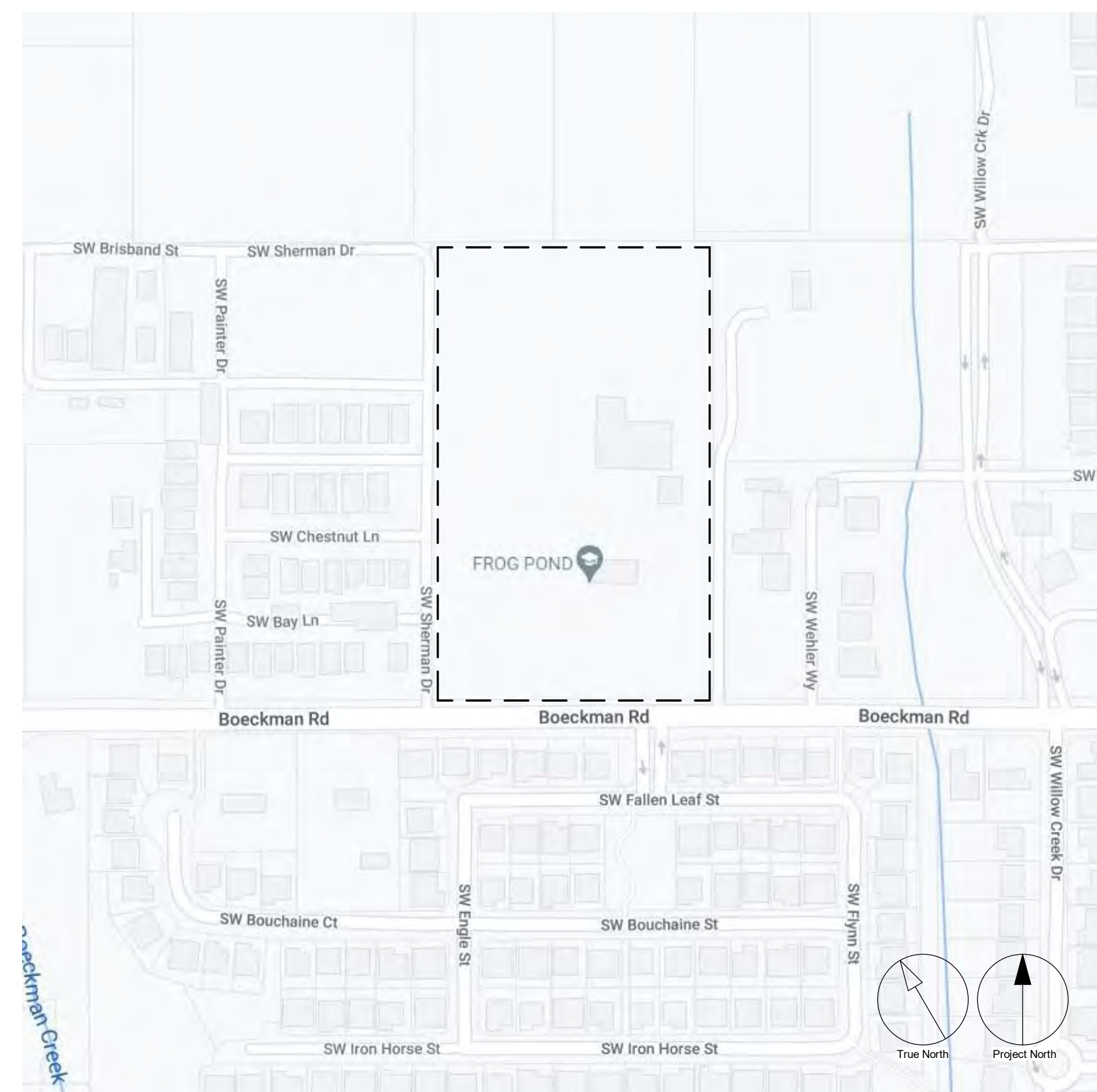
## VOLUME 1 OF 1

### CONTENT

The new Primary School at the Frog Pond site in the City of Wilsonville will be a starter primary school with 350 student capacity and provide for a complete academic curriculum for grade levels pre-K-5, while supporting an equitable complement of interior and exterior physical education areas. The new facility will be built on a green-field site east of Boeckman Creek and north of Boeckman Road, in the City of Wilsonville. The school must be operational at the beginning of the 2024-2025 school year. A future learning neighborhood addition will increase the capacity to 550 students. The administration area, wellness commons, library, music and makerspace will be designed for 550 student capacity.



### VICINITY MAP



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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

PROJECT  
**New Wilsonville  
Primary School**

PROJECT NO:  
137469

DATE:  
2022-12-16

Land Use  
Application

SHEET NUMBER  
**LU 000**





2755 SW Borland Road,  
Tualatin, OR 97062

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2	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

**EXISTING LEGEND**

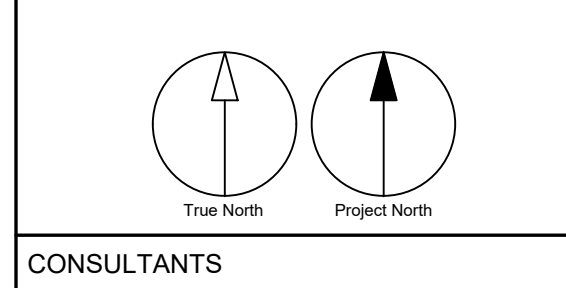
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---	EASEMENT LINE	□	CATCH BASIN
---	STORM LINE	□	CLEANOUT/ROOF DRAIN
---	SEWER LINE	○	SEWER MANHOLE
---	WATER LINE	⊗	FIRE HYDRANT
---	GAS LINE	⊕	WATER METER
---	UNDERGROUND POWER LINE	⊕	WATER VALVE
---	OVERHEAD POWER LINE	⊕	GAS METER
---	COMMUNICATIONS LINE	⊕	GAS VALVE
---	FENCE	□	ELECTRICAL VAULT/BOX
---	MAJOR CONTOUR	⊗	LIGHT POLE
---	MINOR CONTOUR	⊗	UTILITY POLE
---	EDGE OF BRUSH	---	UTILITY POLE ANCHOR
---	CURB	---	SIGN
---	EXTG BUILDING	---	MAILBOX
---	BUILDING EAVE	---	CONIFEROUS TREE
---	WALL	---	DECIDUOUS TREE
---	ASPHALT	---	SEPTIC TANK
---	CONCRETE	---	
---	GRAVEL PATH	---	

**EXISTING CONDITIONS PLAN**  
THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, TAX ASSESSOR MAPS AND PHYSICAL SITE OBSERVATIONS. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

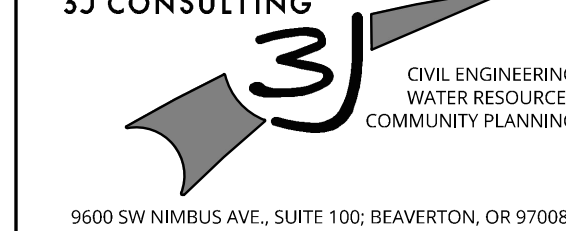
**SURVEYORS NOTES**

- VERTICAL DATUM: NAVD '88, OREGON REAL TIME GNSS NETWORK (ORGN).
- HORIZONTAL DATUM: OREGON COORDINATE REFERENCE SYSTEM, PORTLAND ZONE, BASED UPON OBSERVATIONS TIED TO THE OREGON REAL TIME GNSS NETWORK, (ORGN) NAD '88 (2011) EPOCH 2010.00.
- UTILITY INFORMATION SHOWN ON THIS MAP IS BASED UPON OBSERVED FEATURES AND UTILITY LOCATES. NO WARRANTIES ARE MADE REGARDING THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ADDITIONAL UTILITIES MAY EXIST. INTERESTED PARTIES ARE HEREBY ADVISED THAT UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION OF ANY CRITICAL ITEMS.
- CONTOUR INTERVAL IS ONE FOOT.
- TOPOGRAPHIC FEATURES SHOWN ON THIS MAP WERE LOCATED USING STANDARD PRECISION TOPOGRAPHIC MAPPING PROCEDURES. THIRD PARTY USERS OF DATA FROM THIS MAP PROVIDED VIA AUTOCAD DRAWING FILES OR DATA EXCHANGE FILES SHOULD NOT RELY ON ANY AUTOCAD GENERATED INFORMATION WHICH IS BEYOND THE LIMITS OF PRECISION OF THIS MAP. THIRD PARTIES USING DATA FROM THIS MAP IN AN AUTOCAD FORMAT SHOULD VERIFY ANY ELEMENTS REQUIRING PRECISE LOCATIONS PRIOR TO COMMENCEMENT OF ANY CRITICAL DESIGN OR CONSTRUCTION. CONTACT COMPASS LAND SURVEYORS FOR FURTHER INFORMATION. FURTHERMORE, COMPASS LAND SURVEYORS WILL NOT BE RESPONSIBLE NOR HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT ARISE OUT OF THIRD PARTY USAGE OF THIS MAP (IN AUTOCAD OR OTHER FORMAT) FOR ANY PURPOSE OTHER THAN SPECIFICALLY STATED HEREIN. THIS STATEMENT IS AN OFFICIAL PART OF THIS MAP.
- PUBLIC UTILITIES NOTIFIED BY OREGON UTILITY NOTIFICATION CENTER TICKET NUMBER 20041523:

CLACKAMAS COUNTY D.O.T.	503-722-6301
CLACKAMAS COUNTY D.O.T.-CBX	503-722-6663
COMCAST	800-778-9140
FRONTIER	800-778-9140
NW NATURAL	503-220-2415
PORTLAND GENERAL ELECTRIC	503-255-4634
CENTURYLINK	800-778-9140
360 NETWORKS USA	888-267-1063



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SEAL

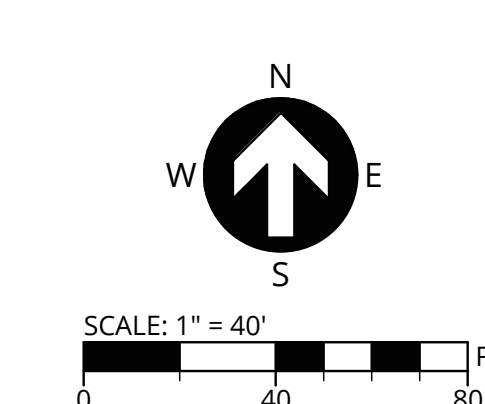
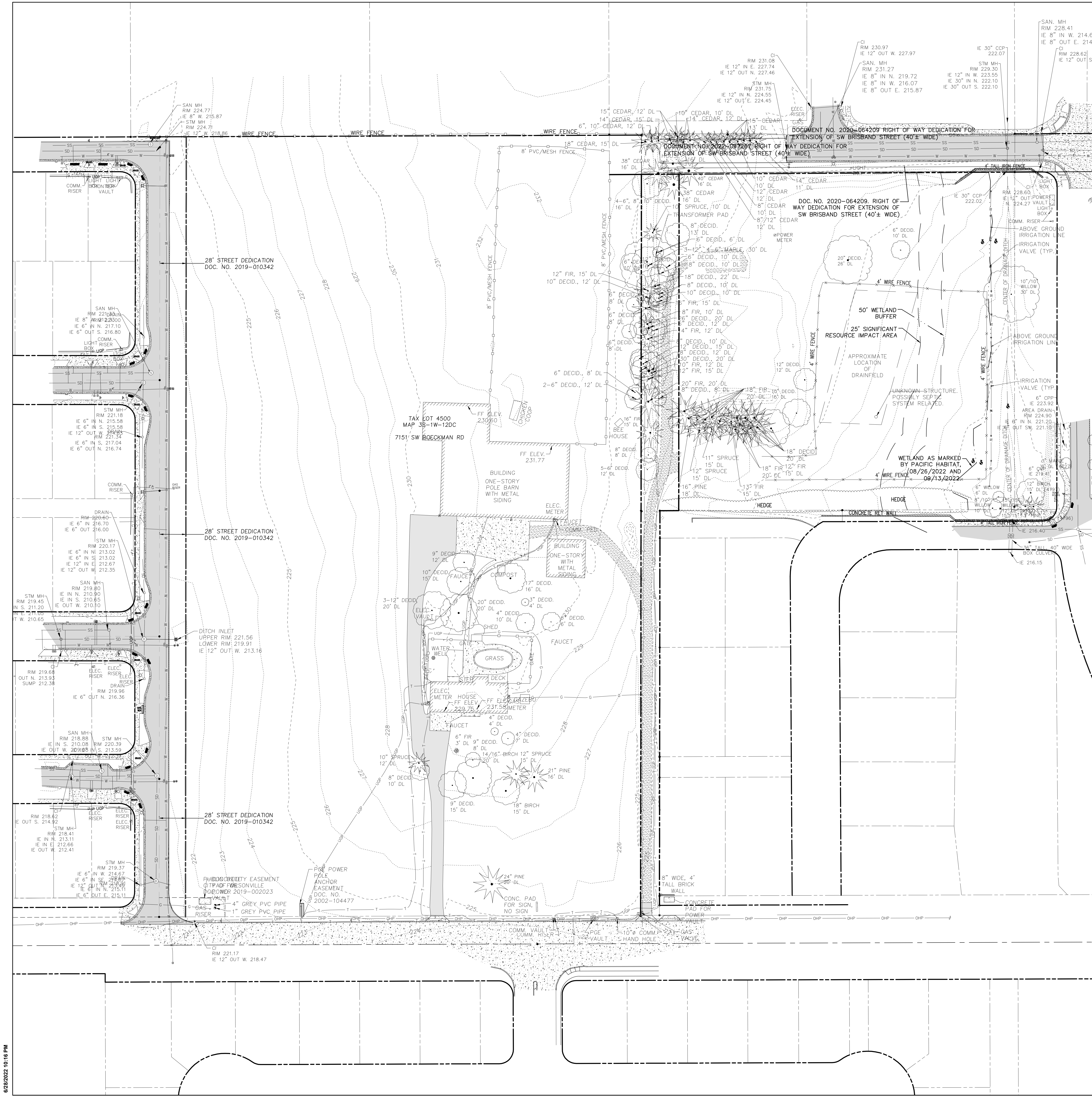
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PROJECT  
New Wilsonville Primary  
School  
7151 Boeckman Road  
Wilsonville, OR 97070

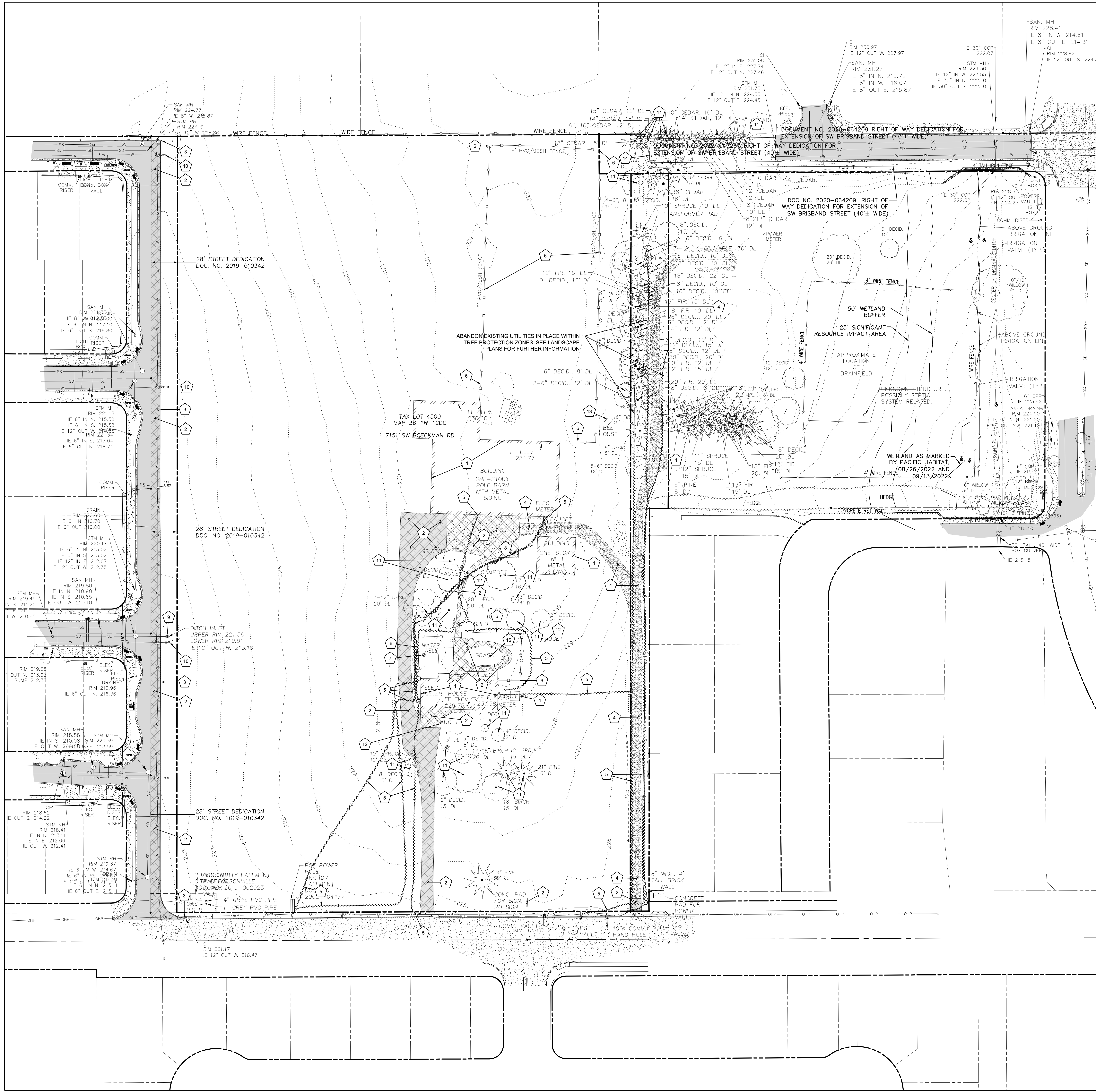
PROJECT NO:  
137469

SHEET TITLE  
EXISTING CONDITIONS  
PLAN

SHEET NUMBER  
LU 100







**EXISTING LEGEND**

---	PROPERTY LINE	⊕	STORM MANHOLE
---	EASEMENT LINE	□	CATCH BASIN
---	STORM LINE	○	CLEANOUT/ROOF DRAIN
---	SEWER LINE	○	SEWER MANHOLE
---	WATER LINE	⊕	FIRE HYDRANT
---	GAS LINE	⊕	WATER METER
---	UNDERGROUND POWER LINE	⊕	WATER VALVE
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---	EDGE OF BRUSH	⊕	UTILITY POLE ANCHOR
---	CURB	⊕	SIGN
---	EXTG BUILDING	⊕	MAILBOX
---	BUILDING EAVE	⊕	CONFEROUS TREE
---	WALL	⊕	DECIDUOUS TREE
---	ASPHALT	⊕	SEPTIC TANK
---	CONCRETE		
---	GRAVEL PATH		

**DEMOLITION LEGEND**

---	UTILITY/SITE FEATURE REMOVAL, AS NOTED
---	CONCRETE REMOVAL, AS NOTED
---	AC PAVING REMOVAL, AS NOTED
---	GRAVEL SURFACE REMOVAL, AS NOTED

- DEMOLITION KEY NOTES**
- EXISTING BUILDING, ASSOCIATED UTILITIES, AND FOUNDATION TO BE DEMOLISHED.
  - REMOVE EXISTING AC PAVEMENT/ CONCRETE PAVEMENT AND BASE ROCK WITHIN AREA INDICATED. REMOVE PAVING AND DISPOSE OFFSITE.
  - REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
  - REMOVE EXISTING GRAVEL WITHIN AREA INDICATED AND DISPOSE OFFSITE.
  - REMOVE EXISTING UTILITY AND ASSOCIATED STRUCTURES/ APPURTENANCES TO LIMITS SHOWN.
  - REMOVE FENCING, GATES, POSTS, CONCRETE FOOTINGS AND ALL ASSOCIATED APPURTENANCES. DISPOSE OF MATERIALS OFFSITE UNLESS OTHERWISE DIRECTED BY OWNER.
  - REMOVE EXISTING WELL AND ALL ASSOCIATED APPURTENANCES.
  - REMOVE EXISTING COMPOST PIT.
  - REMOVE EXISTING DITCH INLET STORM DRAIN STRUCTURE AND DISPOSE OFFSITE.
  - REMOVE EXISTING WATER VALVE. CONTRACTOR TO COORDINATE WITH CITY OF WILSONVILLE PRIOR TO ANY DISTURBANCE.
  - REMOVE EXISTING TREE. SEE LANDSCAPE ARCHITECT PLANS FOR TREE PRESERVATION PLAN.
  - REMOVE FAUCET AND ASSOCIATED APPURTENANCES.
  - REMOVE EXISTING BEE KEEPING STRUCTURE.
  - REMOVE EXISTING WELL HOUSE STRUCTURE.
  - REMOVE FILL AND ALL REMNANTS OF ABANDONED POOL AND ASSOCIATED APPURTENANCES INCLUDING ALL PIPING, ELECTRICAL AND CONCRETE.

**TREE REMOVAL AND PRESERVATION**  
SEE LANDSCAPE PLANS FOR ALL TREE REMOVAL AND PRESERVATION CONSIDERATIONS.

**CLIENT**  
West Linn-Wilsonville School District

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**ISSUES**

No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

**CONSULTANTS**  
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COMMUNITY PLANNING  
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**PRIME CONSULTANT**  
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ibi@ibi-group.com

**PROJECT**  
New Wilsonville Primary School  
7151 Bockman Road  
Wilsonville, OR 97070

**PROJECT NO:**  
137469

**SHEET TITLE**  
DEMOLITION PLAN

**SHEET NUMBER**  
LU 110

**SCALE:** 1" = 40'

**811**  
Know what's below.  
Call before you dig.





**LEGEND**

- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED CURB
- PROPOSED STRIPING LINE
- [Pattern] PROPOSED ASPHALT SURFACE
- [Pattern] PROPOSED CONCRETE SURFACE
- [Pattern] PROPOSED STORMWATER FACILITY
- [Pattern] PHASED PARKING EXPANSION
- [Pattern] PHASED BUILDING EXPANSION
- [Pattern] PHASED STORMWATER FACILITY

- CONSTRUCTION KEY NOTES**
- 1 CONSTRUCT ASPHALT PAVING WITHIN LIMITS SHOWN.
  - 2 CONSTRUCT CONCRETE PAVING WITHIN LIMITS SHOWN.
  - 3 CONSTRUCT STANDARD CURB.
  - 4 CONSTRUCT CONCRETE DRIVEWAY.
  - 5 CONSTRUCT FRONTAGE IMPROVEMENTS. SEE DIMENSIONS, THIS SHEET.
  - 6 INSTALL ADA PARKING SIGNS.

**SITE STATISTICS**

SITE ADDRESS	7151 SW BOECKMAN RD
TAX MAP	31W12DC04500
JURISDICTION	CITY OF WILSONVILLE, OREGON
SITE AREA	9.19 ACRES
ZONING	PUBLIC FACILITY (PF)

**SITE AREA TABLE**

EXISTING SITE AREA	9.19 ACRES
SITE AREA AFTER LOT LINE ADJUSTMENT	9.68 ACRES
SITE AREA AFTER ROW DEDICATION ON BRISBAND STREET AND SW BOECKMAN ROAD FOR NEW FRONTAGE IMPROVEMENTS	9.11 ACRES

**OFF-STREET PARKING STATISTICS**

PARKING TYPE	STALL COUNT	STALL LENGTH (FT.)	STALL WIDTH (FT.)	STALL ANGLE
PHASE 1 PROPOSED STANDARD PARKING STALLS:	71	18	9	90°
PHASE 1 PROPOSED ADA PARKING STALLS:	6	18	9	90°
PHASE 2 - PROPOSED STANDARD PARKING STALLS:	42	18	9	90°
<b>TOTAL STALLS</b>	<b>119</b>			

**BICYCLE PARKING STATISTICS**

PARKING TYPE	TOTAL COUNT	AMOUNT COVERED
PHASE 1 - PROPOSED BICYCLE PARKING:	52	26
PHASE 2 - PROPOSED BICYCLE PARKING:	48	24
<b>TOTAL STALLS</b>	<b>100</b>	<b>50</b>

**BUILDING AREA TABLE**

PHASE 1 BUILDING	58,130 SF
PHASE 2 BUILDINGS	11,500 SF

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**PROJECT**  
New Wilsonville Primary School  
7151 Bockman Road  
Wilsonville, OR 97070

**PROJECT NO:** 137469  
**SHEET TITLE:** SITE PLAN  
**SHEET NUMBER:** LU 120

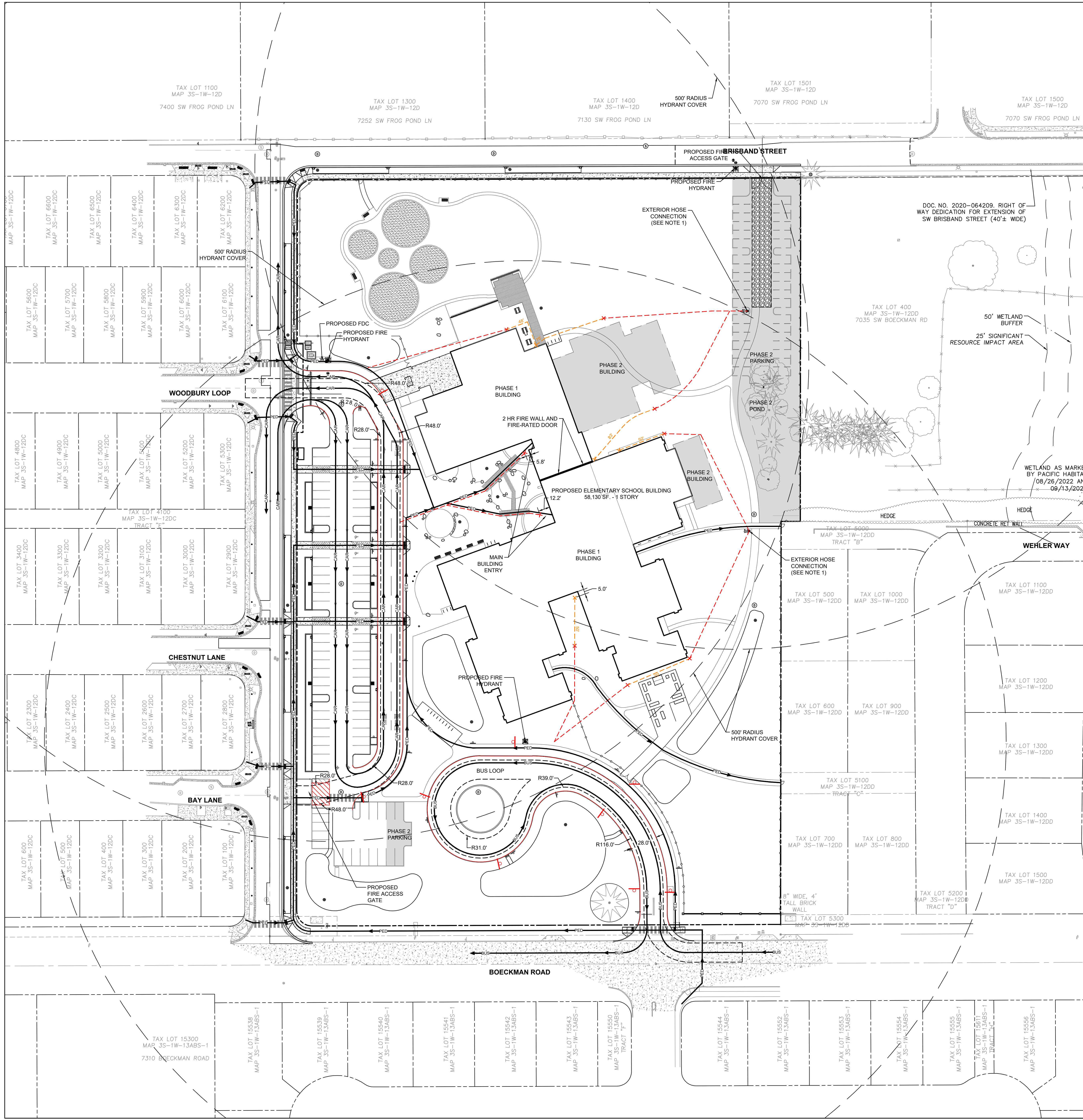
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SCALE: 1" = 40' FT

6/28/2023 10:16 PM

P:\232788\WV\Proj\ES&AS\Sheet\100\EXTC\CONDITIONS PLAN.dwg

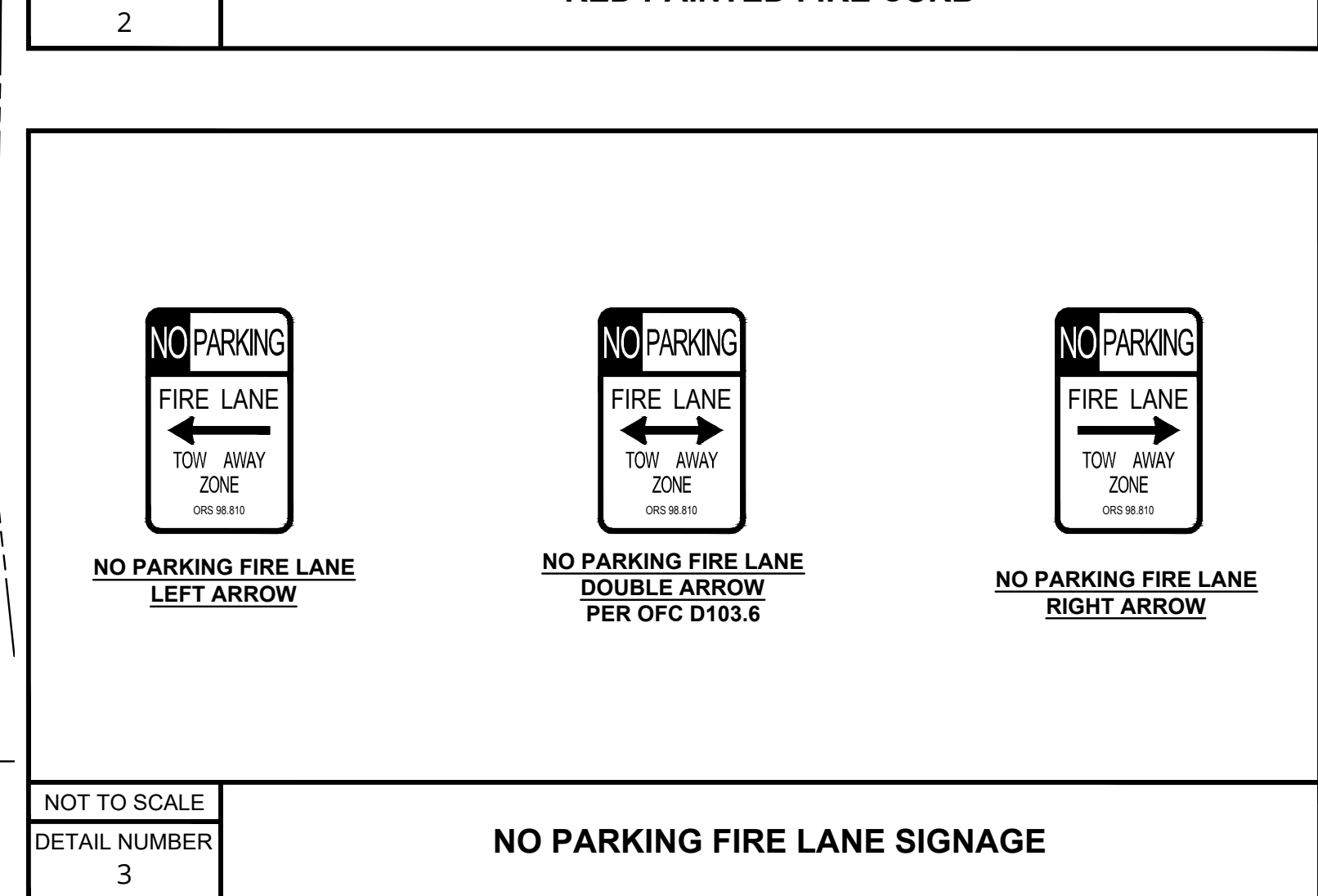
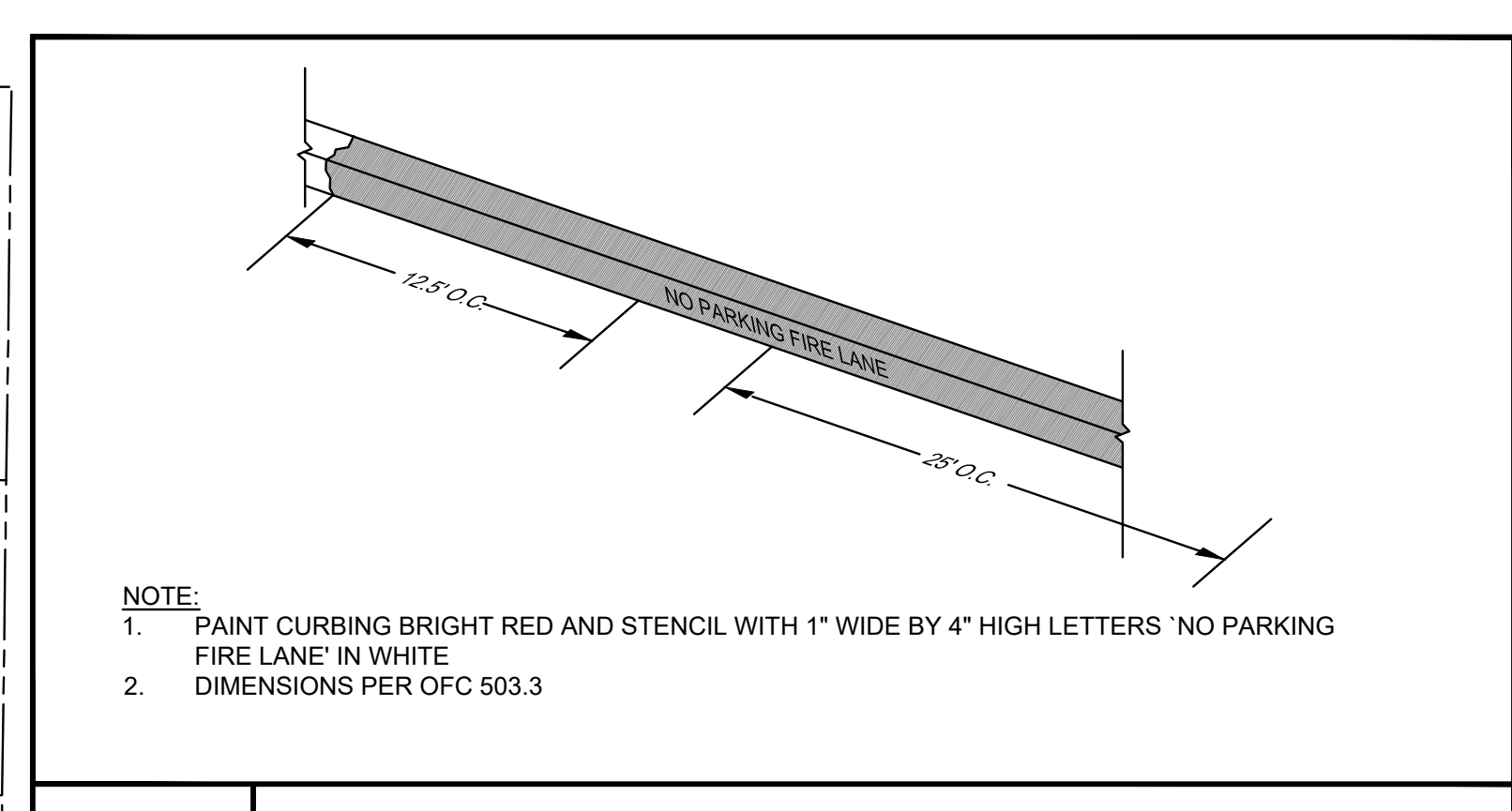
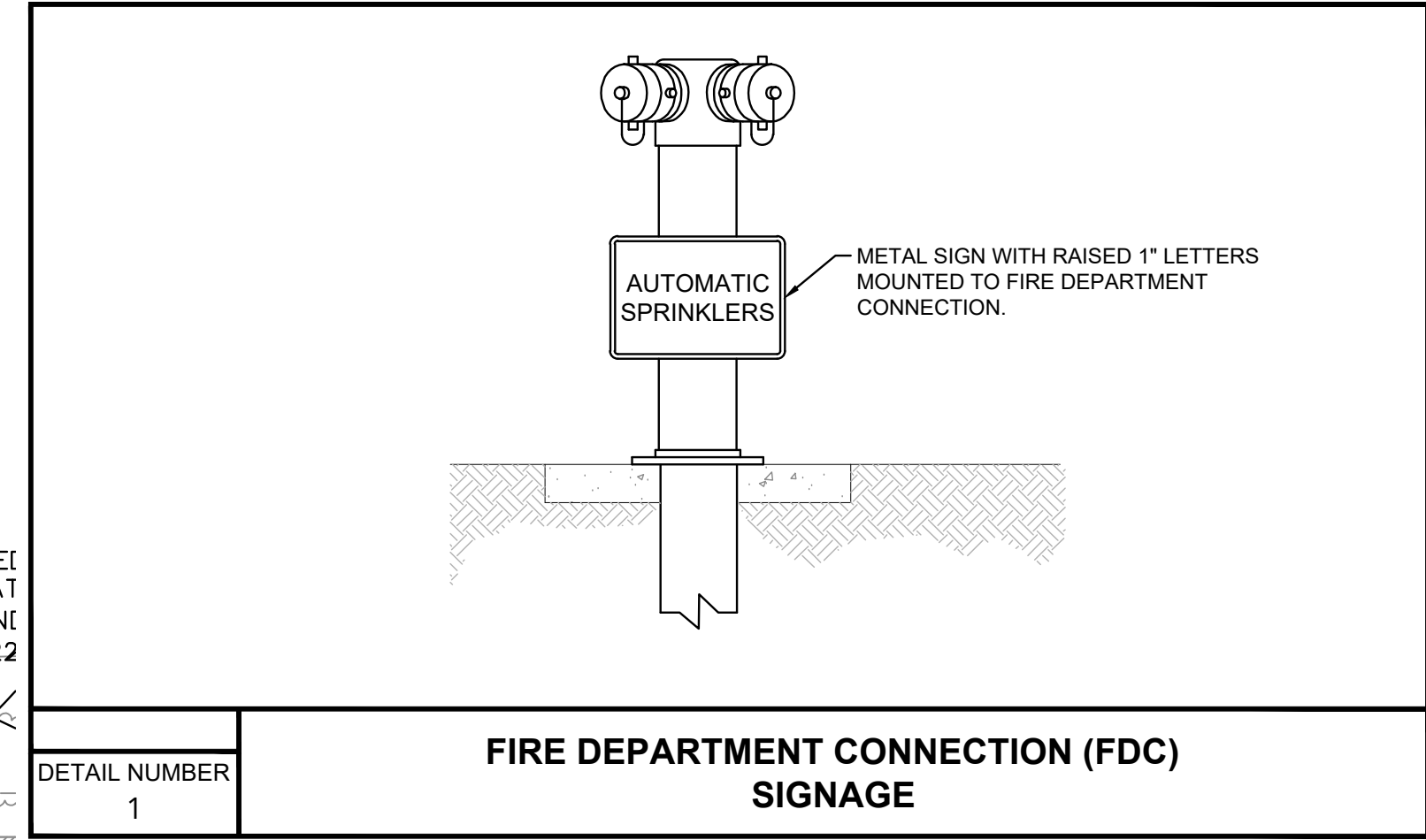




**LEGEND**

- PROPOSED FIRE HOSE PULL (150')
- PROPOSED FIRE HOSE PULL EXTENTS (EXCEEDS 150')
- PROPOSED 450' HYDRANT COVER RADIUS
- PROPOSED FIRE HYDRANT
- PROPOSED EXTERIOR HOSE CONNECTION WITH POST INDICATOR VALVE
- PROPOSED FDC
- PROPOSED 20' WIDE FIRE ACCESS PATH INSIDE RADIUS 28 FT, OUTSIDE RADIUS 48 FT
- PROPOSED NO PARKING FIRE LANE CURB STRIPING
- PROPOSED NO PARKING FIRE LANE SIGN
- BUS CIRCULATION ROUTE
- CAR CIRCULATION ROUTE
- PEDESTRIAN CIRCULATION ROUTE

- NOTES**
- ALTERNATE METHOD PROPOSED IN LIEU OF FIRE DEPARTMENT ACCESS ON THE NORTH AND EAST SIDES OF THE BUILDING (150-FT FIRE HOSE PULL RULE). ALTERNATE METHOD UTILIZES EXTERNAL HOSE CONNECTIONS IN CONJUNCTION WITH THE INTERNAL PLUMBING AND WET SPRINKLER SYSTEM.
  - BUILDING TO BE FULLY SPRINKLERED.
  - LEVEL 1 BUILDING LAYOUT SHOWN.



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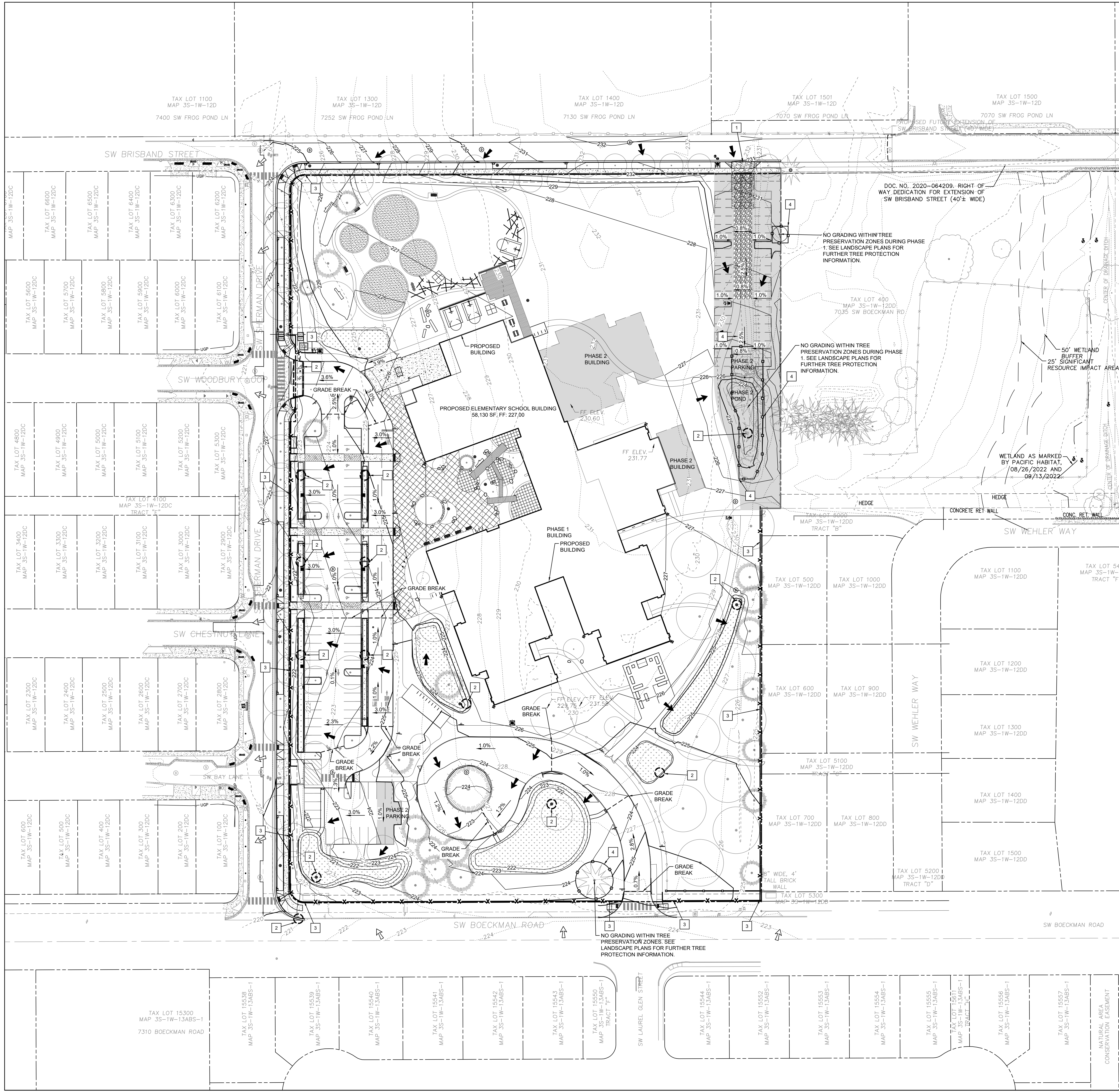
**SHEET TITLE**  
FIRE ACCESS & CIRCULATION PLAN

**SHEET NUMBER**  
LU 130

**811**  
Know what's below.  
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SCALE: 1" = 40'  
0 40 80 FT





**LEGEND**

- - - - - XX0 - - - - - EXISTING MAJOR CONTOUR
- - - - - XX1 - - - - - EXISTING MINOR CONTOUR
- XX0 — PROPOSED MAJOR CONTOUR
- XX1 — PROPOSED MINOR CONTOUR
- X — PROPOSED SILT FENCE
- — PROPOSED TREE PROTECTION FENCE
- — PROPOSED INLET PROTECTION
- EXISTING GRADE SURFACE RUN-OFF FLOW ARROW
- FINISHED GRADE SURFACE RUN-OFF FLOW ARROW
- ▨ CONSTRUCTION ENTRANCE
- ▨ PHASE 2 AREA, AS NOTED

**EROSION & SEDIMENT CONTROL KEY NOTES**

- 1 PROPOSED CONSTRUCTION ENTRANCE
- 2 PROPOSED INLET PROTECTION
- 3 PROPOSED SILT FENCE
- 4 PROPOSED TREE PROTECTION FENCE

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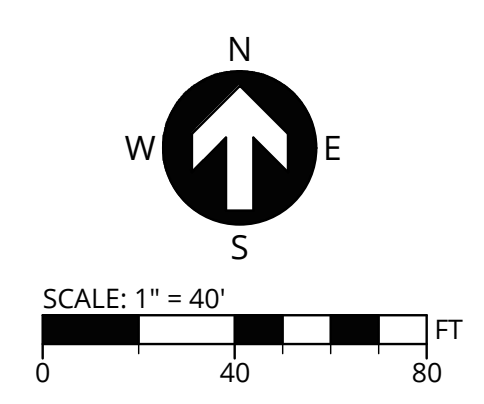
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 137469

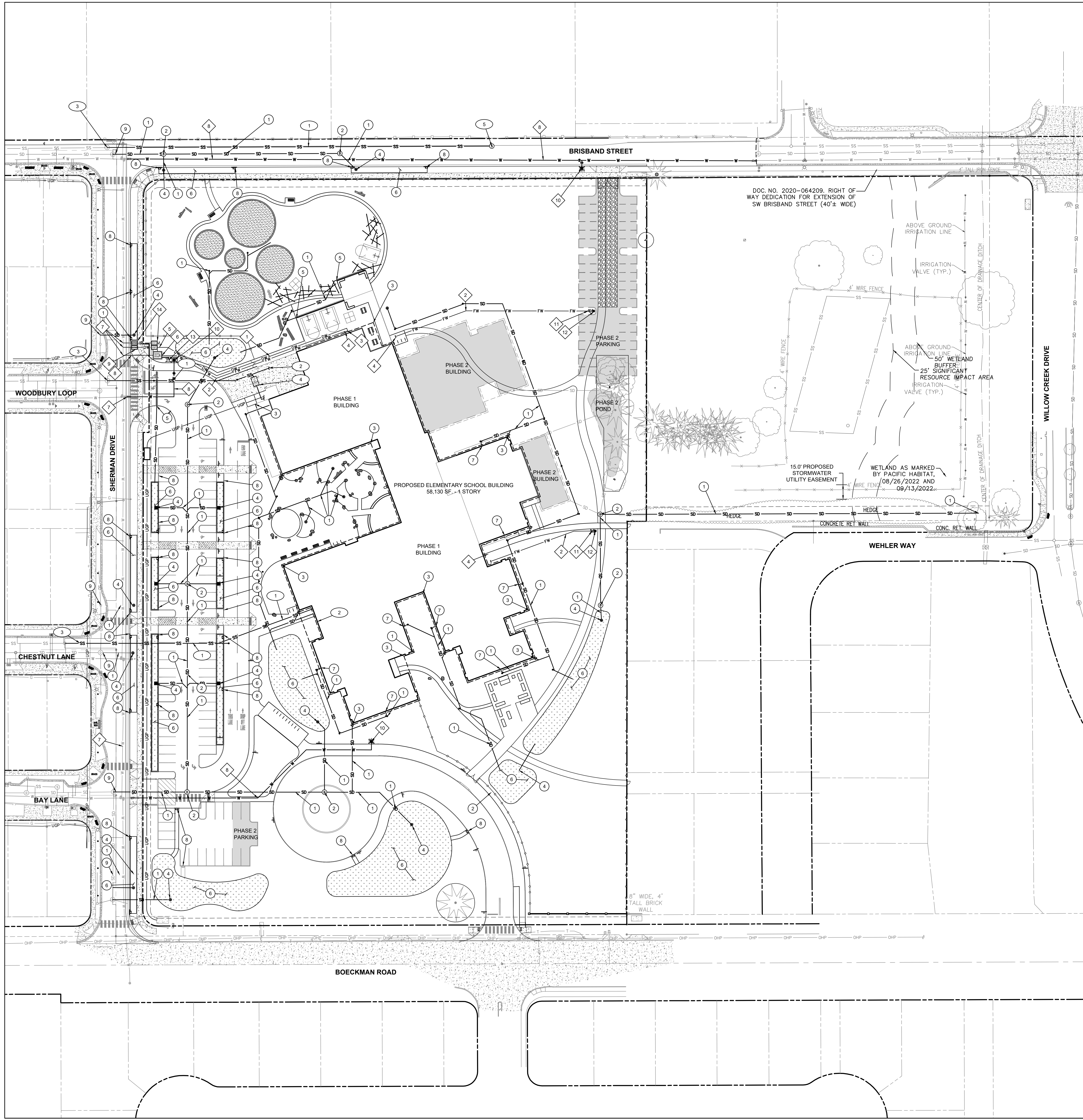
**SHEET TITLE**  
**GRADING & EROSION CONTROL PLAN**

**SHEET NUMBER**  
**LU 140**

**NOT FOR CONSTRUCTION**







**LEGEND**

SD	PROPOSED STORM DRAIN PIPE
SS	PROPOSED SANITARY SEWER PIPE
WM	PROPOSED WATER MAIN PIPE
DW	PROPOSED WATER DOMESTIC SERVICE PIPE
FW	PROPOSED WATER FIRE SERVICE PIPE
IR	PROPOSED IRRIGATION SERVICE PIPE
(R)	PROPOSED STORM MANHOLE
(S)	PROPOSED STORM INLET
(C)	PROPOSED DRAINAGE CURB CUT
	PROPOSED STORM TRENCH DRAIN
-----	PROPOSED BUILDING FOUNDATION DRAIN
-----	PROPOSED BUILDING ROOF DRAIN POINT OF CONNECTION
[Pattern]	PROPOSED LIDA STORM FACILITY
(S)	PROPOSED SEWER MANHOLE
(C)	PROPOSED SEWER CLEANOUT
[Symbol]	PROPOSED SANITARY SEWER POINT OF CONNECTION WITH BUILDING
[Symbol]	PROPOSED REDUCED PRESSURE BACKFLOW ASSEMBLY
[Symbol]	PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED HYDRANT
[Symbol]	PROPOSED EXTERIOR HORIZONTAL STANDPIPE
[Symbol]	PROPOSED POST INDICATOR VALVE
[Symbol]	PROPOSED FIRE SERVICE POINT OF CONNECTION WITH BUILDING
[Symbol]	PROPOSED DOMESTIC WATER POINT OF CONNECTION WITH BUILDING
[Symbol]	UNDERGROUND POWER LOCATION SHOWN FOR REFERENCE ONLY

- STORM DRAIN KEY NOTES**
- INSTALL STORM DRAIN PIPE.
  - INSTALL STANDARD STORM MANHOLE.
  - PROPOSED BUILDING FOUNDATION DRAIN.
  - INSTALL BEEHIVE-STYLE FLOW CONTROL INLET.
  - INSTALL STORM TRENCH DRAIN.
  - CONSTRUCT LIDA STORM FACILITY.
  - PROPOSED BUILDING ROOF DRAIN POINT OF CONNECTION (SEE MEP PLANS FOR CONTINUATION).
  - CONSTRUCT DRAINAGE CURB CUT.
  - CONNECT TO EXISTING STORM SYSTEM.

- SANITARY SEWER KEY NOTES**
- INSTALL SANITARY SEWER PIPE.
  - PROPOSED SANITARY SEWER POINT OF CONNECTION WITH BUILDING (SEE MEP PLANS FOR CONTINUATION).
  - PROPOSED SANITARY SEWER CONNECTION TO EXISTING PUBLIC SANITARY SEWER MAIN.
  - PROPOSED GREASE TRAP. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING WITHIN BUILDING.
  - PROPOSED SANITARY SEWER MANHOLE.

- WATER SYSTEM KEY NOTES**
- INSTALL DOMESTIC WATER SERVICE LATERAL.
  - INSTALL FIRE SERVICE LATERAL.
  - PROPOSED DOMESTIC WATER POINT OF CONNECTION (SEE MEP PLANS FOR CONTINUATION).
  - PROPOSED FIRE SERVICE POINT OF CONNECTION (SEE MEP PLANS FOR CONTINUATION).
  - INSTALL REDUCED PRESSURE BACKFLOW ASSEMBLY.
  - INSTALL DOUBLE CHECK DETECTOR ASSEMBLY.
  - PROPOSED POINT OF CONNECTION TO EXISTING PUBLIC WATER MAIN.
  - INSTALL WATER MAIN LINE.
  - INSTALL DOMESTIC SERVICE WATER METER.
  - INSTALL PUBLIC FIRE HYDRANT.
  - INSTALL POST INDICATOR VALVE.
  - INSTALL EXTERIOR HORIZONTAL STANDPIPE.
  - INSTALL FIRE DEPARTMENT CONNECTION.
  - INSTALL DEDICATED IRRIGATION WATER METER & DOUBLE CHECK BACKFLOW ASSEMBLY.

CLIENT  
**New Linn-Wilsonville School District**  
  
 2755 SW Borland Road,  
 Tualatin, OR 97062

**ISSUES**

No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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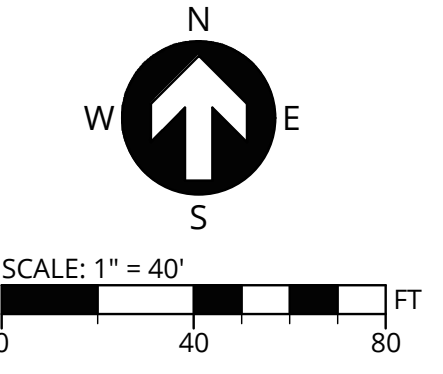
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**3J CONSULTING**  
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**PRIME CONSULTANT**  
**IBI GROUP**  
 907 SW Harvey Mill Street  
 Portland, OR 97205, USA  
 tel 503 226 8950 fax 503 273 9192  
 ibigroup-usa.com

**PROJECT**  
**New Wilsonville Primary School**  
 7151 Boeckman Road  
 Wilsonville, OR 97070

**PROJECT NO:**  
 137469  
**SHEET TITLE**  
 COMPOSITE UTILITY PLAN  
**SHEET NUMBER**  
 LU 150

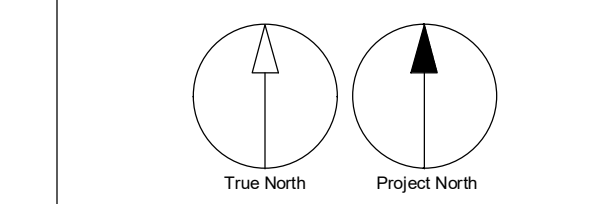




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	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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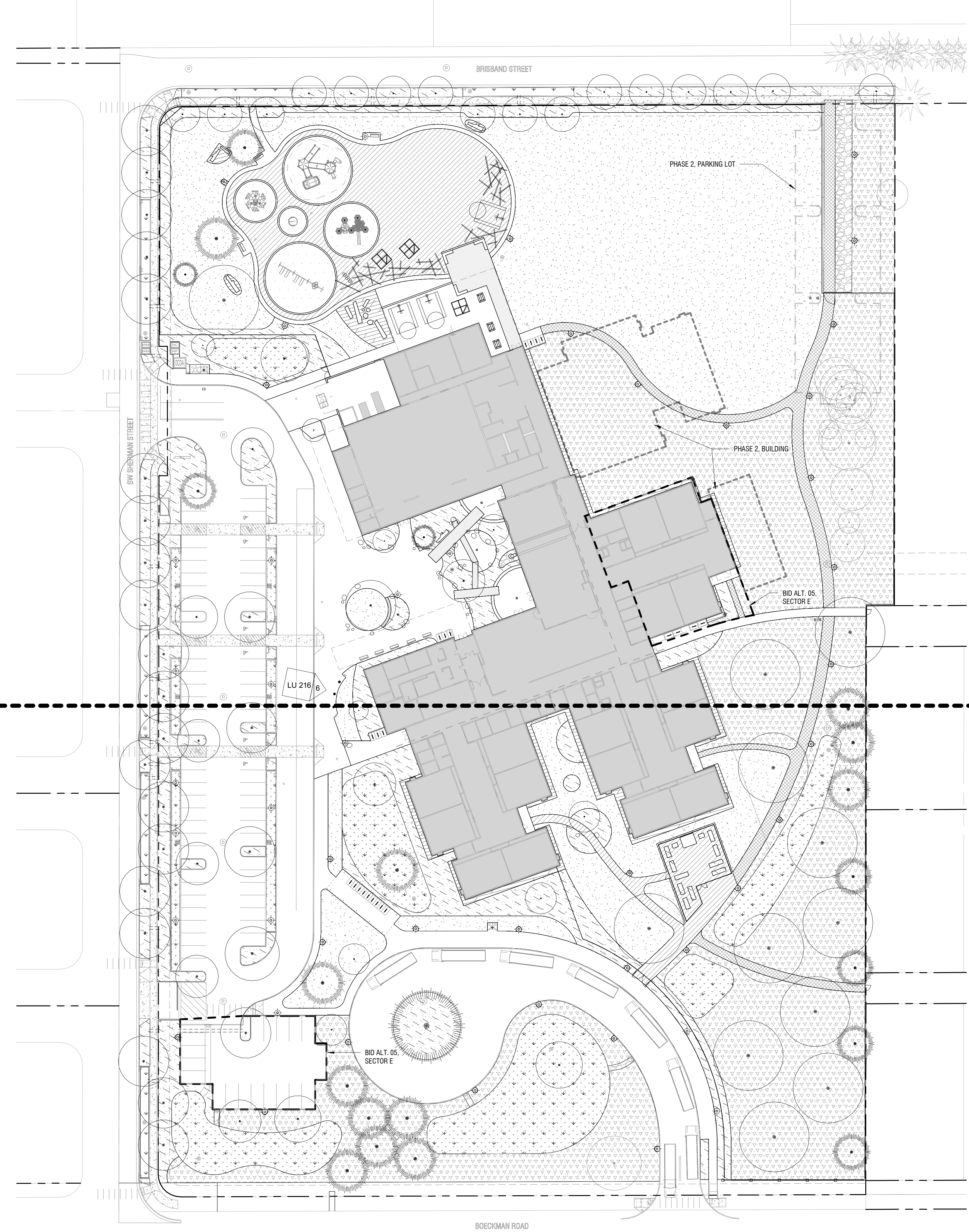
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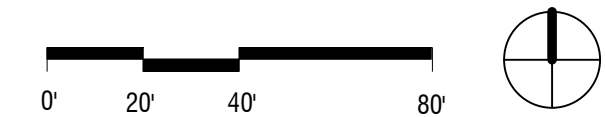
**PROJECT**  
**Frog Pond Primary School**  
 7151 Boeckman Road  
 Wilsonville, OR 97070

**PROJECT NO.**  
 137469  
**SHEET TITLE**  
 LANDSCAPE KEY PLAN

**SHEET NUMBER**  
**LU 200**



**1 SITE PLAN - KEY PLAN**  
 SCALE: 1" = 40'-0"



**GENERAL ABBREVIATIONS**

- ARCH ARCHITECTURAL/ARCHITECT
- CAL CALIPER
- CONC CONCRETE
- DIA DIAMETER
- DBH DIAMETER AT BREAST HEIGHT
- DWG DRAWINGS
- EQ EQUAL
- HT HEIGHT
- L.A. LANDSCAPE ARCHITECT
- N/A NOT APPLICABLE
- NO. NUMBER
- O.C. ON CENTER
- PA PLANTING AREA
- R RADIUS
- SF SQUARE FEET
- SIM SIMILAR

**GENERAL NOTES**

1. LANDSCAPE DOCUMENTS ARE BASED ON A SURVEY BY COMPASS LAND SURVEYORS DATED MARCH, 2022. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
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3. REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING, COVERED PLAY SHELTER, BIKE CANOPY AND SITE SIGNAGE, INCLUDING THE ENTRY MONUMENT.
5. REFERENCE DEMOLITION PLANS FOR SITE REMOVALS.
6. REFERENCE L-001 FOR EXISTING TREE REMOVALS AND PROTECTION.
7. IMPROVEMENTS WITHIN THE RIGHT OF WAY ARE FOR REFERENCE ONLY. REFERENCE SEPARATE CIVIL PUBLIC IMPROVEMENTS PACKAGE.

LU 202 - SITE - PARTIAL PLAN - NORTH  
 LU 204 - IRRIGATION - PARTIAL PLAN - NORTH  
 LU 207 - PLANTING - TREES - PARTIAL PLAN - NORTH

LU 203 - SITE - PARTIAL PLAN - SOUTH  
 LU 205 - IRRIGATION - PARTIAL PLAN - SOUTH  
 LU 208 - PLANTING - TREES - PARTIAL PLAN - SOUTH



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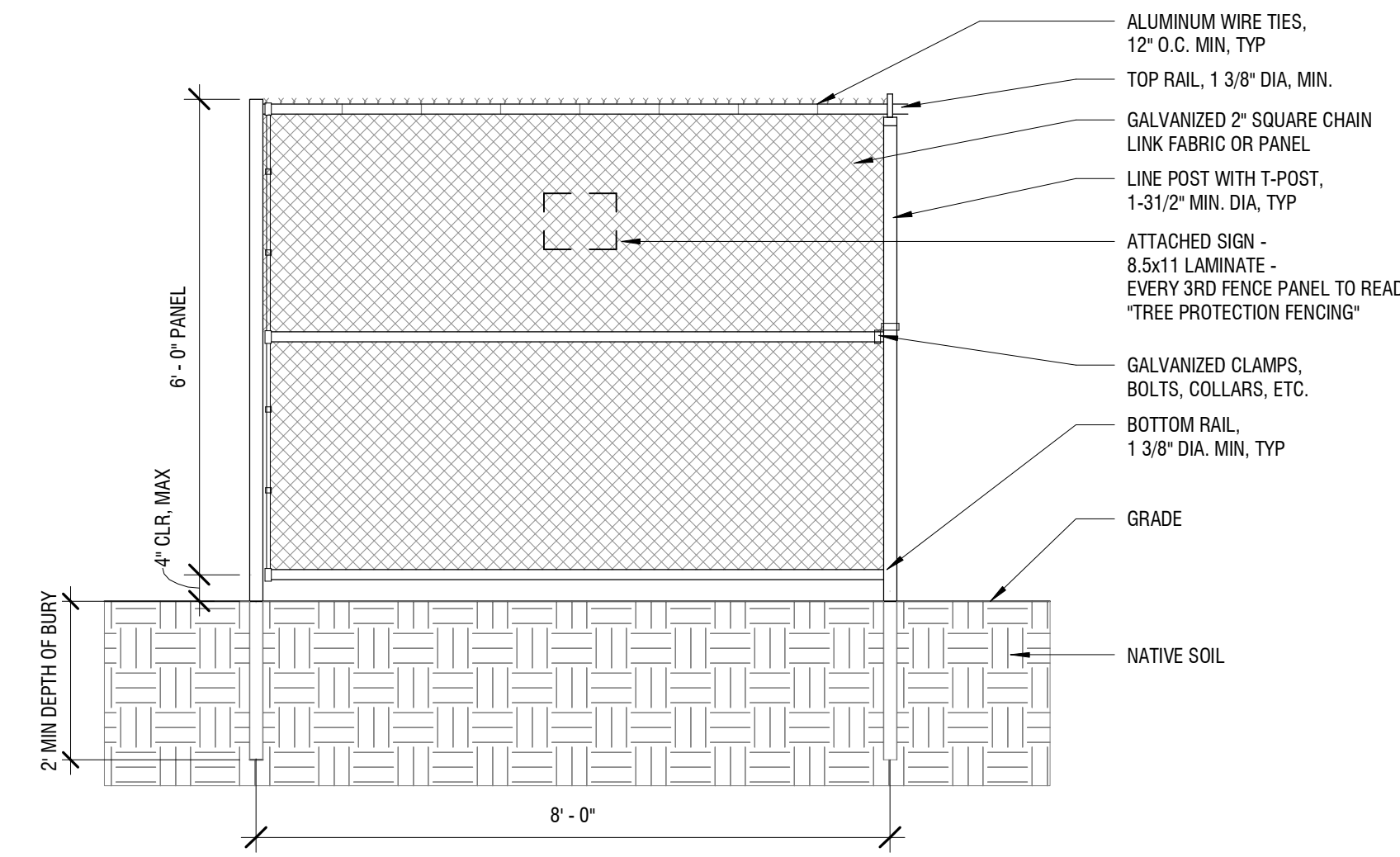
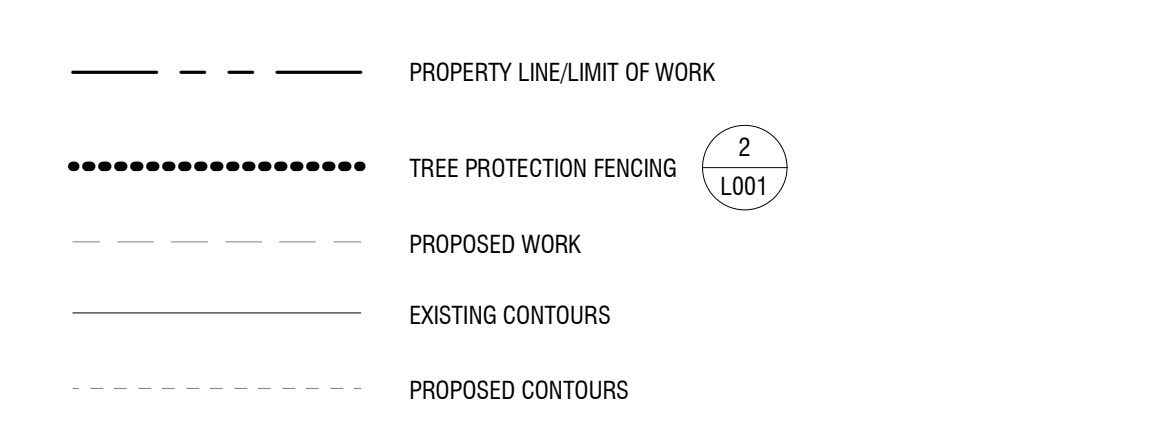
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TREE PROTECTION AND REMOVAL LEGEND



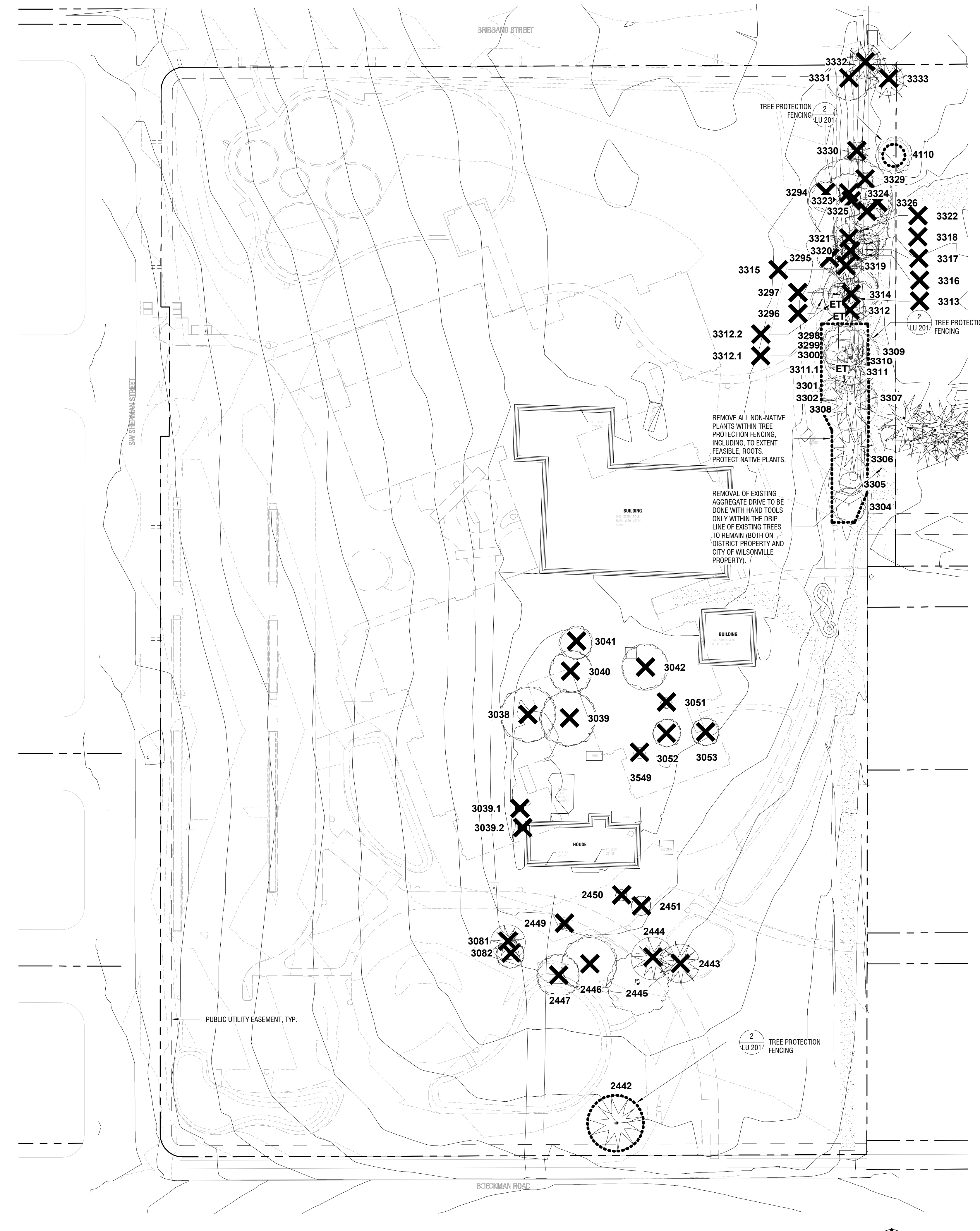
- NOTES:
- LOCATE FENCE AT DRIP LINE OF TREES OR OTHERWISE AS SHOWN ON THE TREE PROTECTION PLAN.
  - EXISTING FENCING OR CONSTRUCTION FENCING MAY BE USED IN LIEU OF TREE PROTECTION FENCING WITH APPROVAL FROM CITY'S AUTHORIZED REPRESENTATIVE.
  - POSTS AND RAILS TO BE GALVANIZED STEEL OR ALUMINUM.
  - FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OF REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.
- 2 TREE PROTECTION FENCING - SECTION  
SCALE: 1/2" = 1'-0"

TREE REMOVAL NOTES

- PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
- TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
- EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
- TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
- APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
- NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
- THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUMPOFF.
- NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
- NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.
- CONTRACTOR TO GIVE OWNER 30 DAYS NOTICE PRIOR TO REMOVAL OF PLANTS TO BE RELOCATED.

EXISTING TREES

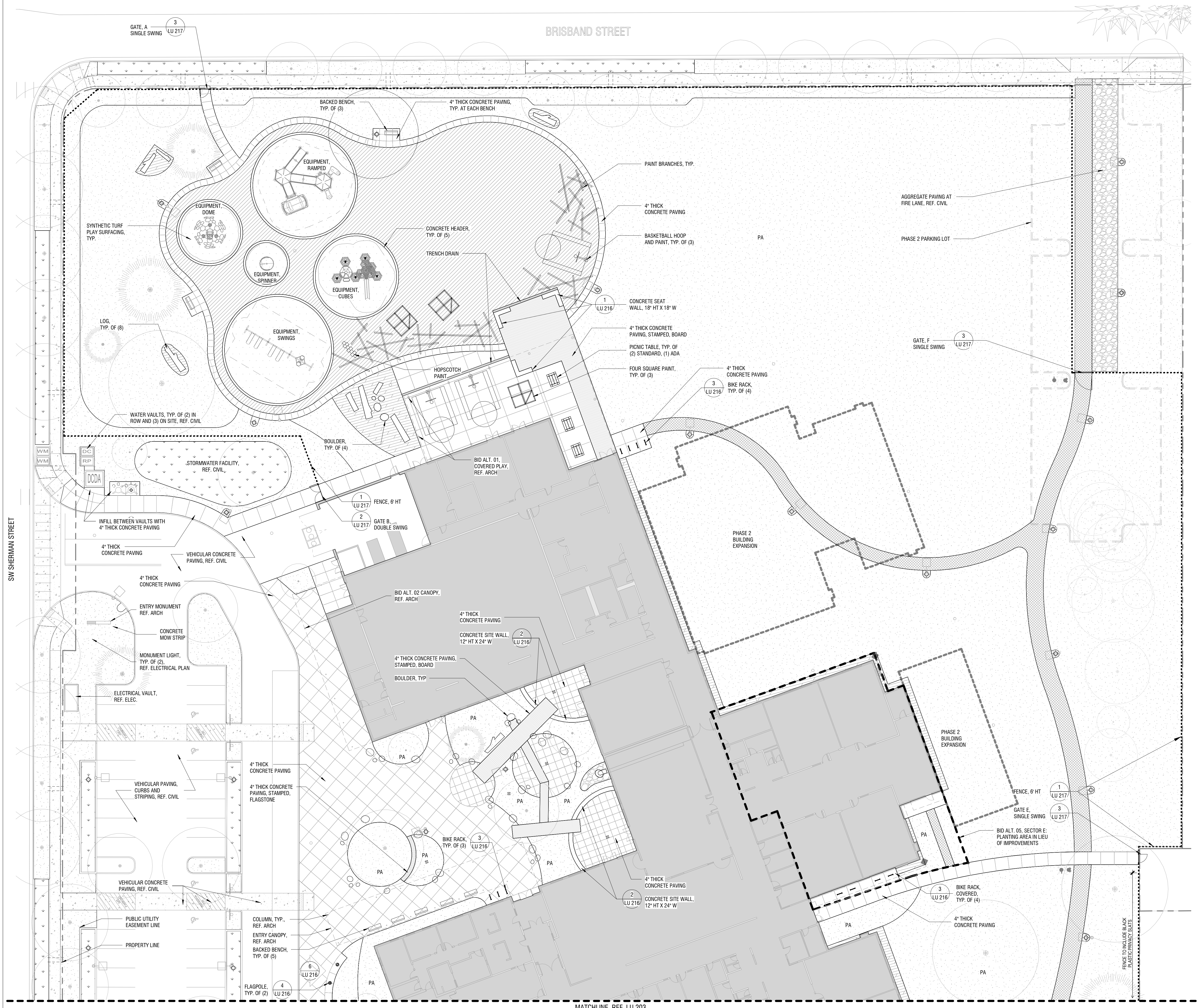
Tree No.	Botanical Name	Common Name	Comments	Removing		Removal Mitigation		Credits		Removing Ph2		Removal Mitigation Ph2		Credits Ph2	
				Phase 1 Construction	Phase 2 Construction	Phase 1 Construction	Phase 2 Construction	Phase 1 Construction	Phase 2 Construction	Phase 1 Construction	Phase 2 Construction	Phase 1 Construction	Phase 2 Construction		
2442	Pinus nigra	Austrian Pine	27' DBH, 23' DL	NO	0	0	0	0	4	0	0	0	0	0	
2443	Pinus ponderosa	Ponderosa Pine	23' DBH, 22' DL	YES	1	0	0	0	0	0	0	0	0	0	
2444	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	13' DBH, 17' DL	YES	1	0	0	0	0	0	0	0	0	0	
2445	Betula pendula	European Birch	18' DBH, 18' DL	YES	1	0	0	0	0	0	0	0	0	0	
2446	Betula pendula	European Birch	17' DBH, 19' DL	YES	1	0	0	0	0	0	0	0	0	0	
2447	Fraxinus excelsior	European Ash	10' DBH, 12' DL	YES	1	0	0	0	0	0	0	0	0	0	
2449	Picea glauca 'Conica'	Dwarf Alberta Spruce	4' DBH, 3' DL	YES	0	0	0	0	0	0	0	0	0	0	
2450	Acer palmatum	Laceleaf Japanese Maple	5' DBH, 5' DL	YES	0	0	0	0	0	0	0	0	0	0	
2451	Cornus florida	Flowering Dogwood	5' DBH, 8' DL	YES	0	0	0	0	0	0	0	0	0	0	
3038	Malus domestica	Orchard Apple	23' DBH, 17' DL	YES	1	0	0	0	0	0	0	0	0	0	
3039	Malus domestica	Orchard Apple	19' DBH, 21' DL	YES	1	0	0	0	0	0	0	0	0	0	
3039.1	Prunus avium	Sweet Cherry	5.5, 5.3' DBH, 12' DL	YES	1	0	0	0	0	0	0	0	0	0	
3039.2	Quercus garryana	Oregon White Oak	5' DBH, 9' DL	YES	1	0	0	0	0	0	0	0	0	0	
3040	Malus domestica	Orchard Apple	10' DBH, 13' DL	YES	1	0	0	0	0	0	0	0	0	0	
3041	Pyrus sp.	Orchard Pear	10' DBH, 12' DL	YES	1	0	0	0	0	0	0	0	0	0	
3042	Malus domestica	Orchard Apple	16' DBH, 16' DL	YES	1	0	0	0	0	0	0	0	0	0	
3051	Pyrus sp.	Orchard Pear	3' DBH, 5' DL	YES	0	0	0	0	0	0	0	0	0	0	
3052	Prunus avium	Sweet Cherry	5' DBH, 9' DL	YES	0	0	0	0	0	0	0	0	0	0	
3053	Pyrus sp.	Orchard Pear	5' DBH, 8' DL	YES	0	0	0	0	0	0	0	0	0	0	
3081	Picea abies	Norway Spruce	11' DBH, 12' DL	YES	1	0	0	0	0	0	0	0	0	0	
3082	Quercus garryana	Oregon White Oak	9' DBH, 12' DL	YES	1	0	0	0	0	0	0	0	0	0	
3294	Salix scouleriana	Scoulers Willow	6' DBH, 7' DL	YES	1	0	0	0	0	0	0	0	0	0	
3295	Populus trichocarpa	Black Cottonwood	6' DBH, 8' DL	YES	1	0	0	0	0	0	0	0	0	0	
3296	Populus trichocarpa	Black Cottonwood	6' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
3297	Populus trichocarpa	Black Cottonwood	7' DBH, 6' DL	YES	1	0	0	0	0	0	0	0	0	0	
3298	Populus trichocarpa	Black Cottonwood	10' DBH, 15' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3299	Populus trichocarpa	Black Cottonwood	14' DBH, 20' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3300	Populus trichocarpa	Black Cottonwood	9' DBH, 10' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3301	Populus trichocarpa	Black Cottonwood	7' DBH, 10' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3302	Populus trichocarpa	Black Cottonwood	9.8' DBH, 18' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3304	Salix scouleriana	Scoulers Willow	6.6, 6.6' DBH, 20' DL	NO	0	4	YES	1	0	0	0	0	0	0	
3305	Betula nigra	River Birch	8' DBH, 12' DL	NO	0	0	YES	1	0	0	0	0	0	0	
3306	Pseudotsuga menziesii	Douglas Fir	16' DBH, 15' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3307	Populus trichocarpa	Black Cottonwood	10' DBH, 11' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3308	Pseudotsuga menziesii	Douglas Fir	19' DBH, 21' DL	NO	0	3	YES	1	0	0	0	0	0	0	
3309	Populus trichocarpa	Black Cottonwood	35' DBH, 20' DL	NO	0	5	YES	1	0	0	0	0	0	0	
3310	Pseudotsuga menziesii	Douglas Fir	11' DBH, 15' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3311	Pseudotsuga menziesii	Douglas Fir	15' DBH, 15' DL	NO	0	0	0	YES	1	0	0	0	0	0	
3311.1	Populus trichocarpa	Black Cottonwood	16' DBH, 15' DL	NO	0	0	0	0	0	0	0	0	0	0	
3312	Pseudotsuga menziesii	Douglas Fir	15' DBH, 15' DL	YES	1	0	0	0	0	0	0	0	0	0	
3312.1	Populus trichocarpa	Black Cottonwood	8' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
3312.2	Populus trichocarpa	Black Cottonwood	6' DBH, 8' DL	YES	1	0	0	0	0	0	0	0	0	0	
3313	Populus trichocarpa	Black Cottonwood	7' DBH, 7' DL	YES	1	0	0	0	0	0	0	0	0	0	
3314	Populus trichocarpa	Black Cottonwood	30' DBH, 20' DL	YES	1	0	0	0	0	0	0	0	0	0	
3315	Pseudotsuga menziesii	Douglas Fir	9' DBH, 9' DL	YES	1	0	0	0	0	0	0	0	0	0	
3316	Populus trichocarpa	Black Cottonwood	11' DBH, 14' DL	YES	1	0	0	0	0	0	0	0	0	0	
3317	Populus trichocarpa	Black Cottonwood	8' DBH, 5' DL	YES	1	0	0	0	0	0	0	0	0	0	
3318	Populus trichocarpa	Black Cottonwood	9' DBH, 3' DL	YES	1	0	0	0	0	0	0	0	0	0	
3319	Pseudotsuga menziesii	Douglas Fir	16' DBH, 15' DL	YES	1	0	0	0	0	0	0	0	0	0	
3320	Populus trichocarpa	Black Cottonwood	10' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
3321	Pseudotsuga menziesii	Douglas Fir	12' DBH, 18' DL	YES	1	0	0	0	0	0	0	0	0	0	
3322	Populus trichocarpa	Black Cottonwood	18, 14' DBH, 22' DL	YES	1	0	0	0	0	0	0	0	0	0	
3323	Salix scouleriana	Scoulers Willow	12, 12, 10, 10, 10, 10, 4' DBH, 25' DL	YES	1	0	0	0	0	0	0	0	0	0	
3324	Populus trichocarpa	Black Cottonwood	14' DBH, 18' DL	YES	1	0	0	0	0	0	0	0	0	0	
3325	Populus trichocarpa	Black Cottonwood	8' DBH, 20' DL	YES	1	0	0	0	0	0	0	0	0	0	
3326	Populus trichocarpa	Black Cottonwood	8' DBH, 20' DL	YES	1	0	0	0	0	0	0	0	0	0	
3329	Fraxinus oxycarpa 'Raywood'	Raywood Ash	6' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
3330	Picea pungens	Colorado Blue Spruce	10' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
3331	Salix scouleriana	Scoulers Willow	10, 8, 8, 5, 5, 5, 3, 3' DBH, 23' DL	YES	1	0	0	0	0	0	0	0	0	0	
3332	Sedouadendron giganteum	Giant Sequoia	30' DBH, 15' DL	YES	1	0	0	0	0	0	0	0	0	0	
3333	Sedouadendron giganteum	Giant Sequoia	34' DBH, 20' DL	YES	1	0	0	0	0	0	0	0	0	0	
3549	Laurus nobilis	Grejan Laurel	6' DBH, 10' DL	YES	1	0	0	0	0	0	0	0	0	0	
4110	Liquidambar styraciflua	Sweet Gum	8' DBH, 8' DL	NO	0	0	0	0	0	0	0	0	0	0	
Totals: 63						41	16			13	4				



1 LU - TREE PROTECTION AND REMOVAL - PLAN  
SCALE: 1" = 40'-0"







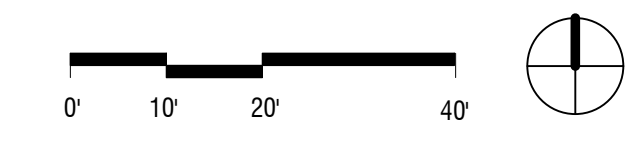
**GENERAL LEGEND**

- PROPERTY LINE
- - - - - FENCE
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN, REF. CIVIL
- LIGHT POLE, REF. ELECTRICAL
- BOLLARD, REF. CIVIL
- PROPOSED TREE, DECIDUOUS
- PROPOSED TREE, EVERGREEN
- PA PLANTING AREA, REF. L400 SERIES
- VEHICULAR ASPHALT PAVING - REF. CIVIL DWGS
- PEDESTRIAN ASPHALT PAVING
- COMPACTED AGGREGATE PAVING
- MULCH AT BUILDING

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1 LU - SITE - PARTIAL PLAN - NORTH  
SCALE: 1" = 20'-0"



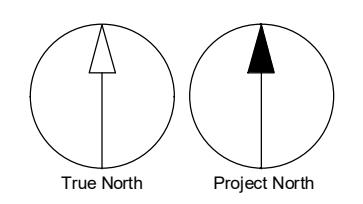
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CONSULTANTS

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tel 503 226 8950 fax 503 273 9192  
ibigroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469  
SHEET TITLE  
**SITE - PARTIAL PLAN - NORTH**

SHEET NUMBER  
**LU 202**

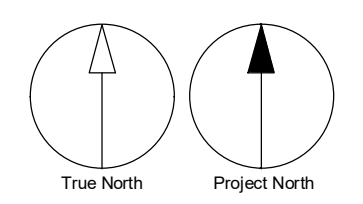




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SEAL

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907 SW Harvey Milk Street  
Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469  
SHEET TITLE  
**SITE - PARTIAL PLAN - SOUTH**

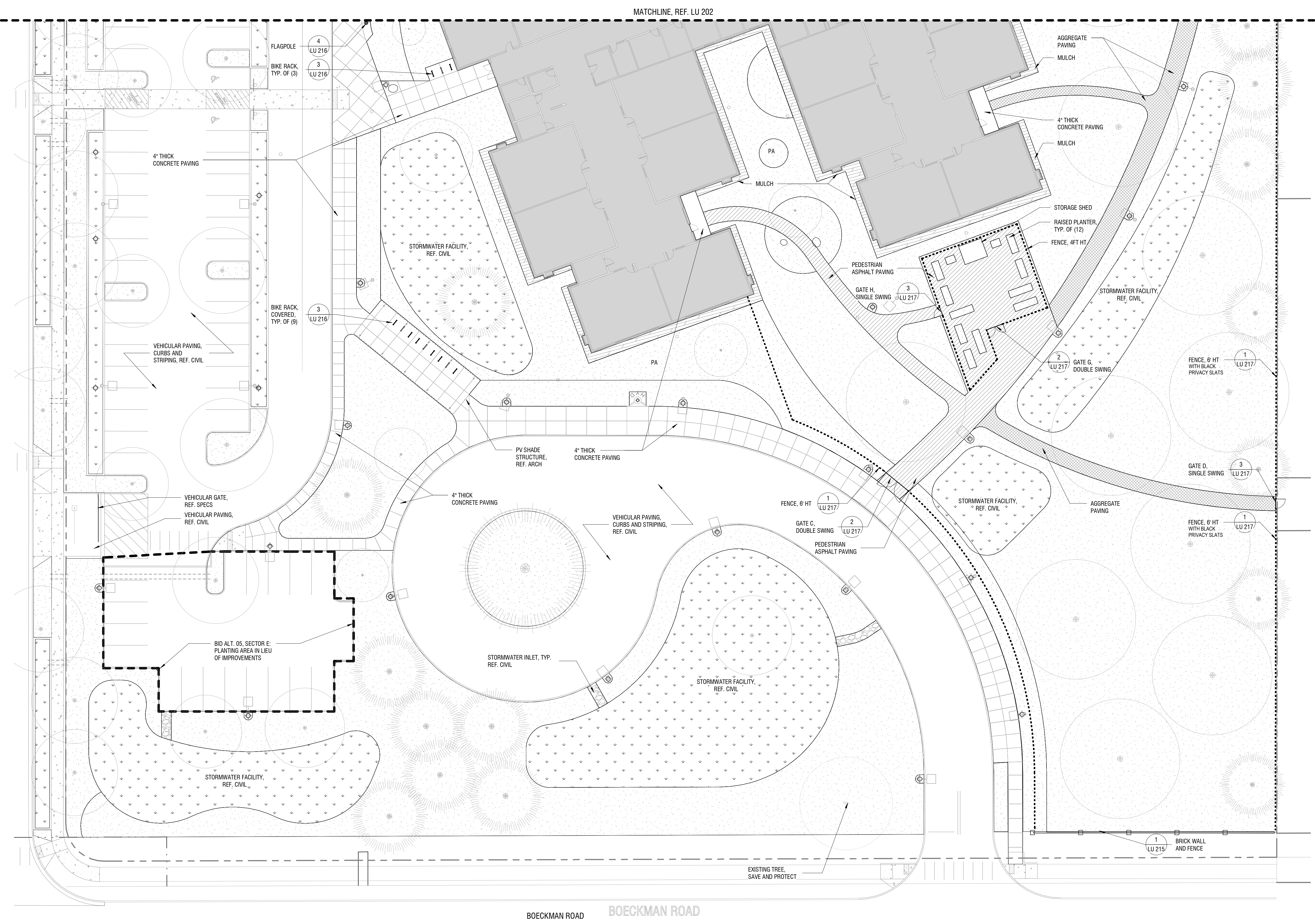
SHEET NUMBER  
**LU 203**

**GENERAL LEGEND**

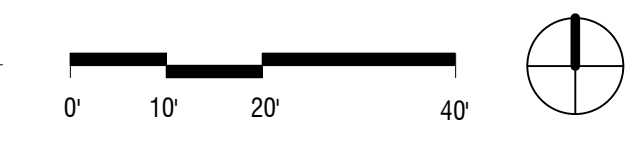
- PROPERTY LINE
- - - - - FENCE
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN, REF. CIVIL
- LIGHT POLE, REF. ELECTRICAL
- BOLLARD, REF. CIVIL
- PROPOSED TREE, DECIDUOUS
- PROPOSED TREE, EVERGREEN
- PA PLANTING AREA, REF. L400 SERIES
- VEHICULAR ASPHALT PAVING - REF. CIVIL DWGS
- PEDESTRIAN ASPHALT PAVING
- COMPACTED AGGREGATE PAVING
- MULCH AT BUILDING

**GENERAL NOTES**

- LANDSCAPE DOCUMENTS ARE BASED ON A SURVEY BY COMPASS LAND SURVEYORS DATED MARCH, 2022. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
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- REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING, COVERED PLAY SHELTER, BIKE CANOPY AND SITE SIGNAGE, INCLUDING THE ENTRY MONUMENT.
- REFERENCE DEMOLITION PLANS FOR SITE REMOVALS.
- REFERENCE L-001 FOR EXISTING TREE REMOVALS AND PROTECTION.



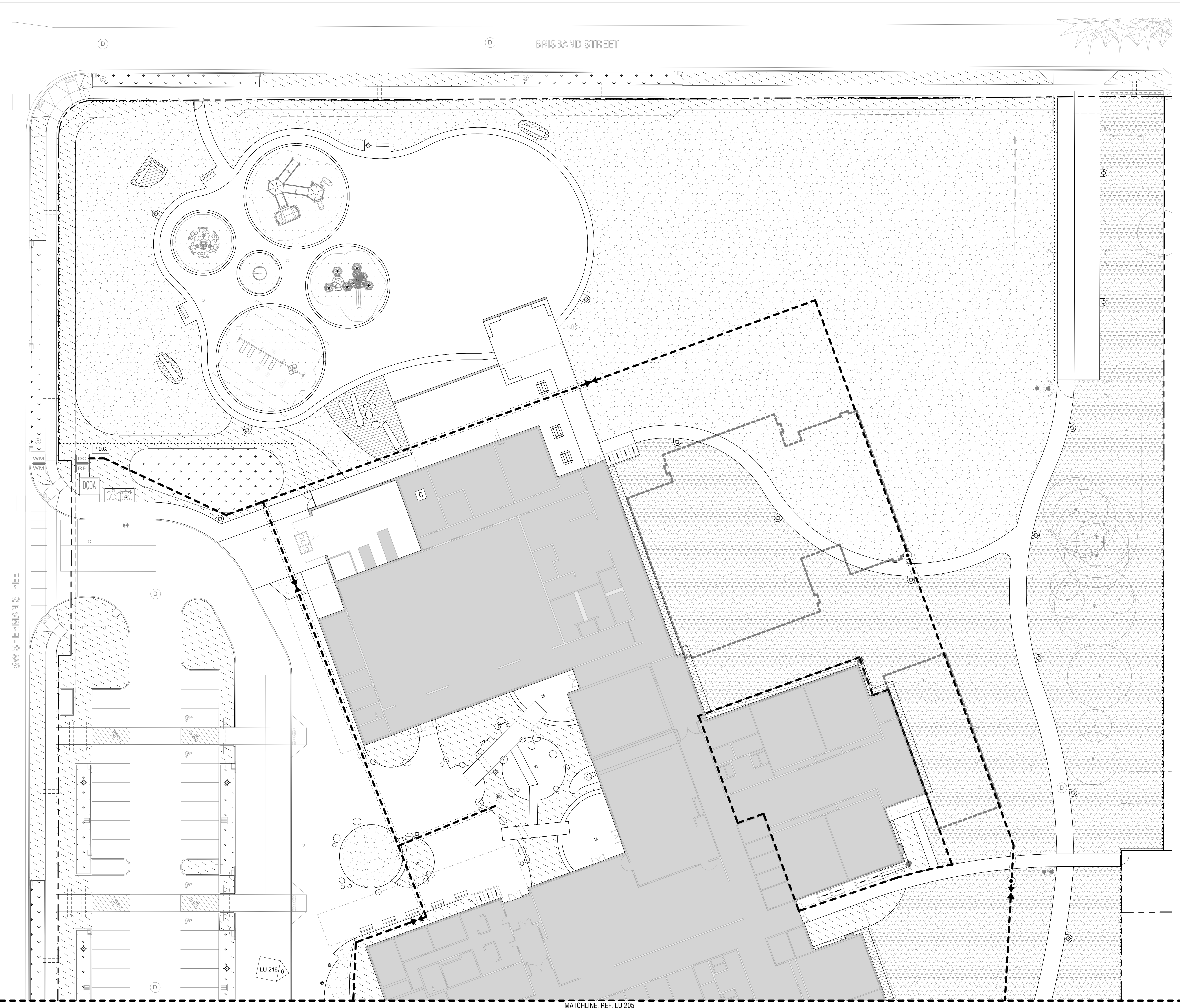
1 LU - SITE - PARTIAL PLAN - SOUTH  
SCALE: 1" = 20'-0"



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### GENERAL LEGEND

- PROPERTY LINE
- LANDSCAPE LIMIT OF WORK
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- TREE TO REMAIN
- APPROXIMATE CANOPY

### GENERAL NOTES

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7. IMPROVEMENTS WITHIN THE RIGHT OF WAY ARE FOR REFERENCE ONLY. REFERENCE SEPARATE CIVIL PUBLIC IMPROVEMENTS PACKAGE.

### IRRIGATION LEGEND

- POINT OF CONNECTION
- CONTROLLER
- ISOLATION VALVE
- QUICK COUPLER
- MAINLINE: 2" SCHEDULE 40 PVC
- SCHEDULE 40 PVC SLEEVES SIZE PER PLAN, 12" PAST PAVING EDGE
- SEEDED LAWN, AUTOMATIC IRRIGATION, SPRAY, 6" POP-UP
- SEEDED MEADOW, TEMPORARY ESTABLISHMENT IRRIGATION, SPRAY
- SHRUBS, AUTOMATIC IRRIGATION, SPRAY, 12" POP-UP
- STORMWATER PLANTING, AUTOMATIC IRRIGATION, SPRAY, 12" POP-UP

### IRRIGATION NOTES

1. IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY REQUIRED IRRIGATION SLEEVING WITH RESPECTIVE SUBCONTRACTORS BEFORE CONSTRUCTION BEGINS.
2. CONTRACTOR TO VERIFY AVAILABLE P.S.I. AT THE POINT OF CONNECTION BEFORE COMMENCEMENT OF INSTALLATION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A FULLY FUNCTIONAL AUTOMATIC IRRIGATION SYSTEM PROVIDING FULL COVERAGE TO ALL PLANTING AREAS AND TREE WELLS AS DESCRIBED ON THE DRAWINGS AND IN THE SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH SCHOOL MAINTENANCE STAFF AS TO EXISTING CONDITIONS AND SYSTEM REQUIREMENTS INCLUDING, QUICK COUPLER LOCATIONS, CONTROL VALVES, ETC.
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7. CONTRACTOR TO SET FLAGS TO IDENTIFY PROPOSED VALVE AND VALVE BOX, QUICK COUPLER, ISOLATION VALVE, SPRINKLER LOCATIONS AND GENERAL LAYOUT OF MAIN LINES. OBTAIN LANDSCAPE ARCHITECTS APPROVAL BEFORE EXCAVATION. PROVIDE 5 BUSINESS DAYS NOTICE TO L.A. PRIOR TO ANTICIPATED LAYOUT REVIEWS.
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CLIENT  
**West Linn-Wilsonville School District**  
  
 2755 SW Borland Road,  
 Tualatin, OR 97062

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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

CONSULTANTS  
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 319 SW Washington St.  
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 Portland, Oregon 97204  
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PROJECT  
**Frog Pond Primary School**  
 7151 Boeckman Road  
 Wilsonville, OR 97070

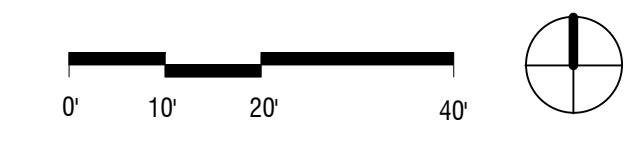
PROJECT NO:  
 137469

SHEET TITLE  
**IRRIGATION - PARTIAL PLAN - NORTH**

SHEET NUMBER  
**LU 204**

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1 LU - IRRIGATION - PARTIAL PLAN - NORTH  
 SCALE: 1" = 20'-0"



MATCHLINE, REF. LU 205

LU 216

SW SHEKMAN STREET

BRISBAND STREET

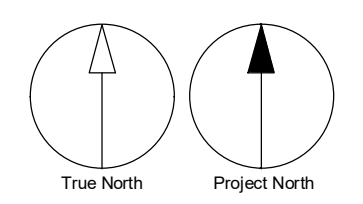




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PROJECT  
**Frog Pond Primary School**

7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**IRRIGATION - PARTIAL  
PLAN - SOUTH**

SHEET NUMBER  
**LU 205**

**GENERAL LEGEND**

- PROPERTY LINE
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- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
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- BOLLARD
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**GENERAL NOTES**

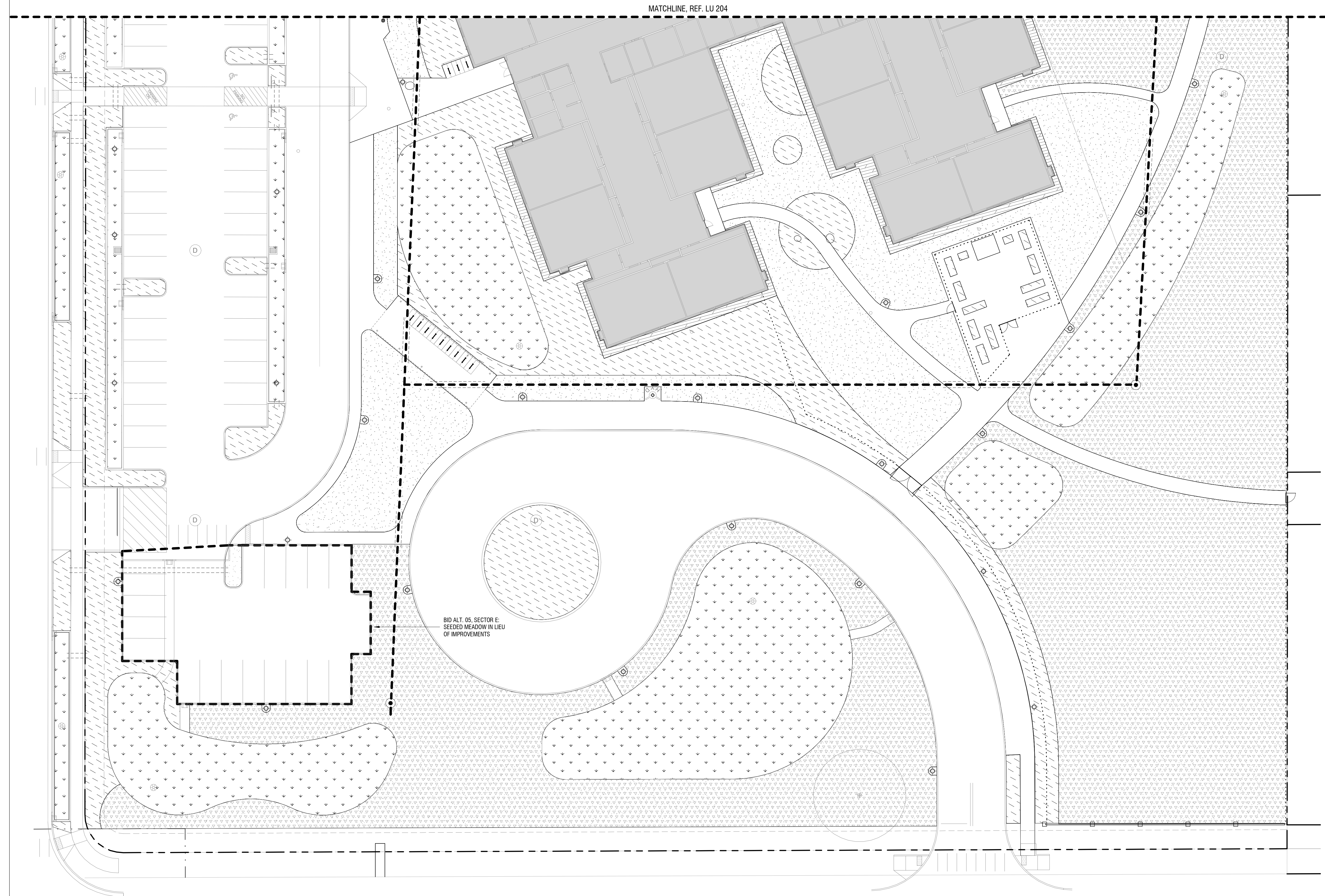
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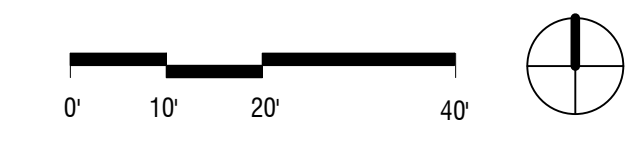
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1 LU - IRRIGATION - PARTIAL PLAN - SOUTH  
SCALE: 1" = 20'-0"





## PLANT SCHEDULE - TREES

Code	Botanical Name	Common Name	Size / Container	Spacing	Comments	Quantity
AM	ACER MACROPHYLLUM	BIGLEAF MAPLE	6'-8" HT./B&B	AS SHOWN		2
AT	ACER TRUNCATUM X A. PLATANOIDES	'KEITHSFORM' NORWEGIAN SUNSET MAPLE	2" CAL. / B&B	AS SHOWN		4
BN	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	6'-10" HT. / B&B	AS SHOWN	CLUMP, 3 TREES	1
CD	CALOCEDRUS DECURRENS	INCENSE CEDAR	6'-8" HT./B&B	AS SHOWN		4
CC	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL. / B&B	AS SHOWN		3
DI	DAVIDIA INVOLUCRADA	DOVE TREE	2" CAL. / B&B	AS SHOWN		1
GB	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2" CAL. / B&B	AS SHOWN		1
PA	PARROTIA PERSICA	PERSIAN IRONWOOD	6'-8" HT./B&B	AS SHOWN		1
PN	PINUS NIGRA	AUSTRIAN PINE	6'-8" HT./B&B	AS SHOWN		6
PP	PINUS PONDEROSA	PONDEROSA PINE	6'-8" HT./B&B	AS SHOWN		6
PI	PINUS STROBUS	EASTERN WHITE PINE	6'-8" HT./B&B	AS SHOWN		1
PT	PINUS THUNBERGII	JAPANESE BLACK PINE	2" CAL. / B&B	AS SHOWN		2
QG	QUERCUS GARRYANA	OREGON WHITE OAK	2" CAL. / B&B	AS SHOWN		10
QP	QUERCUS PHELLOS	WILLOW OAK	2" CAL. / B&B	AS SHOWN		2
QR	QUERCUS RUBRA	RED OAK	2" CAL. / B&B	AS SHOWN		1
SB	SALIX BABYLONICA	WEeping WILLOW	6'-8" HT./B&B	AS SHOWN		2
SG	SEQUIADENDRON GIGANTEUM	GIANT SEQUOIA	6'-8" HT./B&B	AS SHOWN		1
TD	TAXODIUM DISTICHUM	BALD CYPRESS	6'-8" HT./B&B	AS SHOWN		1
TA	TILIA AMERICANA	AMERICAN BASSWOOD	2" CAL. / B&B	AS SHOWN		16
UA	ULMUS ACCOLADE	ACCOLADE ELM	2" CAL. / B&B	AS SHOWN		2
UJ	ULMUS AMERICANA 'JEFFERSON'	JEFFERSON AMERICAN ELM	2" CAL. / B&B	AS SHOWN		2
UF	ULMUS FRONTIER	FRONTIER ELM	2" CAL. / B&B	AS SHOWN		2
UP	ULMUS X 'PATRIOT'	PATRIOT ELM	2" CAL. / B&B	AS SHOWN		3
ZS	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2" CAL. / B&B	AS SHOWN		21

NOTE: PLANT SYMBOLS ARE NOT TO SCALE

## PLANT SCHEDULE - SHRUBS

Code	Botanical Name	Common Name	Size / Container	Spacing	Quantity
AC	ACER CIRCINATUM	VINE MAPLE	6'-8" HT./B&B	AS SHOWN	18
CE5	CEANOTHUS SANGUINEUS	RED STEM CEANOTHUS	#5 CONT.	AS SHOWN	17
CEV	CEANOTHUS VELUTINUS	SNOWBRUSH	#5 CONT.	AS SHOWN	5
CHD	CHOISYA X DEWITTEANA 'AZTEC PEARL'	MEXICAN ORANGE 'AZTEC PEARL'	#2 CONT.	AS SHOWN	103
HAI	HAMAMELLIS X INTERMEDIA	HYBRID WITCHHAZEL	#5 CONT.	AS SHOWN	2
HDD	HOLODISCUS DISCOLOR	OCEANSPRAY	#5 CONT.	AS SHOWN	9
KEJ	KERRIA JAPONICA 'PLENIFOLIA'	KERRIA	#2 CONT.	AS SHOWN	7
PHL	PHILADELPHUS LEWISII	MOCK ORANGE	#2 CONT.	30" O.C.	3
SPD	SPRAEA DOUGLASHI	DOUGLAS SPIRAEA	#5 CONT.	48" O.C.	15
SPT	SPRAEA THUNBERGII	THUNBERG SPIRAEA	#5 CONT.	AS SHOWN	39
WEF	WEIGELA FLORIDA 'SONIC BLOOM'	SONIC BLOOM WEIGELA	#2 CONT.	AS SHOWN	55
273					
SHRUBS - LOW					
CAS	CAMELLIA SASANQUA 'CHANSOINETTE'	CHANSOINETTE CAMELLIA	#5 CONT.	AS SHOWN	37
CLA	CLETHRA ALNIFOLIA 'CRYSTALLINA'	SWEET PEPPERBUSH	#2 CONT.	AS SHOWN	537
DEG	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	#2 CONT.	AS SHOWN	133
DIR	DISTYLUM FACIOSUM 'BLUE CASCADE'	DISTYLUM BLUE CASCADE	#5 CONT.	36" O.C.	379
ITV	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEET SPIRE	#2 CONT.	AS SHOWN	1
POF	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	#2 CONT.	30" O.C.	79
SPB	SPRAEA BETULIFOLIA	BIRCH-LEAFED SPIRAEA	#5 CONT.	30" O.C.	739
SPN	SPRAEA NIPPONICA 'WEDDING CAKE'	WEDDING CAKE SPIREA	#5 CONT.	AS SHOWN	36
1941					
FERNIS, GRASSES, PERENNIALS					
ATF	ATHYRIUM FILIX-FEMINA	LADY FERN	#2 CONT.	24" O.C.	55
POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 CONT.	24" O.C.	98
SCMI	SCIRPUS MICROCARPUS	PANICLED BULLRUSH	#2 CONT.	AS SHOWN	3
SYSU	SYMPHOTRICHUM SUBSPICATUS	DOUGLAS ASTER	#2 CONT.	AS SHOWN	1
TEGR	TELLIMA GRANDIFLORA	FRINGECUP	#2 CONT.	AS SHOWN	134
291					
GROUND COVER					
CEGL	CEANOTHUS GLORIOSUS 'PF. REYES'	POINT REYES CEANOTHUS	#1 CONT.	AS SHOWN	555
EPRIU	EPIMEDIUM X RUBRUM	BISHOP'S HAT	#1 CONT.	18" O.C.	1
ERCA	ERICA CARNEA	WINTER HEATH	#1 CONT.	18" O.C.	1
IBSE	IBERIS SEMPERVIRENS	CANDYTUFT	#1 CONT.	12" O.C.	1
PATE	PACHYSANDRA TERMINALIS	PACHYSANDRA	4" POT	9" O.C.	1
STBY	STACHYS BYZANTINA	LAMB'S EAR	#1 CONT.	18" O.C.	1
560					
STORMWATER MIX					
CAQU	CAMASSIA QUAMASH	CAMAS	#1 CONT.	AS SHOWN	1
CADE	CAREX Densa	DENSE SEDGE	#1 CONT.	18" O.C.	1
JUEN	JUNCUS ENGIFOLIUS	DAGGER-LEAF RUSH	#1 CONT.	24" O.C.	1
JUPA	JUNCUS PATENS	CALIFORNIA GRAY RUSH	#1 CONT.	24" O.C.	1
4					
PLANT SCHEDULE - SEED MIXES					
M1	MEADOW SEED MIX	SEED	1LB/1000SF	PRODUCT AND APPLICATION RATE PER SPECIFICATIONS	
M2	LAWN SEED MIX	SEED		PRODUCT AND APPLICATION RATE PER SPECIFICATIONS	

NOTE: PLANT SYMBOLS ARE NOT TO SCALE

## PLANTING NOTES

- DO NOT BEGIN PLANTING UNTIL IRRIGATION SYSTEM IS INSTALLED, TESTED AND APPROVED.
- DO NOT BEGIN PLANTING UNTIL SOIL PREPARATION IS COMPLETE AND APPROVED. REF. SPECIFICATIONS FOR PLANTING SOIL PLACEMENT AND DEPTHS.
- LOCATE PLANTS AS DIMENSIONED ON THE PLANS AND AS SHOWN IN THE PLANT SCHEDULE. PLANT SPACING IS MEASURED CENTER TO CENTER. PLANT LOCATIONS MAY BE ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS.
- VERIFY ALL QUANTITIES AND VARIETIES SHOWN ON THE DRAWINGS PRIOR TO ORDERING. OWNER MUST APPROVE ANY NECESSARY SUBSTITUTIONS DURING SUBMITTALS PROCESS. REVIEW PROCESS TO BE ESTABLISHED AT PRE-CONSTRUCTION MEETING.
- THOROUGHLY WATER IN ALL PLANTS WITHIN 6 HOURS OF PLANTING.
- APPLY SPECIFIED MULCH OVER PLANTING AREAS WITHIN TWO DAYS OF INSTALLING PLANTS, UNLESS OTHERWISE NOTED.
- ALL PLANTS ARE REQUIRED TO MEET AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
- TO CALCULATE THE QUANTITY OF PLANTS PER AREA, USE THE FOLLOWING SPACING MULTIPLIERS:

TRIANGULAR SPACING	9"	12"	15"	18"	24"	30"	36"	48"
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.238	0.184	0.128	0.072

## LU CODE CALCULATIONS, PLANTING AND SCREENING

PARKING LOT, 4.155.02

TREES:  
REQUIRED: 1 TREE / 8 SPACES  
PROPOSED: 1 TREE / 8 SPACES

SCREENING FROM ROW  
10% OF PARKING LOT

TREES  
TOTAL PARKING LOT PERIMETER AT ROW:  
488.5 LF X 10% = 48 LF, 1/30 LF = 3 REQUIRED  
TREES AT PERIMETER = 9 PROPOSED

SHRUBS  
25,096 SF PARKING LOT X 10% = 2509 SF REQUIRED  
488.5 LF X 8 FT DEPTH = 3908 SF PROPOSED

GENERAL LANDSCAPING, 4.176.02 C

30 FT OR GREATER: 1 TREE/ 800 SF AND 2 HIGH OR 3 LOW SHRUBS / 400 SF

396,812 SF X 15% OF SITE = 59,522 SF

TREES  
59,522 SF / 800 = 75 REQUIRED  
MITIGATION TREES FOR REMOVALS = 41 REQUIRED

EXISTING TREES TO REMAIN CREDIT = 16  
75 - 16 = 59 TREES REQUIRED  
59 TREES PROPOSED

SHRUBS  
31,276 SF / 400 = 79 GROUPS OF SHRUBS REQUIRED

264 HIGH / 2 = 132 GROUPS  
1932 LOW / 3 = 644 GROUPS

132 + 644 = 776 GROUPS PROPOSED

PLANT MATERIALS, 4.176.06

SHRUB SIZES REQUIRED: 2 GAL AND LARGER

SHRUB SIZES PROPOSED: 2 GAL AND LARGER

TREE SIZES REQUIRED

DECIDUOUS: 1.75" CALIPER <

EVERGREEN: 3 FT HT <

TREE SIZES PROPOSED

DECIDUOUS: 2" CALIPER

EVERGREEN: 6 FT HT <

TURFLAWN

LAWN AREA 10% MAX OF VEGETATED AREA = 22,481 SF REQUIRED

LAWN AREA = 62,280 SF PROPOSED

CLIENT  
West Linn-Wilsonville  
School District



2755 SW Borland Road,  
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503.223.5953

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PRIME CONSULTANT  
**IBI GROUP**  
907 SW Harvey Milk Street  
Portland, OR 97205, USA  
tel 503.226.8950 fax 503.273.9192  
ibigroup.com

PROJECT

Frog Pond Primary School

7151 Bockman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
PLANT SCHEDULE AND  
PLANTING NOTES

SHEET NUMBER

**LU 206**



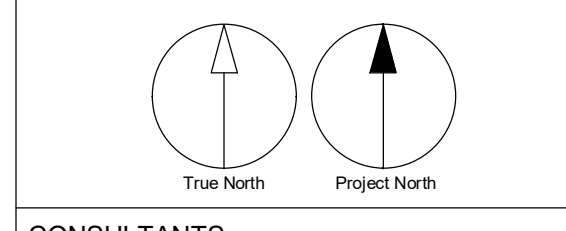




**ISSUES**

No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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**Mayer/Reed**  
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 503.223.5953

**SEAL**

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 tel 503 226 8950 fax 503 273 9192  
 ibigroup.com

**PROJECT**  
**Frog Pond Primary School**  
 7151 Bockman Road  
 Wilsonville, OR 97070

**PROJECT NO:**  
 137469  
**SHEET TITLING**  
**PLANTING - TREES - PARTIAL PLAN - SOUTH**

**SHEET NUMBER**  
**LU 208**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

**GENERAL NOTES**

- LANDSCAPE DOCUMENTS ARE BASED ON A SURVEY BY COMPASS LAND SURVEYORS DATED MARCH, 2022. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- REFERENCE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND VEHICULAR AREAS INCLUDING PAVING, CURBS, STRIPING AND SIGNAGE.
- REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
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- REFERENCE DEMOLITION PLANS FOR SITE REMOVALS.
- REFERENCE L-001 FOR EXISTING TREE REMOVALS AND PROTECTION.
- IMPROVEMENTS WITHIN THE RIGHT OF WAY ARE FOR REFERENCE ONLY. REFERENCE SEPARATE CIVIL PUBLIC IMPROVEMENTS PACKAGE.

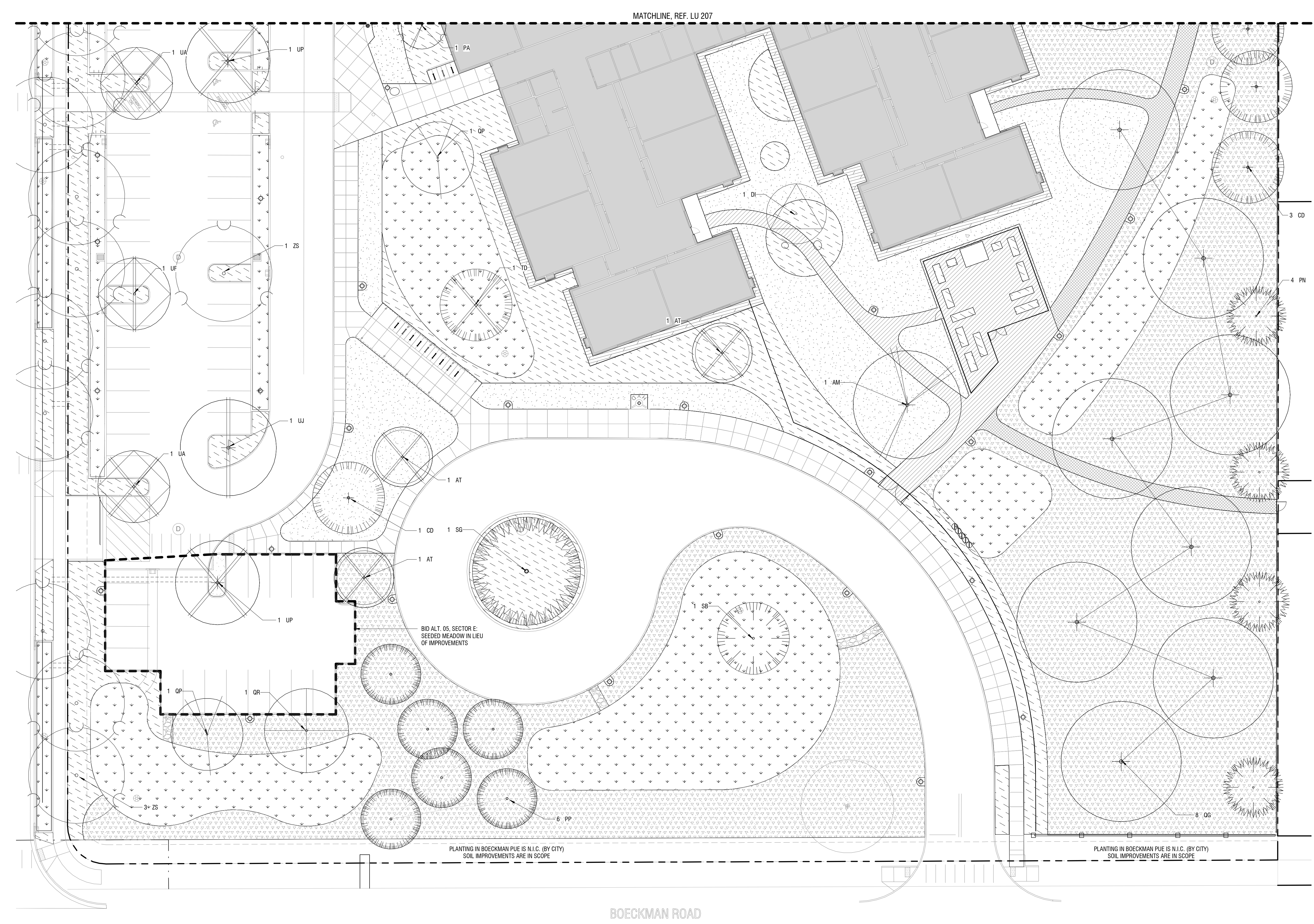
**PLANT LEGEND**

- NOTE: REF. L-000 FOR FULL PLANT LISTS
- SEEDED LAWN
  - SEEDED MEADOW
  - SHRUB PLANTING
  - MULCH
  - STORMWATER PLANTING

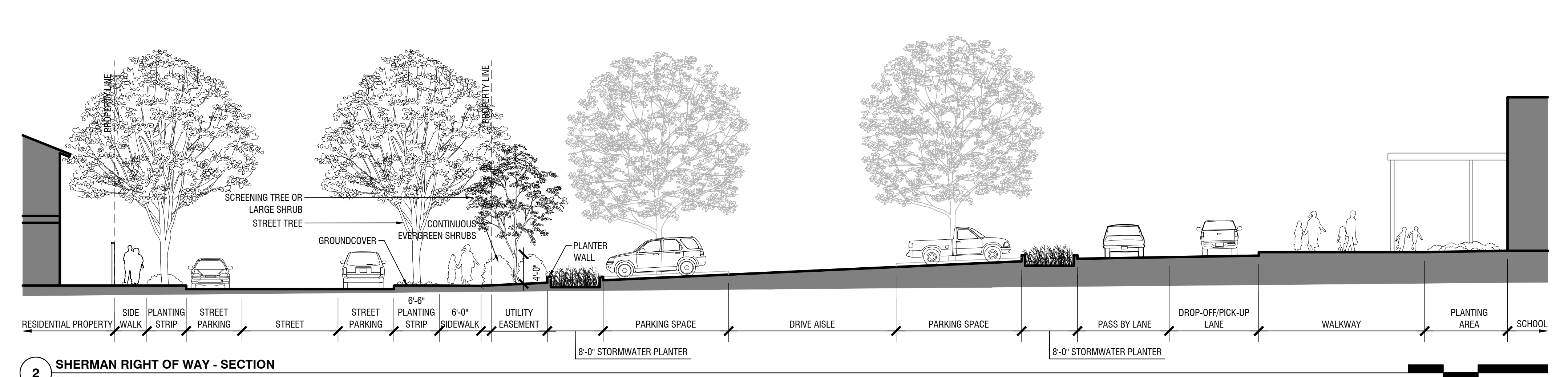
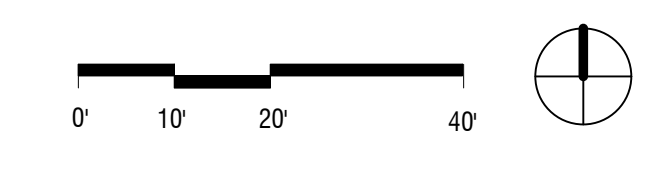
**PLANTING NOTES**

- DO NOT BEGIN PLANTING UNTIL IRRIGATION SYSTEM IS INSTALLED, TESTED AND APPROVED.
- DO NOT BEGIN PLANTING UNTIL SOIL PREPARATION IS COMPLETE AND APPROVED. REF. SPECIFICATIONS FOR PLANTING SOIL PLACEMENT AND DEPTHS.
- LOCATE PLANTS AS DIMENSIONED ON THE PLANS AND AS SHOWN IN THE PLANT SCHEDULE. PLANT SPACING IS MEASURED CENTER TO CENTER. PLANT LOCATIONS MAY BE ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS.
- VERIFY ALL QUANTITIES AND VARIETIES SHOWN ON THE DRAWINGS PRIOR TO ORDERING. OWNER MUST APPROVE ANY NECESSARY SUBSTITUTIONS DURING SUBMITTALS PROCESS. REVIEW PROCESS TO BE ESTABLISHED AT PRE-CONSTRUCTION MEETING.
- THOROUGHLY WATER IN ALL PLANTS WITHIN 6 HOURS OF PLANTING.
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- ALL PLANTS ARE REQUIRED TO MEET AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-2014.
- TO CALCULATE THE QUANTITY OF PLANTS PER AREA, USE THE FOLLOWING SPACING MULTIPLIERS:

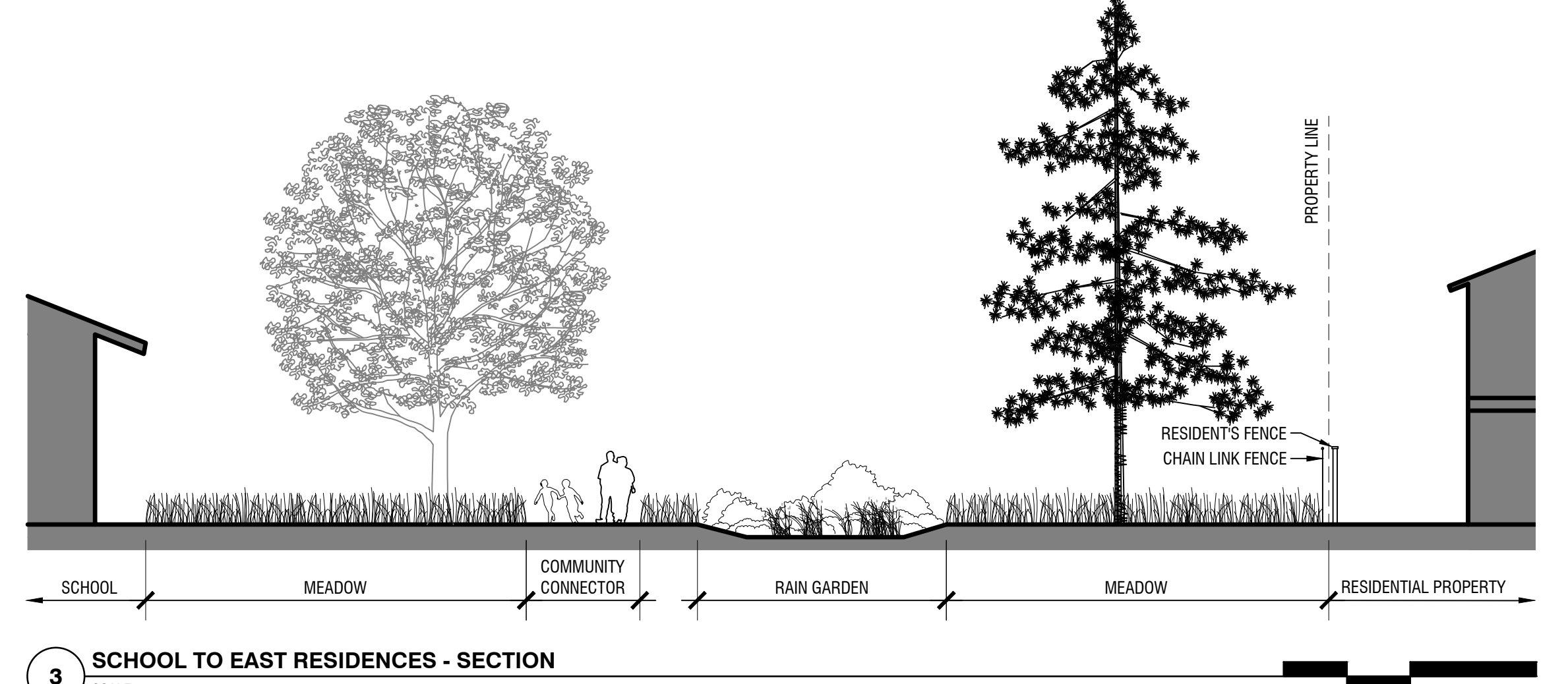
	9"	12"	15"	18"	24"	30"	36"	48"
TRIANGULAR SPACING								
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



**1 LU - PLANTING - TREES - PARTIAL PLAN - SOUTH**  
 SCALE: 1" = 20'-0"



**2 SHERMAN RIGHT OF WAY - SECTION**  
 SCALE: 1" = 10'-0"



**3 SCHOOL TO EAST RESIDENCES - SECTION**  
 SCALE: 1" = 10'-0"

1/17/2023 5:34:43 PM

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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

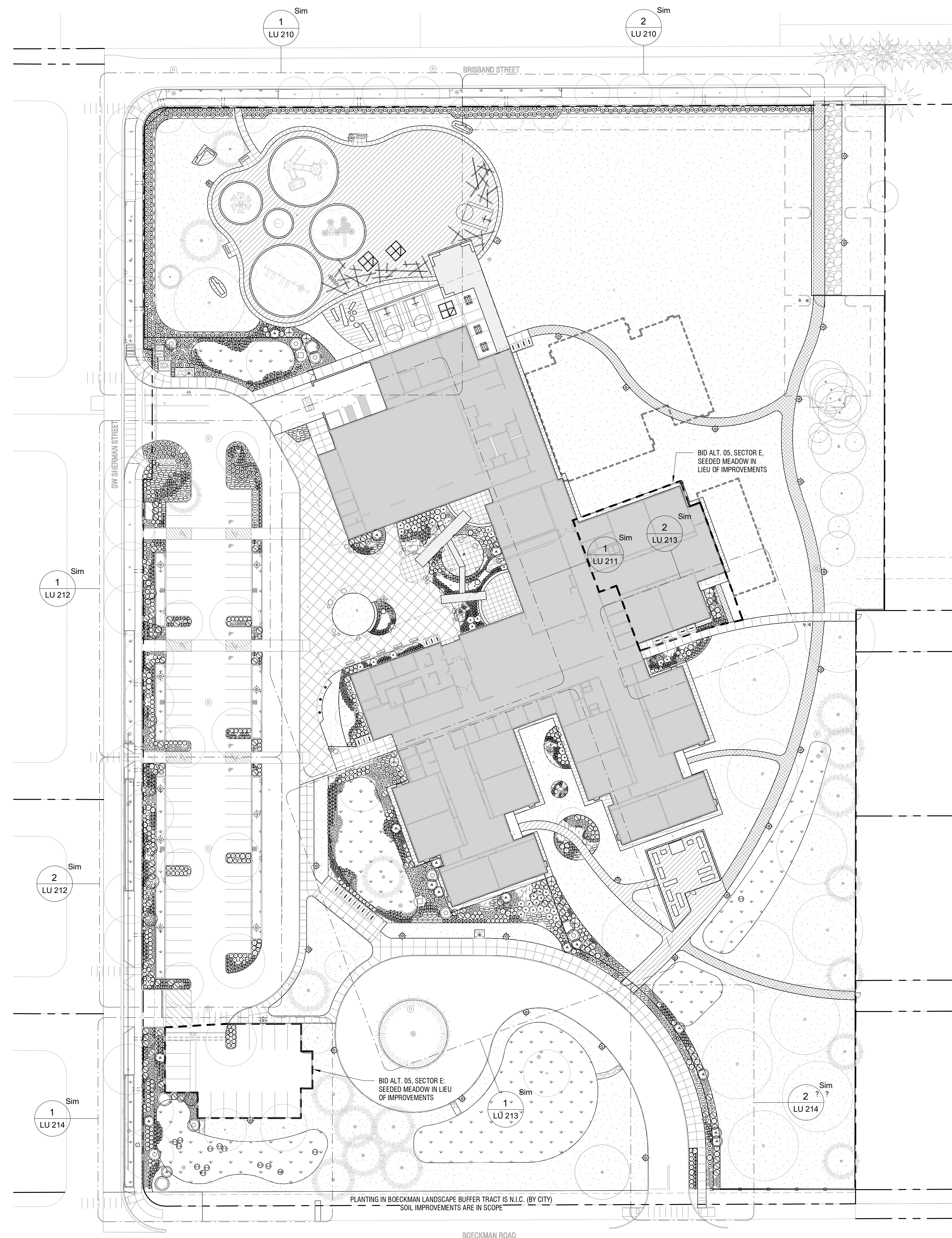
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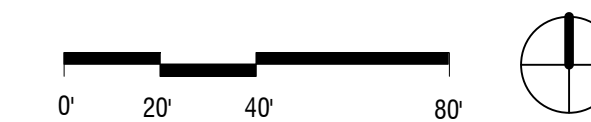
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TRIANGULAR SPACING	9"	12"	15"	18"	24"	30"	36"	48"
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



1 ARCHITECTURAL SITE PLAN  
SCALE: 1" = 40'



CONSULTANTS

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319 SW Washington St.  
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ibigroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Bockman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469  
SHEET TITLE  
**PLANTING KEY PLAN**

SHEET NUMBER  
**LU 209**





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**ISSUES**

No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- ROLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

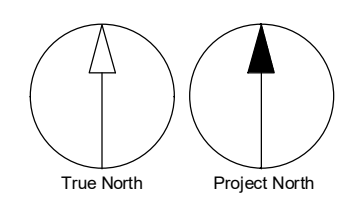
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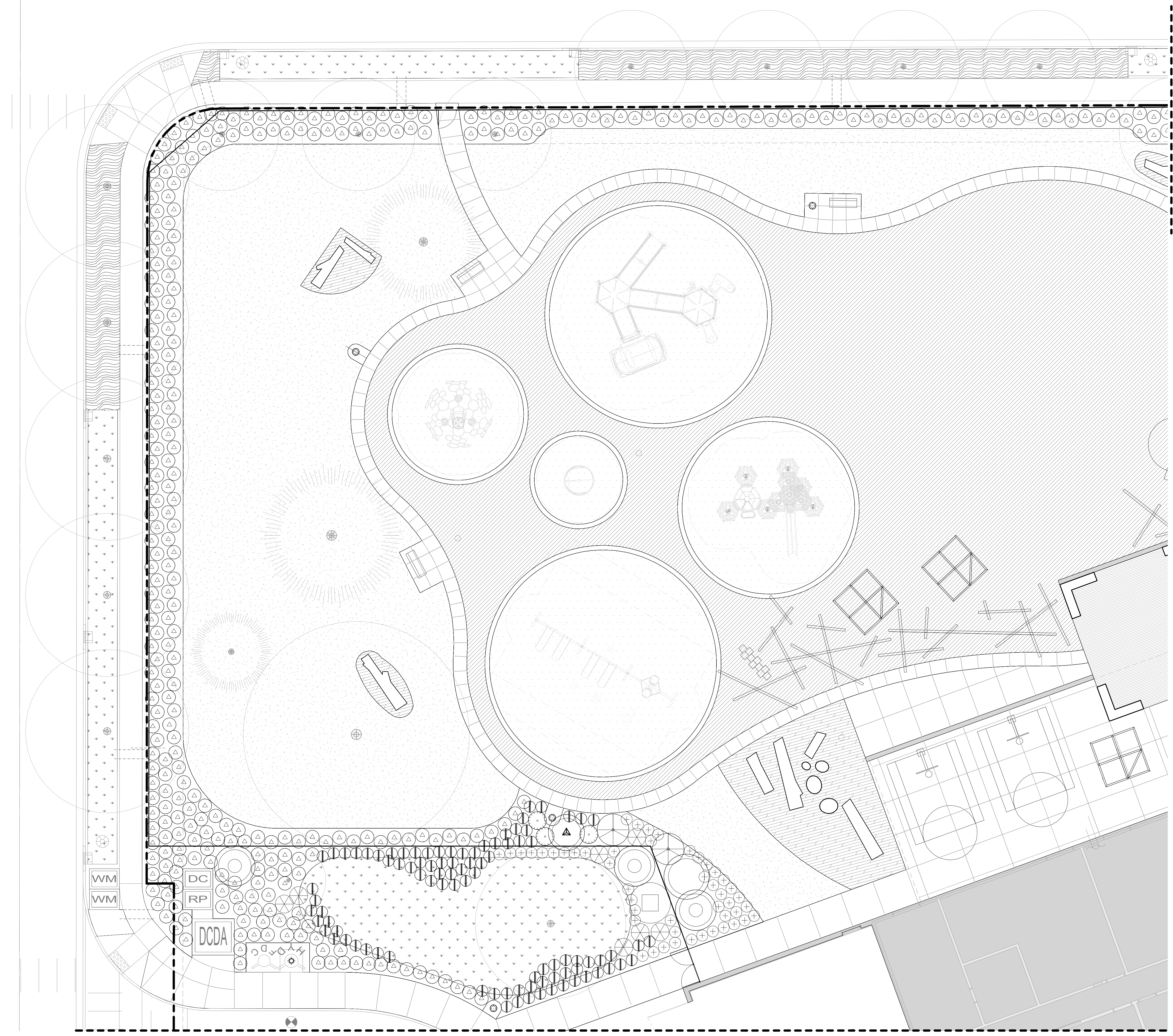
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907 SW Harvey Milk Street  
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tel 503 226 8950 fax 503 273 9192  
ibigroup.com

**PROJECT**  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

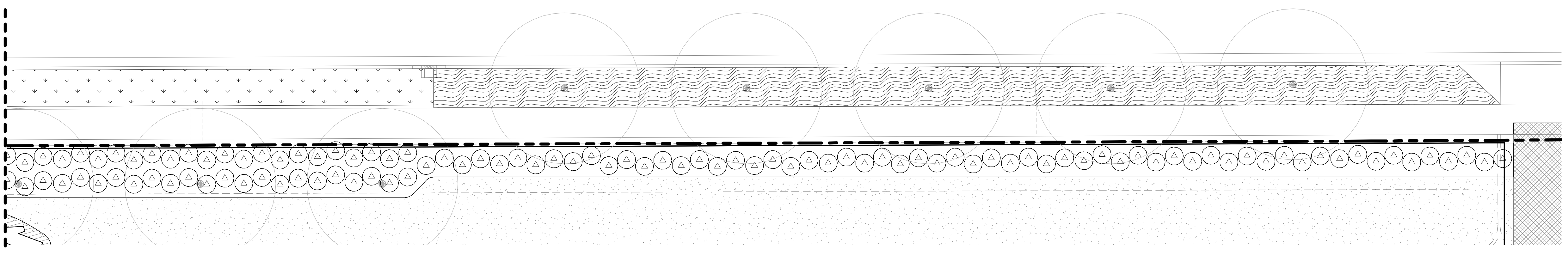
**PROJECT NO.:**  
137469

**SHEET TITLE**  
**PLANTING- SHRUBS - PARTIAL PLAN - PLAYGROUND**

**SHEET NUMBER**  
**LU 210**

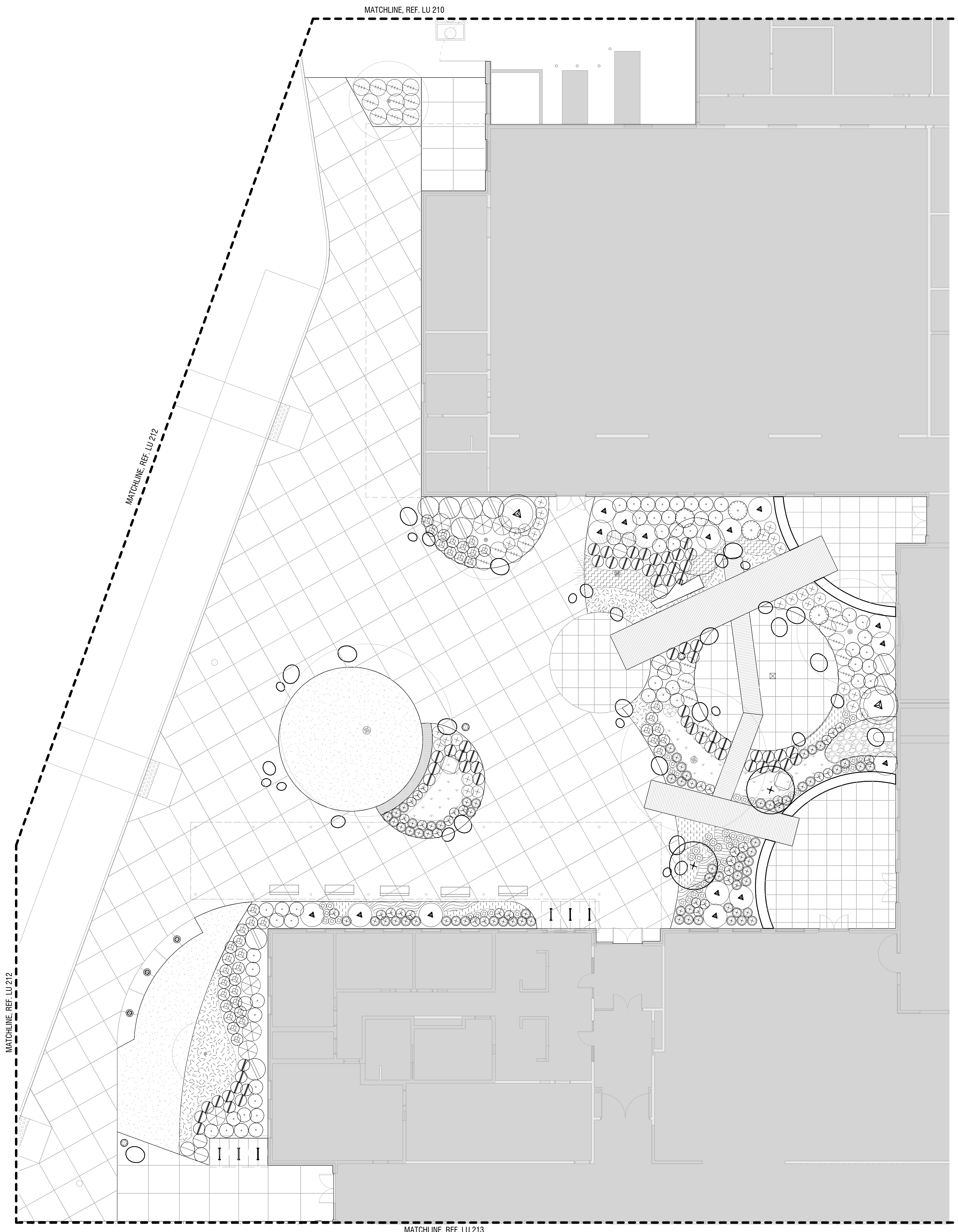


1 LU - PARTIAL PLAN - PLANTING - SHRUBS - PLAYGROUND  
SCALE: 1" = 10'-0"

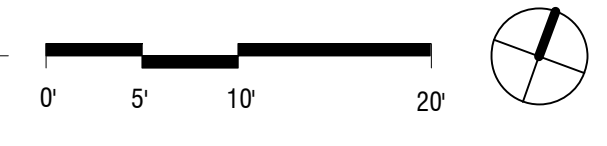


2 LU - PARTIAL PLAN - PLANTING - SHRUBS - PLAYGROUND ROW EAST  
SCALE: 1" = 10'-0"





1 LU - PARTIAL PLAN - PLANTING - SHRUBS - COURTYARD  
SCALE: 1" = 10'-0"



### GENERAL LEGEND

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

### GENERAL NOTES

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7. ALL PLANTS ARE REQUIRED TO MEET AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
8. TO CALCULATE THE QUANTITY OF PLANTS PER AREA, USE THE FOLLOWING SPACING MULTIPLIERS:

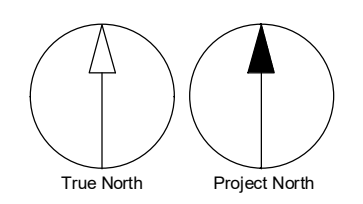
TRIANGULAR SPACING	9"	12"	15"	18"	24"	30"	36"	48"
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



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No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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PROJECT  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**PLANTING- SHRUBS -  
PARTIAL PLAN -  
COURTYARD**

SHEET NUMBER  
**LU 211**

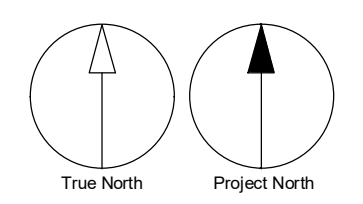




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**PROJECT**  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

**PROJECT NO.:**  
137469  
**SHEET TITLE**  
PLANTING- SHRUBS -  
PARTIAL PLAN - PARKING  
LOT

**SHEET NUMBER**  
**LU 212**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- ROLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

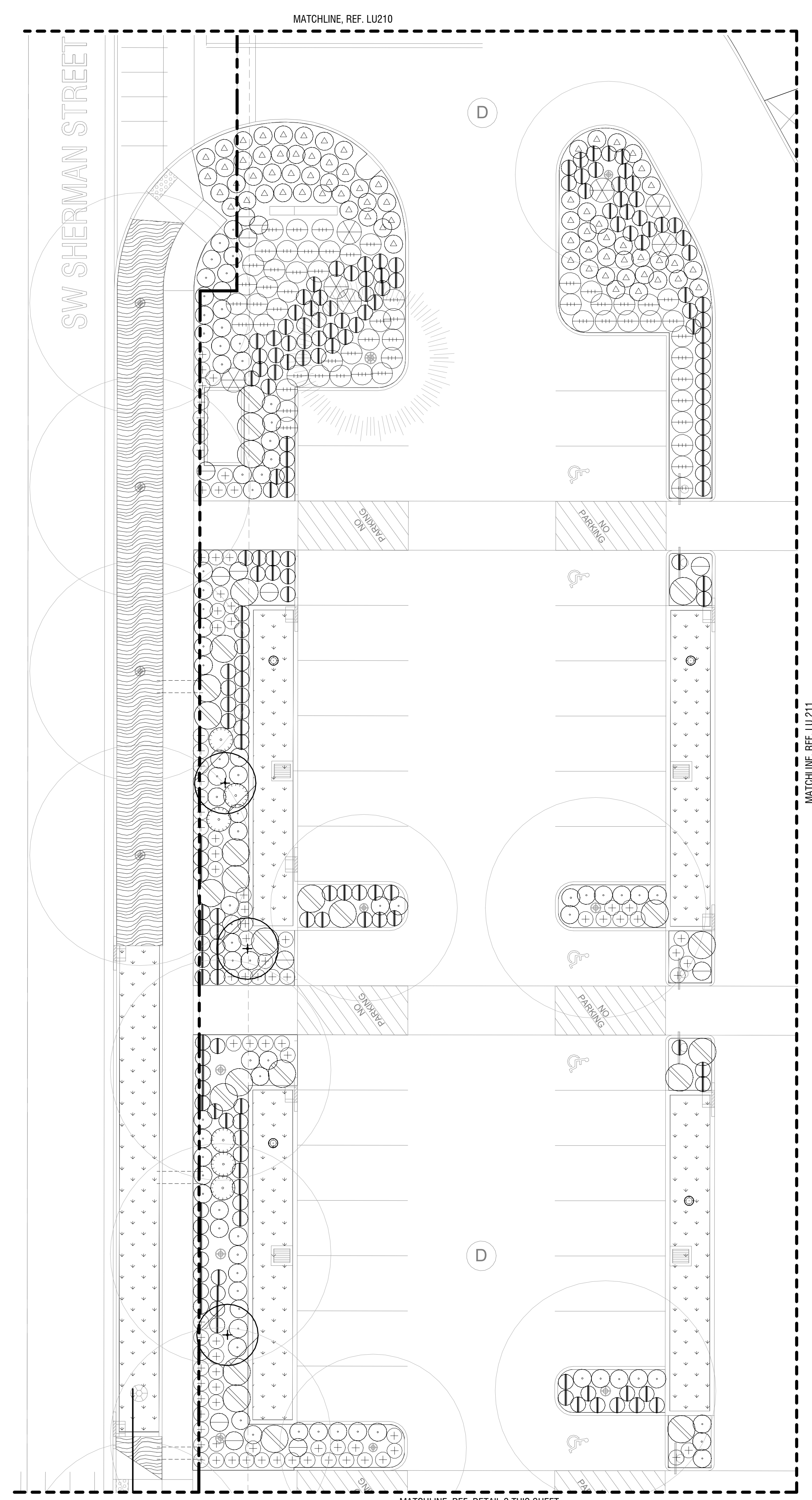
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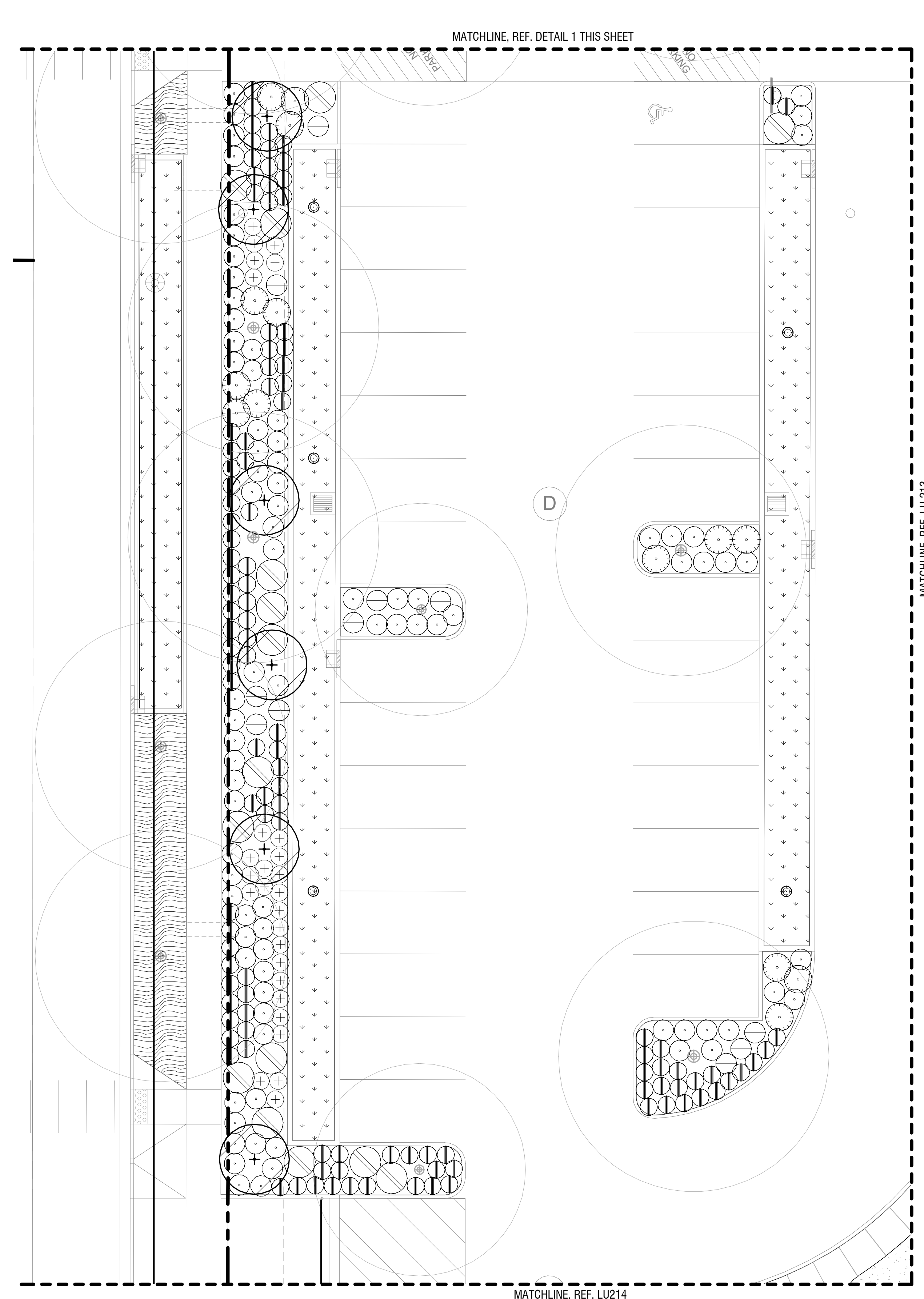
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TRIANGULAR SPACING	9"	12"	15"	18"	24"	30"	36"	48"
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



**1 LU - PARTIAL PLAN - PLANTING - SHRUBS - PARKING LOT NORTH**  
SCALE: 1" = 10'-0"  
0 5' 10' 20'



**2 LU - PARTIAL PLAN - PLANTING - SHRUBS - PARKING LOT SOUTH**  
SCALE: 1" = 10'-0"  
0 5' 10' 20'

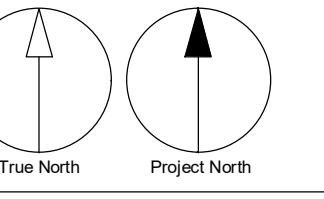




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	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**



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503.223.5953

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**IBI GROUP**  
907 SW Harvey Milk Street  
Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup.com

PROJECT  
**Frog Pond Primary School**

7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**PLANTING- SHRUBS - PARTIAL PLAN - EAST ENTRIES**

SHEET NUMBER  
**LU 213**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- ⊠ AREA DRAIN, REF. CIVIL
- ▨ TRENCH DRAIN
- ⊕ LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

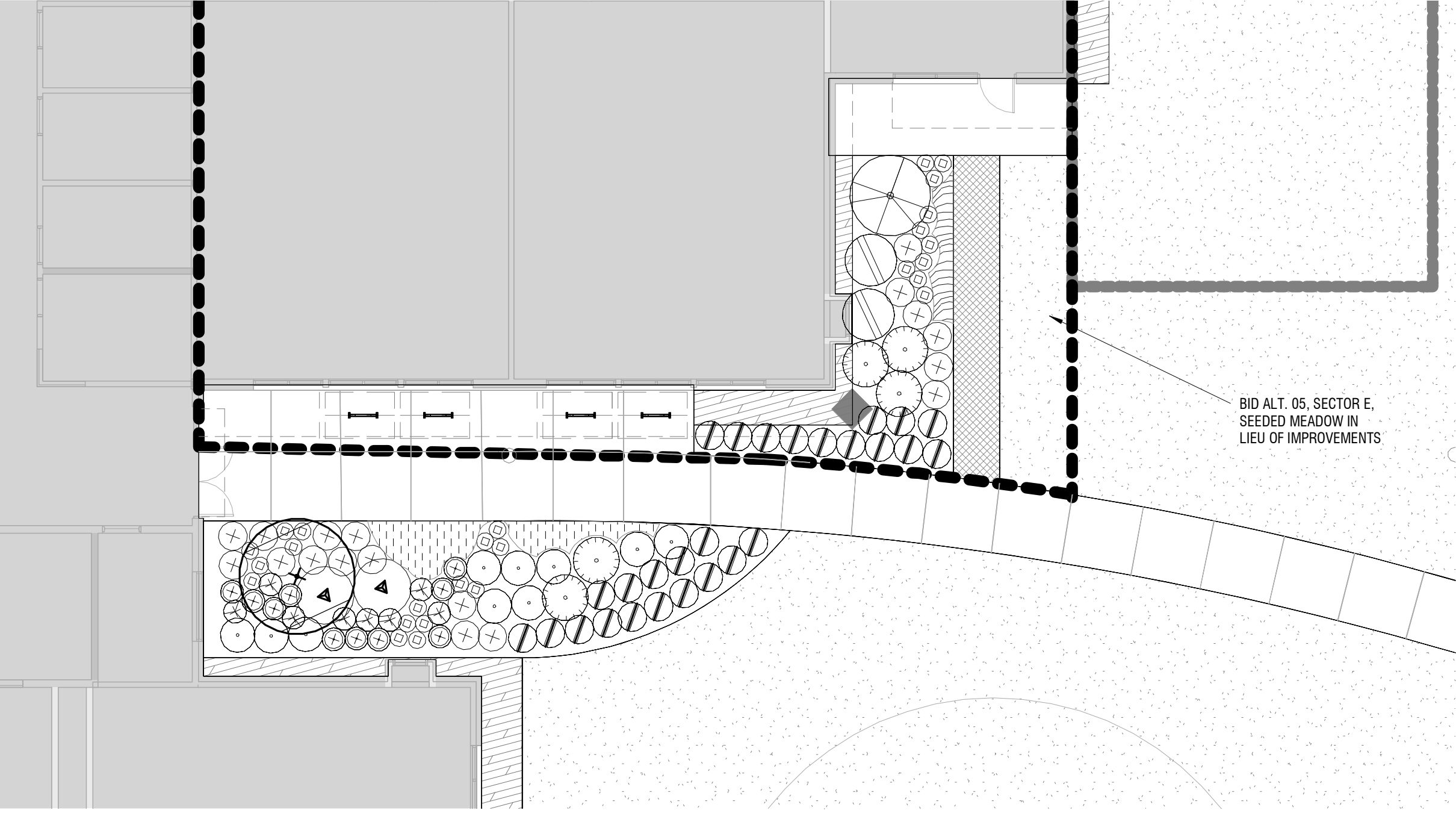
**GENERAL NOTES**

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- REFERENCE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND VEHICULAR AREAS INCLUDING PAVING, CURBS, STRIPING AND SIGNAGE.
- REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING, COVERED PLAY SHELTER, BIKE CANOPY AND SITE SIGNAGE, INCLUDING THE ENTRY MONUMENT.
- REFERENCE DEMOLITION PLANS FOR SITE REMOVALS.
- REFERENCE L-001 FOR EXISTING TREE REMOVALS AND PROTECTION.
- IMPROVEMENTS WITHIN THE RIGHT OF WAY ARE FOR REFERENCE ONLY. REFERENCE SEPARATE CIVIL PUBLIC IMPROVEMENTS PACKAGE.

**PLANTING NOTES**

- DO NOT BEGIN PLANTING UNTIL IRRIGATION SYSTEM IS INSTALLED, TESTED AND APPROVED.
- DO NOT BEGIN PLANTING UNTIL SOIL PREPARATION IS COMPLETE AND APPROVED. REF. SPECIFICATIONS FOR PLANTING SOIL PLACEMENT AND DEPTHS.
- LOCATE PLANTS AS DIMENSIONED ON THE PLANS AND AS SHOWN IN THE PLANT SCHEDULE. PLANT SPACING IS MEASURED CENTER TO CENTER. PLANT LOCATIONS MAY BE ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS.
- VERIFY ALL QUANTITIES AND VARIETIES SHOWN ON THE DRAWINGS PRIOR TO ORDERING. OWNER MUST APPROVE ANY NECESSARY SUBSTITUTIONS DURING SUBMITTALS PROCESS. REVIEW PROCESS TO BE ESTABLISHED AT PRE-CONSTRUCTION MEETING.
- THOROUGHLY WATER IN ALL PLANTS WITHIN 6 HOURS OF PLANTING.
- APPLY SPECIFIED MULCH OVER PLANTING AREAS WITHIN TWO DAYS OF INSTALLING PLANTS, UNLESS OTHERWISE NOTED.
- ALL PLANTS ARE REQUIRED TO MEET AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
- TO CALCULATE THE QUANTITY OF PLANTS PER AREA, USE THE FOLLOWING SPACING MULTIPLIERS:

TRIANGULAR SPACING	9"	12"	15"	18"	24"	30"	36"	48"
SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



2 LU - PARTIAL PLAN - PLANTING - SHRUBS - ENTRY EAST  
SCALE: 1" = 10'-0"



1 LU - PARTIAL PLAN - PLANTING - SHRUBS - ENTRY SOUTH  
SCALE: 1" = 10'-0"



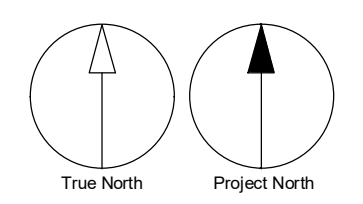


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**ISSUES**

No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2023-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR  
CONSTRUCTION**



**CONSULTANTS**  
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**IBI GROUP**  
907 SW Harvey Milk Street  
Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup.com

**PROJECT**  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

**PROJECT NO.**  
137469

**SHEET TITLE**  
**PLANTING- SHRUBS -  
PARTIAL PLAN - SOUTH  
EDGE**

**SHEET NUMBER**  
**LU 214**

**GENERAL LEGEND**

- PROPERTY LINE
- FENCING
- AREA DRAIN, REF. CIVIL
- TRENCH DRAIN
- LIGHT POLE, REF. ELEC
- SITE BOULDER
- BOLLARD
- EXISTING TREE
- APPROXIMATE CANOPY

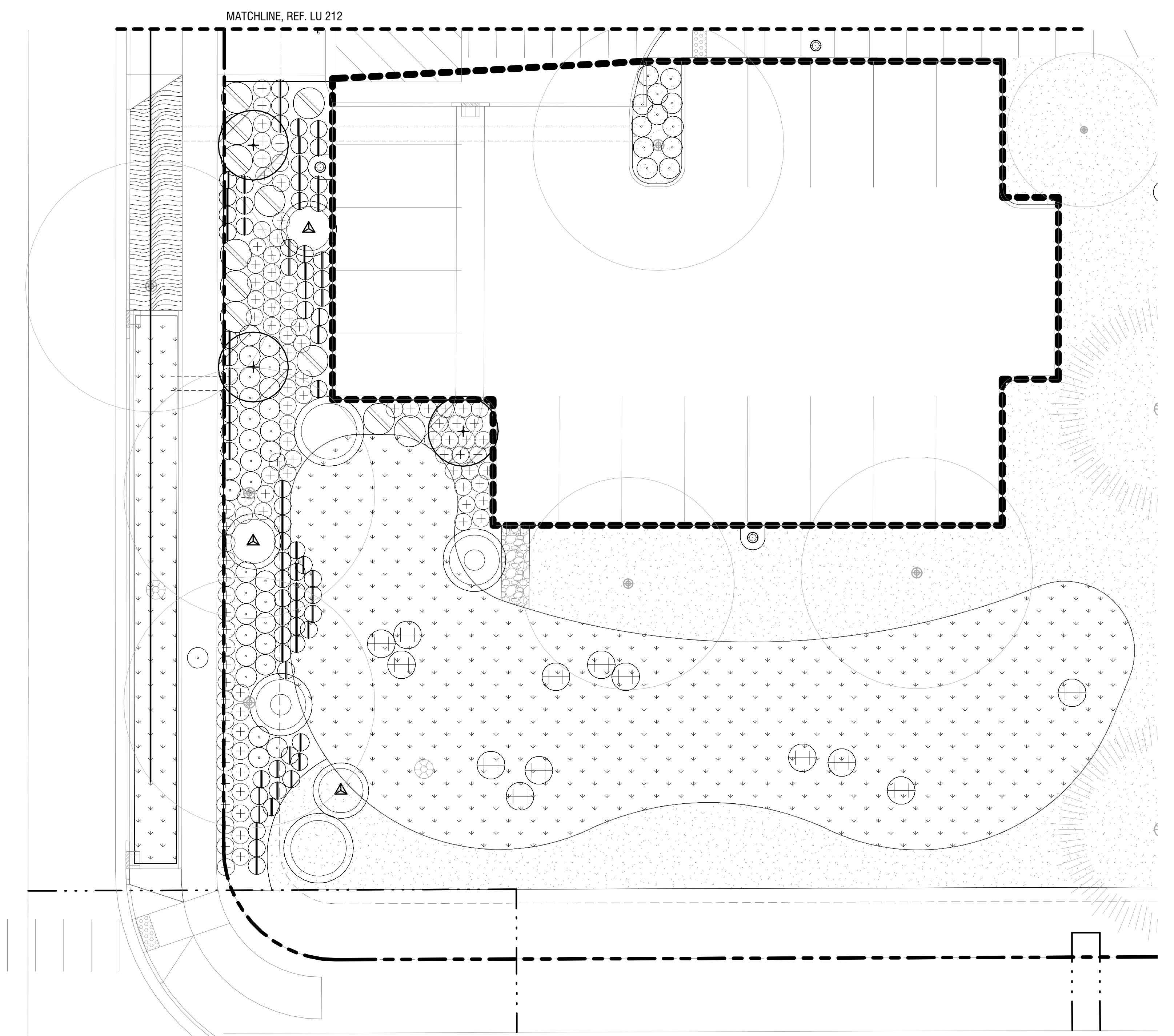
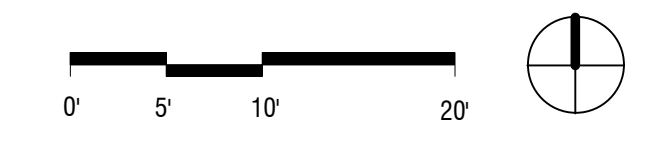
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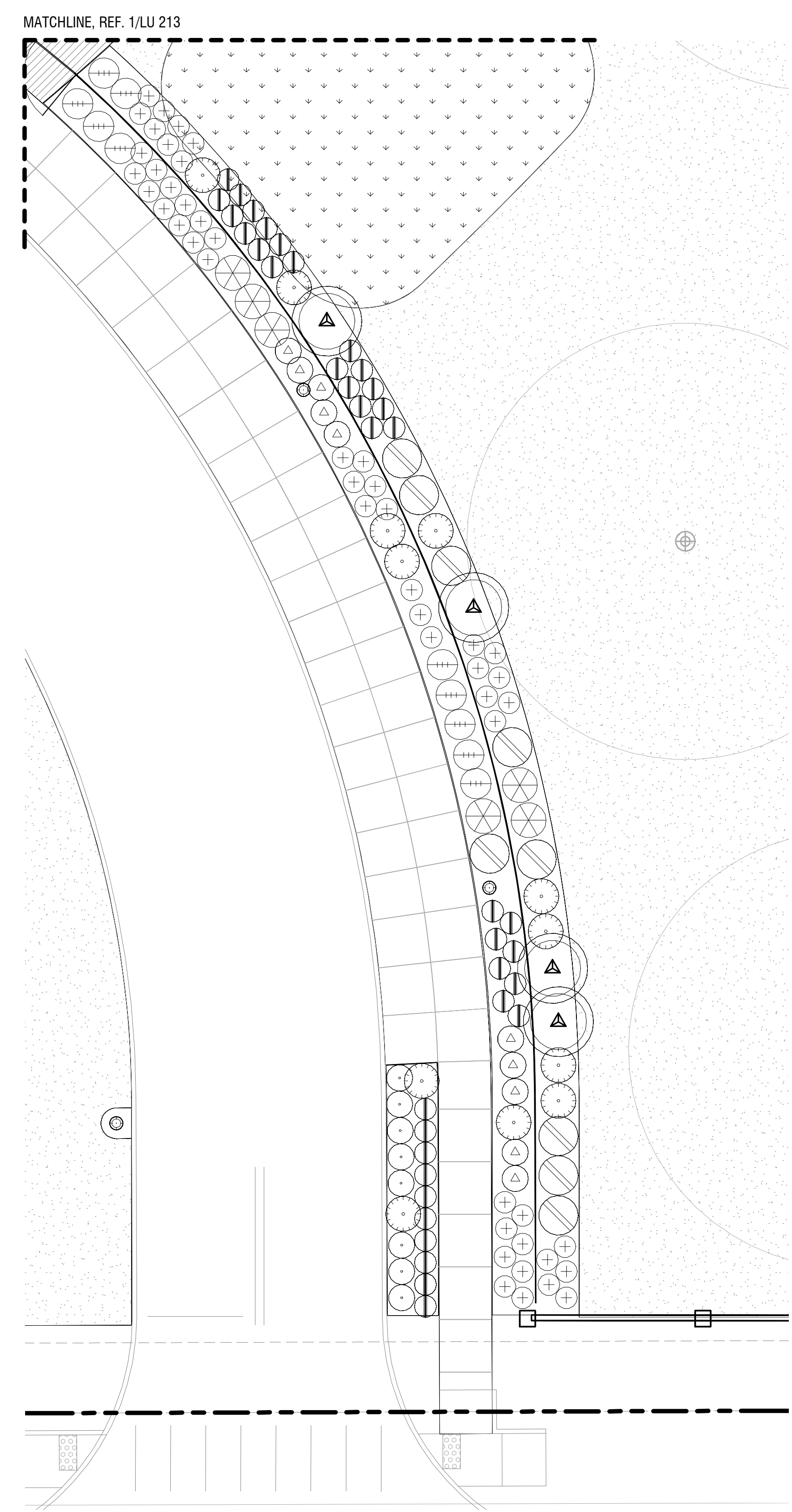
**PLANTING NOTES**

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- DO NOT BEGIN PLANTING UNTIL SOIL PREPARATION IS COMPLETE AND APPROVED. REF. SPECIFICATIONS FOR PLANTING SOIL PLACEMENT AND DEPTHS.
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SQUARE FT MULTIPLIER	2.027	1.156	0.513	0.322	0.288	0.184	0.128	0.072



**1 LU - PARTIAL PLAN - PLANTING - SHRUBS - ADDITIONAL PARKING**  
SCALE: 1" = 10'-0"



**2 LU - PARTIAL PLAN - PLANTING - SHRUBS - BUS ENTRY**  
SCALE: 1" = 10'-0"

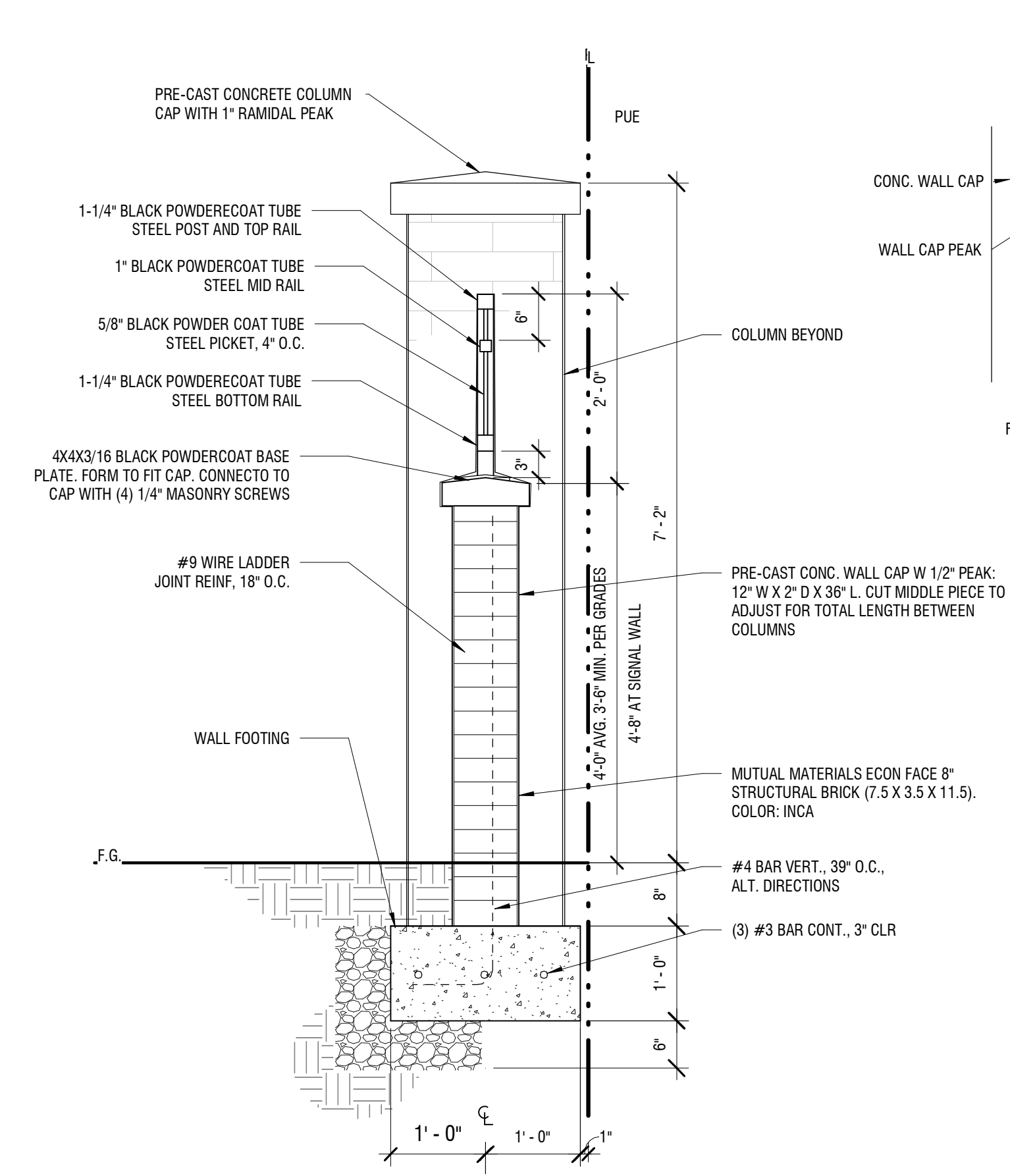




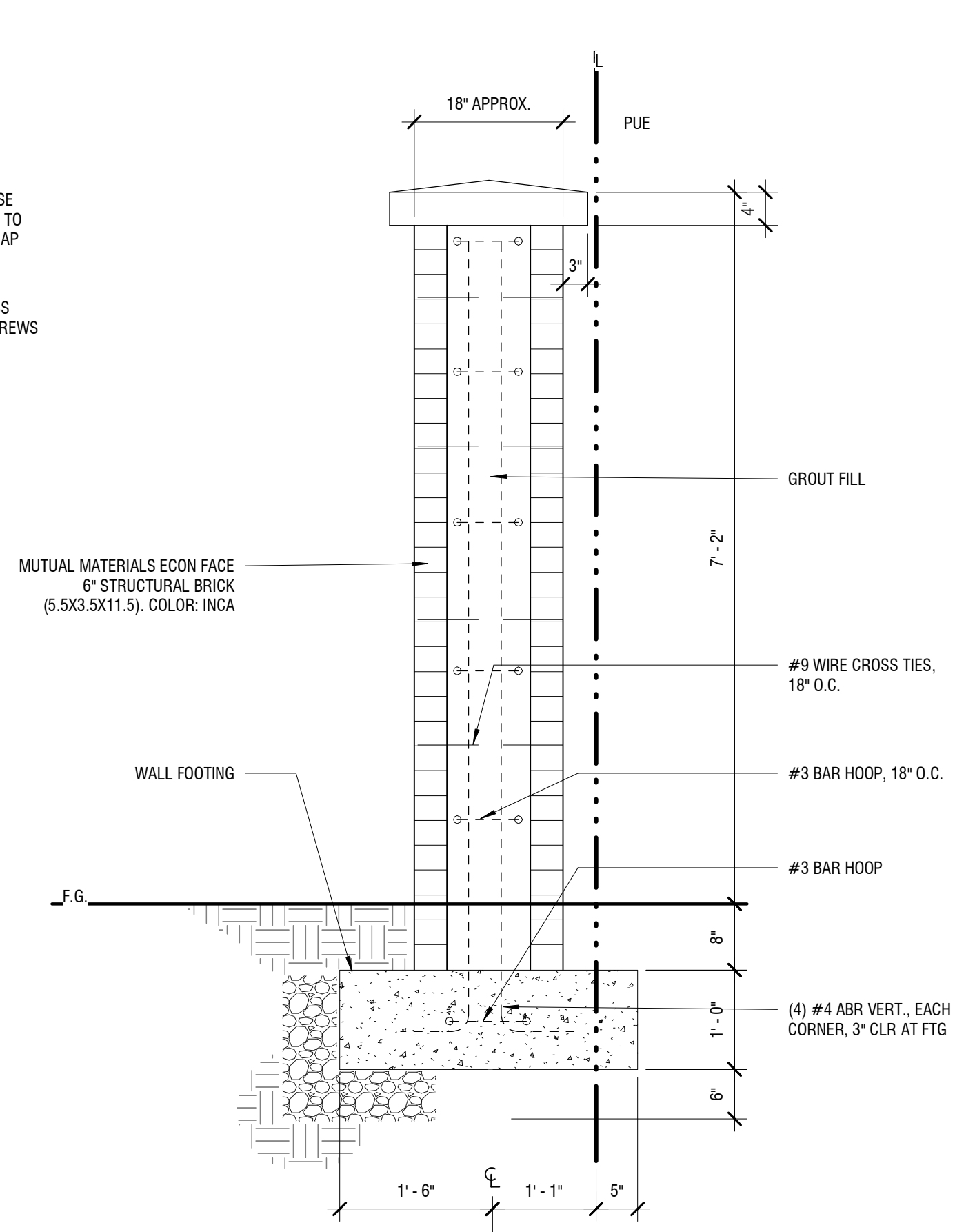
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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

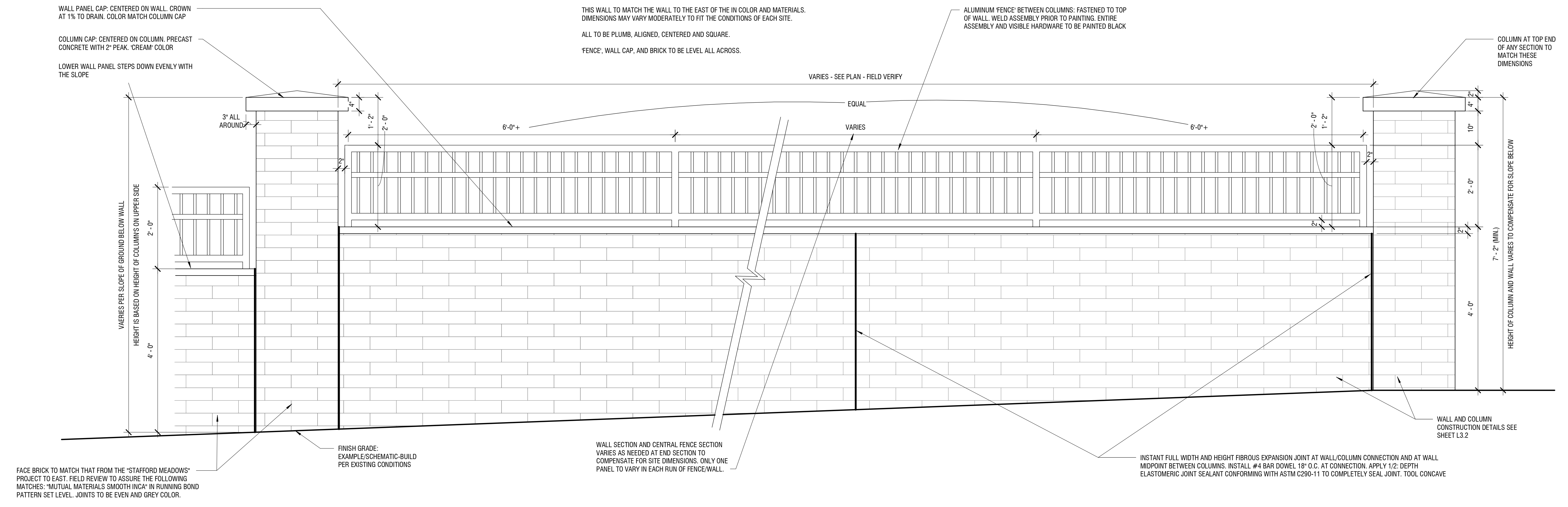
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**BRICK LANDSCAPE WALL SECTION**



**BRICK WALL COLUMN SECTION**



**BRICK LANDSCAPE WALL ELEVATION**

1 BRICK LANDSCAPE WALL  
SCALE: 3/4" = 1'-0"

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ibigroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Bockman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469  
SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**LU 215**

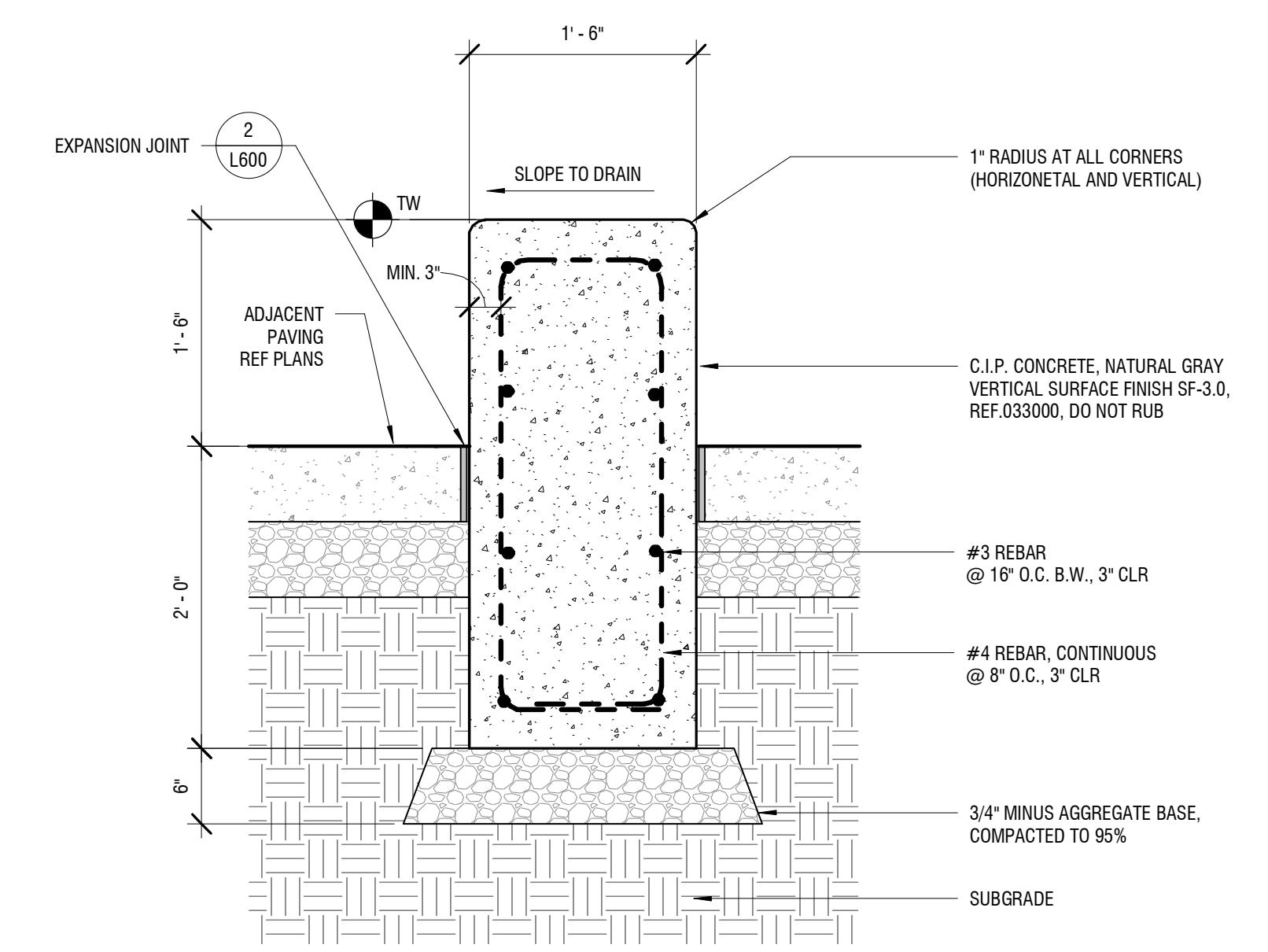




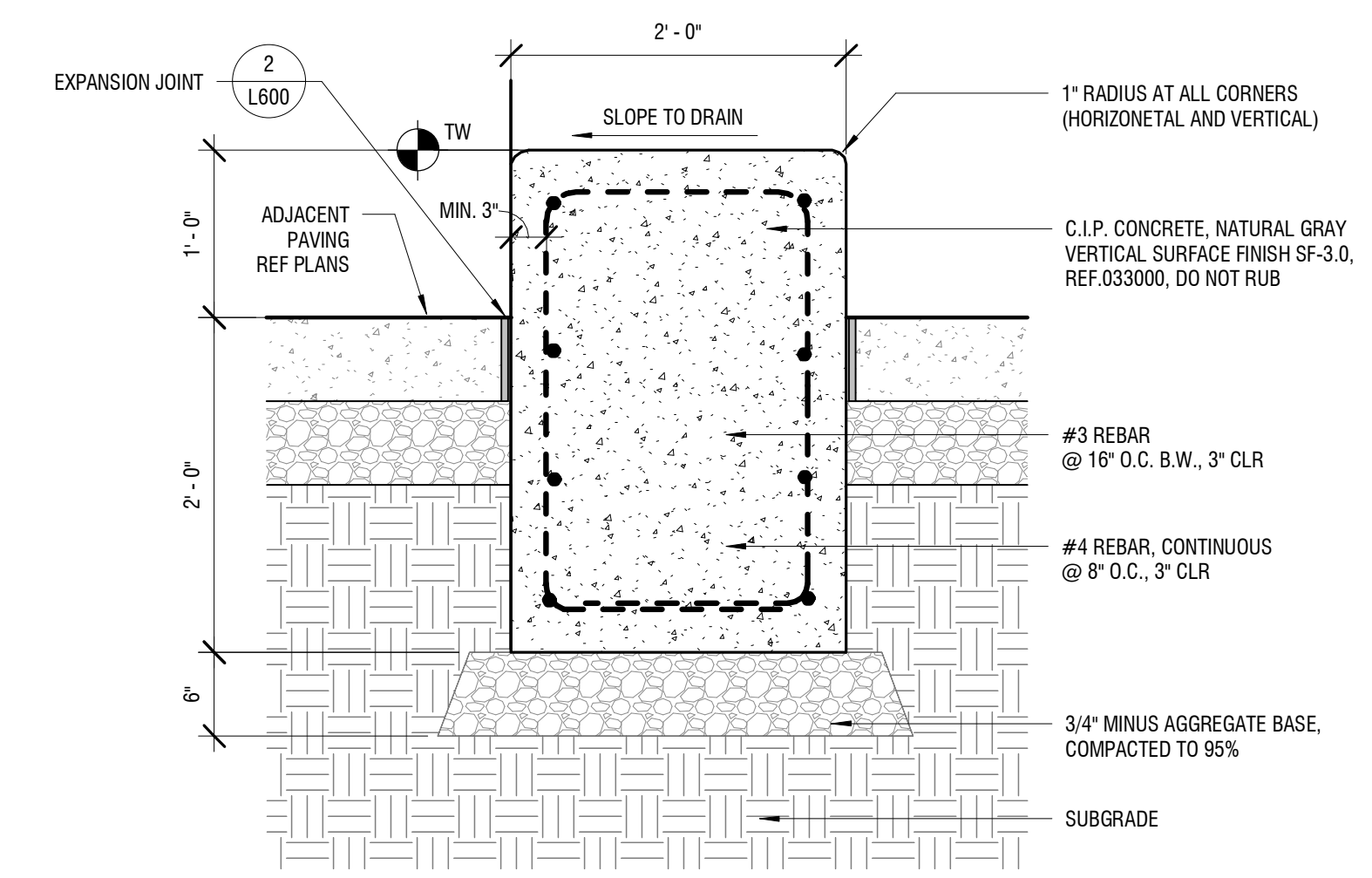
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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

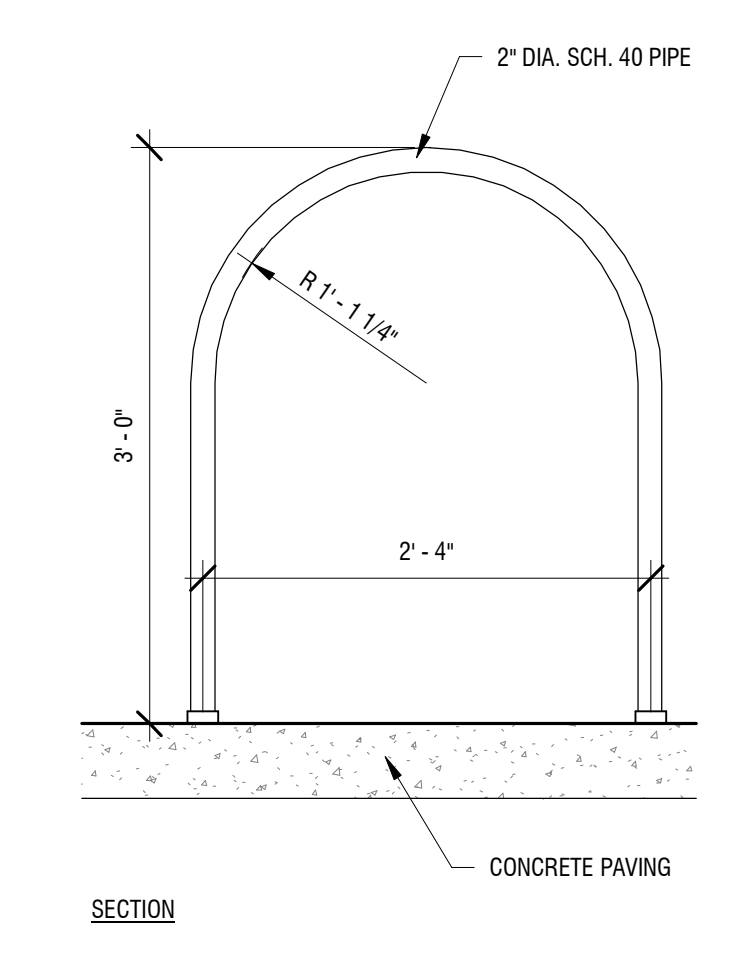
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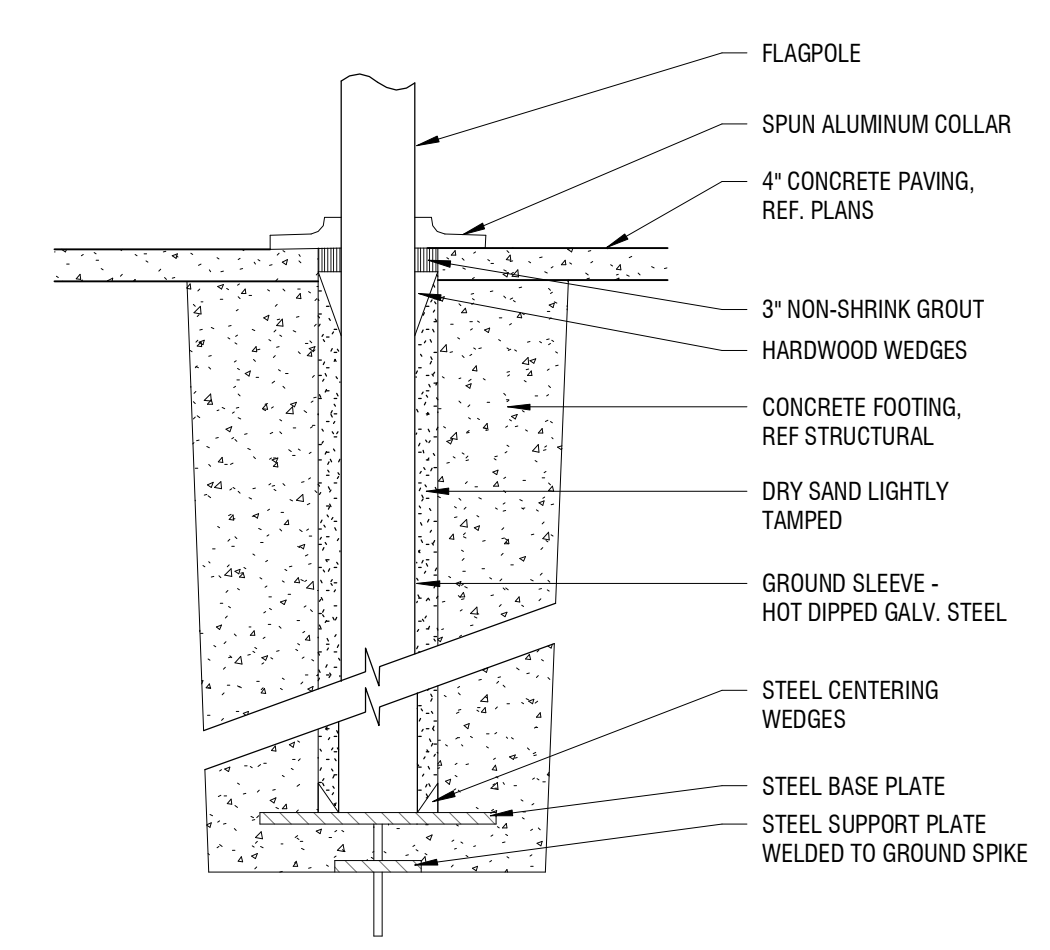
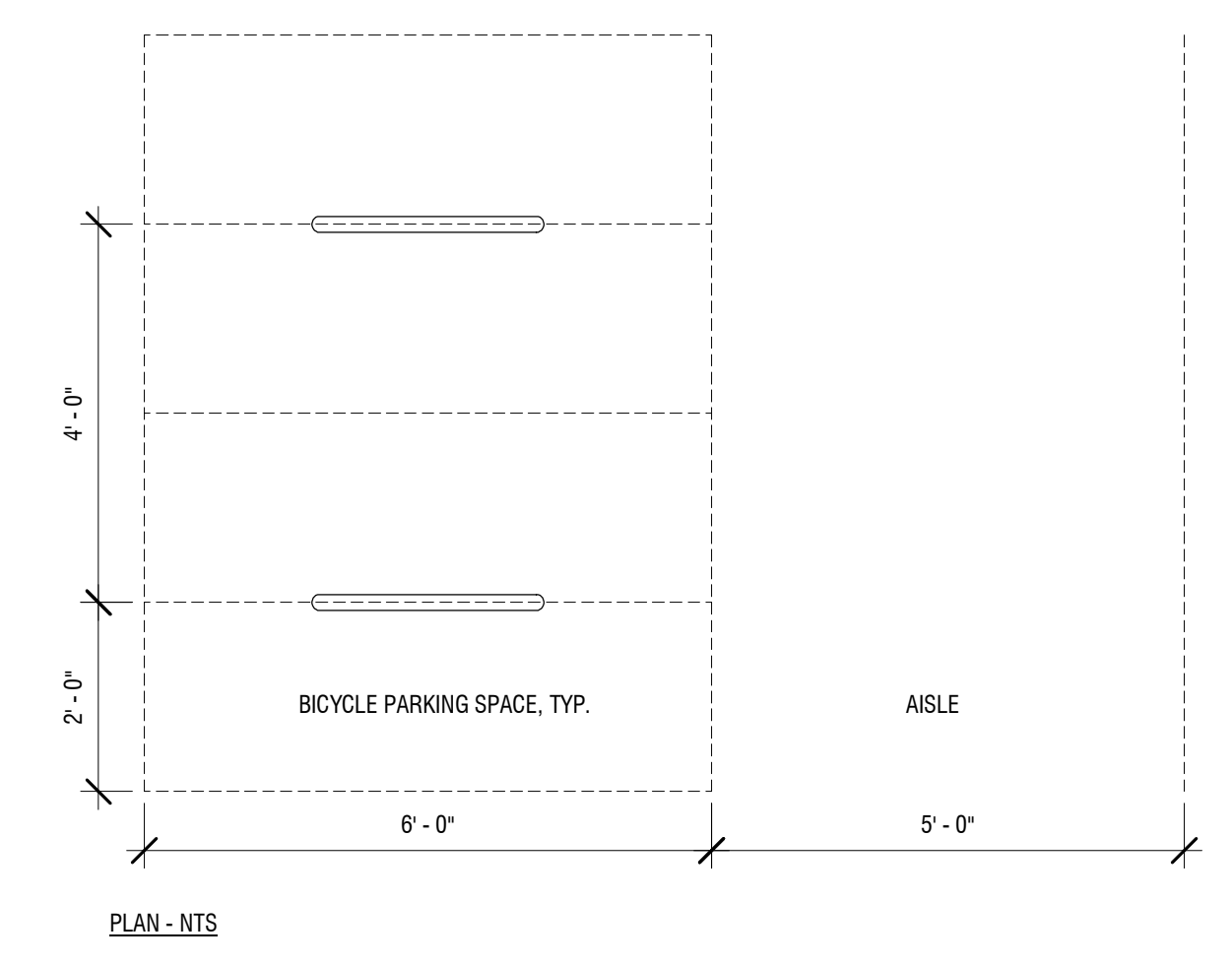
**1 CONCRETE SITE WALL, 18" TALL - SECTION**  
SCALE: 1" = 1'-0"



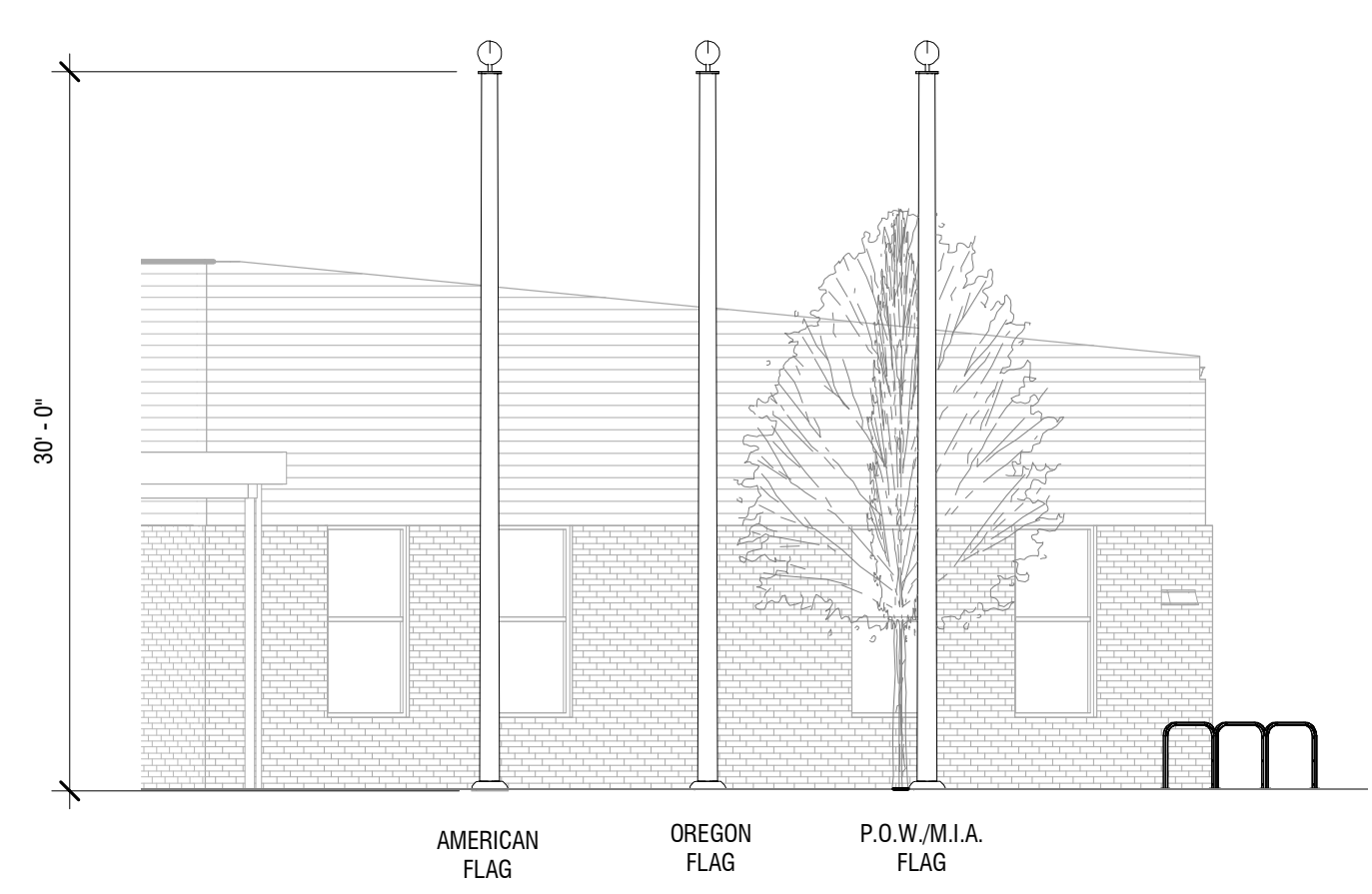
**2 CONCRETE SITE WALL, 12" TALL - SECTION**  
SCALE: 1" = 1'-0"



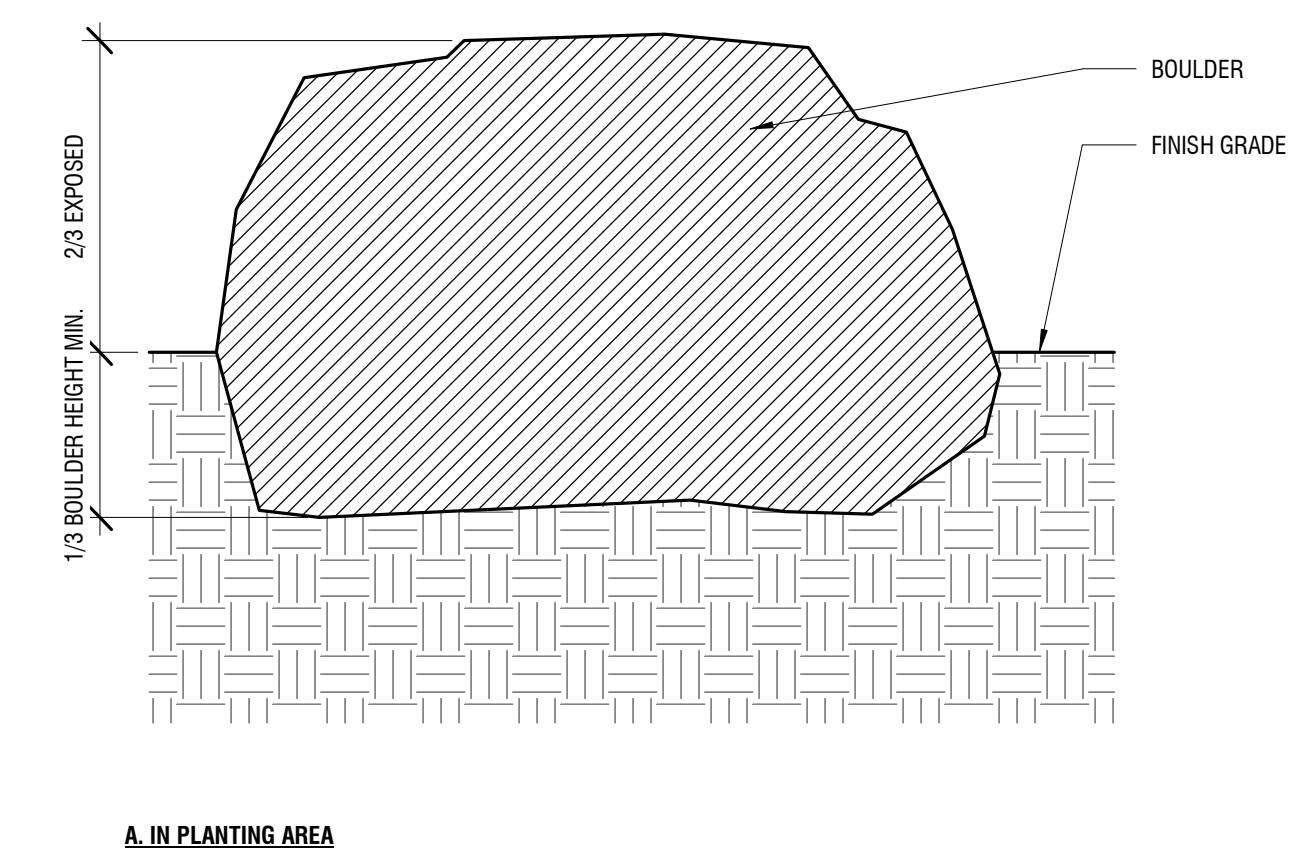
**3 BIKE RACK**  
SCALE: 1" = 1'-0"



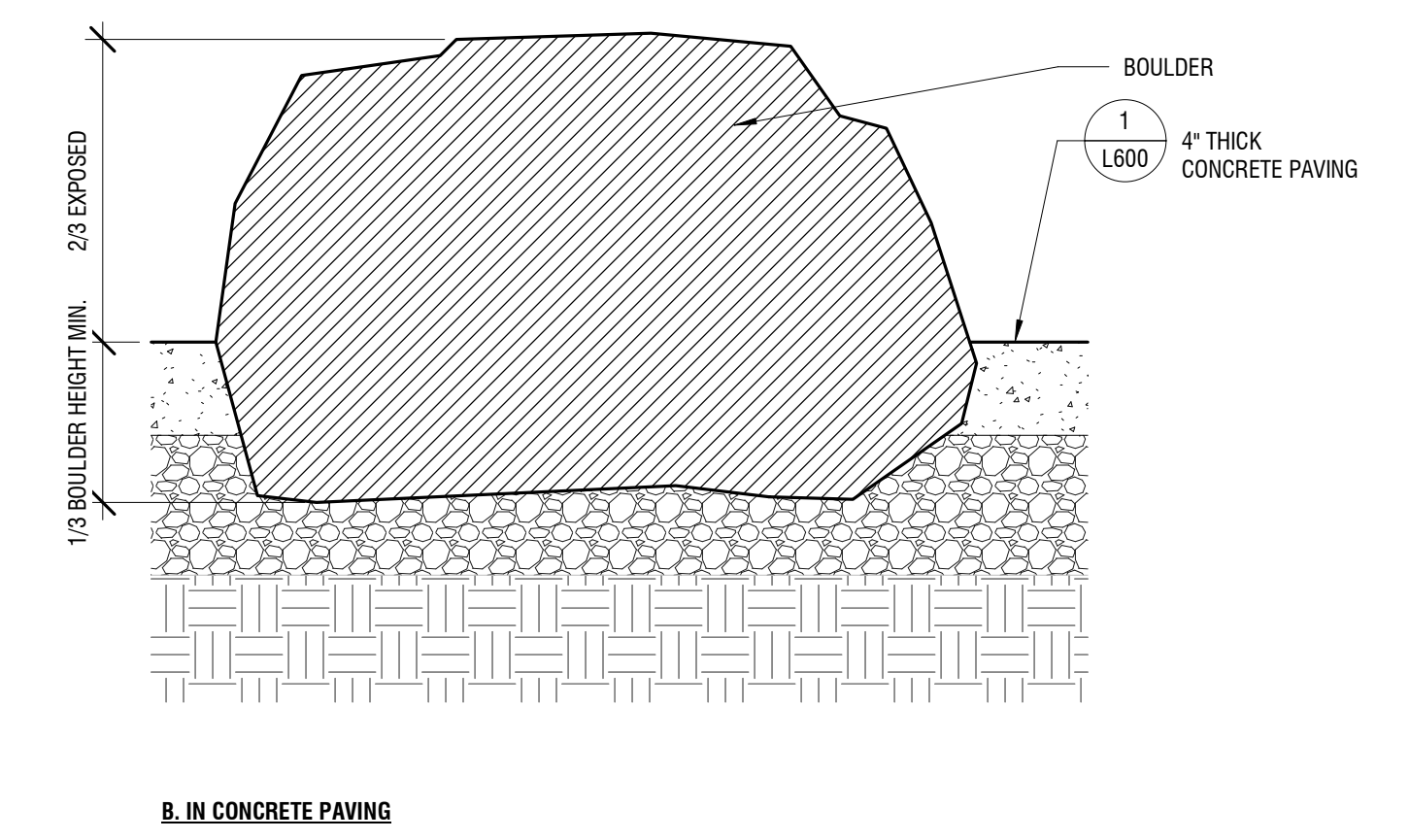
**4 FLAG POLE - SECTION**  
SCALE: 1/2" = 1'-0"



**6 FLAGPOLES - ELEVATION**  
SCALE: 1/8" = 1'-0"



**7 SITE BOULDER - SECTION**  
SCALE: 1 1/2" = 1'-0"



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Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO.  
137469  
SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**LU 216**





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No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

**NOT FOR CONSTRUCTION**

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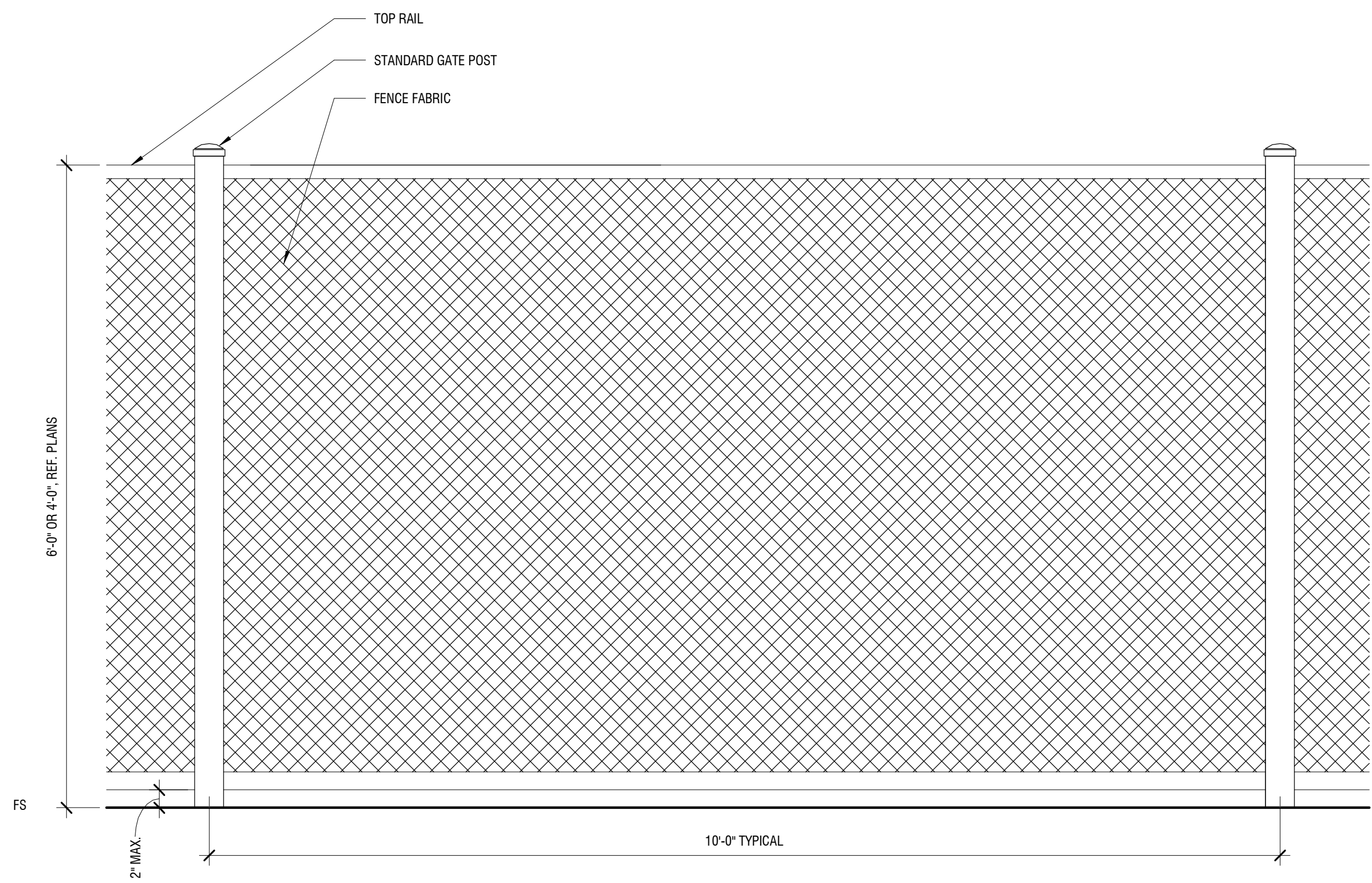
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siggroup@siggroup.com

PROJECT  
**Frog Pond Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

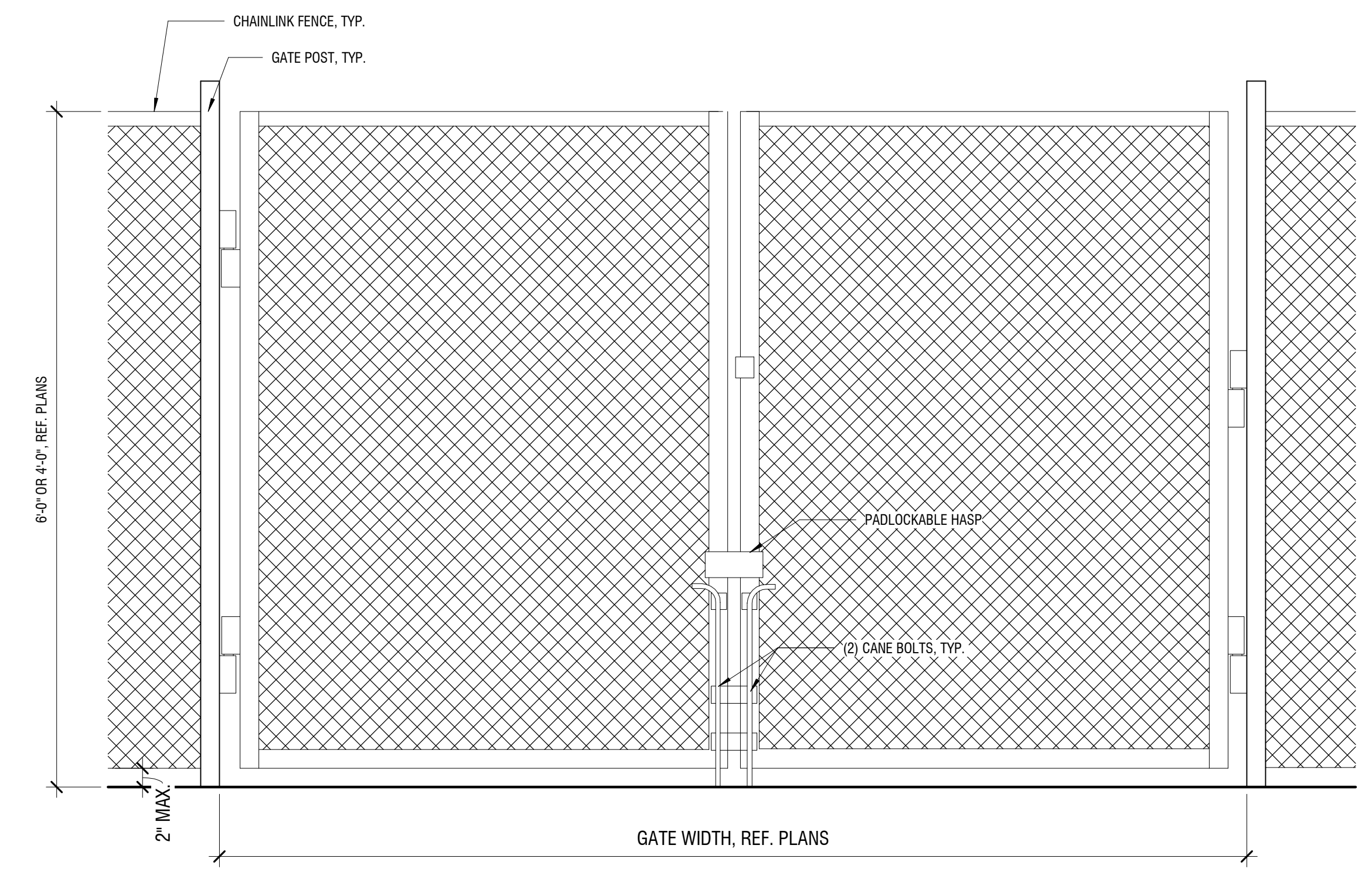
PROJECT NO:  
137469

SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**LU 217**

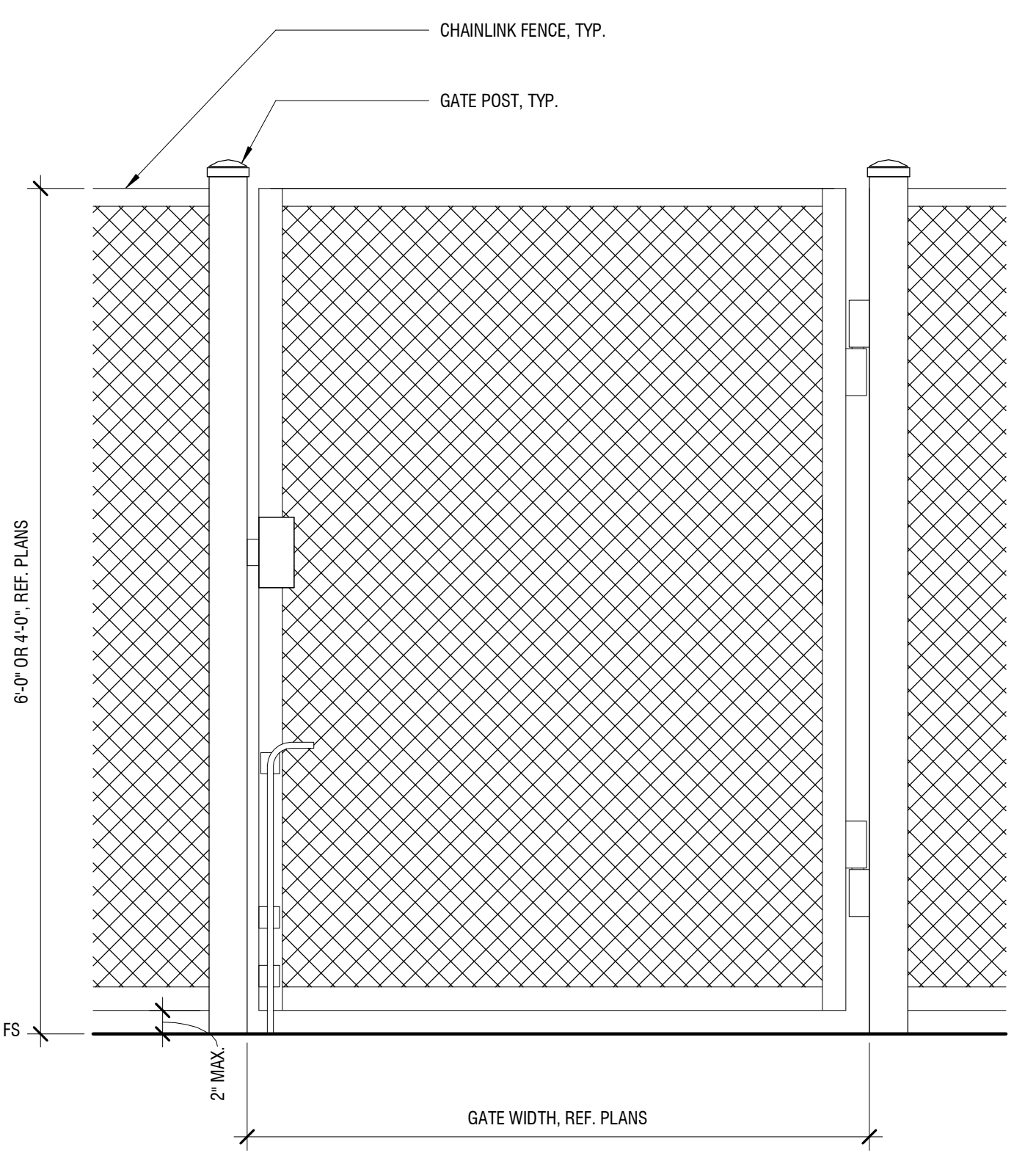


1 FENCE - STANDARD - ELEVATION  
SCALE: 1" = 1'-0"



2 GATE - DOUBLE SWING - ELEVATION  
SCALE: 1" = 1'-0"

NOTES: DRILL 3" DEPTH HOLE IN CONCRETE PAVING TO ACCEPT CANE BOLTS; AT CLOSED AND 90 DEGREE OPEN (FOUR HOLES PER DOUBLE SWING GATE).



3 GATE - SINGLE SWING - ELEVATION  
SCALE: 1" = 1'-0"



FOR BUILDING SIGNAGE AND  
MONUMENT SIGN ELEVATIONS  
SEE SHEET LU 350 BUILDING  
SIGNAGE & MONUMENT PLAN

CLIENT  
West Linn-Wilsonville  
School District

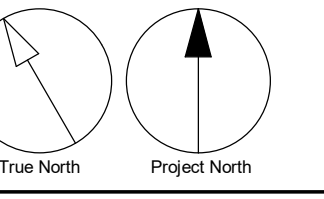


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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04
	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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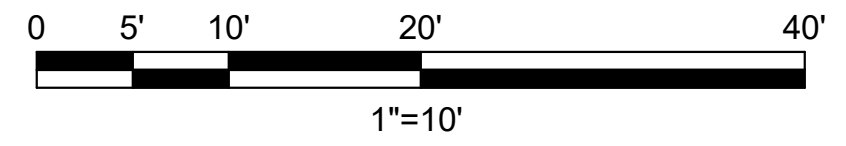
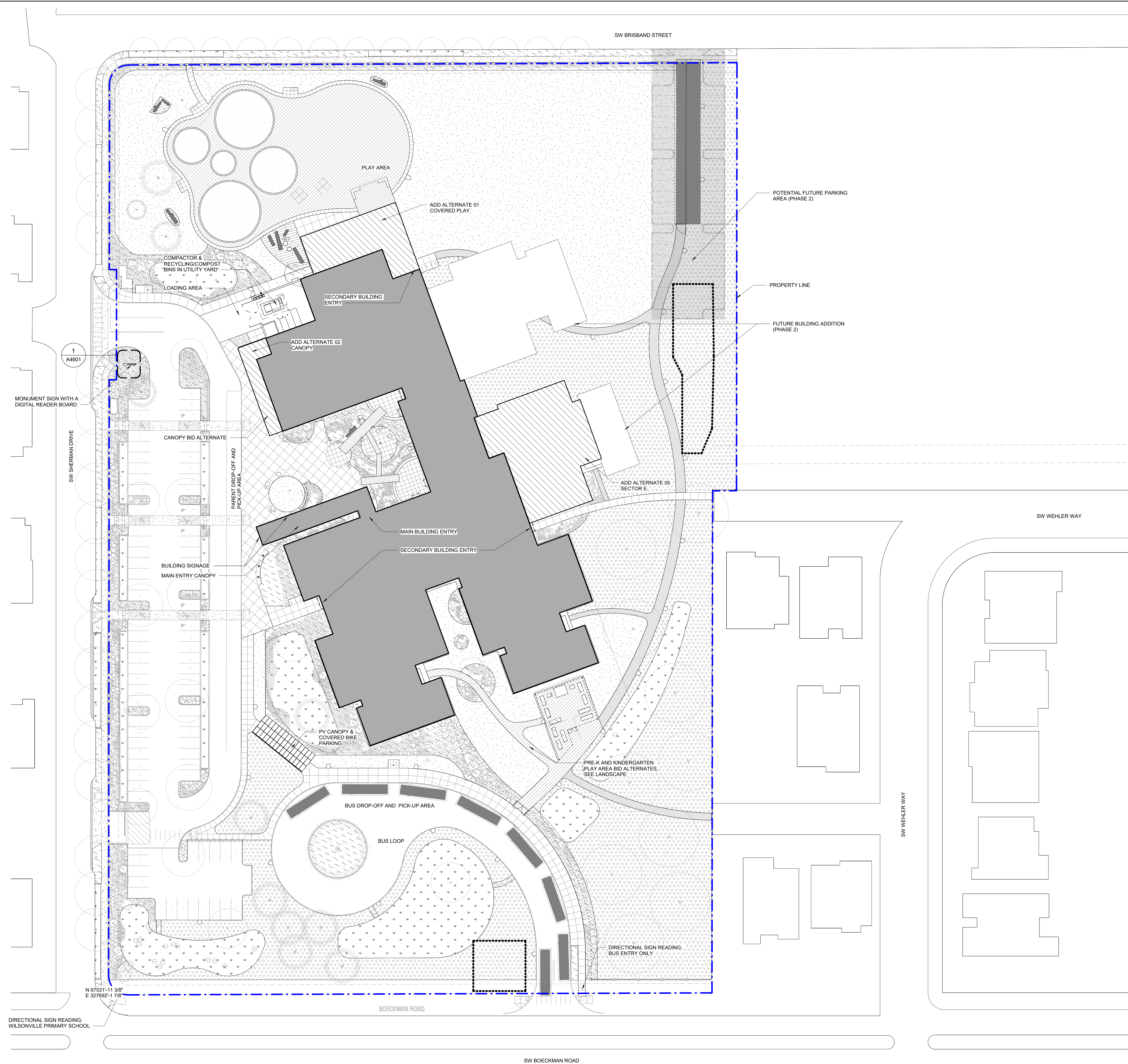
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PROJECT  
**New Wilsonville Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**ARCHITECTURAL SITE PLAN - PHASE 1 ONLY**

SHEET NUMBER  
**LU 300**

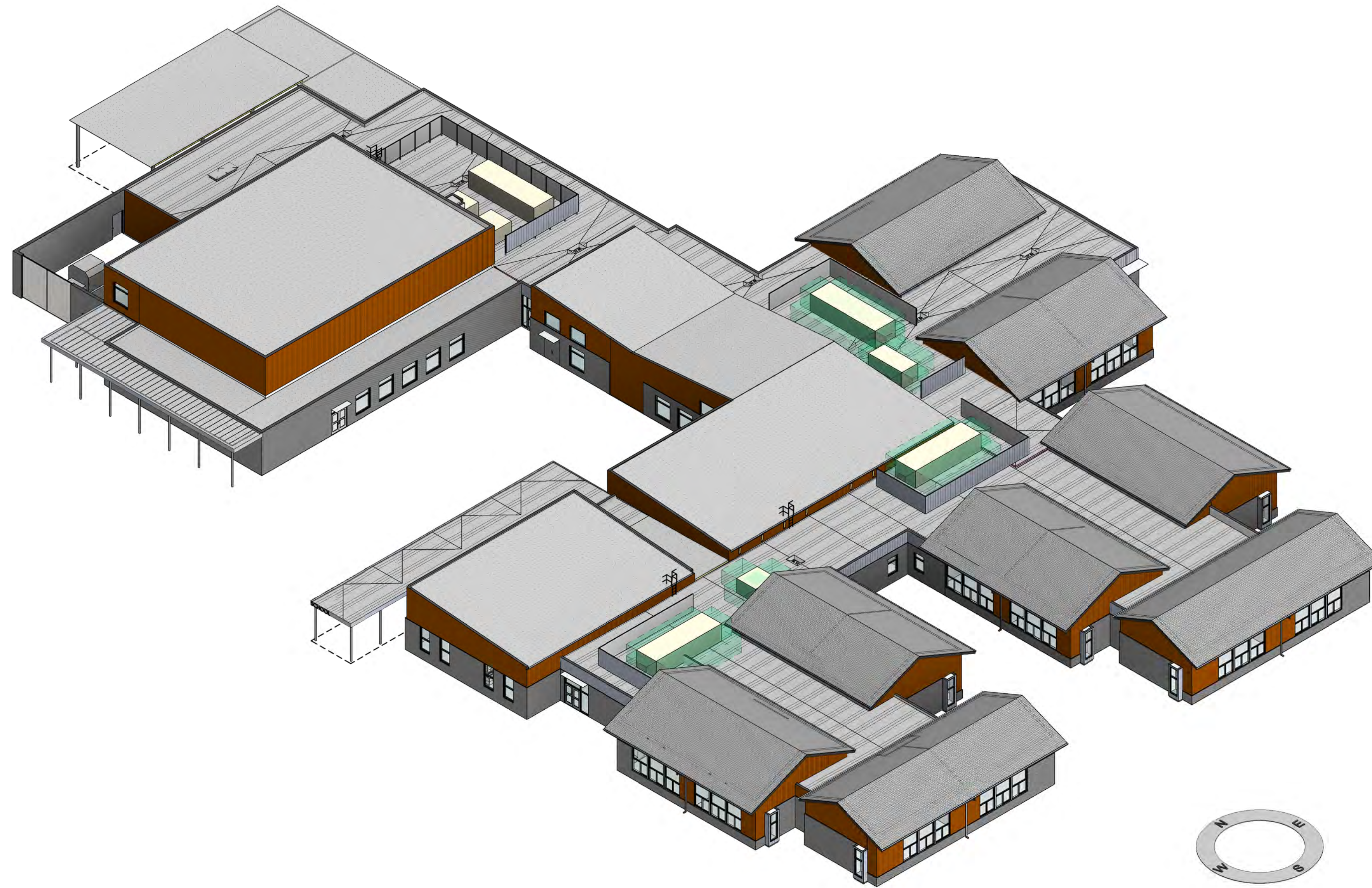


1 **ARCHITECTURAL SITE PLAN**  
SCALE: 1/32" = 1'-0"

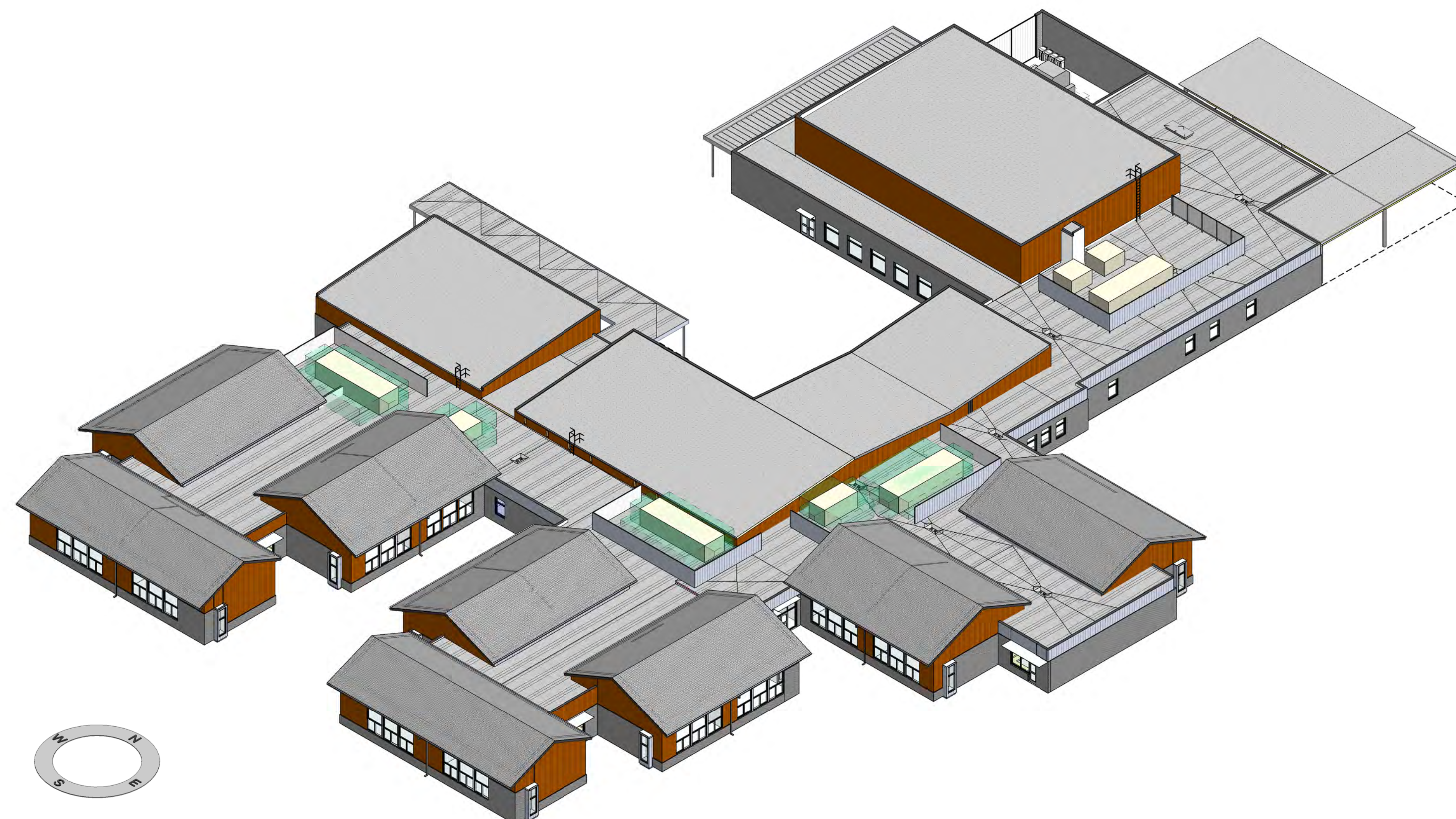
2023-01-17 5:23:38 PM

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**1 OVERALL BUILDING SW**  
SCALE:



**2 OVERALL BUILDING SE**  
SCALE:

CLIENT  
West Linn-Wilsonville  
School District



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**ISSUES**

No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04

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ibi@ibi-group.com

PROJECT  
**New Wilsonville Primary  
School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**BUILDING ISOMETRICS SE  
& SW - PHASE 1 ONLY**

SHEET NUMBER  
**LU 310**

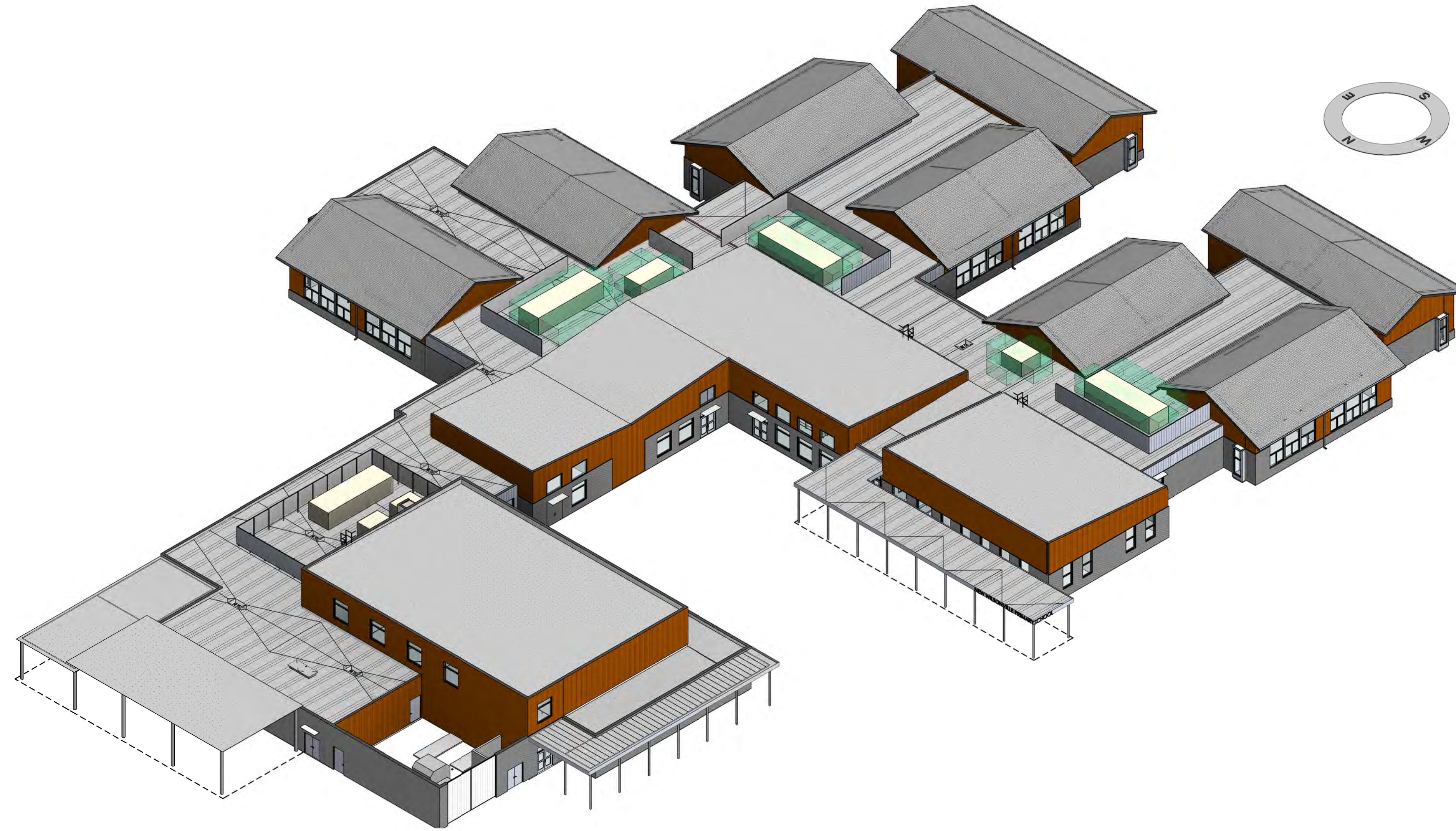




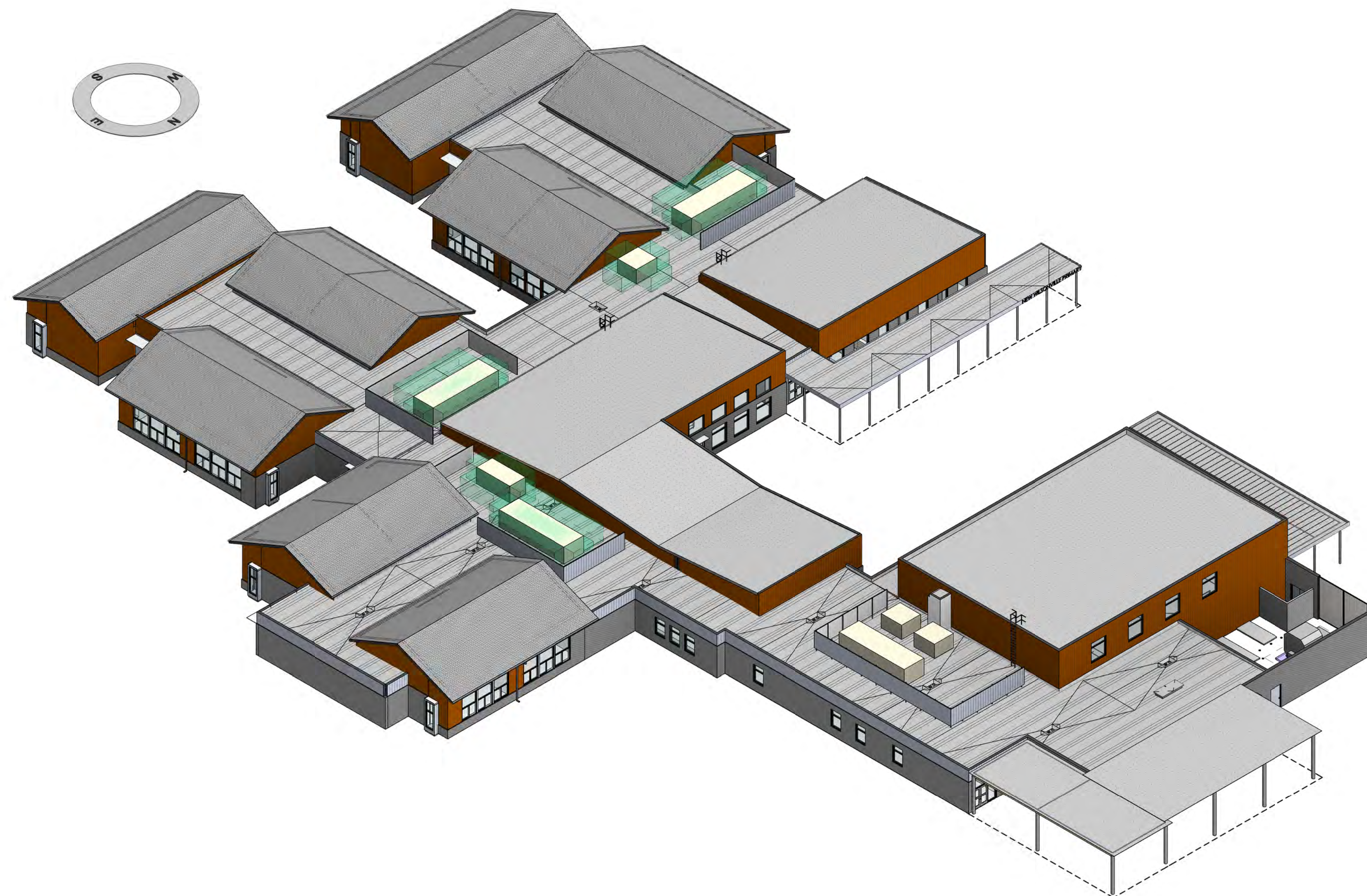
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ISSUES		
No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04

**NOT FOR  
CONSTRUCTION**



**2 OVERALL BUILDING NW**  
SCALE:



**1 OVERALL BUILDING NE**  
SCALE:

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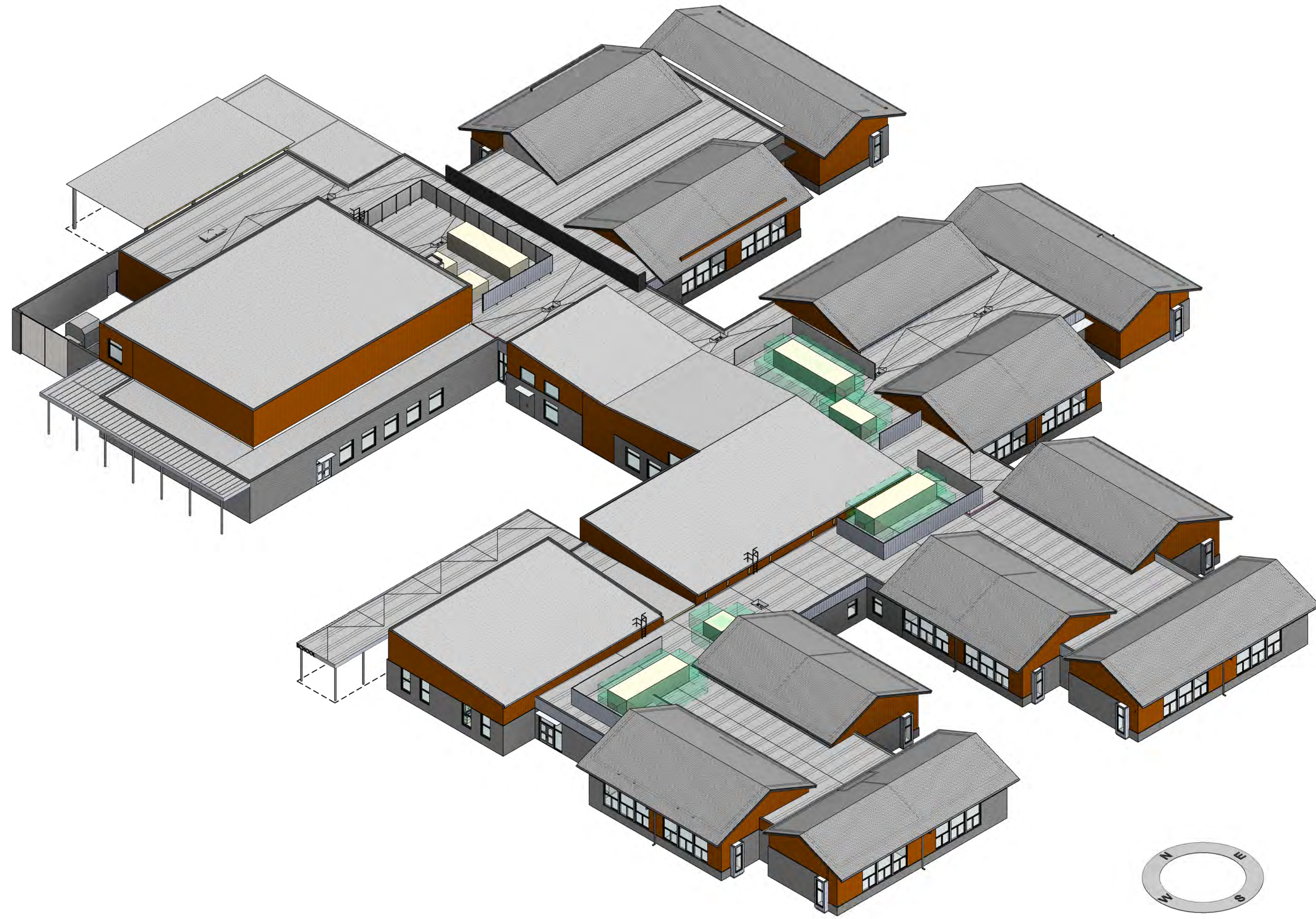
PROJECT  
**New Wilsonville Primary  
School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

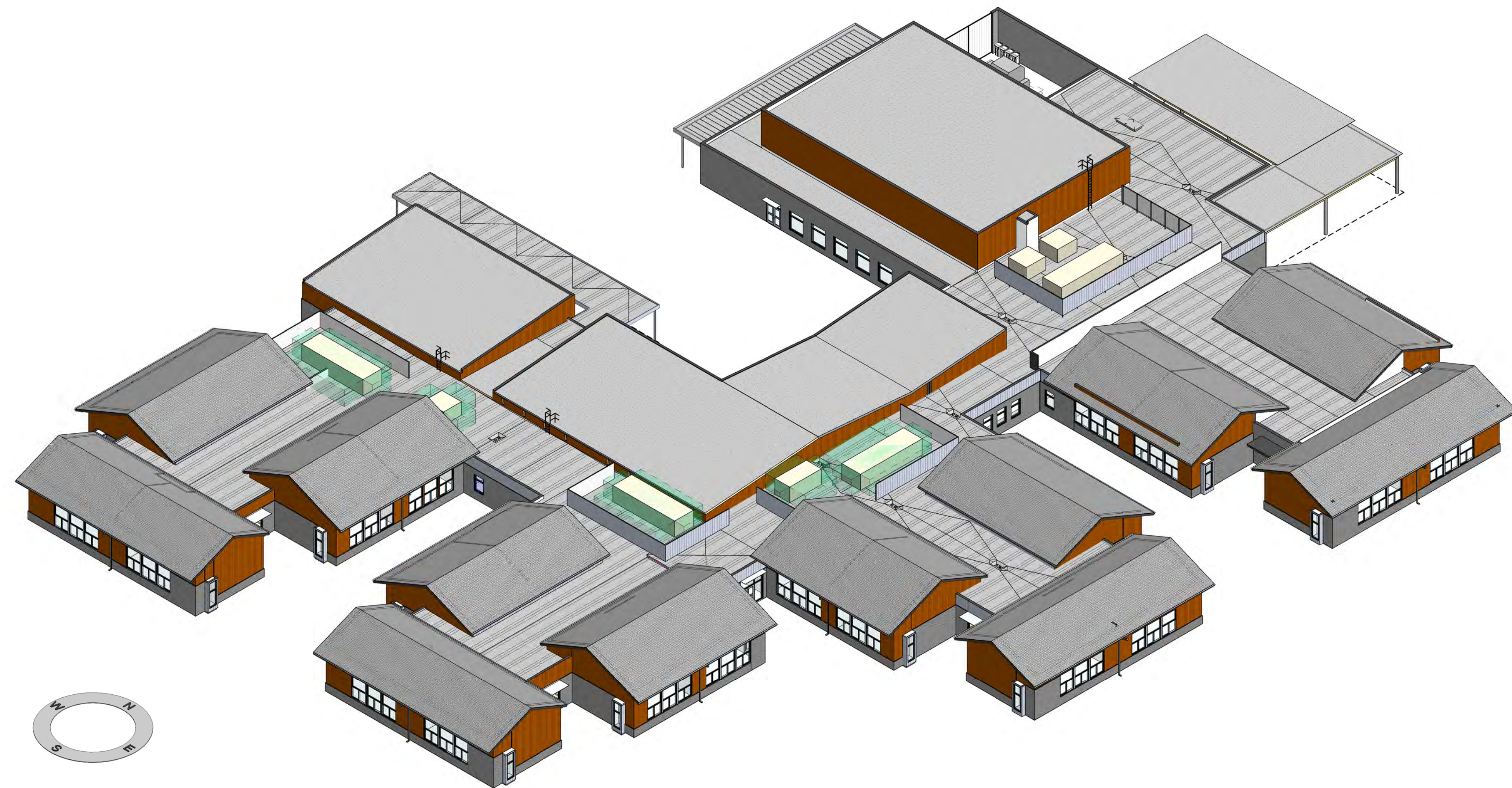
SHEET TITLE  
**BUILDING ISOMETRICS NE  
& NW - PHASE 1 ONLY**

SHEET NUMBER  
**LU 311**





**1 OVERALL BUILDING SW**  
SCALE:



**2 OVERALL BUILDING SE**  
SCALE:

CLIENT  
West Linn-Wilsonville  
School District



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Tualatin, OR 97062

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No.	DESCRIPTION	DATE
	LAND USE APPLICATION	2022-11-04

**NOT FOR  
CONSTRUCTION**

CONSULTANTS

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PRIME CONSULTANT  
**IBI GROUP**  
907 SW Harvey Milk Street  
Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup-usa.com

PROJECT  
**New Wilsonville Primary  
School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**BUILDING ISOMETRICS SE  
& SW - PHASE 1 & 2**

SHEET NUMBER  
**LU 312**





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ISSUES		
No.	DESCRIPTION	DATE
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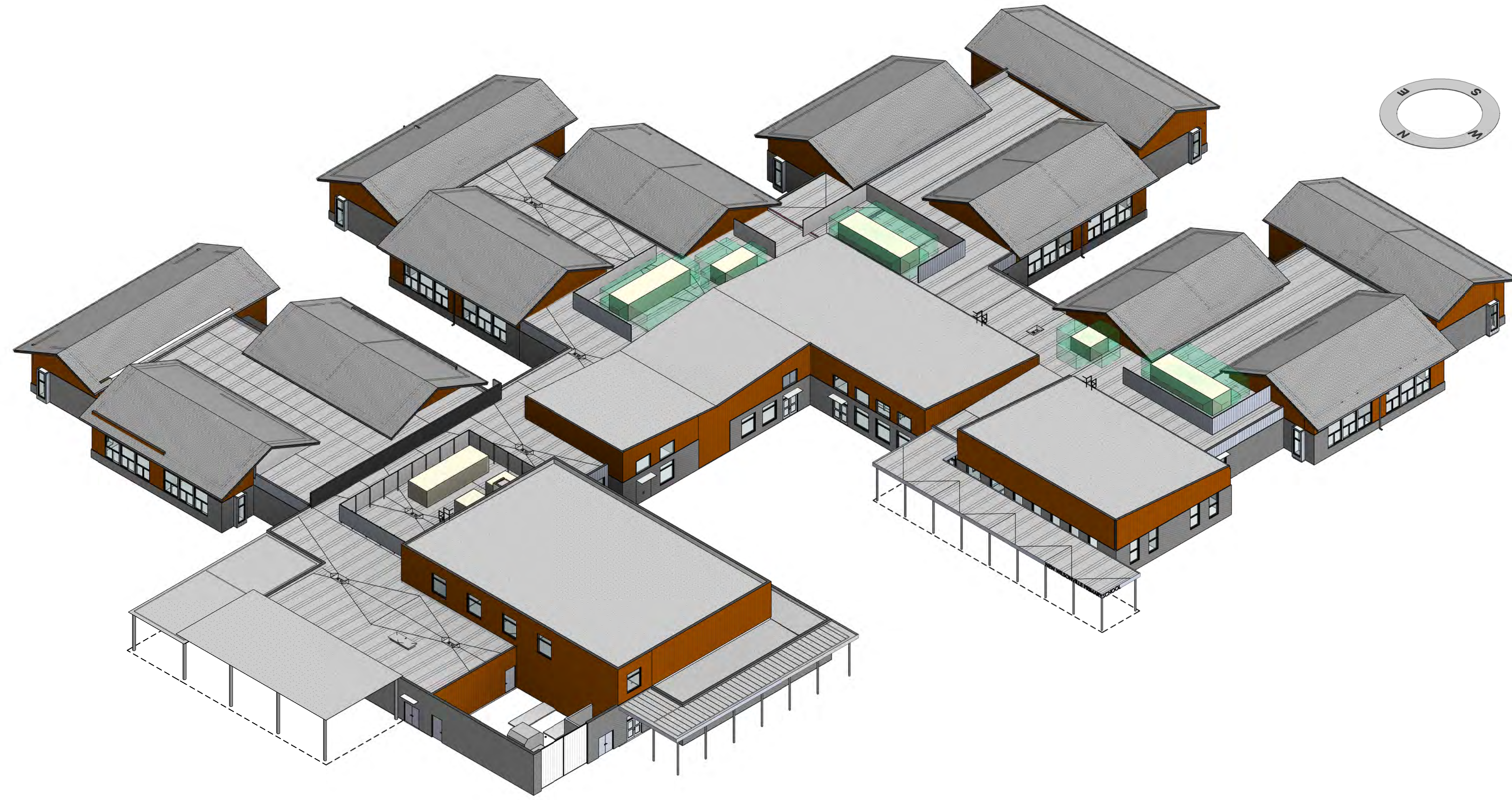
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Portland, OR 97205, USA  
tel 503 226 8950 fax 503 273 9192  
ibigroup-usa.com

PROJECT  
New Wilsonville Primary  
School  
7151 Boeckman Road  
Wilsonville, OR 97070

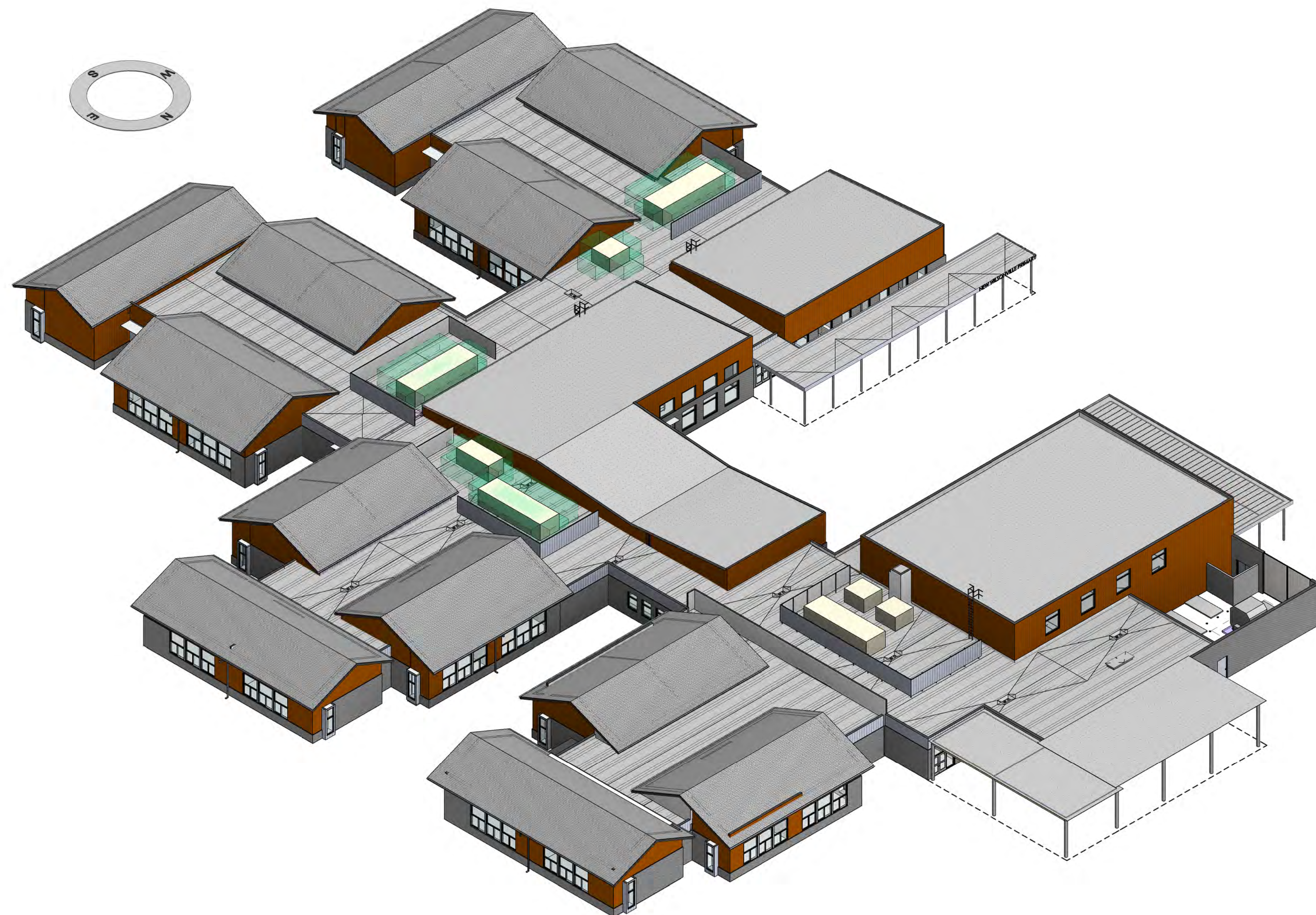
PROJECT NO:  
137469

SHEET TITLE  
BUILDING ISOMETRICS NE  
& NW - PHASE 1 & 2

SHEET NUMBER  
LU 313



**2 OVERALL BUILDING NW**  
SCALE:



**1 OVERALL BUILDING NE**  
SCALE:







**ISSUES**

No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	INCOMPLETENESS RESPONSE	2023-01-17

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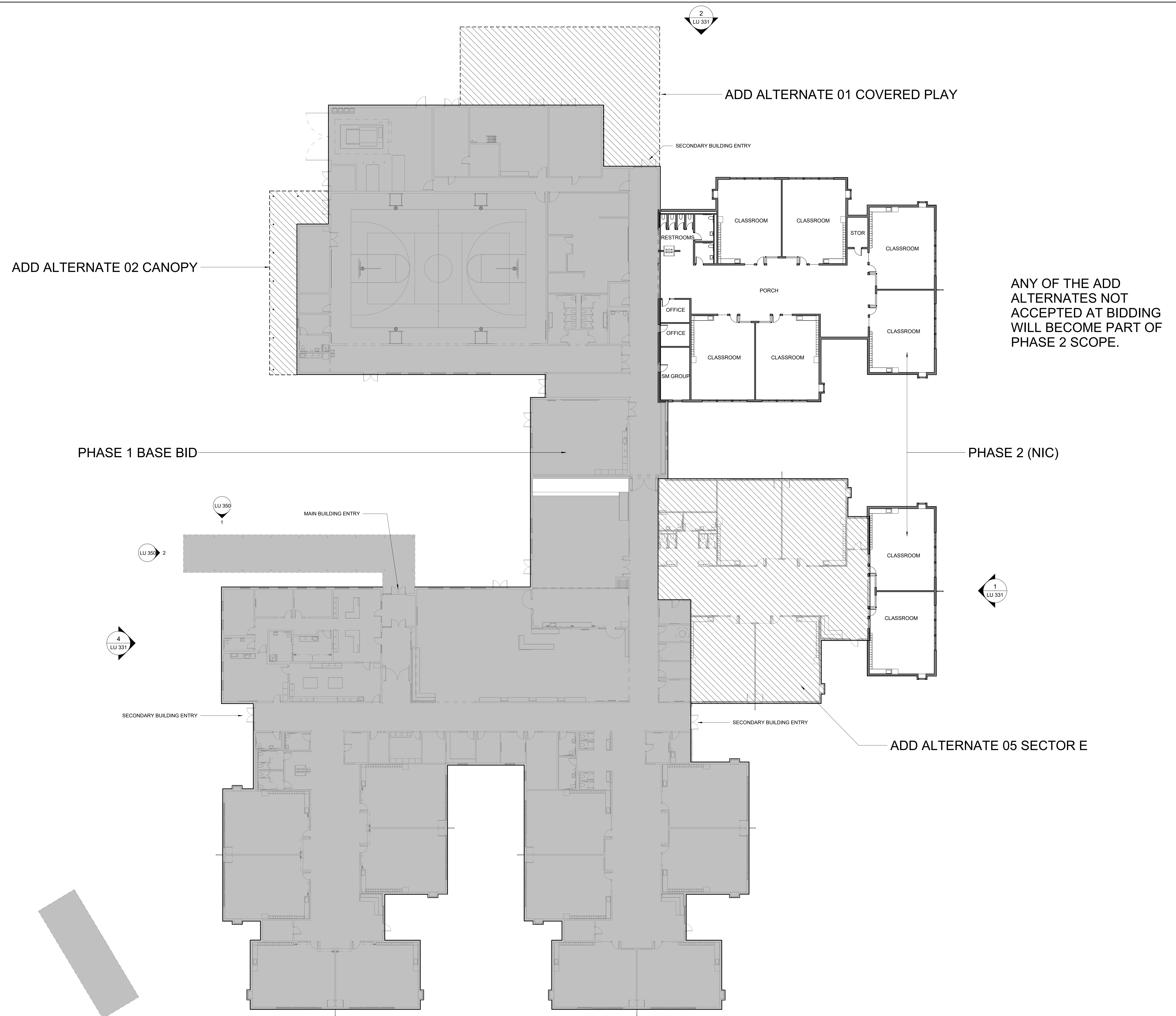
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**PROJECT**  
**New Wilsonville Primary  
 School**  
 7151 Boeckman Road  
 Wilsonville, OR 97070

**PROJECT NO.**  
 137469

**SHEET TITLE**  
**FLOOR PLAN PHASE 1 &  
 PHASE 2**

**SHEET NUMBER**  
**LU 321**



ADD ALTERNATE 02 CANOPY

ADD ALTERNATE 01 COVERED PLAY

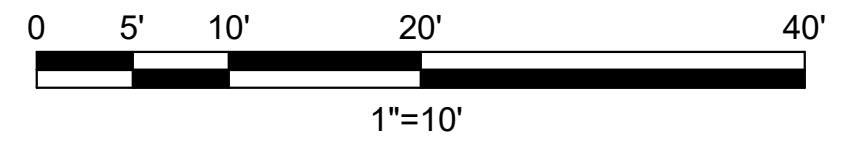
ANY OF THE ADD ALTERNATES NOT ACCEPTED AT BIDDING WILL BECOME PART OF PHASE 2 SCOPE.

PHASE 1 BASE BID

PHASE 2 (NIC)

ADD ALTERNATE 05 SECTOR E

**1 OVERALL FLOOR PLAN - PHASE 1 & 2**  
 SCALE: 1/16" = 1'-0"



2023-01-17 5:26:40 PM

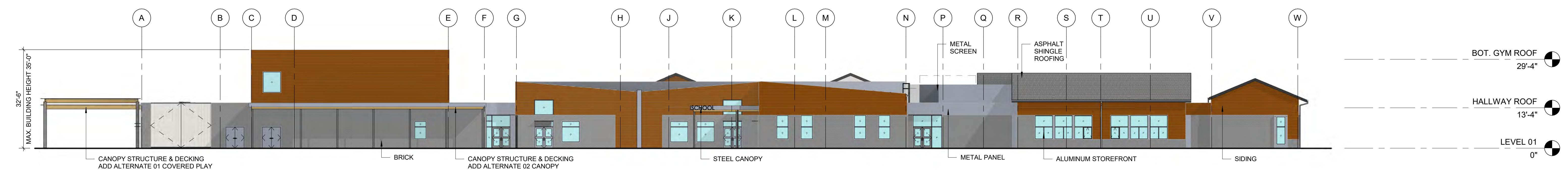
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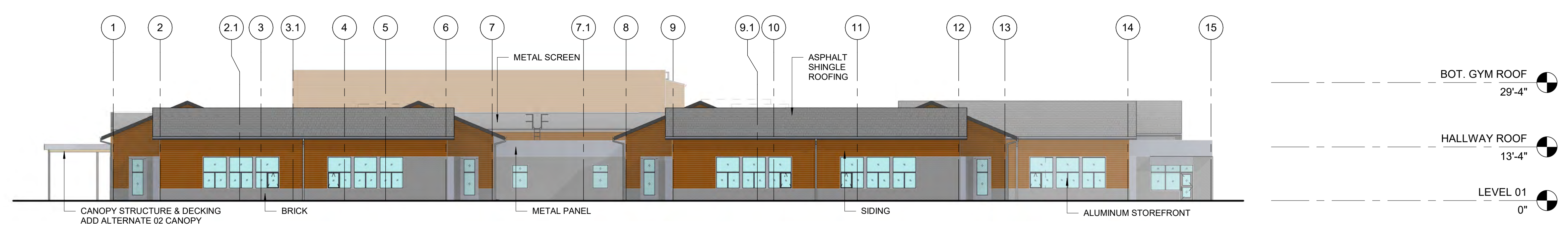
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ISSUES		
No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

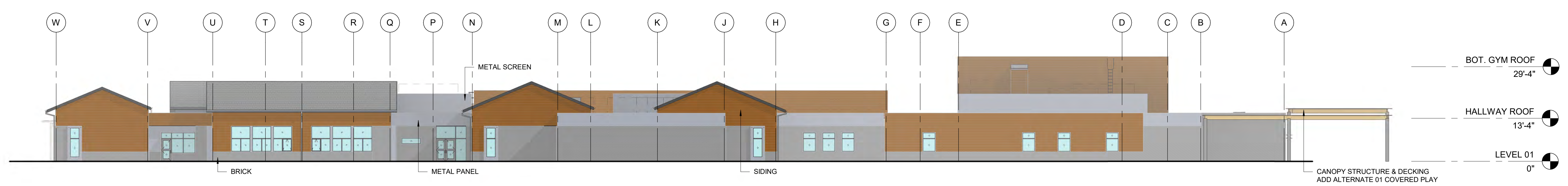
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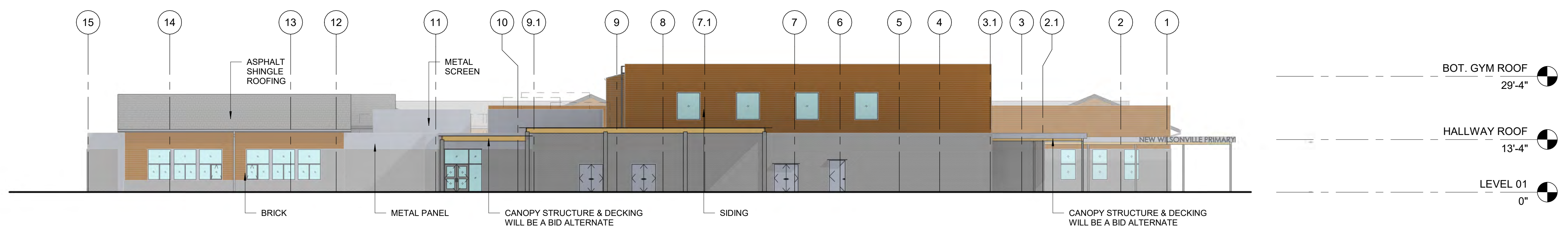
**4 WEST ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



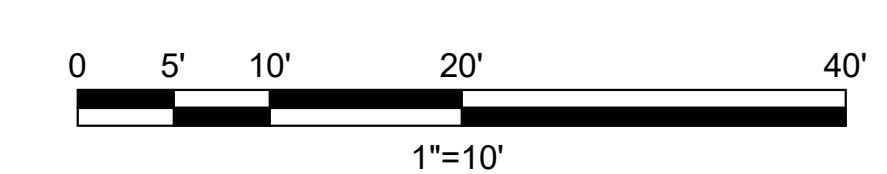
**3 SOUTH ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



**2 NORTH ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



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PROJECT  
**New Wilsonville Primary  
 School**  
 7151 Boeckman Road  
 Wilsonville, OR 97070

PROJECT NO:  
 137469

SHEET TITLE  
**BUILDING ELEVATIONS  
 PHASE 1 ONLY**

SHEET NUMBER  
**LU 330**



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No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	LAND USE INCOMPLETE/ENESS RESPONSE	2023-01-17

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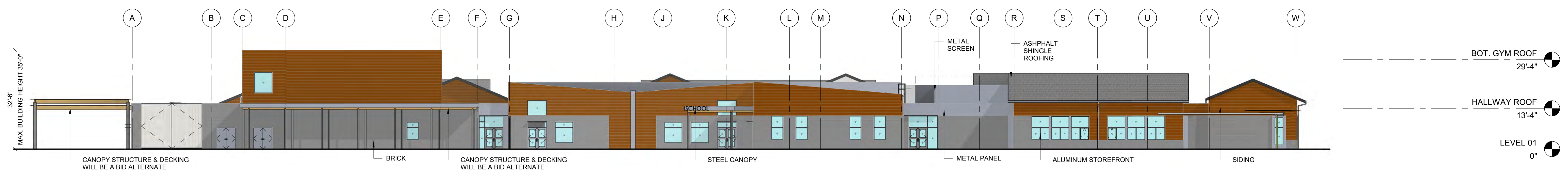
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PROJECT  
**New Wilsonville Primary  
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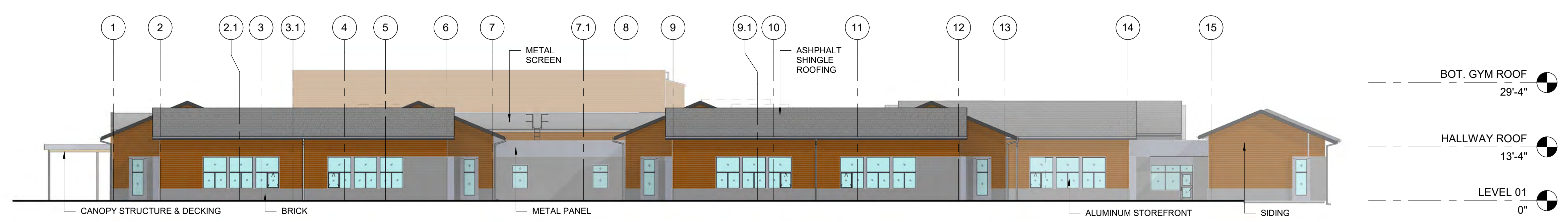
PROJECT NO:  
 137469

SHEET TITLE  
**BUILDING ELEVATIONS  
 PHASE 1 & PHASE 2**

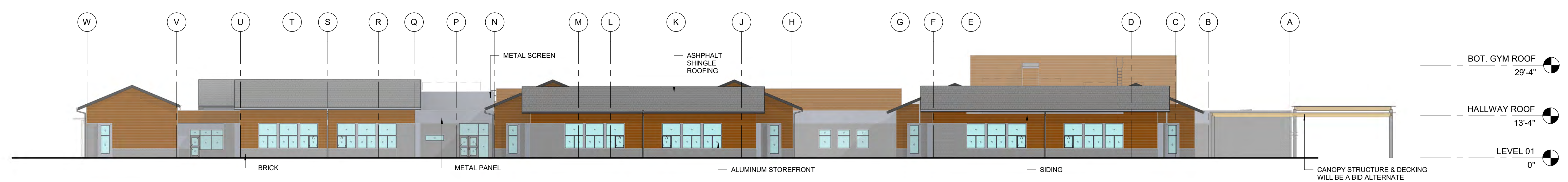
SHEET NUMBER  
**LU 331**



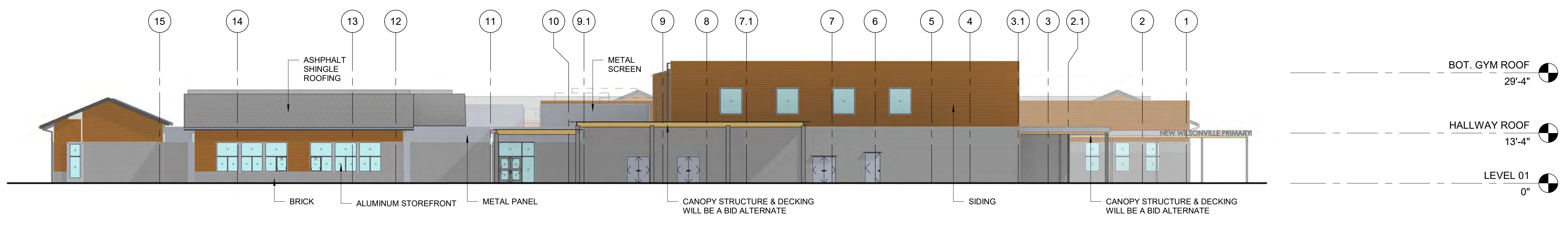
**4 WEST ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



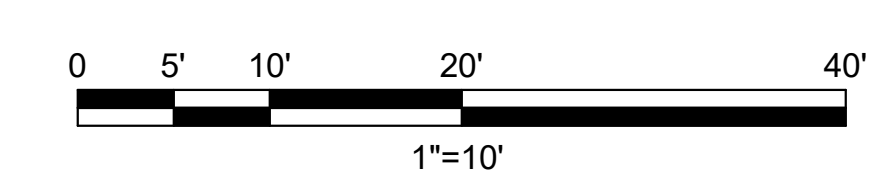
**3 SOUTH ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"



**2 NORTH ELEVATION - OVERALL**  
 SCALE: 1/16" = 1'-0"







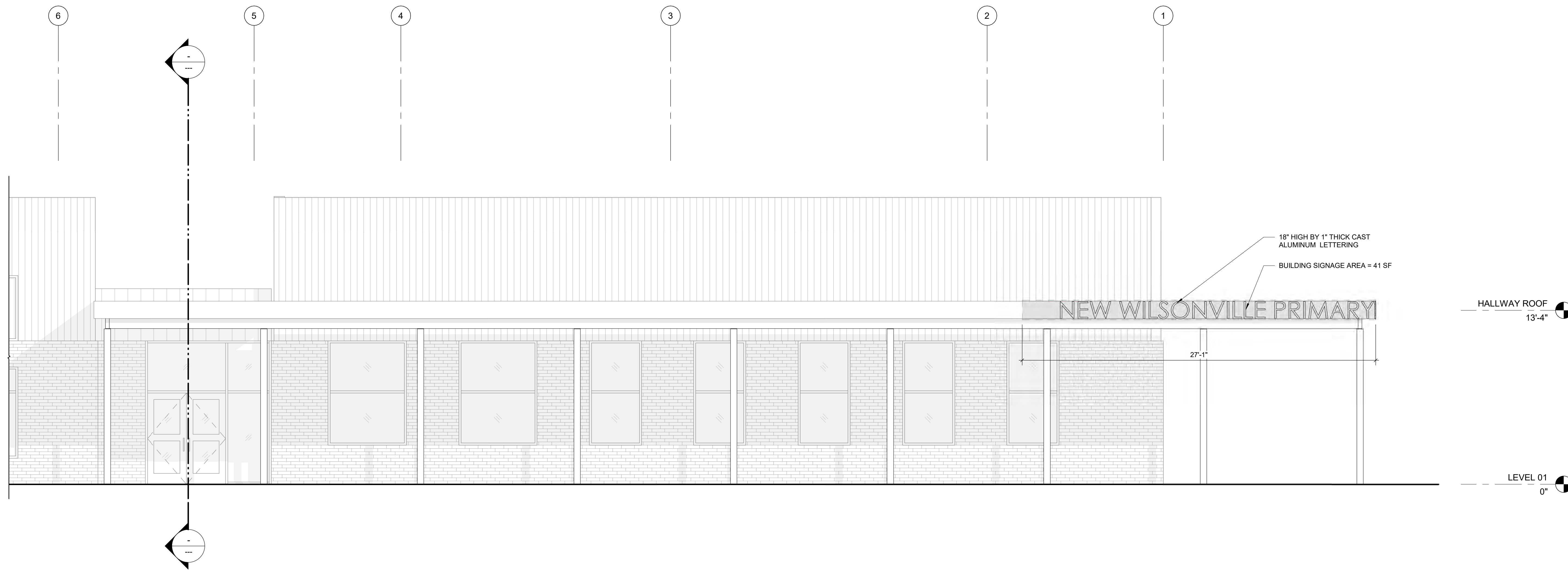




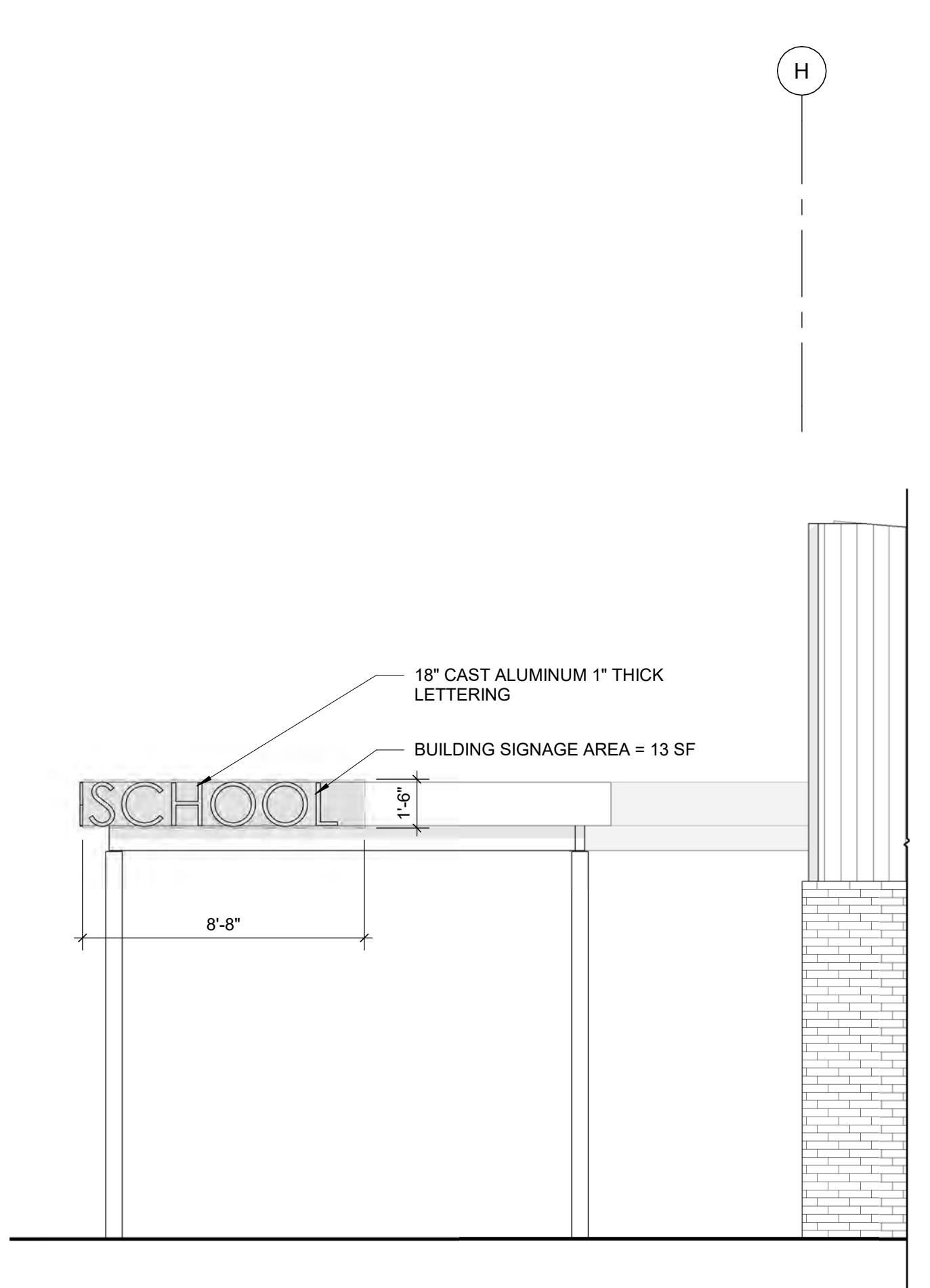
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No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04

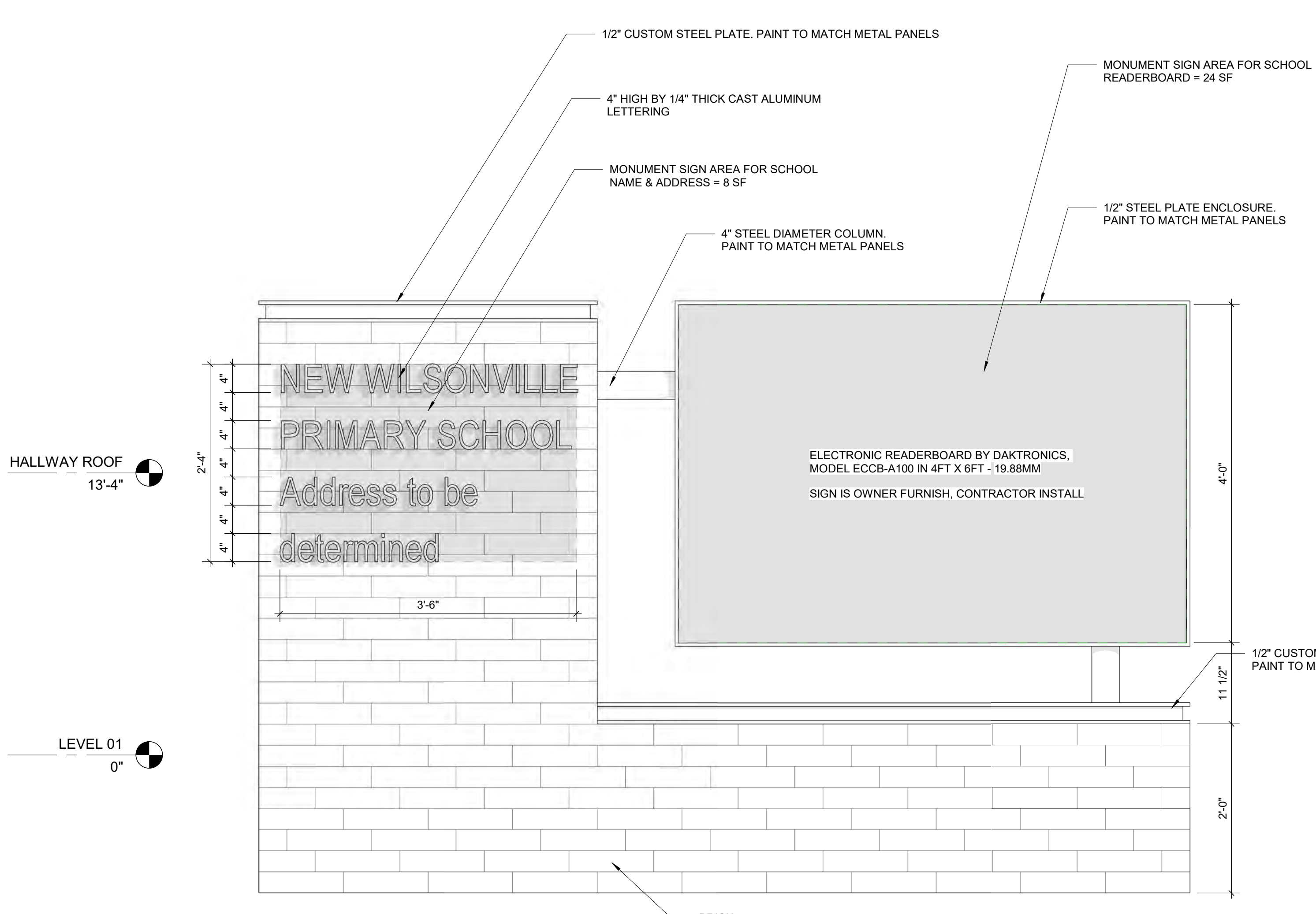
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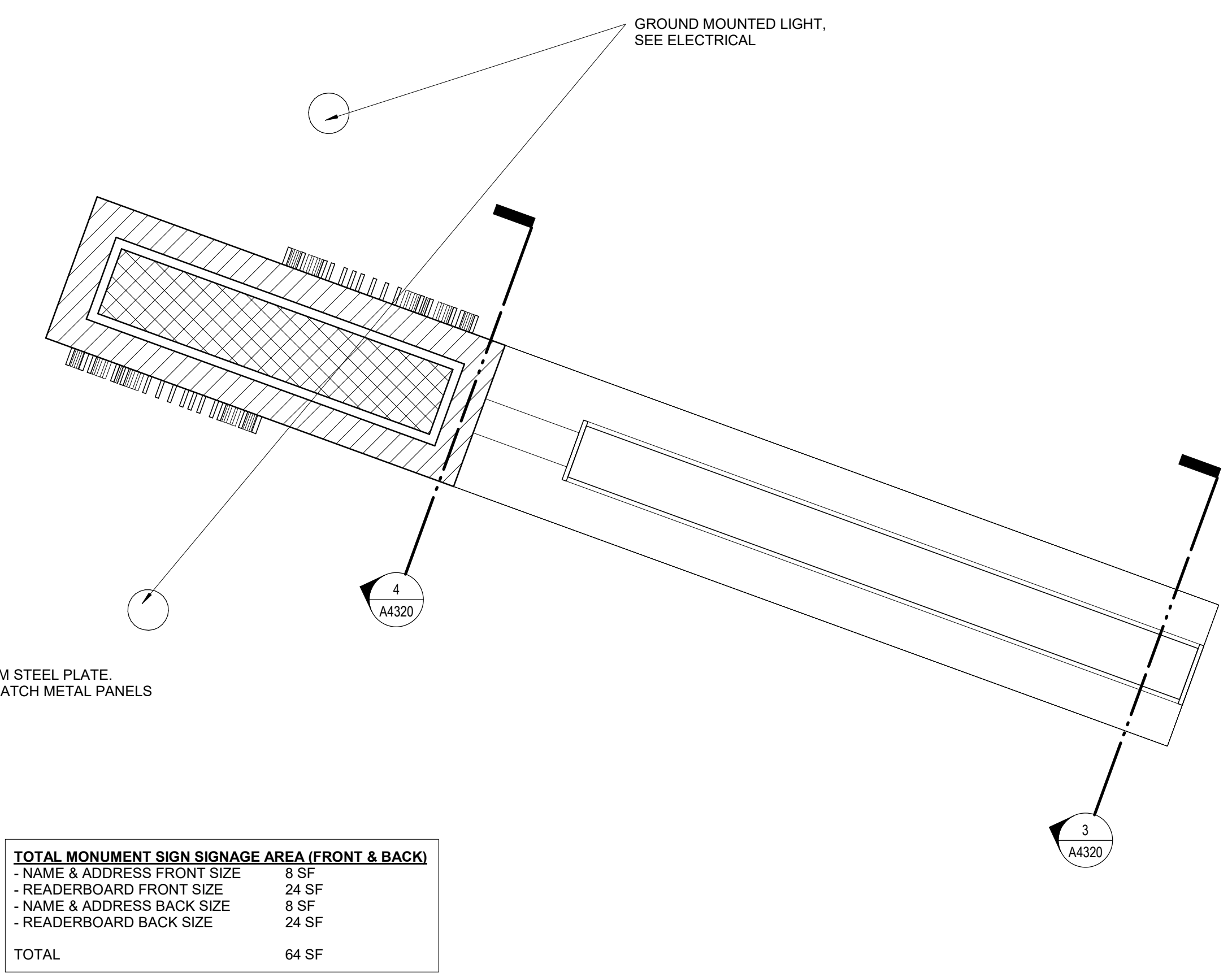
**1 ENTRY CANOPY - FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 ENTRY CANOPY - SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 MONUMENT SIGN ELEVATION - FRONT & BACK**  
SCALE: 1" = 1'-0"



TOTAL MONUMENT SIGN SIGNAGE AREA (FRONT & BACK)	
- NAME & ADDRESS FRONT SIZE	8 SF
- READERBOARD FRONT SIZE	24 SF
- NAME & ADDRESS BACK SIZE	8 SF
- READERBOARD BACK SIZE	24 SF
<b>TOTAL</b>	<b>64 SF</b>

**4 MONUMENT SIGN PLAN**  
SCALE: 1" = 1'-0"

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PROJECT  
**New Wilsonville Primary School**  
7151 Boeckman Road  
Wilsonville, OR 97070

PROJECT NO:  
137469

SHEET TITLE  
**BUILDING SIGNAGE & MONUMENT SIGN**

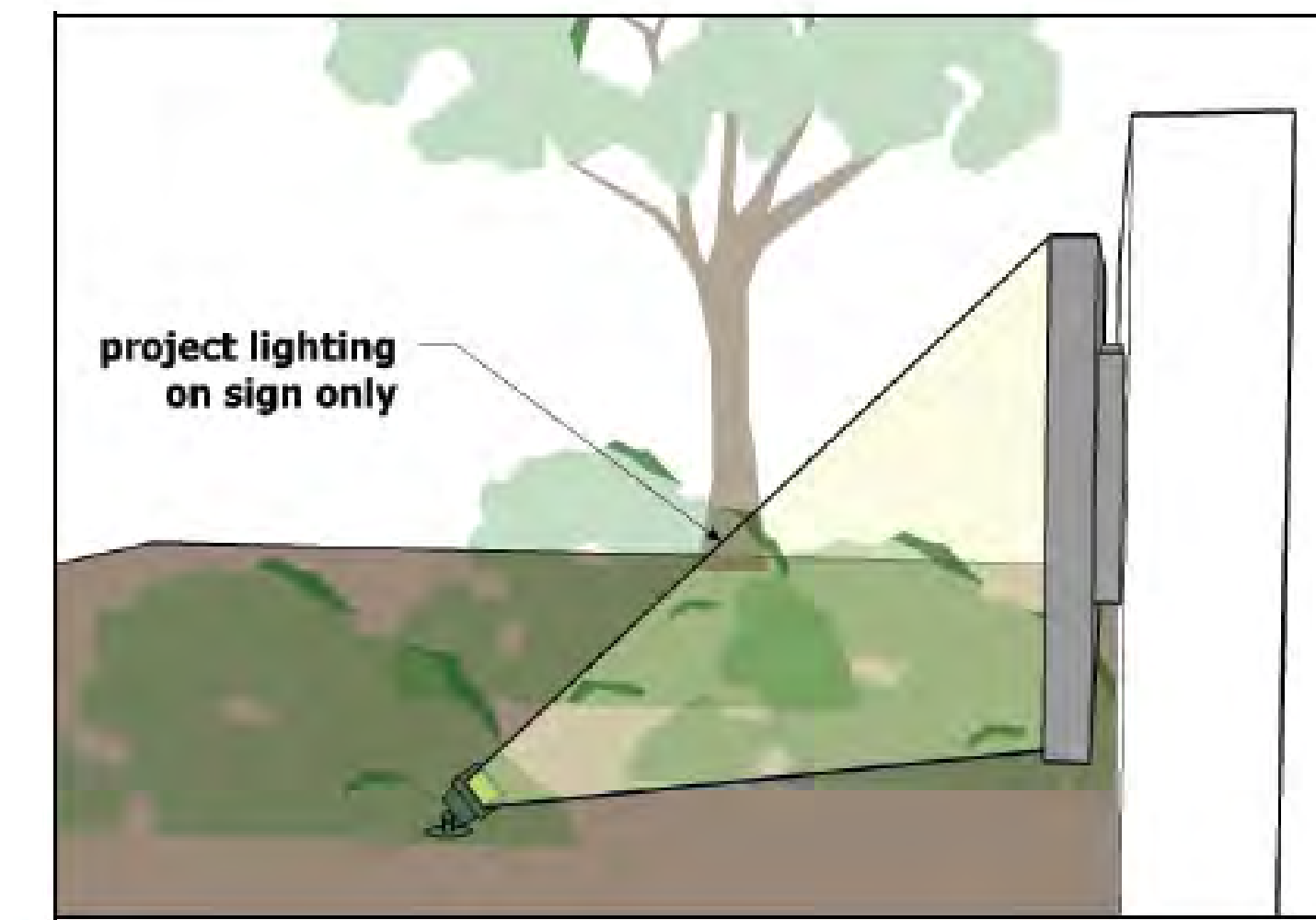
SHEET NUMBER  
**LU 350**



LUMINAIRE SCHEDULE - LAND USE														
TAG	DESCRIPTION	LAMP			CCT	MANUFACTURER	MODEL	POWER SUPPLY		VOLTAGE	LOAD	MOUNTING		COMMENTS
		TYPE	LUMENS	CRI				DRIVER	DIMMING TYPE			TYPE	HEIGHT	
S1C	AREA LIGHT WITH TYPE 4 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 20-FOOT POLE	LED	5000	80	3000K	LITHONIA	RADPT LED P2 30K ASY MVOLT RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 20' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	38.0 W	POLE	20'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S1C-HS	AREA LIGHT WITH TYPE 4 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 20-FOOT POLE, PROVIDE WITH HOUSE SIDE SHIELD	LED	5000	80	3000K	LITHONIA	RADPT LED P2 30K ASY MVOLT HS RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 20' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	38.0 W	POLE	20'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S2A	PEDESTRIAN LIGHT WITH TYPE 3 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 10-FOOT POLE	LED	3000	80	3000K	LITHONIA	RADPT LED P1 30K PATH MVOLT RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 10' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	25.0 W	POLE	10'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S2A-HS	PEDESTRIAN LIGHT WITH TYPE 3 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 10-FOOT POLE, PROVIDE WITH HOUSE SIDE SHIELD	LED	3000	80	3000K	LITHONIA	RADPT LED P1 30K PATH MVOLT HS RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 10' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	25.0 W	POLE	10'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S2B	PEDESTRIAN LIGHT WITH TYPE 5 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 12-FOOT POLE	LED	5000	80	3000K	LITHONIA	RADPT LED P2 30K SYM MVOLT RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 12' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	38.0 W	POLE	12'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S2C	PEDESTRIAN LIGHT WITH TYPE 4 DISTRIBUTION MOUNTED TO ROUND STRAIGHT 10-FOOT POLE	LED	3000	80	3000K	LITHONIA	RADPT LED P1 30K ASY MVOLT RADPT20 NLTAIR2 DDBXD POLE: LITHONIA RSA 10' 4C T20 DDBXD	INTEGRAL ELECTRONIC	0-10V	277 V	25.0 W	POLE	10'-0"	CONFIRM POLE FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER
S4	12-INCH WIDE WALL MOUNTED LUMINAIRE WITH DIRECT DISTRIBUTION ONLY	LED	1024	80	3000K	BEGA	22360 K3	INTEGRAL ELECTRONIC	0-10V	277 V	20.5 W	WALL	8'-0", UON	
S5	BACK-OF-HOUSE WALL PACK	LED	2900	80	3000K	LITHONIA	WPX1 LED P2 30K MVOLT	INTEGRAL ELECTRONIC	0-10V	277 V	24.0 W	WALL	8'-0"	
S6	GROUND MOUNTED FLOOD LIGHT	LED	406	80	3000K	BK LIGHTING	DS LED e65 WFL A9 FINISH 12 11 A 360SL	INTEGRAL ELECTRONIC	ON-BOARD	277 V	7.0 W	GRADE	-	PROVIDE WITH ACCESSORIES TO ALLOW FOR VERTICAL ADJUSTMENT
S9	60-INCH WALL MOUNTED LINEAR LUMINAIRE WITH DIRECT DISTRIBUTION ONLY	LED	1399	80	3000K	BEGA	44419 K3	INTEGRAL ELECTRONIC	0-10V	277 V	36.0 W	WALL	10'-0"	
S10	5-INCH ROUND SURFACE MOUNTED DOWNLIGHT WITH DECORATIVE LENS	LED	591	80	3000K	BEGA	66056 K3	INTEGRAL ELECTRONIC	0-10V	277 V	6.4 W	SURFACE	-	
S11	FLAGPOLE MOUNTED DOWNLIGHT AT TOP OF POLE	LED	1072	90	3000K	CONCORD AMERICAN	BEACON PLUS QUAD LIGHT	REMOTE ELECTRONIC	SWITCHED	277 V	12.0 W	SURFACE	-	LOCATE REMOTE POWER SUPPLY IN HANDHOLE ADJACENT TO FLAGPOLE



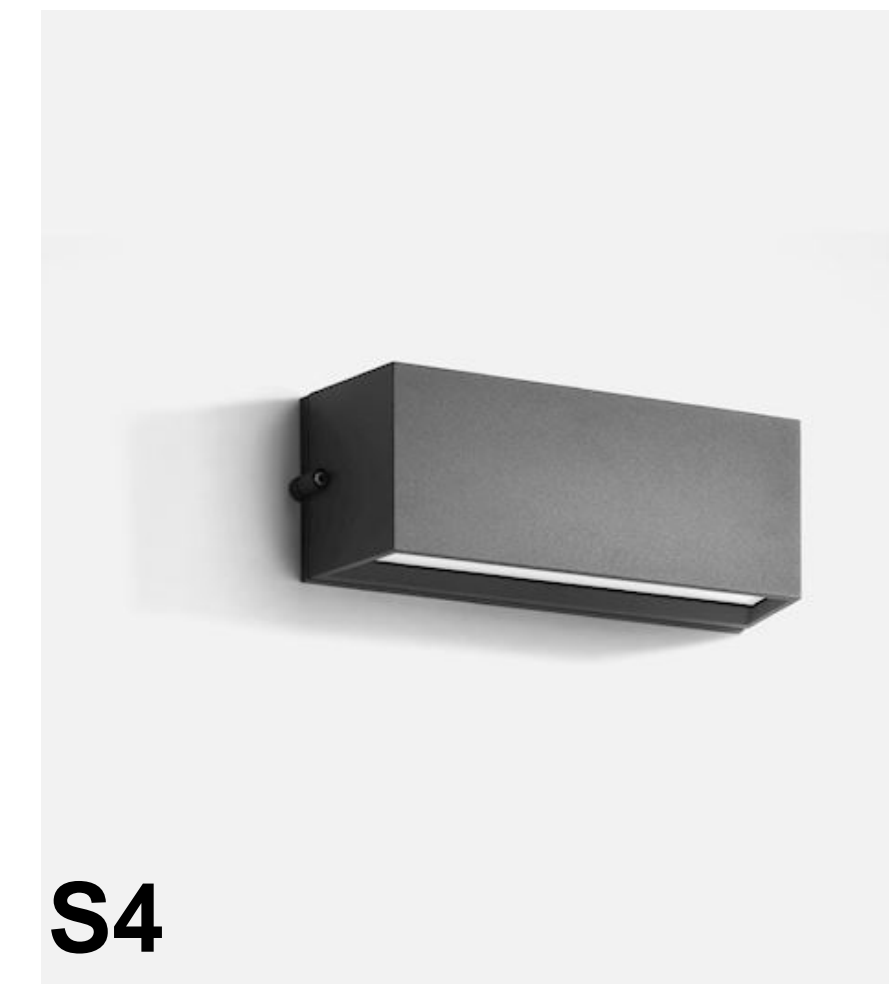
S6



S1  
S1-HS  
S2A  
S2A-HS  
S2C



S9



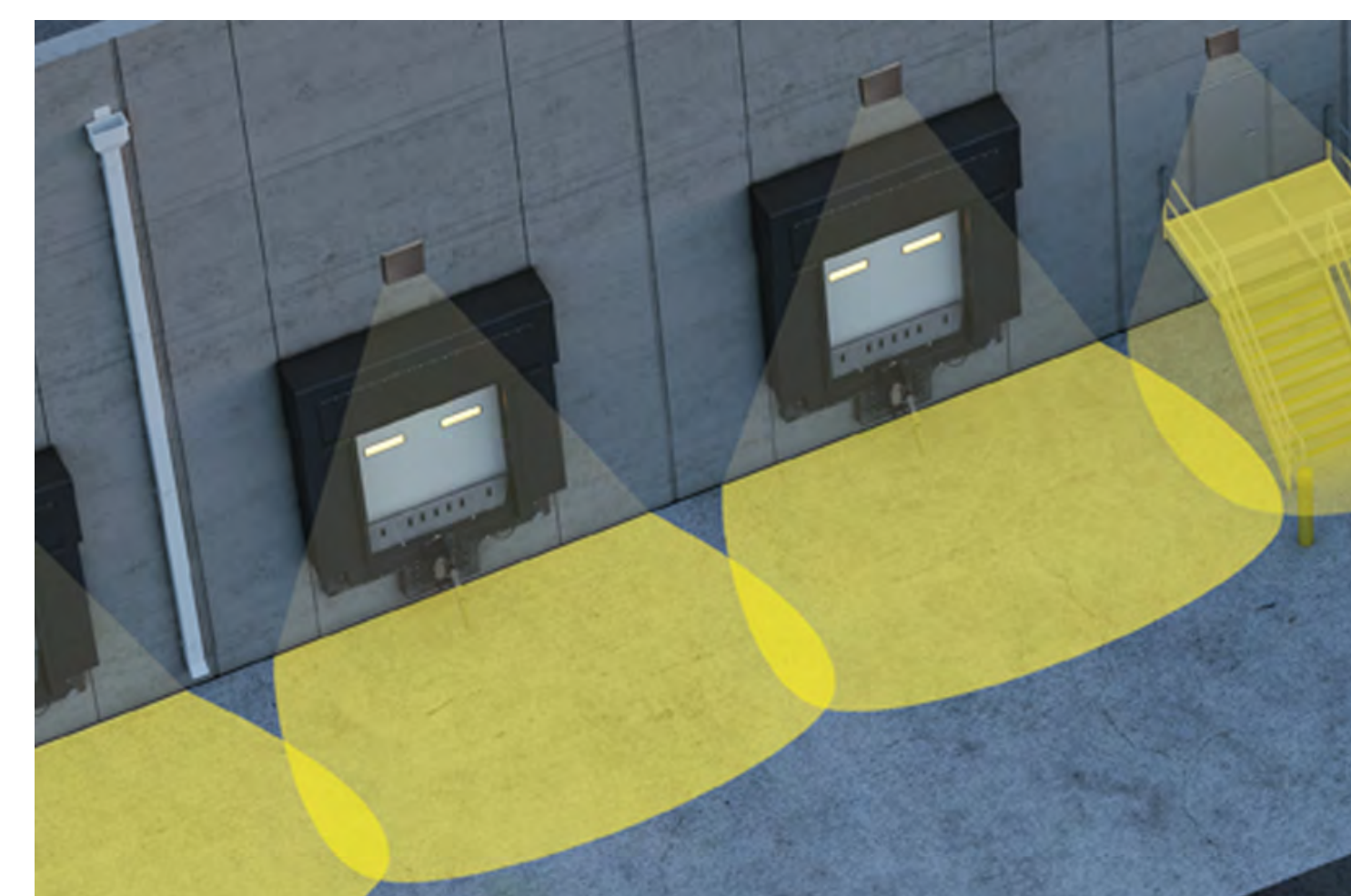
S4



S10



S5



S11



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ISSUES

No.	DESCRIPTION	DATE
1	LAND USE APPLICATION	2022-11-04
2	LAND USE INCOMPLETE BUSINESS RESPONSE	2023-01-17

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Project Manager: William Driscoll  
Job No.: 150-220500324

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tel 503 226 8950 fax 503 273 9192  
ibigroup@ibigroup.com

PROJECT

Frog Pond  
7151 Bockman Road  
Wilsonville, OR 97070

PROJECT NO:

137469

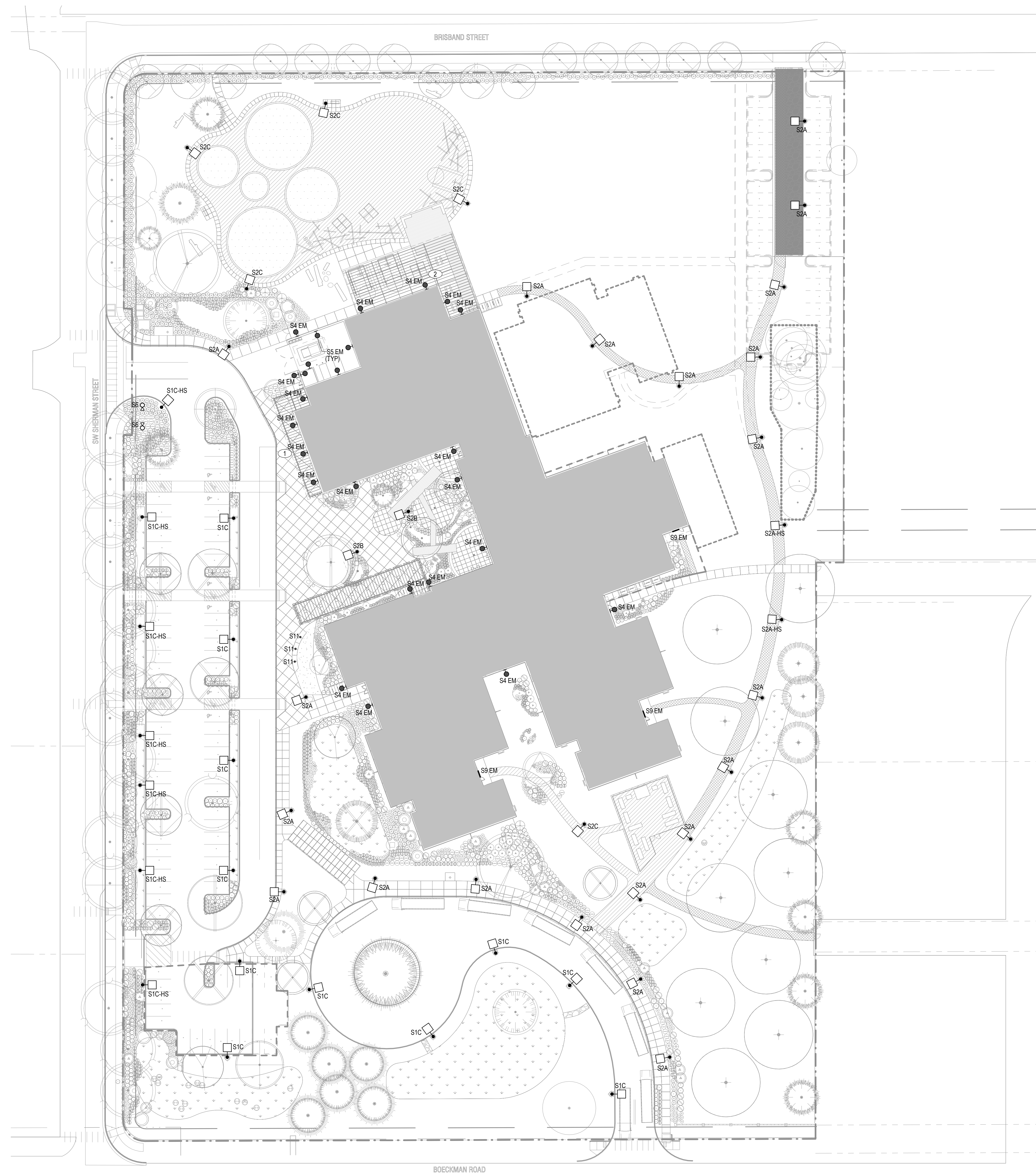
SHEET TITLE

LUMINAIRE SCHEDULE

SHEET NUMBER

LU 401





**SHEET NOTES**

A. PROVIDE ALLOWANCE FOR WATER FEATURE LIGHT LOCATED AT STORMWATER DISPLAY. CONFIRM LOCATION WITH LANDSCAPE.

**KEYED NOTES**

1. BASELINE CONFIGURATION: PROVIDE (3) S4 LIGHTS WALL MOUNTED TO BUILDING (AS SHOWN); ALTERNATE CONFIGURATION: (4) S10 LIGHTS AT UNDERSIDE OF CANOPY.
2. BASELINE CONFIGURATION: PROVIDE (4) S4 LIGHTS WALL MOUNTED TO BUILDING (AS SHOWN); ALTERNATE CONFIGURATION: (9) S10 LIGHTS AT UNDERSIDE OF CANOPY.

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**PROJECT**

**Frog Pond**  
7151 Boeckman Road  
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**PROJECT NO.**

137469

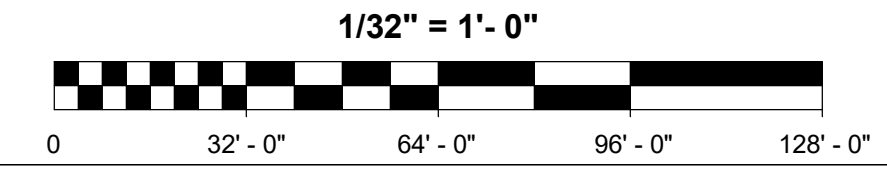
**SHEET TITLE**

**SITE LIGHTING PLAN**

**SHEET NUMBER**

**LU 402**

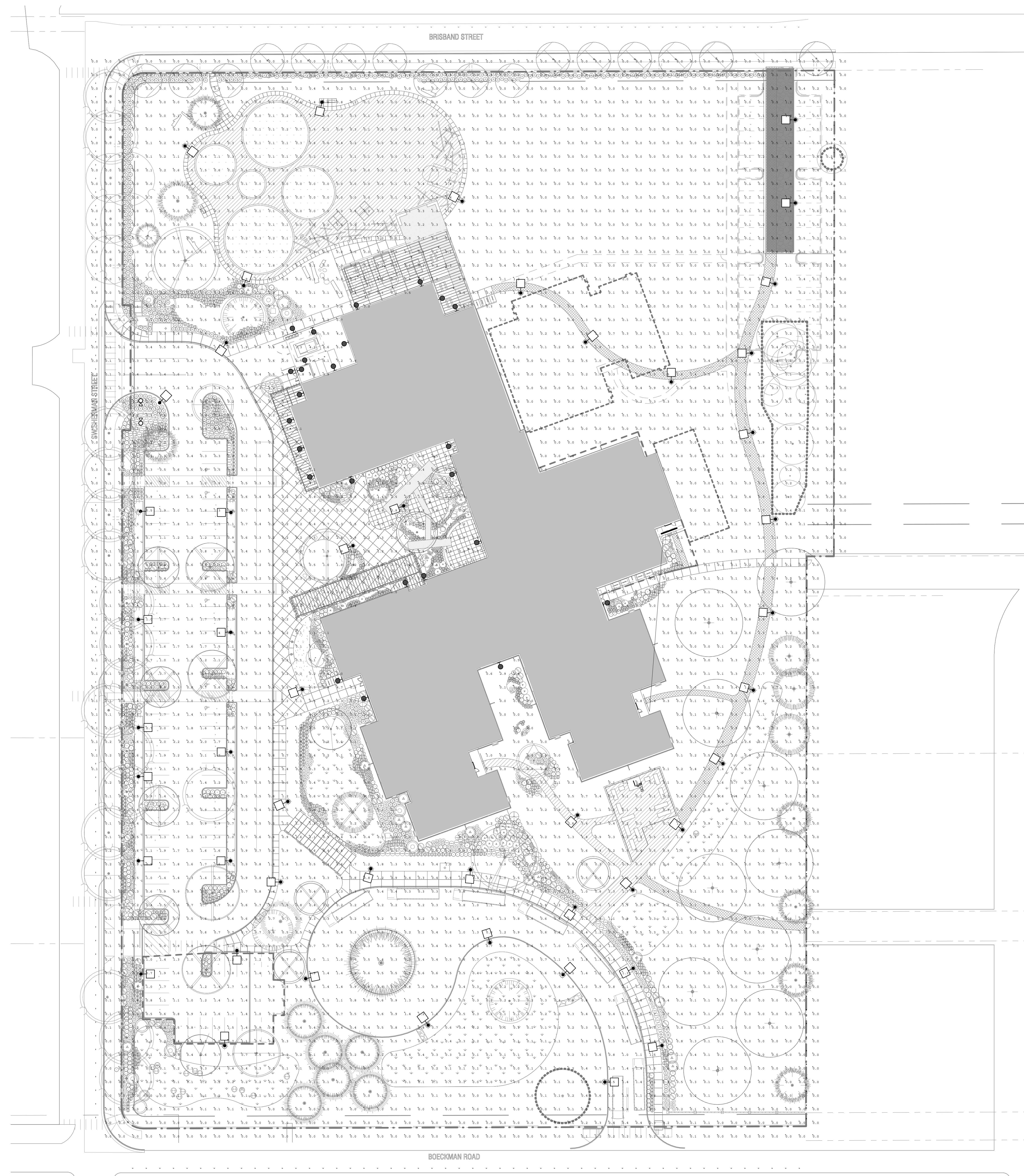
**1 SITE PLAN - LIGHTING - LAND USE**  
SCALE: 1/32" = 1'-0"



1/17/2023 3:52:23 PM

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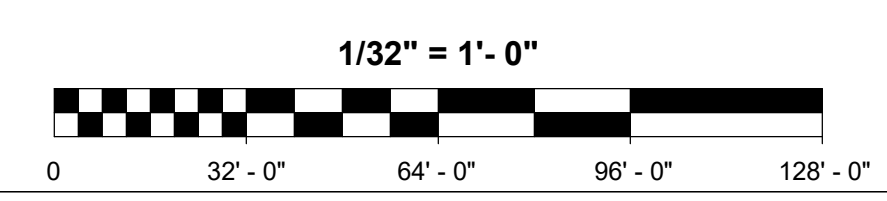


**1 SITE PLAN - LIGHTING - PHOTOMETRICS - LAND USE**  
SCALE: 1/32" = 1'-0"

**LAND USE NOTES**

- A. DESIGN AND CALCULATIONS ARE PER THE WILSONVILLE CODE OF ORDINANCES SECTION 4.199 OUTDOOR LIGHTING. LIGHTING SHOWN IS IN COMPLIANCE WITH THE PERFORMANCE OPTION.
- B. REFER TO PLANS FOR PROPERTY LINE BOUNDARY.
- C. ASSUMED LIGHT LOSS FACTOR (LLF) IS 0.9 FOR ALL LIGHTING. ALL LUMINAIRES SPECIFIED INCLUDE LED SOURCES ONLY.
- D. THE PROJECT FALLS UNDER LIGHTING ZONE 2 (LZ2). ALL CALCULATIONS SHOWN IN THE TABLE BELOW ARE IN COMPLIANCE WITH MAXIMUM VALUES SHOWN FOR LZ2 AS PER TABLE 9.
  - a. REFERENCE "VERTICAL PLANE - XXX" FOR VERTICAL ILLUMINANCE CALCULATION SHOWING ILLUMINATION IN THE VERTICAL PLANE AT THE PROPERTY LINE FROM GRADE TO 10'-0" HIGHER THAN THE HEIGHT OF THE TALLEST POLE (EQUAL TO 30'-0").
    - NOTE THAT FOR THE NORTH, SOUTH, AND WEST PLANES, THE CALCULATION IS PERFORMED AT THE ADJACENT PROPERTY LINE TO THE RIGHT-OF-WAY (AS PER EXCEPTION 1).
  - b. REFERENCE "PROPERTY LINE - XXX" FOR HORIZONTAL ILLUMINANCE CALCULATION SHOWING ILLUMINATION IN THE HORIZONTAL PLANE AT GRADE IMMEDIATELY OFF OF THE OTHER SUBJECT PROPERTY.
  - c. REFERENCE (U/LR) (UPLIGHT WASTE RATIO) FOR THE WEIGHTED AVERAGE PERCENTAGE OF DIRECT UPLIGHT LUMENS (EXPRESSED IN DECIMAL FORM).
- E. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY ASTRONOMICAL TIMELOCK THAT TURNS LIGHTING ON AT DUSK AND TURNS LIGHTING OFF AT OR BEFORE 10:00PM PER CURFEW REQUIREMENTS AND OREGON ENERGY EFFICIENCY SPECIALTY CODE.

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	illumiance	fc	0.45	10.9	0.0	N.A.	N.A.
VERTICAL PLANE - EAST, NORTH END	illumiance	fc	0.01	0.1	0.0	N.A.	N.A.
VERTICAL PLANE - EAST, SOUTH END	illumiance	fc	0.00	0.1	0.0	N.A.	N.A.
VERTICAL PLANE - NORTH	illumiance	fc	0.00	0.0	0.0	N.A.	N.A.
VERTICAL PLANE - SOUTH	illumiance	fc	0.01	0.1	0.0	N.A.	N.A.
VERTICAL PLANE - WEST	illumiance	fc	0.04	0.2	0.0	N.A.	N.A.
DRIVE - SOUTH	illumiance	fc	0.12	1.5	0.0	1.40	7.50
ENTRY COURTYARD	illumiance	fc	1.35	5.4	0.1	13.50	54.00
PARKING LOT - NORTH	illumiance	fc	0.18	1.7	0.0	N.A.	N.A.
PARKING LOT - WEST	illumiance	fc	0.89	2.3	0.1	8.90	23.00
PARKING WALK	illumiance	fc	0.48	1.9	0.0	N.A.	N.A.
PROPERTY LINE - EAST, NORTH END	illumiance	fc	0.06	0.2	0.0	N.A.	N.A.
PROPERTY LINE - EAST, SOUTH END	illumiance	fc	0.00	0.1	0.0	N.A.	N.A.
PROPERTY LINE - NORTH	illumiance	fc	0.00	0.1	0.0	N.A.	N.A.
PROPERTY LINE - SOUTH	illumiance	fc	0.00	0.0	0.0	N.A.	N.A.
PROPERTY LINE - WEST	illumiance	fc	0.07	0.2	0.0	N.A.	N.A.
ULCL Area Summary		UMSR					
ULCL		UMSR					
ULCL		UMSR					



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**ISSUES**

No.	DESCRIPTION	DATE
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2	LAND USE INCOMPLETENESS RESPONSE	2023-01-17

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PROJECT NO:  
137469

SHEET TITLE  
**SITE LIGHTING PLAN - PHOTOMETRICS**

SHEET NUMBER  
**LU 403**

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