



**PLANNING COMMISSION**  
**WEDNESDAY, MAY 13, 2026**

**WORK SESSION**

3. Town Center Building Height Waiver (Guile-Hinman)(30 Minutes)



**PLANNING COMMISSION MEETING  
STAFF REPORT**

<b>Meeting Date:</b> May 13, 2026		<b>Subject:</b> Town Center Building Height Waiver Provision Project	
		<b>Staff Member:</b> Amanda Guile-Hinman, City Attorney Miranda Bateschell, Planning Director	
		<b>Department:</b> Legal, Community Development	
<b>Action Required</b>		<b>Advisory Board/Commission Recommendation</b>	
<input type="checkbox"/> Motion <input type="checkbox"/> Public Hearing Date: <input type="checkbox"/> Ordinance 1 <sup>st</sup> Reading Date: <input type="checkbox"/> Ordinance 2 <sup>nd</sup> Reading Date: <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Information or Direction <input type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input type="checkbox"/> Consent Agenda		<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable	
		<b>Comments:</b> N/A	
<b>Staff Recommendation:</b> N/A			
<b>Recommended Language for Motion:</b> N/A			
<b>Project / Issue Relates To:</b>			
<input checked="" type="checkbox"/> Council Goals/Priorities: Goal 4: Communications & Engagement		<input type="checkbox"/> Adopted Master Plan(s):	<input type="checkbox"/> Not Applicable

**ISSUE BEFORE PLANNING COMMISSION:**

Examine Development Code provisions concerning waivers to building height currently provided in the Town Center Zone (Wilsonville Code 4.132 (.06)D and 4.118(.03)A.8), review input from Town Center Building Height Waiver Task Force (“Task Force”), and provide feedback and/or questions for the Task Force to further consider.

## **EXECUTIVE SUMMARY:**

This staff report provides an overview of the City project to review the waiver provision in WC 4.132(.06)(D), which offers applicants an opportunity to seek a waiver within two of the subdistricts of the Wilsonville Town Center relating to building ground floor floorplate and/or building height. Additionally, this staff report reviews the work of the Town Center Building Height Waiver Task Force thus far, which has explored various options to revise the waiver provision. Staff seeks input from the Planning Commission to provide back to the Task Force as it focuses on particular revisions to the waiver. Staff will provide the Planning Commission's feedback and questions to the Task Force for its consideration at its May 19, 2026 meeting.

## **I. BACKGROUND**

### **A. Establishing the Task Force – Resolution No. 3244**

Resolution No. 3244 (attached hereto as **Attachment 1**) establishes the Wilsonville City Council's desire to review Town Center building height waiver provisions in the Wilsonville Code and to establish a limited duration task force to help recommend updates to the waiver provisions.

At its [February 19, 2026 work session](#), Council received background factual and legal information regarding the Wilsonville Town Center and related Town Center Plan and then deliberated on four (4) questions:

1. Is Council interested in exploring updates to the building height waiver language applicable to the Wilsonville Town Center?
2. If yes to Question 1, is Council seeking to consider such updates within this year (i.e., a process timeline that is completed by October 2026)?
3. If yes to Question 1, is Council interested in a limited duration task force being formed to help evaluate updates to the building height waiver language?
4. If yes to Question 3, are there certain categories of stakeholder groups that Council wants represented on such a task force?

Council answered in the affirmative to questions 1-3, and, for question 4, Councilmembers indicated a desire to include some of the original Town Center Task Force and broad and diverse representation.

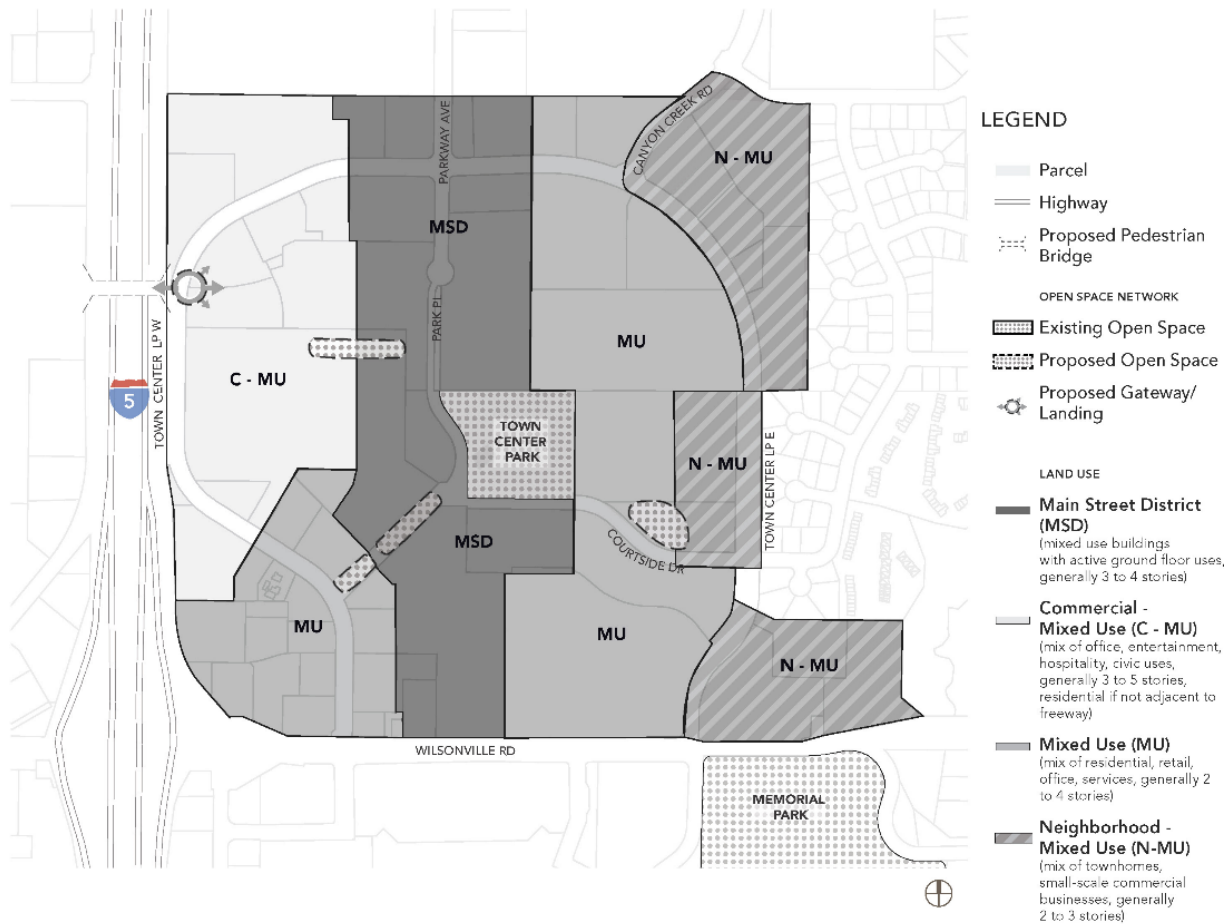
At its [March 2, 2026 meeting](#), the Wilsonville City Council adopted Resolution No. 3244 (**Attachment 1**) to consider amendments to the Wilsonville Code that affect potential building heights for redevelopment in the Wilsonville Town Center. In particular, Resolution No. 3244 provides a process for Council to consider modification to building height waiver language within the Wilsonville Code that allows increased building height in the Wilsonville Town Center. The Resolution also called for establishing a limited duration task force to review options of possible updates to the building height waiver language in the Wilsonville Code.

## **B. Town Center Plan Overview**

The Wilsonville Town Center Plan presents a blueprint that will guide future development in Town Center through strategic actions (new projects, policies, programs or partnerships) in order to achieve the Wilsonville community’s vision for Town Center. The City webpage with Town Center Plan information is available [here](#). The Town Center project team worked with the community at over one hundred meetings and events from 2017 through 2019, and through dozens of surveys and polls to formulate the various elements of the Plan. The community is passionate about the future of Town Center and has voiced a vision and plan for the next stage in Town Center’s evolution.

The Town Center Plan guides development in Town Center to create the heart of Wilsonville – a vibrant, walkable destination that inspires people to come together and socialize, shop, live, and work. The Town Center Plan identifies parks, civic spaces, and amenities to provide year-round, compelling experiences. To promote the heart of Wilsonville, the Town Center Plan has several components, including updates to the City Code to provide for mixed-use development, an “Emerald Chain” open space/park concept, multi-modal infrastructure to encourage bicycle and pedestrian accessibility, and economic development strategies. The Town Center Plan identified implementation measures, including parking strategies to ensure efficient and convenient parking for visitors, workers, and residents, infrastructure investments, economic development strategies, and regulatory actions (including adoption of updates to the Wilsonville Code).

Of particular importance to this Task Force’s work, the Town Center Plan and related regulatory actions created four (4) subdistricts within the Town Center: Commercial Mixed-Use (C-MU), Mixed-Use (MU), Main Street District (MSD), and Neighborhood Mixed-Use (N-MU). The Main Street District represents the central hub of the Town Center. The other subdistricts transition from allowances for taller buildings adjacent to I-5 to smaller buildings adjacent to the residential area east of Town Center Loop East. Below is a map of the subdistricts, which is found in the Wilsonville Code:



Since the Town Center Plan adoption in 2019, the City commenced work on the implementation measures including adopting updates to the City Transportation System Plan (2020) and the Town Center Streetscape Plan (2021), designing the Town Center Gateway Plaza (2021), undertaking an infrastructure funding plan (2022), conducting a vertical housing development zone (VHDZ) study and adopting the VHDZ (2022), creating a Town Center street naming policy and handbook (2024), and completing an urban renewal feasibility study (2024), which study is currently being updated at the direction of the City Council.

### C. 2025 Town Center Outreach

In Fall 2025, in response to City Council Goal No. 4: Communications and Engagement, the City created a *Let's Talk, Wilsonville!* questionnaire for the community and conducted three focus groups to better understand community members' excitement and concerns regarding the Wilsonville Town Center, the Town Center Plan, and urban renewal as a financing tool for Town Center infrastructure/development. A summary report from the City's consultants was provided at the December 1, 2025 Council meeting, which report can be found [here](#) and video of the presentation can be found [here](#), starting at the 3-hour mark. In that outreach, community members expressed concerns regarding the potential height of future buildings in Town Center and the possibility for them to feel too much like they belong in a big city. From this feedback,

staff proposed to the City Council to consider re-examining the building height waiver provisions for Town Center in the Wilsonville Code.

## II. BUILDING HEIGHT WAIVER PROVISION

The current Town Center building height waiver provision in the Wilsonville Code is provided as **Attachment 2** to this staff report and the general waiver provision (referenced in the Town Center building height waiver provision) is provided as **Attachment 3** to this staff report. The provisions relevant to this project are highlighted. In particular, the current waiver provision in WC 4.132 allows buildings in C-MU and MU to waive building height requirements (meaning development can seek a waiver to only be one-story tall or seek a waiver to increase building height) and floorplate limitations (the square-footage of the floor area) if they meet the general waiver requirements in WC 4.118 and also select one item from each of Menu One and Menu Two to enhance the development. The building height waiver is not allowed in the Main Street District subdistrict or the Neighborhood Mixed-Use subdistrict.

Staff reviewed prior Planning Commission and City Council work sessions and meetings where discussions regarding floorplate and building height occurred. At the direction from Planning Commission, both Planning Commission and City Council considered drafts of the waiver provision. The Planning Commission's intent with the waiver provision was to provide flexibility for future development in Town Center. For the Planning Commission's information, these work sessions and meetings discussions can be found in **Attachment 4** to this staff report.

## III. TASK FORCE MEETINGS

Upon the establishment of the Task Force, it has met twice to begin work on this project. At the first meeting, held on April 15, 2026, City staff provided a high-level overview of the Town Center Plan and how the waiver provision was created and refined and also discussed the work that the Task Force would be undertaking. Information of the April 15, 2026 Task Force meeting is available [here](#).

At its second meeting on April 21, 2026, the Task Force reviewed drafts of different options for revising the waiver provision. **Attachment 5** is the packet of options and descriptive chart provided to the Task Force. Staff provide the following high-level overview of each Option.

- **Option 1:** Stays true to original language/intent where the waiver provides flexibility and the affordable housing bonus story is still available, but the language is updated to be explicit about limiting the increase in building height and closing any possible loophole in the citywide waiver provision.
- **Option 2:** Stays true to original language/intent where the waiver provides flexibility, but flexibility may involve a choice of either the bonus story for affordable housing or a waiver for an additional story, to prohibit any building from being 7 stories. Language is updated to be explicit about limiting the increase in building height and closing any possible loophole in the citywide waiver provision.

- **Option 3:** Reflects adherence to community’s preference during the Town Center planning process for buildings of 3-5 stories, while maintaining flexibility and incentive for affordable housing, since those projects are harder to pencil. Stays true to an intentional choice at time of Plan. Language is updated to be explicit about limiting the increase in building height and closing any possible loophole in the citywide waiver provision.
- **Option 4:** Reflects adherence to community’s preference during the Town Center planning process for buildings of 3-5 stories. Limits flexibility in C-MU and incentive for affordable housing. Language is updated to be explicit about limiting the increase in building height and closing any possible loophole in the citywide waiver provision.

An additional consideration for each Option was whether to limit the waiver in the MU subdistrict to only the areas west of the MSD subdistrict so that developments in the MU subdistrict adjacent to the N-MU subdistrict cannot seek the waiver to increase building height. Staff included this additional consideration for the Task Force to determine whether it furthers the vision for the planned land use in Town Center, with larger buildings nearer I-5 (the C-MU subdistrict), stepping down to the smaller buildings near the residential area to the east (the N-MU subdistrict).

The Task Force was divided into three groups of three to discuss each of the Options and asked the following prompts for each Option:

1. Discuss whether the Option meets the vision and/or components of the Town Center Plan.
  - a. In what ways does it strengthen the Plan vision?
  - b. Are there any concerns with the Option?
2. In what ways is this Option consistent or inconsistent with the original intent of the waiver provision (WC 4.132(.06)D.) to increase flexibility for development?
3. What additional follow-up is needed to better understand the practical implications of the Option?
4. Are there other options that should be considered?

After the small group discussions, the Task Force reconvened and reported on their feedback. Each small group’s report-out is summarized below:

- Group 1: consensus was that Option 1 was too tall and not what the public can handle. The group looked at Option 2 with the asterisks (the limitation of increasing the building height east of the Main Street District). The group also discussed an “Option 5” of not allowing any building height waiver, but the challenge of having one building already approved for the additional story makes it difficult to have that building as a “unicorn” in Town Center.

- Group 2: one person liked Option 1 for its flexibility and not being too restrictive, but 2 others in the group thought Option 3 was best. They also liked the asterisks. They noted that if the City moved forward with Option 1, they should consider an escalation of the menu items, where a building with 2 additional stories would need to do more than one item from each menu. This group also discussed the menu items and “raising the bar” on them. The group discussed that some of the menu items would be easy to get and so should be revisited. The group like height being towards I-5.
- Group 3: the area of consensus was that, if there is more density, it should be closer to I-5, however, one member wanted to see an option of no increased building height waiver and only allow a bonus floor for affordable housing. Of the options presented, Option 2 was the most popular. Another “Option 5” was discussed in this group where west of the Main Street District (toward I-5), development could only seek a waiver to increase building height and not decrease building height, and east of the Main Street District (toward the residential area), development could only seek a waiver to decrease building height and not increase building height. This “Option 5” received some general support from members of the two other small groups.

Some other themes emerged from the feedback:

- Task Force members generally found 7 stories to be too tall and inconsistent with the vision of the Town Center Plan.
- Members liked the idea of the “asterisks” as part of the update to the waiver provision, where the area of the MU subdistrict east of the Main Street District (the area closer to Town Center Loop East and the residential area) would not be eligible for a waiver to increase building height.
- Several members found Option 4 too limiting.
- Several members favored Option 3, but the general group also discussed a the new “Option 5” from Group 3 where the MU subdistrict west of the Main Street District would only be eligible for a waiver to increase building height (but not decrease to one story) and the MU subdistrict east of the Main Street District would only be eligible for a waiver to decrease building height.
- The Task Force also had discussion around the two menus that are part of the waiver provision. Task Force members are interested in further examining the menus and whether they should be updated to require more of developers who seek a waiver.
  - Staff noted that if the waiver menu items are further refined, an additional Task Force meeting may be necessary.

More information from the April 21, 2026 Task Force meeting can be found [here](#).

With this background and initial feedback from the Task Force, staff seeks input from the Planning Commission to provide back to the Task Force as it continues to consider updates to the building height waiver provision. Questions for the Planning Commission:

1. In contemplating a cap to limit building height to no more than six (6) stories (considering the waiver provision and the bonus floor for affordable housing provision), what do you want the Task Force to consider? Would you support this cap?
2. As the Task Force considers prohibiting properties in the MU subdistrict east of the Main Street District from seeking a waiver to increase building height, what should the Task Force consider? What is your feedback on this proposal?
3. Should the menu items in the waiver provision be revisited at this time? If so, what suggestions do you have for modifying existing items or adding items that either provide a community benefit or mitigate the additional scale of the building granted through the waiver (increased height, single-story height, or increased single-user footprint)?
4. What additional follow-up is needed for you to better understand the proposal for potential revisions to the waiver provision?
5. Are there other options or revisions that the Task Force should consider?

#### **IV. PROJECT TIMELINE**

Staff anticipates the following timeline to complete the work:

- April 15, 2026: First Task Force Meeting
- April 21, 2026: Second Task Force Meeting
- May 13, 2026: First Planning Commission Work Session
- May 18, 2026: First City Council Work Session
- May 19, 2026: Third Task Force Meeting
- Summer 2026: Additional Planning Commission and City Council Work Sessions
- Summer/Fall 2026: Planning Commission and City Council Public Hearings

#### **ATTACHMENTS:**

1. Resolution No. 3244
2. WC 4.132
3. WC 4.118
4. Review of Planning Commission and City Council discussions on waiver language
5. Packet of Options for Task Force April 21, 2026 meeting

# ATTACHMENT 1

## RESOLUTION NO. 3244

### A RESOLUTION OF THE CITY OF WILSONVILLE AUTHORIZING A REVIEW OF BUILDING HEIGHT WAIVER PROVISIONS IN THE WILSONVILLE CODE APPLICABLE TO TOWN CENTER.

WHEREAS, in May 2019, after a multi-year planning process, the City Council adopted Ordinance No. 835, establishing a new Town Center Plan for the redevelopment of the Wilsonville Town Center (the “Town Center Plan”), as well as amendments to the City Comprehensive Plan Text and Map, the Development Code, and the City Zoning Map relating to Town Center; and

WHEREAS, in Spring 2025, the City Council adopted its 2025-2027 Council Goals, which included Goal No. 4 focusing on communications and engagement; and

WHEREAS, the first outcome of Goal No. 4 seeks to provide information to the community to understand the Town Center Plan, Urban Renewal, and other funding sources for infrastructure to help inform future Council direction; and

WHEREAS, to achieve the first outcome, Strategy 4.2 states that, if there are specific areas of interest concerning the Town Center/Urban Renewal to review, to develop a strategy for the review with specific policy recommendations; and

WHEREAS, on December 1, 2025, consultants for the City provided information the City Council of community feedback concerning Town Center; and

WHEREAS, while community members generally were excited about local amenities, some of the concerns that were raised included concerns about losing a “small-town feel” and the building height of future development in the Town Center; and

WHEREAS, in response to this feedback, at its February 19, 2026 work session, the City Council deliberated whether to explore updates to the building height waiver provision applicable to the Town Center.

NOW, THEREFORE, THE CITY OF WILSONVILLE RESOLVES AS FOLLOWS:

Section 1. Wilsonville Code Review. The City Council hereby authorizes a review of building height waiver provisions in the Wilsonville Code applicable to the Town Center.

Section 2. Limited Duration Task Force. For this review, staff will establish a limited duration task force comprised of Wilsonville residents and business community members, including, but not limited to: (1) some original Town Center Task Force members; (2) business

owners within Town Center; (3) at least one member of the Development Review Board (as the body that must review waiver applications); (4) at least one member of the Planning Commission (as the body that must recommend to City Council revisions to the Development Code); (5) a Parks and Recreation Advisory Board member (as the body that recommends policies concerning park land within Town Center); and (6) additional community members not previously engaged in the Town Center public outreach.

Section 3. Timeline. This review process should generally follow the following timeline: (1) Task Force meetings in Spring 2026; (2) Planning Commission and City Council work session in Spring/Summer 2026; and (3) required public hearings in Summer/Fall 2026.

Section 4. Effective Date. This Resolution is effective upon adoption.

ADOPTED by the Wilsonville City Council at a regular meeting thereof this 2nd day of March, 2026, and filed with the Wilsonville City Recorder this date.

Signed by:  
*Mayor Shawn O'Neil*  
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Shawn O'Neil, Mayor

ATTEST:

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*Kimberly Veliz*  
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Kimberly Veliz, MMC, City Recorder

SUMMARY OF VOTES:

Mayor O'Neil	YES
Council President Berry	YES
Councilor Cunningham	YES
Councilor Scull	YES
Councilor Shevlin	YES

## ATTACHMENT 2

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### Section 4.132. Town Center Zone.

(.01) The Town Center (TC) Zone applies to lands within the Town Center Comprehensive Plan Map designation. The TC Zone is a Planned Development Zone, subject to applicable Planned Development regulations (see Section 4.140 and 4.118). Where conflicts occur between these standards and other Development Code regulations or other ordinances, the provisions of this Chapter shall apply.

The purposes of the TC Zone are to:

- A. Implement the Town Center policies and implementation measures of the Comprehensive Plan.
- B. Implement the Wilsonville Town Center Plan recommendations for the Town Center Comprehensive Plan Map designation.
- C. Create a vibrant, walkable destination that inspires people to socialize, shop, live, and work.
- D. Support future development that transforms Town Center into the heart of Wilsonville.
- E. Foster active parks, civic spaces, and amenities that provide year-round, compelling experiences.
- F. Create a development pattern where Wilsonville residents and visitors come for shopping, dining, culture, and entertainment.

*Sub-districts.* The TC Zone includes four sub-districts (Figure 1):

- a. *Main Street.* A walkable and lively main street with a mix of active uses and three- to four-story buildings through the heart of Town Center along Parkway Avenue, which would extend south past Town Center Park to Wilsonville Road.
- b. *Neighborhood-Mixed Use.* Development would be primarily small-scale mixed-use, two- to three-story development, with neighborhood-serving commercial businesses or townhomes adjacent to Town Center Loop East and the existing residential neighborhoods. Neighborhood-mixed use provides a transition from single-family neighborhoods east of Town Center Loop East to the central portions of Town Center.
- c. *Mixed Use.* A variety of two- to four-story buildings throughout Town Center would provide the mix of residential, commercial and office uses the community is looking to have in Town Center. Moderate activity near Wilsonville Road would be commercially focused while the areas near Town Center Park would include more residential and mixed-use buildings.
- d. *Commercial-Mixed Use.* Allowing taller buildings, up to five stories, along I-5 and near the future bike/pedestrian bridge landing, would improve Town Center's visibility, help create a sense of place, and support the increased level of activity and economic vibrancy desired by community members, including additional employment opportunities, entertainment, and hospitality services. As proposed, residential uses in this area would be required to be buffered from I-5 by non-residential buildings.

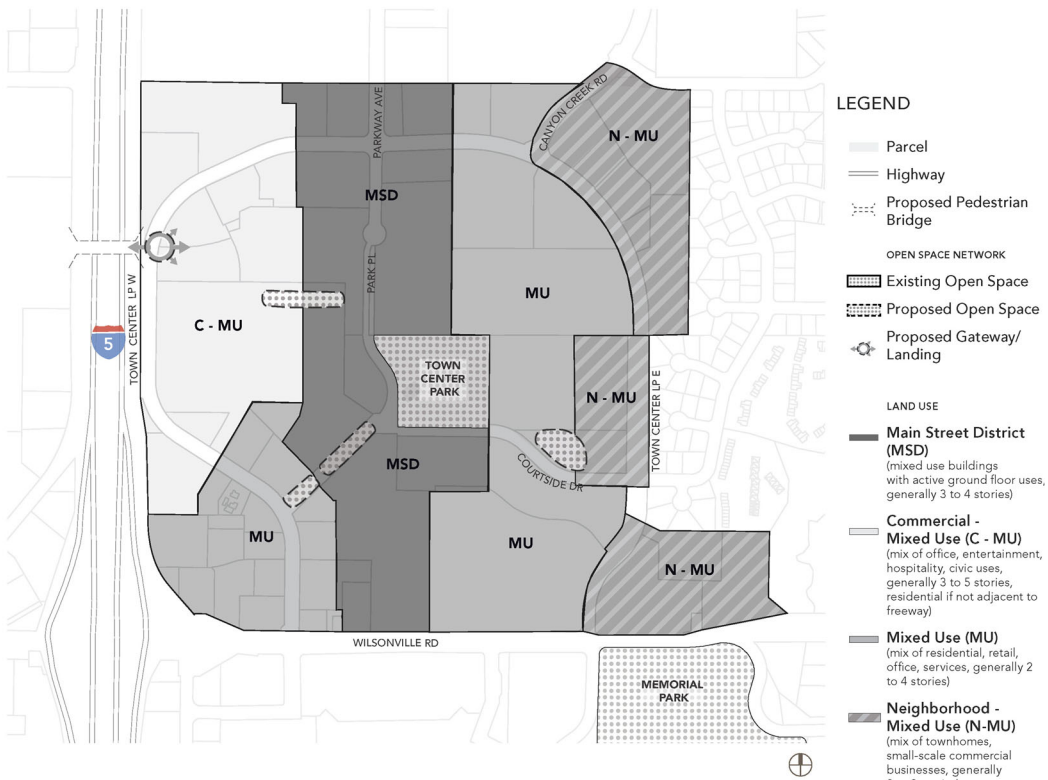
If a development site includes more than one sub-district, and the development of different portions of the parcel under different sub-districts is not feasible due to site size or other site constraints not related to proposed uses, the applicant may follow the standards for either sub-district within 50 feet of the sub-district boundary. The selection and application of the sub-district standards must provide for compatibility with any existing or approved development designed pursuant to the TC Zone standards and result in building orientation consistent with the building and street frontage requirements in Subsection 4.132(.06)B.

(.02) *Uses permitted anywhere in the TC Zone:*

- A. Open space.

- B. Multiple-family Dwelling Units, except in areas immediately adjacent to I-5 as noted in Subsection [4.132](.03)A. below within the Commercial-Mixed Use District.
- C. Public or private parks, playgrounds, recreational and community buildings and uses.
- D. Commercial recreation.
- E. Religious institutions.
- F. Retail sales and service of retail products, under a footprint of 30,000 square feet per use.
- G. Office, including medical facilities.
- H. Personal and professional services.
- I. Child and/or day care.
- J. Food service (e.g. restaurants, food carts, food cart pods).
- K. Beverage service (e.g. cafes, brewpubs, bars).
- L. Any of the above in mixed-use buildings.

**Figure 1. Town Center Sub-Districts**



(.03) *Permitted and Prohibited uses in specific sub-districts.* Figure 1, Land Use Sub-Districts, illustrates subareas of the Town Center where certain regulations apply. Below are use-related regulations for the sub-districts.

A. *Commercial-Mixed Use (C-MU):*

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1. Additional permitted uses—Commercial recreation with outdoor facilities (e.g. cart track); single-user commercial or retail (e.g. grocery store or retail establishment) may exceed 30,000 square feet if located on more than one story of a multi-story building; cinemas.
  2. Multiple-family dwelling units are prohibited immediately adjacent to I-5. Multiple-family development must be buffered from I-5 by non-residential building(s).
  3. Uses with drive-through facilities—New uses with drive-through facilities (e.g. fast food, banks, car wash) are permitted in the C-MU sub-district, provided that they meet design and development standards for the TC Zone. Existing drive-through uses and facilities may be continued consistent with Section 4.189.
- B. *Main Street (MS):*
1. Uses with drive-through facilities - New uses with drive-through facilities (e.g. fast food, banks, car wash) are prohibited. Existing drive-through uses and facilities may be continued consistent with Section 4.189. In the MS sub-district, a change in use is prohibited for new drive-through uses.
- C. *Mixed Use (MU):*
1. Additional permitted uses—Single-user commercial or retail (e.g. grocery store or retail establishment) may exceed 30,000 square feet if located on more than one story of a multi-story building.
  2. Uses with drive-through facilities—New uses with drive-through facilities (e.g. fast food, banks, car wash) are permitted in the MU sub-district, provided that they meet design and development standards for the TC Zone. Existing drive-through uses and facilities may be continued consistent with Section 4.189.
- D. *Neighborhood Mixed Use (N-MU):*
1. Uses with drive-through facilities—New uses with drive-through facilities (e.g. fast food, banks, car wash), are prohibited. Existing drive-through uses and facilities may be continued consistent with Section 4.189. In the N-MU sub-district, a change in use is permitted if redeveloping an existing drive-through use with another drive-through use, consistent with the other standards of Section 4.189.

(.04) *Consistency with Street Network and Multi-modal Network:*

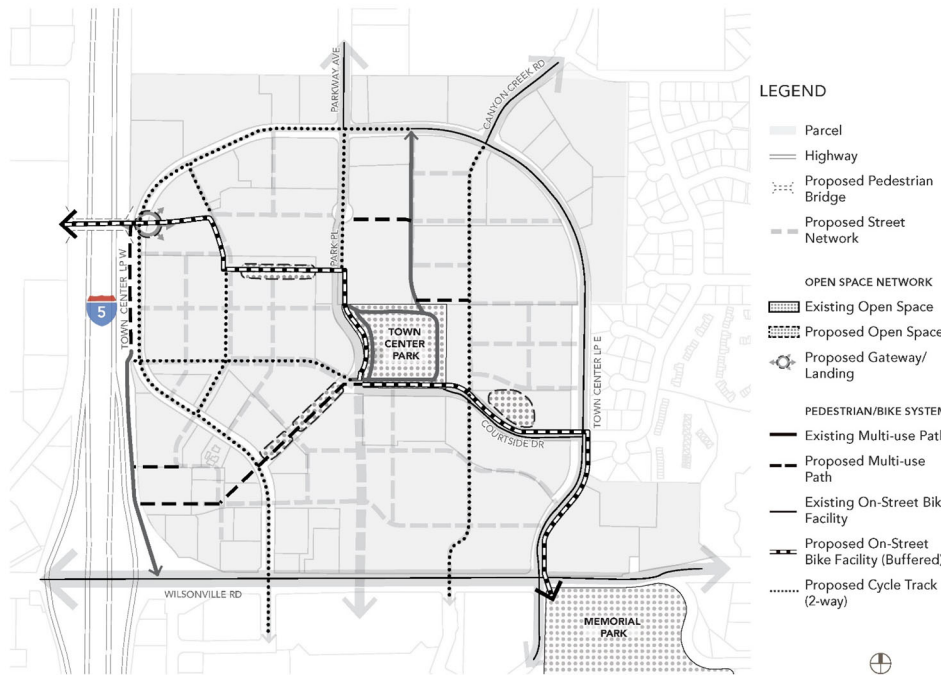
- A. All development will be consistent with the Street Network and Multi-modal Network, shown in Figures 2 and 3. Street and multi-modal facility locations are approximate and will be finalized as part of the development review process. The purpose of these plans are to support the creation of a highly connected and walkable Town Center where there are options for travel. The Development Review Board (DRB) may approve variations from Figures 2 and/or 3, if:
  1. Existing development restricts the connection from being developed;
  2. Existing natural resources and/or open space would be adversely affected by construction of the facility and mitigation of those impacts is not feasible.
- B. If a street or other multimodal connection varies from Figures 2 and/or 3, equivalent connectivity and multi-modal travel options shall be provided as determined in a Transportation Impact Analysis prepared per Section 4.140 and approved by the City Engineer.
- C. All development shall provide transportation facilities consistent with the cross-sections in the Wilsonville Town Center Plan and applicable provisions of the Wilsonville Transportation System Plan subject to variations approved by the City Engineer.

D. All franchise utilities shall be located underground within the public sidewalk.

**Figure 2. Street Network**



**Figure 3. Multimodal Network**



*(.05) Consistency with Open Space Network:*

- A. All development will be consistent with the Open Space Network, shown in Figure 4. The open space sizes and locations on Figure 4 are approximate and will be finalized as part of the development review process. The purpose of the plan is to create open spaces that are linked and serve as attractive amenities for Town Center. The Development Review Board may approve variations from Figure 4 if needed to accommodate existing development or physical constraints, and/or, preserve natural resources and open space. If an open space is varied, equivalent open space and open space linkage shall be provided.
- B. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review any pertinent bylaws, covenants or agreements prior to recordation.

**Figure 4. Open Space Network**



**(.06) Design and Development Standards:**

- A. *Purpose and Intent.* The purpose of the design standards is to:
  1. Provide high quality design in new development and redevelopment that promotes a sense of community identity and implements the Wilsonville Town Center Vision.
  2. Provide a well-defined pedestrian, bicycle and vehicular network, good connections to adjacent land uses and direct connections to transit stops.
  3. Provide quality and usable open space, increase street tree canopy, and create transitions between land uses.
  4. Provide sustainable development through the adaptive reuse of existing buildings and increase the use of low-impact development best practices.
  5. All development shall follow these standards except as permitted in Subsection 4.132(.06) D.
- B. *Building/Street Frontage Requirements.* Building and street frontage requirements in this section are intended to create an active pedestrian environment through sidewalk-facing ground floors and entryways with protection from the elements for pedestrians.

Street type	Main Street	Local Roads	Collectors	Arterial	Multi-Use Paths
<b>Objective</b>	Provides pedestrian-oriented and active building	Provides local access to adjacent development with	Provides capacity to accommodate multimodal transportation	Provides connectivity to regional system focused on	Provides bicycle, and pedestrian connectivity travel within

	frontage on street.	pedestrian design focus. Local roads should also provide access to parking and service entrances.	access and connectivity to regional connections.	moving people. Access from adjacent multimodal networks is focused at signalized intersections.	Town Center and connections to larger bike/ped system.
<b>Sidewalks</b>	Required. Separated from curb by planting strip, tree wells, or rain gardens.	Required. Separated from curb by planting strip, tree wells, or rain gardens.	Required. Separated from curb by planting strip, tree wells, or rain gardens.	Required. Separated from curb by planting strip, tree wells, or rain gardens.	N/A
<b>Sidewalk width (curb to building) [1]</b>	12 feet, plus optional setbacks. 10 feet fronting Town Center Park.	12—14 feet, depending on local street option.	12—13.5 feet (per TSP).	13.5—16.5 feet (per TSP).	Varies—minimum 12 feet.
<b>Landscaping type</b>	Street trees and plantings, including rain gardens, rooftop gardens, plazas.	Street trees and plantings, including rain gardens, rooftop gardens, plazas.	See Section 4.176.	See Section 4.176.	See Section 4.176.
<b>On-street parking</b>	Parallel or diagonal parking required. Parklets and bicycle parking permitted in street [2].	Dependent on local road design (see cross section options). Parallel parking on both sides, or diagonal parking on one side, depending on ROW availability	Optional	Prohibited	N/A

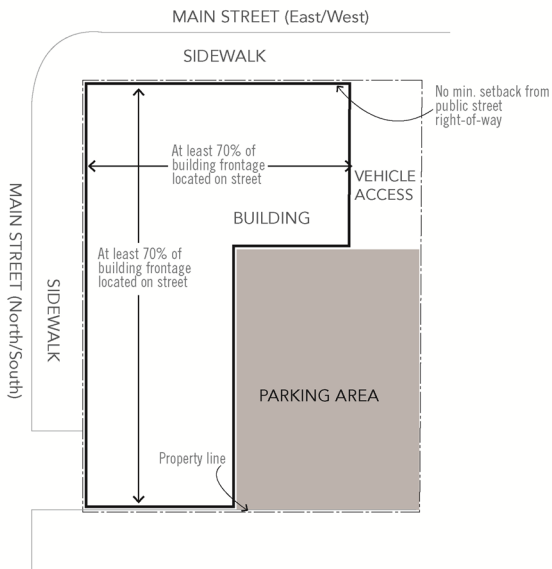
		and street cross-section.			
<b>Number of lanes</b>	Two	Two	Two	Three to five	N/A
<b>Bicycle facilities</b>	See Figure 3. One-way buffered bike lanes required north of Town Center Park. Two-way cycle track adjacent to Town Center Park and on Courtside Drive from Park Place to Town Center Loop East.	Varies by local street option.	Buffered, one-way, except where two-way cycle track is recommended (see Figure 3).	Buffered, one way.	N/A
<b>Minimum % of building along street frontage (see Figures 5.A through 5.D for typical site designs)</b>	Minimum 70% of buildings facing main street. Buildings to be placed at corners with primary building access at or within 20 feet of the corner.	Minimum 50% of building facing a local street. Buildings to be placed at corners.	Minimum 50%	Minimum 50%	N/A
<b>Location of parking</b>	On street, behind building (surface or structured, above or below grade)), or at shared central location.	On street when allowed, behind or to the side of building. Off street parking is not permitted along main street frontage. Off-street parking prohibited at	To the back or side of building. Off-street parking prohibited at corners of public streets.	To the back or side of building. Off-street parking prohibited at corners of public streets.	N/A

		corners of public streets.			
<b>Parking access</b>	Parking access provided via local street, alley, or midblock crossing. Alleys must be located more than 100 feet from another road or access point. Shared access is encouraged. Parking access is restricted on north/south main street unless no other access is feasible.	Parking access provided via local access street or alley.	Parking access provided via local street.	Not permitted. Access to be provided at signalized intersections and interior circulation system.	N/A
<b>Driveway spacing standards</b>	100 ft. min	100 ft. min	100 ft. min	N/A	N/A
<b>Block length</b>	Maximum block length is 400 ft. The maximum distance to a pedestrian mid-block crossing shall be 250 ft. Maximum mid-block crossing width up to 20 ft.	Maximum block length is 400 ft. The maximum distance to a pedestrian mid-block crossing shall be 250 ft. to provide pedestrian and parking access. Maximum mid-block crossing width up to 30 ft.	N/A	N/A	N/A

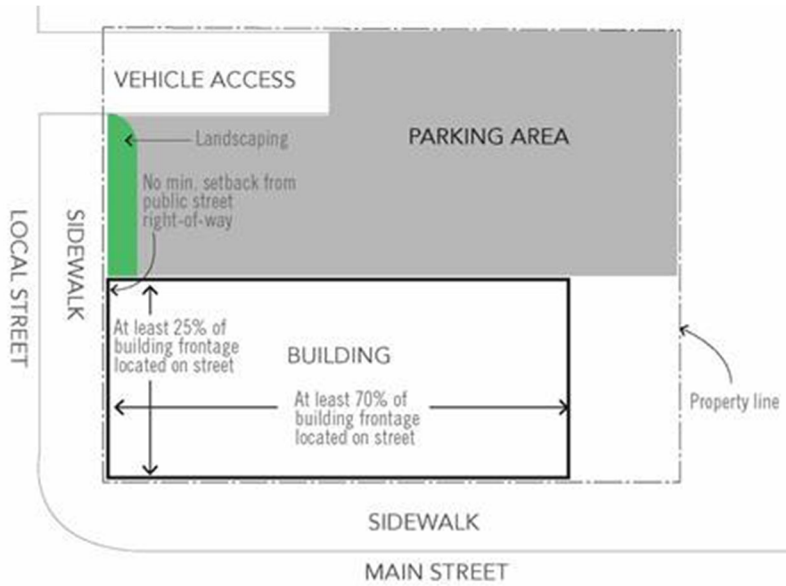
<b>Typical vehicle speed</b>	20—25 mph	20—25 mph	25—30 mph	25—35 mph	N/A
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- [1] Sidewalk width includes landscaping area. Tree wells shall include root barriers, the use of structural soils, soil cells, or other means to minimize impacts to sidewalks or roadway from root intrusion.
- [2] A maximum of two parklets are permitted per block, per side of street.

**Figure 5.A. Building Placement and Location of Parking, Main Street Intersection (typical)**



**Figure 5.B. Building Placement and Location of Parking, Main Street/Local Street Intersection (typical)**



**Figure 5.C. Building Placement and Location of Parking, Local Street/Local Street Intersection (typical)**

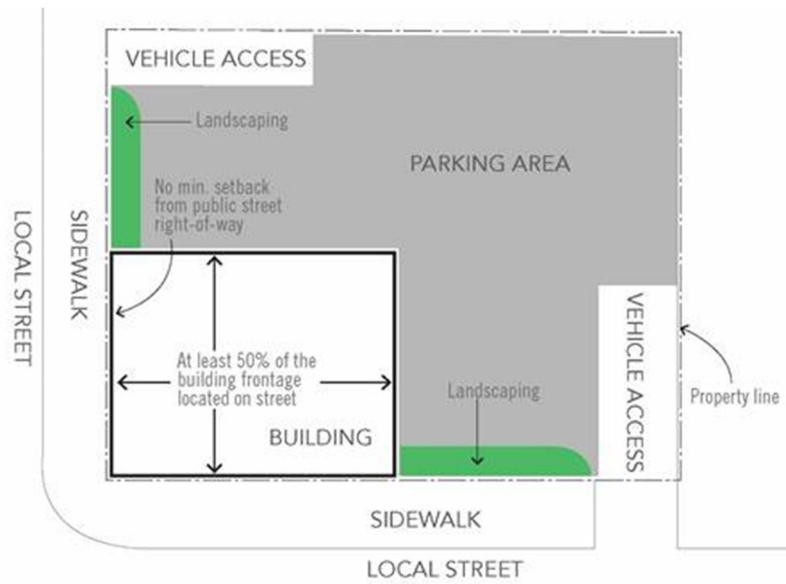
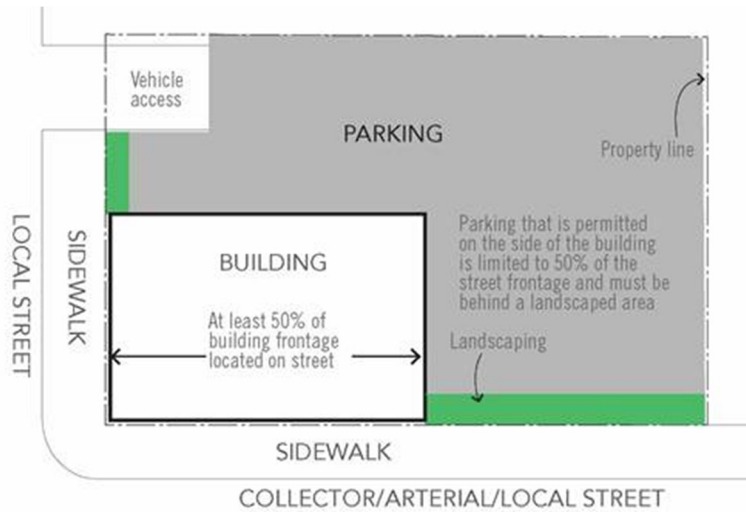


Figure 5.D. Building Placement and Location of Parking, Arterial/Collector/Local Street frontage (typical)



- C. *Development Standards.* Development standards apply to all new development within the Town Center boundary.

Table 2. Town Center Development Standards [1]				
	Town Center			
STANDARD	SUB-DISTRICT			
	MSD	N-MU	MU	C-MU
Front setback				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	20 ft.	20 ft.	20 ft.	10 ft.
Side facing street on corner and through lots				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
Side yard				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
Rear setback				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum	20 ft.	20 ft.	20 ft.	20 ft.
Building height (stories) [3]				
Minimum	two	two	two	two
>Maximum (stories/feet) [4]	four	three	four	five
Ground floor height minimum [5]	15 ft.	12 ft.	12 ft.	15 ft.
Ground floor uses	Mixed-use buildings required within 200 feet of the Park	N/A	N/A	N/A

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	Place/Courtside Drive intersection.			
Building site coverage maximum	90%	75%	90%	90%
Minimum landscaping	10%	15%	10%	10%
Minimum building frontage	70%	25%	50%	50%
Residential density (units per acre)				
Minimum [6]	40	16	40	40
Maximum	None	40	None	None

- [1] This table does not apply to existing development. All new buildings in the district must meet these development standards.
- [2] For commercial development, the maximum front and street side yard setback is ten feet. For mixed-use and residential only development, the maximum front setback is 20 feet. Front setbacks are permitted provided they are used for seating or other uses that encourage pedestrian activity and active ground floor uses. A variety of building setbacks are encouraged.
- [3] Second stories or higher in buildings must be useable. No false front buildings are permitted.
- [4] Within the MSD, MU and C-MU sub-districts, the maximum number of building stories may be increased by one story if a minimum of 25 percent of the units of the bonus floor area are affordable, with rental rates /mortgage restrictions for a minimum of ten years, to households earning at or below 80 percent of median family income of Wilsonville.
- [5] This standard does not apply to residential only buildings.
- [6] Minimum residential density applies to residential-only development. There is no minimum residential density for mixed-use development.

D. **Waivers to Development Standards.** Development standards apply to all new development within the Town Center boundary.

The Development Review Board (DRB) may approve waivers to the size of the ground floor of a building floorplate and/or the number of stories of a building within the MU and C-MU sub-districts, consistent with the provisions of Section 4.118 (.03) if one item from each of the two following menus are met in a manner to clearly go substantially above and beyond Code requirements and typical building and site design to create a sense of place and mitigate negative impacts of the project related to the reason for the waiver. Items chosen from the menus shall account for need based on adjacent sites or the surrounding area:

**Menu One:**

1. Public amenities, such as a plaza or other community gathering space, incorporated into the building design. Public plaza or other gathering spaces located in a prominent, visible location adjacent to a public street and include movable furniture that is functional and visually interesting.
2. Public community meeting space provided within the building.
3. Provision of ground floor facades that include additional supporting storefronts. The primary entrance of all businesses shall be located on the primary street frontage.
4. Provision of incubator space on site, either within or adjacent to the development that provides below market lease rates for small businesses.

- 
5. Provision of affordable housing on the development site, consistent with the provisions of Table 2, footnote 4.

**Menu Two:**

1. Innovative building techniques, such as rainwater harvesting, graywater systems, green roofs, or other environmental systems, shall be incorporated into the building design to significantly reduce impact to the environment.
2. Building architecture that creates a distinctive community landmark exemplifying the preferred materials and form for Town Center described in Subsection 4.132(.06)M. and discussed in the Town Center Plan.
3. Pedestrian-oriented and creative lighting incorporated into landscape features and plazas and/or interior window retail displays that are lit at night.
4. Achievement of LEED certification, Earth Advantage, or another recognized environmental certification.
5. Installation of public art, consistent with the provisions of Subsection 4.132(.06)K. for art within plaza areas.

E. *Building Placement.* Buildings shall meet the following standards:

1. Main Streets and Local Streets. Where parcels are bounded by a main street and perpendicular street, buildings shall be located at the street intersection. For parcels with frontage only on one street or if a building is already located at the street intersection, the new building shall be located immediately adjacent to existing building to create a continuous building façade with adjacent buildings. Street frontage requirements for main street are a minimum of 70 percent of the lot frontage. Off-street parking shall be located behind buildings fronting main street, either on surface or tuck under lot, parking structure, or at a central off-site parking facility located within the TC boundary.
2. If a parcel fronts two or more different street design classifications, the primary building entrance shall front the following in order of priority: main street, local street, collector street.
3. Minimum building frontage requirements for a local street shall be 25 percent if the development also fronts main street.
4. Minimum building frontage requirements for a local street shall be 50 percent if the development fronts another local street.
5. For parcels that do not front a main street or a local street, the minimum building frontage shall occupy a minimum 50 percent of the lot frontage.
6. The Development Review Board may approve variations from building placement standards if existing development, physical constraints, or site circulation and access are infeasible. If the Development Review Board determines that a variation from building placement standards is required, building placement should be prioritized as follows:
  - a. If the development is adjacent to main street, the primary frontage of the building shall remain on main street with variation from this standard occurring on a side street.
  - b. If the development is adjacent to the main streets (e.g. Park Place and Courtside Drive) the primary frontage shall be on Park Place with the variation occurring on Courtside Drive.
  - c. If the development is adjacent to two local streets, the primary frontage shall be on the north/south local street with the variation occurring on east/west local street.

- 
- F. *Building Setbacks.* The minimum building setback from public street rights-of-way shall be zero feet; the maximum building setback shall be 20 feet for MSD and N-MU districts. The maximum setback shall be ten feet for all other districts. No off-street vehicle parking or loading is permitted within the setback. Bicycle parking is permitted within the setback.
- G. *Front Yard Setback Design.* Landscaping, water quality treatment, seating areas, an arcade, or a hard-surfaced expansion of the pedestrian path must be provided between a structure and a public street or accessway. If a building abuts more than one street, the required improvements shall be provided on all streets. Hard-surfaced areas shall be constructed with scored concrete or modular paving materials. Benches and other street furnishings are encouraged.
- H. *Walkway Connection to Building Entrances.* A walkway connection is required between a building's entrance and a public street or accessway. This walkway must be at least six feet wide and be paved with concrete or modular paving materials. Building entrances at a corner adjacent to a public street intersection are encouraged.
- I. *Parking Location and Landscape Design:*
1. Parking for buildings adjacent to public street rights-of-way must be located to the side or rear of newly constructed buildings, except for buildings fronting main street, where parking must be located behind the building, either surface, tuck under or structured (above or below grade). For locations where parking may be located to the side of the building, parking is limited to 50 percent of the street frontage and must be behind a landscaped area per Section 4.176.
  2. Within off-street parking lots, all parking spaces, except for those designated for ADA accessible space or deliveries, shall be shared spaces. Designation for individual uses is not permitted.
  3. Within off-street parking lots, time limitations may be placed on parking spaces to encourage parking turnover. This includes time limitations to pickup and drop off of goods from area businesses (e.g. drycleaner, bank ATM etc.).
- J. *Parking Garages and Off-street Parking Access.* Parking garages must meet all building standards identified within this section. Off street access to a parking lot or garage should be located to minimize conflicts with pedestrians and must be provided from an alley or local street.
- K. *Plaza Areas.* The following plaza design standards are intended to enhance the overall site layout and ensure that plaza areas are designed as an accessible amenity.
1. Plaza space shall be required when a mixed-use or commercial development or redevelopment involves a gross site area greater than two acres. When a plaza is required as a percentage of the overall required open space the plaza space shall incorporate at least three of the following elements:
    - a. One seating space is provided for every 250 square feet of plaza area and/or public space. The seating space requirement may be met by providing benches, chairs, and/or seat-walls. Areas actively used for public outdoor cafes are exempted from the calculation in the seating area requirement. Remaining plaza areas must meet the seating requirement.
    - b. Structures such as pergolas, canopies, awnings, arcades, or other similar elements to provide shade and rain coverage. Structures should provide coverage for year-round use of the plaza.
    - c. Notwithstanding trees required to satisfy the open space requirement, additional trees are provided at a rate of one tree per 800 square feet of plaza or public space area.
    - d. Water features.

- 
- e. Public art. Public art that is proposed or provided must satisfy all of the following requirements:
    - i. The art must be designed and produced by a professional artist;
    - ii. The art must relate in terms of scale, material, form and content to immediate and adjacent buildings and architecture, landscaping or other settings so as to complement the site and its surroundings;
    - iii. The art must demonstrate excellence in craftsmanship, originality in conception, and integrity of materials. Interactive art is encouraged;
    - iv. Minimal maintenance must be adequate for preserving the long-term integrity and enjoyment of the art, as evidenced by a maintenance plan submitted with the public art proposal;
    - v. Art in private construction projects must be maintained by the property owner in a manner acceptable to the City in accordance with a maintenance plan submitted with the art proposal;
    - vi. The art must meet all applicable building code requirements.
    - vii. The art must be accompanied by an identifying plaque that features the artist's name, artwork title and date of completion. This plaque must be made of a durable material and be installed permanently near the art.
  - f. Activity areas including but not limited to outdoor cafes, retail spaces, and/or programmed spaces that accommodate entertainment, meetings, educational activities, and play areas.
  - g. Pedestrian-scale wayfinding.
2. Plaza areas shall be visible and accessible from adjacent streets or pedestrian areas. A minimum of 75 percent of the plaza frontage shall provide direct unobstructed access from adjacent streets.
  3. Stormwater management facilities shall be integrated into the plaza design and used as an amenity to the greatest extent possible.
  4. No less than 20 percent or more than 60 percent of the plaza area shall be utilized for planted landscaping, including stormwater detention areas. All other areas shall be composed of hardscaping.
  5. The minimum size of a plaza shall be 2,000 square feet.
  6. Litter receptacles shall be provided at a minimum of four cubic feet of capacity per 800 square feet of open plaza space.
- L. *Drive Through Facilities.* A drive-through facility shall be subject to the following standards:
1. Shall only be permitted if the building also includes indoor seating.
  2. Shall not be permitted on parcels with frontage on a main street.
  3. All traffic queuing using the drive through facilities shall be accommodated on site and shall not conflict with bicycle and pedestrian mobility adjacent to the site.
  4. A drive-through lane shall not be located in the area between a building and a public street and the drive-through windows shall not face a public street.
  5. In addition to standards for drive throughs, buildings with drive-through facilities shall also meet standards for primary building access (Subsection 4.132(.06)M.2.h.).

6. Drive-through facilities shall be clearly marked with signage to avoid conflict with on site and adjacent pedestrian and bicycle facilities.

**Figure 6. Drive Through Facilities in Town Center, if not enclosed in a structure (typical)**



M. *Building Design Standards:*

1. *General Provisions:*

- a. The first-floor façade of all buildings, including structured parking facilities, shall be designed to encourage and complement pedestrian-scale interest and activity through the use of elements such as windows, awnings, and other similar features.
- b. Building entrances shall be clearly marked, provide weather covering, and incorporate architectural features of the building.
- c. Architectural features and treatments shall not be limited to a single façade. All visible sides of a building from the street, whether viewed from public or private property, shall display a similar level of quality and architectural interest, with elements such as windows, awnings, murals, a variety of exterior materials, reveals, and other similar features.
- d. Green building techniques are encouraged, which could include the use of green roofs, gray water and water harvesting, and/or LEED certification of buildings.

2. *Design Standards:*

[a.] All buildings, including parking garages, shall comply with the following design standards. Building facade windows are required on all street-facing facades (see Figure 7), as follows:

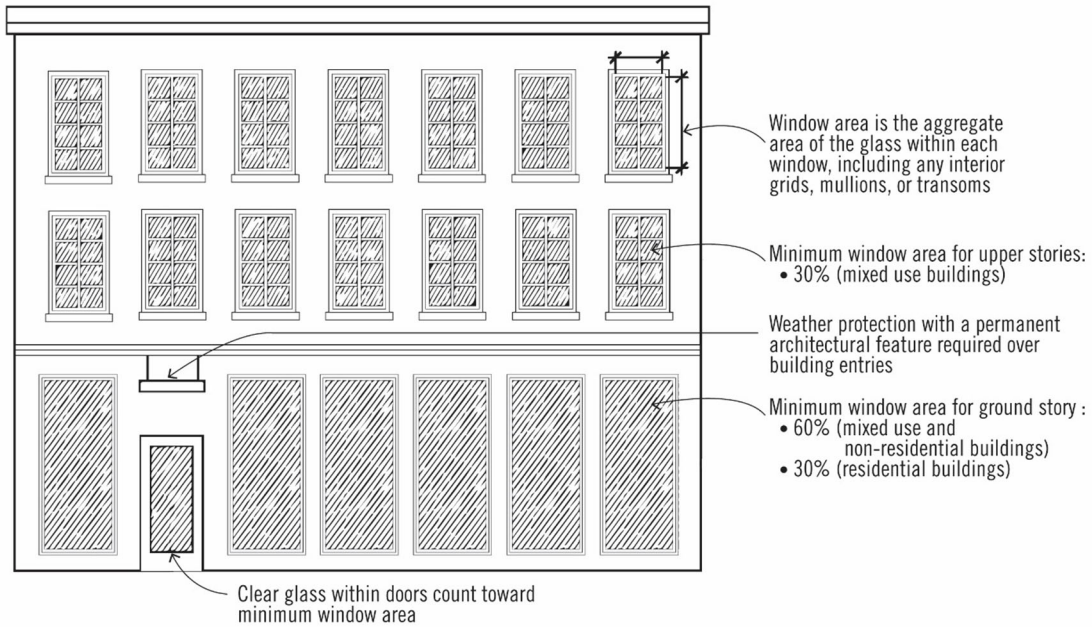
Ground Story: Mixed Use and Non-Residential	60% of facade
Upper Stories: Mixed Use	30% of facade
Ground Story: Residential Only	30% of facade

- i. Window area is the aggregate area of the glass within each window, including any interior grids, mullions, or transoms. Facade area is the aggregate area of each street-facing vertical wall plane.
- ii. Required windows shall be clear glass and not mirrored or frosted, except for bathrooms. Clear glass within doors may be counted toward meeting the window coverage standard.
- iii. *Ground floor windows.* All street-facing elevations within the building setback (zero to 20 feet) along public streets shall include a minimum of 60 percent of the ground floor wall area with windows, display areas or doorway openings. The ground floor wall area shall be measured from two feet above grade to ten feet above grade for the entire width of the street-facing elevation. The ground floor window requirement shall be met within the ground floor wall area and for glass doorway openings to ground level. Up to 50 percent of the ground floor window requirement may be met on an adjoining elevation as long as the entire requirement is located at a building corner.
- iv. Street-facing facades that contain vehicle parking, such as a parking structure, do not have to provide windows but shall provide facade openings that meet the minimum required window area. If required facade openings do not contain glass, they may contain architectural elements that are no more than 30 percent sight-obscuring.

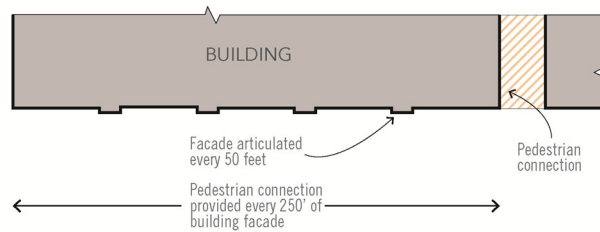
b. *Building Facades:*

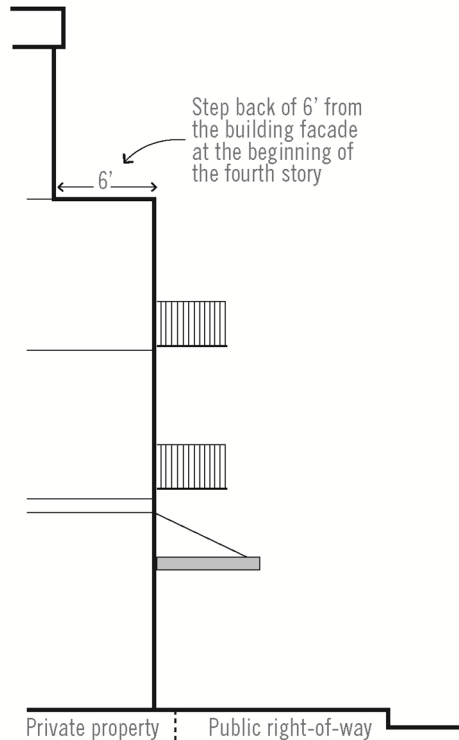
- i. Facades that face a public street shall extend no more than 50 feet without providing at least one of the following features: (a) a variation in building materials; (b) a building off-set of at least one foot; (c) a wall area that is entirely separated from other wall areas by a projection, such as an arcade; or (d) by other design features that reflect the building's structural system (See Figure 8). No building facade shall extend for more than 250 feet without a pedestrian connection between or through the building (see Figure 11).
- ii. Buildings more than three stories are required to step back six feet from the building facade at the beginning of the fourth story.

**Figure 7. Window Placement and Percentage of Facade**



**Figure 8. Building Facade Articulation and Stepbacks**





c. *Weather Protection (for non-residential and mixed-use buildings):*

- i. A projecting facade element (awning, canopy, arcade, or marquee) is required on the street-facing façade. Within the MSD sub-district, weather protection shall be provided across the entire length of the building frontage.
- ii. All weather protection must comply with the Oregon Structural Specialty Code in effect at the time of application for projections or encroachments into the public right-of-way.
- iii. Weather protection shall be maintained and in good condition.
- iv. Marquees shall have a minimum ten-foot clearance from the bottom of the marquee to the sidewalk. Canopies and awnings shall have a minimum eight-foot clearance from the bottom of the awning or canopy to the sidewalk.
- v. The projecting façade element shall not extend into amenity zone or conflict with street lights. If the projecting façade element blocks light shed from adjacent street lights, exterior lighting shall be located on the building.
- vi. Awnings shall match the width of storefronts or window openings.
- vii. Internally lit awnings are not permitted.
- viii. Awnings shall be made of glass, metal, or a combination of these materials. Fabric awnings are not permitted.

- d. *Building Materials.* Plane concrete block, plain concrete, T-111 or similar sheet materials, corrugated metal, plywood, sheet press board or vinyl siding may not be used as exterior finish materials. Foundation material may be plain concrete or plain concrete block where

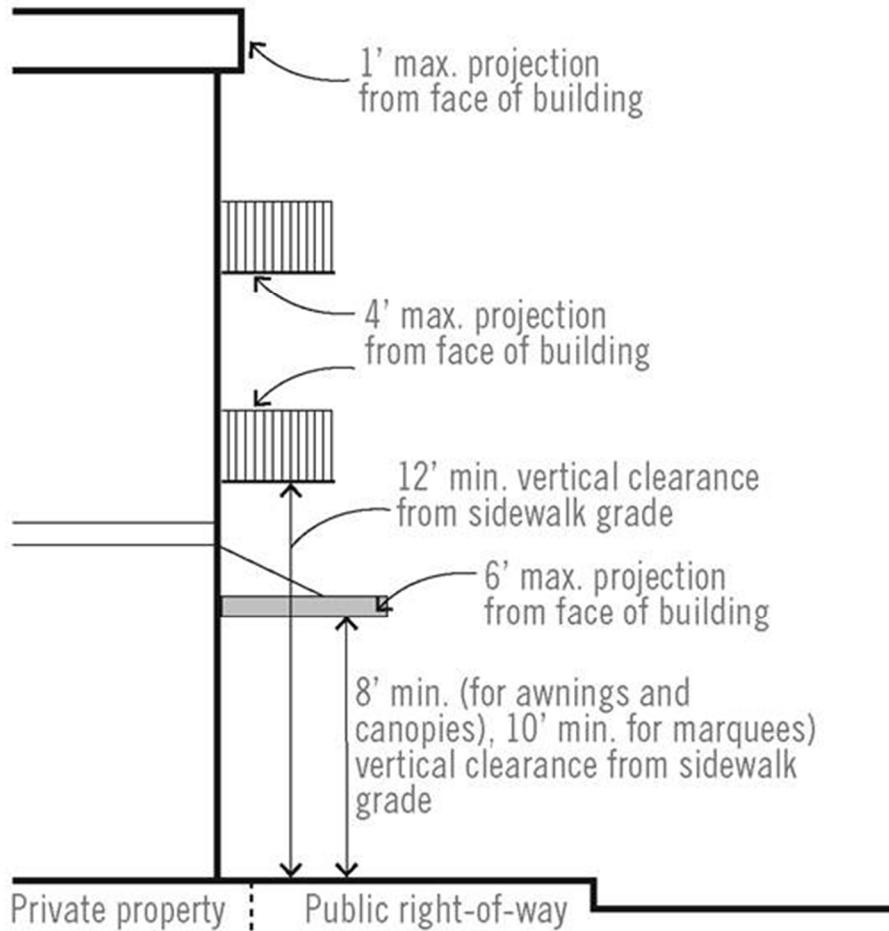
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the foundation material is not revealed for more than two feet. Use of brick and natural materials (wood) is encouraged.

- e. *Roofs and roof lines.* Except in the case of a building entrance feature, roofs shall be designed as an extension of the primary materials used for the building and should respect the building's structural system and architectural style. False fronts and false roofs are not permitted.
- f. *Rooftop features/equipment screening:*
- i. The following rooftop equipment does not require screening:
    - Solar panels, wind generators, and green roof features;
    - Equipment under two feet in height.
  - ii. Elevator mechanical equipment may extend above the height limit a maximum of 16 feet provided that the mechanical shaft is incorporated into the architecture of the building.
  - iii. Satellite dishes and other communications equipment shall be limited to ten feet in height from the roof, shall be set back a minimum of five feet from the roof edge and screened from public view to the extent possible.
  - iv. All other roof-mounted mechanical equipment shall be limited to ten feet in height, shall be set back a minimum of five feet from the roof edge and screened from public view and from views from adjacent buildings.
  - v. On all structures exceeding 35 feet in height, roofs shall have drainage systems that are architecturally integrated into the building design.
  - vi. Any external stairwells, corridors and circulation components of a building shall be architecturally compatible with the overall structure, through the use of similar materials, colors, and other building elements.
  - vii. Required screening shall not be included in the building's maximum height calculation.
- g. *General Screening.* Utility meters shall be located on the back or side of a building, screened from view from a public street to the greatest extent possible, and shall be painted a color to blend with the building façade.
- h. *Primary Entry.*
- i. *For commercial/institutional/mixed-use buildings:*
    - At least one entry door is required for each business with a ground floor frontage.
    - Each entrance shall be covered, recessed, or treated with a permanent architectural feature in such a way that weather protection is provided.
    - All primary ground-floor common entries shall be oriented to the street or a public space directly facing the street, or placed at an angle up to 45 degrees from an adjacent street. Primary ground-floor common entries shall not be oriented to the interior or to a parking lot.
    - Courtyards, plazas and similar entry features may be utilized to satisfy the building entrance requirement when these features are designed to connect the adjacent street edge to the main building entrance.

- 
- ii. *For residential buildings:*
    - *Entry door.* The primary public entrance to each building unit shall be covered, recessed, or treated with a permanent architectural feature in such a way that weather protection is provided.
    - All primary ground-floor common entries of multifamily buildings or individual unit entries of attached residential units that front the street shall be oriented to the street or public right-of-way, not to the interior or to a parking lot.
  - i. *Building projections.* Building projections are allowed as follows (see Figure 9):
    - i. Architectural elements such as eaves, cornices and cornices may project up to one foot from the face of the building.
    - ii. Bay windows and balconies may project up to four feet from the face of the building. Balconies that project into the right-of-way shall have a minimum vertical clearance of 12 feet from sidewalk grade or be mounted at the floor elevation, whichever is greater.
    - iii. See also Subsection 4.132(.06)M.2.C. for standards related to weather protection.

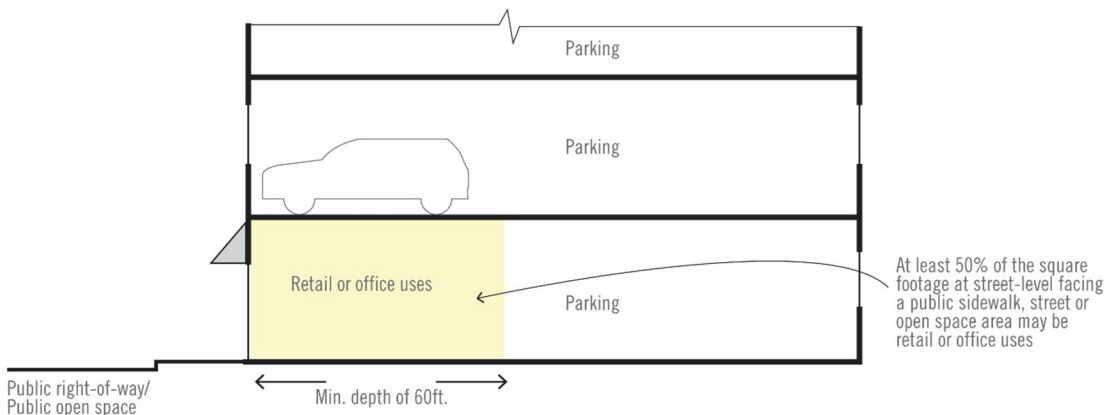
Figure 9. Building Projections



- N. *Off Street Parking and Loading.* Parking standards are identified in Section 4.155.
- O. *Parking within a Building or Structure:*
  1. Parking structures shall be designed to allow reuse of the building for non-parking uses, such as office or residential uses.
  2. The ground floor façade of a structured parking facility that abuts a public sidewalk, street, or open space and that is not occupied by entrances, exits, or waiting areas shall be designed and constructed with a minimum unfinished floor to ceiling height of 15 feet in order to allow occupancy by uses other than parking that are permitted in the underlying district (see Figure 10).
  3. Parking structures located in the MSD and adjacent to a public street shall contain retail or office uses on the first floor fronting the street or be wrapped with development of equal or greater height than the parking structure. At least 50 percent of a street-level floor facing a public sidewalk, street, or open space area shall contain retail or office uses to a minimum depth of 60 feet.

4. Facade openings that face a public street or open space shall be vertically and horizontally aligned and all floors fronting on those facades shall be level, not inclined.
5. The first floor facade of a parking structure located adjacent to a public street shall include at least three architectural elements such as arcades, windows, awnings, overhangs, screens, grills, louvers or other similar non-opaque features.
6. Parking structures shall be designed so that motorized vehicles parked on all levels of the structure are screened to a minimum height of 42 inches.
7. Where the upper floors of above-ground parking structures are visible from a public street, such surfaces shall include architectural or vegetative finishes.
8. Within a surface parking lot or structure, the bicycle spaces, carpool, vanpool, shared car, or electric vehicle charging spaces should be placed in preferred locations relative to the street, the building entrances, and the primary pedestrian routes within and around the project site.

**Figure 10. Parking Structure-Ground Floor Design**

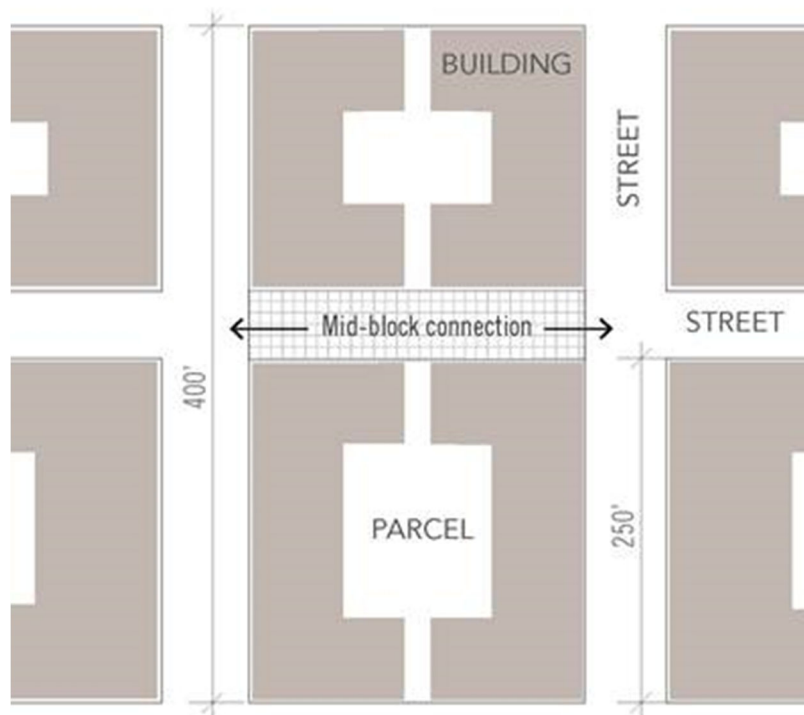


**P. Street Connectivity:**

1. **Purpose.** The purpose of these standards and procedures is to create safe, comfortable, and attractive streetscapes for pedestrians, improve connectivity for all modes of travel, and remove barriers for small-scale incremental development.
2. **General Provisions.** This section contains the standards and procedures for improvements to public transportation facilities for all property located in the Wilsonville Town Center Boundary, including specific standards for vehicle, pedestrian, bicycle, and transit facilities. The terms "transportation facilities" and "transportation improvements" generally include those facilities, or improvements to those facilities, that accommodate all modes of travel that are usually located in public rights-of-way, also commonly referred to as streets. "Frontage improvements" are transportation improvements immediately adjacent to a proposed development's street frontage. "Off-site improvements" are transportation improvements not adjacent to a proposed development's street frontage.
3. **Transportation Facility Standards:**
  - a. **Intersection design and spacing:**

- i. Transportation facilities shall be designed and constructed in conformance to the applicable section of the City Development Code and to the City's Public Works Standards.
  - ii. Street intersections shall have curb extensions to reduce pedestrian crossing distances unless there are other standards that apply, such as areas with flush curbs.
  - iii. New street intersections, including alleys, are subject to approval by the City Engineer.
- b. *Transportation network connectivity:*
- i. Minimum required transportation improvements are identified in the Wilsonville Town Center Plan. Alleys are encouraged but not required. Private streets are prohibited.
  - ii. Bicycle and pedestrian connections are required where the addition of a connection would link the end of a permanent turnaround to an adjacent street or provide a midblock connection through a long block. A mid-block connection is required where at least one block face is 400 feet or more in length (see Figure 11). A required connection must go through the interior of the block and connect the block face to its opposite block face. The mid-block crossing shall be demarcated with paving, signage, or design that clearly demarcates the crossing is designated for pedestrian and bicycle crossings.

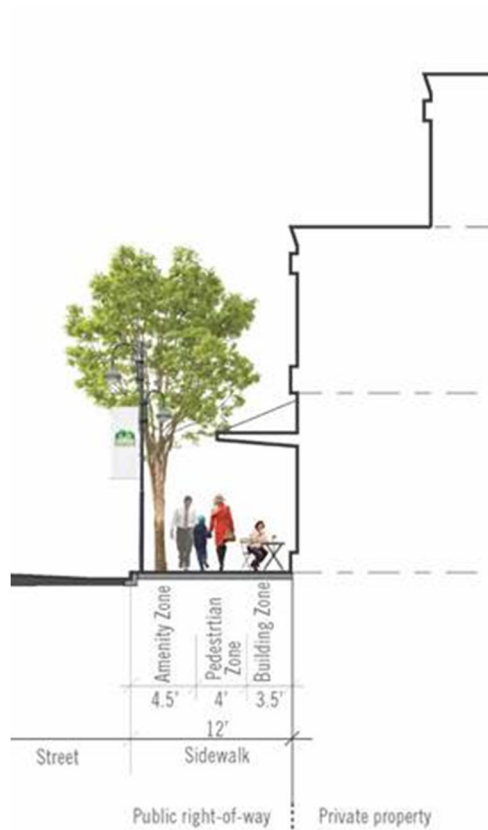
**Figure 11. Mid-Block Pedestrian and Bicycle Connections**



- 
- iii. Streets shall be extended to the boundary lines of the proposed development where necessary to give access to or allow for future development of adjoining properties.
- Any required or proposed new streets through or along the boundary of the proposed development shall be accompanied by a future street plan. The future street plan shall show that it is feasible to extend all required or proposed new streets onto adjoining properties to the satisfaction of the City Engineer.
  - Temporary turnarounds shall be constructed for street stubs in excess of 150 feet in length. Drainage facilities shall be constructed to properly manage stormwater runoff from temporary turnarounds.
  - Street stubs to adjoining properties shall not be considered permanent turnarounds, unless required and designed as permanent turnarounds, since they are intended to continue as through streets when adjoining properties develop.
  - Reserve strips may be required in order to ensure the eventual continuation or completion of a street.
- iv. Permanent dead end streets are not allowed except where no opportunity exists for creating a through street connection. Dead end streets shall meet all fire code access requirements and shall only be used where topographical constraints, protected natural resource areas, existing development patterns, or strict adherence to other City requirements precludes a future street connection. The lack of present ownership or control over abutting property shall not be grounds for a dead end street.
- v. *Street design.* All streets are subject to the standards illustrated in the Wilsonville Town Center Plan.
- vi. Street trees shall be required along all street frontages. The minimum number of required street trees shall be determined by dividing the length (in feet) of the proposed development's street frontage by 30 feet. When the result is a fraction, the number of street trees required shall be the nearest whole number.
- x. Sidewalks shall have a minimum unobstructed width of six feet for pedestrian through travel. Permanent structures or utilities within the required pedestrian through-travel area are restricted unless approved by the City Engineer. Sidewalk area outside of the required through-travel area may be used for landscaping, pedestrian amenities such as permanent street furniture, bicycle parking, trash cans, and drinking fountains.
- xi. Temporary placement of customer seating, merchandise display, temporary A-frame signs or other uses by businesses adjacent to the street shall be placed within the amenity or building zone in front of the business (see Figure 12). The building zone may be extended into the pedestrian zone in front of the building if a minimum of four feet is provided for the pedestrian through area. Placement of any temporary uses requires a temporary right-of-way use permit and approval by the City Engineer.
- xii. Temporary signs, such as A-Frames, are permitted within Town Center provided the temporary sign meets the following standards:

- One temporary sign is allowed per public entrance to buildings.
  - Temporary signs may be up to 12 square feet in area. Only one side of a portable sign will be counted. The vertical dimension of the sign including support structure may be no greater than 42 inches.
  - Signs may be placed in front of the building only during business hours.
  - Electrical signs and changing image sign features are prohibited.
- xi. Off street paths shall meet the City's path standards identified in the Transportation system plan, unless noted otherwise in the Wilsonville Town Center Plan. The location and type of facility shall be consistent the trail and open space, and street cross section illustrated in the Wilsonville Town Center Plan. Trail widths may be reduced where constrained by existing development, protected natural resource areas, or topography as determined by the City Engineer.

**Figure 12. Sidewalk Furnishing and Pedestrian Through Zones**



(Ord. No. 835, 6-5-2019)

(Supp. No. 6)

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# ATTACHMENT 3

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## Section 4.118. Standards Applying to all Planned Development Zones.

- (.01) *Height Guidelines.* In "S" overlay zones, the solar access provisions of Section 4.137 shall be used to determine maximum building heights. In cases that are subject to review by the Development Review Board, the Board may further regulate heights as follows:
- A. Restrict or regulate the height or building design consistent with adequate provision of fire protection and fire-fighting apparatus height limitations.
  - B. To provide buffering of low density developments by requiring the placement of three or more story buildings away from the property lines abutting a low density zone.
  - C. To regulate building height or design to protect scenic vistas of Mt. Hood or the Willamette River.
  - D. In no case shall the height of duplexes, triplexes, fourplexes, or townhouses be limited to less than the maximum height allowed for detached single-family dwellings in the same zone. In addition, in no case shall the height of triplexes, fourplexes, or townhouses be limited to less than 25 feet.
- (.02) Underground Utilities shall be governed by Sections 4.300 to 4.320. All utilities above ground shall be located so as to minimize adverse impacts on the site and neighboring properties.
- (.03) Notwithstanding the provisions of Section 4.140 to the contrary, the Development Review Board, in order to implement the purposes and objectives of Section 4.140, and based on findings of fact supported by the record may:
- A. Waive the following typical development standards:
    - 1. Minimum lot area;
    - 2. Lot width and frontage;
    - 3. Height and yard requirements;
    - 4. Lot coverage;
    - 5. Lot depth;
    - 6. Street widths;
    - 7. Sidewalk requirements;
    - 8. Height of buildings other than signs;
    - 9. Parking space configuration and drive aisle design;
    - 10. Minimum number of loading spaces;
    - 11. Shade tree islands in parking lots, provided that alternative shading is provided;
    - 12. Fence height;
    - 13. Architectural design standards, including residential design standards;
    - 14. Transit facilities;
    - 15. On-site pedestrian access and circulation standards;
    - 16. Solar access standards, as provided in section 4.137;
    - 17. Open space in the Frog Pond West Neighborhood in the Residential Neighborhood zone; and;
    - 18. Lot orientation.

- 
- B. The following shall not be waived by the Board, unless there is substantial evidence in the whole record to support a finding that the intent and purpose of the standards will be met in alternative ways:
1. Open space requirements in residential areas, except that the Board may waive or reduce open space requirements in the Frog Pond West Neighborhood in the Residential Neighborhood zone. Waivers in compliance with [Section] 4.127(.09)(B)(2)(d);
  2. Minimum density standards and housing variety standards in residential zones. The required minimum density may be reduced by the Board in the Residential Neighborhood zone in compliance with [Section] 4.127(.06) B; and
  3. Minimum landscape, buffering, and screening standards.
- C. The following shall not be waived by the Board, unless there is substantial evidence in the whole record to support a finding that the intent and purpose of the standards will be met in alternative ways, and the action taken will not violate any applicable federal, state, or regional standards:
1. Maximum number of parking spaces;
  2. Standards for mitigation of trees that are removed;
  3. Standards for mitigation of wetlands that are filled or damaged; and
  4. Trails or pathways shown in the Parks and Recreation Master Plan.
- D. Locate individual building, accessory buildings, off-street parking and loading facilities, open space and landscaping and screening without reference to lot lines; and
- E. Adopt other requirements or restrictions, inclusive of, but not limited to, the following, except that no additional requirements or restrictions can conflict with established clear and objective standards for residential development or be grounds for denying a residential development proposal when the applicant has selected the clear and objective path for approval:
1. Percent coverage of land by buildings and structures in relationship to property boundaries to provide stepped increases in densities away from low-density development.
  2. Parking ratios and areas expressed in relation to use of various portions of the property and/or building floor area.
  3. The locations, width and improvement of vehicular and pedestrian access to various portions of the property, including portions within abutting street or private drive.
  4. Arrangement and spacing of buildings and structures to provide appropriate open spaces around buildings.
  5. Location and size of off-street loading areas and docks.
  6. Uses of buildings and structures by general classification, and by specific designation when there are unusual requirements for parking, or when the use involves noise, dust, odor, fumes, smoke, vibration, glare or radiation incompatible with present or potential development of surrounding property. Such incompatible uses may be excluded in the amendment approving the zone change or the approval of requested permits.
  7. Measures designed to minimize or eliminate noise, dust, odor, fumes, smoke, vibration, glare, or radiation which would have an adverse effect on the present or potential development on surrounding properties.
  8. Schedule of time for construction of the proposed buildings and structures and any stage of development thereof to insure consistency with the City's adopted Capital Improvements Plan and other applicable regulations.

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9. A waiver of the right of remonstrance by the applicant to the formation of a Local Improvement District (LID) for streets, utilities and/or other public purposes.
  10. Modify the proposed development in order to prevent congestion of streets and/or to facilitate transportation.
  11. Condition the issuance of an occupancy permit upon the installation of landscaping or upon a reasonable scheduling for completion of the installation of landscaping. In the latter event, a posting of a bond or other security in an amount equal to 110 percent of the cost of the landscaping and installation may be required.
  12. A dedication of property for streets, pathways, and bicycle paths in accordance with adopted Facilities Master Plans or such other streets necessary to provide proper development of adjacent properties.
- (.04) The Planning Director and Development Review Board shall, in making their determination of compliance in attaching conditions, consider the effects of this action on availability and cost. The provisions of this section shall not be used in such a manner that additional conditions, either singularly or cumulatively, have the effect of unnecessarily increasing the cost of development. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the minimum requirements of the Comprehensive Plan and Code.
- (.05) The Planning Director, Development Review Board, or on appeal, the City Council, may as a condition of approval for any development for which an application is submitted, require that portions of the tract or tracts under consideration be set aside, improved, conveyed or dedicated for the following uses:
- A. *Recreational Facilities:* The Director, Board, or Council, as the case may be, may require that suitable area for parks or playgrounds be set aside, improved or permanently reserved for the owners, residents, employees or patrons of the development consistent with adopted Park standards and Parks and Recreation Master Plan.
  - B. *Open Space Area:* Whenever private and/or common open space area is provided, the City shall require that an association of owners or tenants be established which shall adopt such Articles of Incorporation, By-Laws or other appropriate agreement, and shall adopt and impose such Declaration of Covenants and Restrictions on such open space areas and/or common areas that are acceptable to the Development Review Board. Said association shall be formed and continued for the purpose of maintaining such open space area. Such an association, if required, may undertake other functions. It shall be created in such a manner that owners of property shall automatically be members and shall be subject to assessments levied to maintain said open space area for the purposes intended. The period of existence of such association shall be not less than 20 years and it shall continue thereafter and until a majority vote of the members shall terminate it, and the City Council formally votes to accept such termination.
  - C. *Easements:* Easements necessary to the orderly extension of public utilities, and the protection of open space, may be required as a condition of approval. When required, such easements must meet the requirements of the City Attorney prior to recordation.
- (.06) Nothing in this Code shall prevent the owner of a site that is less than two acres in size from filing an application to rezone and develop the site as a Planned Development. Smaller properties may or may not be suitable for such development, depending upon their particular sizes, shapes, locations, and the nature of the proposed development, but Planned Developments shall be encouraged at any appropriate location.
- (.07) *Density Transfers.* In order to protect significant open space or resource areas, the Development Review Board may authorize the transfer of development densities from one portion of a proposed development to another. Such transfers may go to adjoining properties, provided that those properties are considered to be part of the total development under consideration as a unit.

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(.08) *Wetland Mitigation and other mitigation for lost or damaged resources.* The Development Review Board may, after considering the testimony of experts in the field, allow for the replacement of resource areas with newly created or enhanced resource areas. The Board may specify the ratio of lost to created and/or enhanced areas after making findings based on information in the record. As much as possible, mitigation areas shall replicate the beneficial values of the lost or damaged resource areas.

(.09) *Habitat-Friendly Development Practices.* To the extent practicable, development and construction activities of any lot shall consider the use of habitat-friendly development practices, which include:

- A. Minimizing grading, removal of native vegetation, disturbance and removal of native soils, and impervious area;
- B. Minimizing adverse hydrological impacts on water resources, such as using the practices described in Part (a) of Table NR-2 in Section 4.139.03, unless their use is prohibited by an applicable and required state or federal permit, such as a permit required under the federal Clean Water Act, 33 U.S.C. §§ 1251 et seq., or the federal Safe Drinking Water Act, 42 U.S.C. §§ 300f et seq., and including conditions or plans required by such permit;
- C. Minimizing impacts on wildlife corridors and fish passage, such as by using the practices described in Part (b) of Table NR-2 in Section 4.139.03; and
- D. Using the practices described in Part (c) of Table NR-2 in Section 4.139.03.

(Ord. No. 674, 11-16-2009; Ord. No. 682, 9-9-2010; Ord. No. 719, 6-17-2013; Ord. No. 806, 7-17-2017; Ord. No. 892, § 2(Exh. A), 12-2-2024; Ord. No. 899, § 2(Exh. A), 8-4-2025)

## ATTACHMENT 4

1. August 8, 2018 Planning Commission Work Session
  - a. Staff Report with outreach summaries, draft Plan Maps and cross-sections, and draft Code and design guidelines (draft Code on pp: 65-80):  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/packets/12621/iii.a.town\\_center\\_plan\\_bateschell\\_45\\_minutes.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/packets/12621/iii.a.town_center_plan_bateschell_45_minutes.pdf)
  - b. Minutes:  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/12621/wpc\\_aug\\_8\\_2018\\_final.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/12621/wpc_aug_8_2018_final.pdf)
  - c. Video: [https://www.youtube.com/watch?v=455CF\\_bKG7M](https://www.youtube.com/watch?v=455CF_bKG7M)
    - i. 2:16:03-2:27:28
2. October 10, 2018 Planning Commission Work Session
  - a. Staff Report with draft Comp Plan, Development Code, Feasibility Analysis, and Traffic Analysis (draft Code on pp. 115-155):  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/packets/12641/iii.a.town\\_center\\_plan.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/packets/12641/iii.a.town_center_plan.pdf)
  - b. Minutes:  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/12641/oct\\_10\\_2018\\_final.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/12641/oct_10_2018_final.pdf)
  - c. Video  
<https://www.youtube.com/watch?v=OUfR0b1Itcl&list=PLtMnfUI4sX9PJ9Xa3XOTJ4aZSC1waZa9c&index=85>:
    - i. 1:29:07-1:33:15
3. November 14, 2018 Planning Commission Work Session
  - a. Staff Report with draft Implementation Strategies and draft Development Code (draft Code on pp: 24-49):  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/packets/12651/iii.a.town\\_center\\_plan.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/packets/12651/iii.a.town_center_plan.pdf)
  - b. Minutes:  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/12651/nov\\_14\\_2018\\_final.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/12651/nov_14_2018_final.pdf)
  - c. Video <https://www.youtube.com/watch?v=Nt0UDsiD4TU>:
    - i. 1:47:17-2:41:50
4. January 9, 2019 Planning Commission Work Session (**this is the key work session where a waiver option was discussed**)
  - a. Draft Comp Plan and Code language (draft Code on pp. 109-152):  
[https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning/page/5101/appendix\\_a.tc\\_comprehensive\\_plan\\_and\\_development\\_code\\_amendments.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning/page/5101/appendix_a.tc_comprehensive_plan_and_development_code_amendments.pdf)

- b. Minutes:
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/12671/wpc\\_jan\\_9\\_2019\\_final.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/12671/wpc_jan_9_2019_final.pdf)
  - c. Video <https://www.youtube.com/watch?v=uPLEhCdV3mE>:
    - i. 1:36:08-2:23:04
  
- 5. February 4, 2019 City Council Work Session
  - a. Packet with draft Code language (draft Code on pp. 118-145; waiver language on page 130):
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city\\_council/meeting/packets/27681/2.4.19\\_council\\_packet.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city_council/meeting/packets/27681/2.4.19_council_packet.pdf)
  - b. Video <https://www.youtube.com/watch?v=o9SFFArk5hQ&feature=youtu.be>:
    - i. 54:43-55:43;
    - ii. 1:01:28-1:04:42 (discussion about public art in waiver language);
    - iii. 1:36:45-1:43:18 (floorplate discussion)
  
- 6. March 19, 2019 Planning Commission Public Hearing
  - a. Staff Report:
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/packets/88931/ii.a.town\\_center\\_plan\\_90\\_minutes.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/packets/88931/ii.a.town_center_plan_90_minutes.pdf)
    - i. Appendix A to Staff Report with draft Comprehensive Plan update and draft Code (draft waiver language on pp. 123-124):
      - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city\\_council/meeting/130200/appendix\\_a\\_comprehensive\\_plan\\_and\\_development\\_code\\_amendments\\_v4.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city_council/meeting/130200/appendix_a_comprehensive_plan_and_development_code_amendments_v4.pdf)
  - b. Minutes:
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning\\_commission/meeting/88931/wpc\\_march\\_13\\_2019\\_final.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/planning_commission/meeting/88931/wpc_march_13_2019_final.pdf)
  - c. Video <https://www.youtube.com/watch?v=osW7bhki0oY>:
    - i. 25:28-26:56;
    - ii. 29:42-37:00;
    - iii. 55:38-2:01:11
  
- 7. April 15, 2019 City Council Public Hearing
  - a. Council packet (errata sheet with minor revisions to waiver language on p. 42 of packet):
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city\\_council/meeting/packets/27741/4.15.19\\_council\\_packet.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city_council/meeting/packets/27741/4.15.19_council_packet.pdf)
  - b. Comp Plan and Development Code (Code on pp. 109-181, waiver language on pp. 123-124):
    - [https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city\\_council/meeting/27741/wilsonville\\_town\\_center\\_plan\\_-\\_appendix\\_a\\_comprehensive\\_plan\\_and\\_development\\_code\\_amendments\\_v4.2.pdf](https://www.wilsonvilleoregon.gov/sites/default/files/fileattachments/city_council/meeting/27741/wilsonville_town_center_plan_-_appendix_a_comprehensive_plan_and_development_code_amendments_v4.2.pdf)

# ATTACHMENT 5

## Option 1

### Section 4.132. Town Center Zone.

...

(.06) *Design and Development Standards:*

...

- C. *Development Standards.* Development standards apply to all new development within the Town Center boundary.

<b>Table 2. Town Center Development Standards [1]</b>				
	<b>Town Center</b>			
<b>STANDARD</b>	<b>SUB-DISTRICT</b>			
	<b>MSD</b>	<b>N-MU</b>	<b>MU</b>	<b>C-MU</b>
Front setback				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	20 ft.	20 ft.	20 ft.	10 ft.
Side facing street on corner and through lots				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
Side yard				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
Rear setback				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum	20 ft.	20 ft.	20 ft.	20 ft.
Building height (stories) [3]				
Minimum	two	two	two	two
>Maximum (stories/feet) [4]	four	three	four	five
Ground floor height minimum [5]	15 ft.	12 ft.	12 ft.	15 ft.
Ground floor uses	Mixed-use buildings required within 200 feet of the Park Place/Courtside Drive intersection.	N/A	N/A	N/A
Building site coverage maximum	90%	75%	90%	90%
Minimum landscaping	10%	15%	10%	10%
Minimum building frontage	70%	25%	50%	50%
Residential density (units per acre)				
Minimum [6]	40	16	40	40
Maximum	None	40	None	None

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(Supp. No. 6)

## Option 1

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- [1] This table does not apply to existing development. All new buildings in the district must meet these development standards.
  - [2] For commercial development, the maximum front and street side yard setback is ten feet. For mixed-use and residential only development, the maximum front setback is 20 feet. Front setbacks are permitted provided they are used for seating or other uses that encourage pedestrian activity and active ground floor uses. A variety of building setbacks are encouraged.
  - [3] Second stories or higher in buildings must be useable. No false front buildings are permitted.
  - [4] Within the MSD, MU and C-MU sub-districts, the maximum number of building stories may be increased by one story if a minimum of 25 percent of the units of the bonus floor area are affordable, with rental rates /mortgage restrictions for a minimum of ten years, to households earning at or below 80 percent of median family income of Wilsonville.
  - [5] This standard does not apply to residential only buildings.
  - [6] Minimum residential density applies to residential-only development. There is no minimum residential density for mixed-use development.
- D. *Waivers to Development Standards.* Development standards apply to all new development within the Town Center boundary.

The Development Review Board (DRB) may approve waivers within the MU and C-MU sub-districts to: (a) increase the size of the ground floor of a building floorplate; (b) decrease and/or the number of stories of a building; or (c) increase the number of stories of a building by one story within the MU and C-MU sub-districts, so long as the applicant meets the requirements inconsistent with the provisions of Section 4.118 (.03) and-if one item from each of the two following menus are met in a manner to clearly go substantially above and beyond Code requirements and typical building and site design to create a sense of place and mitigate negative impacts of the project related to the reason for the waiver. A waiver to increase the number of stories of a building is in addition to the allowed bonus floor identified in Table 2, Note 4. Notwithstanding Section 4.118(.03), waivers to the size of the ground floor building floorplate or number of stories is not allowed in the MSD and N-MU subdistricts, nor is an applicant allowed to seek a waiver under Section 4.118(.03) absent compliance with this subsection D. Items chosen from the menus shall account for need based on adjacent sites or the surrounding area:

*Menu One:*

1. Public amenities, such as a plaza or other community gathering space, incorporated into the building design. Public plaza or other gathering spaces located in a prominent, visible location adjacent to a public street and include movable furniture that is functional and visually interesting.
2. Public community meeting space provided within the building.
3. Provision of ground floor facades that include additional supporting storefronts. The primary entrance of all businesses shall be located on the primary street frontage.
4. Provision of incubator space on site, either within or adjacent to the development that provides below market lease rates for small businesses.
5. Provision of affordable housing on the development site, consistent with the provisions of Table 2, footnote 4.

*Menu Two:*

## Option 1

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1. Innovative building techniques, such as rainwater harvesting, graywater systems, green roofs, or other environmental systems, shall be incorporated into the building design to significantly reduce impact to the environment.
2. Building architecture that creates a distinctive community landmark exemplifying the preferred materials and form for Town Center described in Subsection 4.132(.06)M. and discussed in the Town Center Plan.
3. Pedestrian-oriented and creative lighting incorporated into landscape features and plazas and/or interior window retail displays that are lit at night.
4. Achievement of LEED certification, Earth Advantage, or another recognized environmental certification.
5. Installation of public art, consistent with the provisions of Subsection 4.132(.06)K. for art within plaza areas.

....

## OPTION 2

### Section 4.132. Town Center Zone.

...

(.06) *Design and Development Standards:*

...

- C. *Development Standards.* Development standards apply to all new development within the Town Center boundary.

<b>Table 2. Town Center Development Standards [1]</b>				
	<b>Town Center</b>			
<b>STANDARD</b>	<b>SUB-DISTRICT</b>			
	<b>MSD</b>	<b>N-MU</b>	<b>MU</b>	<b>C-MU</b>
<b>Front setback</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	20 ft.	20 ft.	20 ft.	10 ft.
<b>Side facing street on corner and through lots</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Side yard</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Rear setback</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum	20 ft.	20 ft.	20 ft.	20 ft.
<b>Building height (stories) [3]</b>				
Minimum	two	two	two	two
>Maximum (stories/feet) [4]	four	three	four	five
Ground floor height minimum [5]	15 ft.	12 ft.	12 ft.	15 ft.
Ground floor uses	Mixed-use buildings required within 200 feet of the Park Place/Courtside Drive intersection.	N/A	N/A	N/A
Building site coverage maximum	90%	75%	90%	90%
Minimum landscaping	10%	15%	10%	10%
Minimum building frontage	70%	25%	50%	50%
<b>Residential density (units per acre)</b>				
Minimum [6]	40	16	40	40
Maximum	None	40	None	None

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(Supp. No. 6)

## OPTION 2

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- [1] This table does not apply to existing development. All new buildings in the district must meet these development standards.
  - [2] For commercial development, the maximum front and street side yard setback is ten feet. For mixed-use and residential only development, the maximum front setback is 20 feet. Front setbacks are permitted provided they are used for seating or other uses that encourage pedestrian activity and active ground floor uses. A variety of building setbacks are encouraged.
  - [3] Second stories or higher in buildings must be useable. No false front buildings are permitted.
  - [4] Within the MSD, MU and C-MU sub-districts, the maximum number of building stories may be increased by one story if a minimum of 25 percent of the units of the bonus floor area are affordable, with rental rates /mortgage restrictions for a minimum of ten years, to households earning at or below 80 percent of median family income of Wilsonville.
  - [5] This standard does not apply to residential only buildings.
  - [6] Minimum residential density applies to residential-only development. There is no minimum residential density for mixed-use development.
- D. *Waivers to Development Standards.* Development standards apply to all new development within the Town Center boundary.

The Development Review Board (DRB) may approve waivers within the MU and C-MU sub-districts to: (a) increase the size of the ground floor of a building floorplate; (b) decrease and/or the number of stories of a building; or (c) increase the number of stories of a building by one story within the MU and C-MU sub-districts, so long as the applicant meets the requirements inconsistent with the provisions of Section 4.118 (.03) and-if one item from each of the two following menus are met in a manner to clearly go substantially above and beyond Code requirements and typical building and site design to create a sense of place and mitigate negative impacts of the project related to the reason for the waiver. A waiver to increase the number of stories may not be obtained if a development includes a bonus floor as allowed pursuant to Table 2, Note 4. Notwithstanding Section 4.118(.03), waivers to the size of the ground floor building floorplate or number of stories is not allowed in the MSD and N-MU subdistricts, nor is an applicant allowed to seek a waiver under Section 4.118(.03) absent compliance with this subsection D. Items chosen from the menus shall account for need based on adjacent sites or the surrounding area:

*Menu One:*

1. Public amenities, such as a plaza or other community gathering space, incorporated into the building design. Public plaza or other gathering spaces located in a prominent, visible location adjacent to a public street and include movable furniture that is functional and visually interesting.
2. Public community meeting space provided within the building.
3. Provision of ground floor facades that include additional supporting storefronts. The primary entrance of all businesses shall be located on the primary street frontage.
4. Provision of incubator space on site, either within or adjacent to the development that provides below market lease rates for small businesses.
5. Provision of affordable housing on the development site, consistent with the provisions of Table 2, footnote 4.

*Menu Two:*

## OPTION 2

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1. Innovative building techniques, such as rainwater harvesting, graywater systems, green roofs, or other environmental systems, shall be incorporated into the building design to significantly reduce impact to the environment.
2. Building architecture that creates a distinctive community landmark exemplifying the preferred materials and form for Town Center described in Subsection 4.132(.06)M. and discussed in the Town Center Plan.
3. Pedestrian-oriented and creative lighting incorporated into landscape features and plazas and/or interior window retail displays that are lit at night.
4. Achievement of LEED certification, Earth Advantage, or another recognized environmental certification.
5. Installation of public art, consistent with the provisions of Subsection 4.132(.06)K. for art within plaza areas.

....

## OPTION 3

### Section 4.132. Town Center Zone.

...

(.06) *Design and Development Standards:*

...

- C. *Development Standards.* Development standards apply to all new development within the Town Center boundary.

<b>Table 2. Town Center Development Standards [1]</b>				
	<b>Town Center</b>			
<b>STANDARD</b>	<b>SUB-DISTRICT</b>			
	<b>MSD</b>	<b>N-MU</b>	<b>MU</b>	<b>C-MU</b>
<b>Front setback</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	20 ft.	20 ft.	20 ft.	10 ft.
<b>Side facing street on corner and through lots</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Side yard</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Rear setback</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum	20 ft.	20 ft.	20 ft.	20 ft.
<b>Building height (stories) [3]</b>				
Minimum	two	two	two	two
>Maximum (stories/feet) [4]	four	three	four	five
Ground floor height minimum [5]	15 ft.	12 ft.	12 ft.	15 ft.
Ground floor uses	Mixed-use buildings required within 200 feet of the Park Place/Courtside Drive intersection.	N/A	N/A	N/A
Building site coverage maximum	90%	75%	90%	90%
Minimum landscaping	10%	15%	10%	10%
Minimum building frontage	70%	25%	50%	50%
<b>Residential density (units per acre)</b>				
Minimum [6]	40	16	40	40
Maximum	None	40	None	None

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(Supp. No. 6)

## OPTION 3

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- [1] This table does not apply to existing development. All new buildings in the district must meet these development standards.
  - [2] For commercial development, the maximum front and street side yard setback is ten feet. For mixed-use and residential only development, the maximum front setback is 20 feet. Front setbacks are permitted provided they are used for seating or other uses that encourage pedestrian activity and active ground floor uses. A variety of building setbacks are encouraged.
  - [3] Second stories or higher in buildings must be useable. No false front buildings are permitted.
  - [4] Within the MSD, MU and C-MU sub-districts, the maximum number of building stories may be increased by one story if a minimum of 25 percent of the units of the bonus floor area are affordable, with rental rates /mortgage restrictions for a minimum of ten years, to households earning at or below 80 percent of median family income of Wilsonville.
  - [5] This standard does not apply to residential only buildings.
  - [6] Minimum residential density applies to residential-only development. There is no minimum residential density for mixed-use development.
- D. *Waivers to Development Standards.* Development standards apply to all new development within the Town Center boundary.

The Development Review Board (DRB) may approve waivers within the MU and C-MU sub-districts to: (a) increase the size of the ground floor of a building floorplate; or (b) decrease ~~and/or~~ the number of stories of a building. Within the MU sub-district, the DRB may also approve a waiver to increase the number of stories of a building by one story within the MU and C-MU sub-districts. Any waiver sought under this subsection D must ~~meet the requirements inconsistent with the provisions of~~ Section 4.118(.03) ~~and if~~ one item from each of the two following menus are met in a manner to clearly go substantially above and beyond Code requirements and typical building and site design to create a sense of place and mitigate negative impacts of the project related to the reason for the waiver. A waiver to increase the number of stories of a building is in addition to the allowed bonus floor identified in Table 2, Note 4. Notwithstanding Section 4.118(.03), waivers to the size of the ground floor building floorplate or number of stories is not allowed in the MSD and N-MU subdistricts, nor is an applicant allowed to seek a waiver under Section 4.118(.03) absent compliance with this subsection D. Items chosen from the menus shall account for need based on adjacent sites or the surrounding area:

*Menu One:*

1. Public amenities, such as a plaza or other community gathering space, incorporated into the building design. Public plaza or other gathering spaces located in a prominent, visible location adjacent to a public street and include movable furniture that is functional and visually interesting.
2. Public community meeting space provided within the building.
3. Provision of ground floor facades that include additional supporting storefronts. The primary entrance of all businesses shall be located on the primary street frontage.
4. Provision of incubator space on site, either within or adjacent to the development that provides below market lease rates for small businesses.
5. Provision of affordable housing on the development site, consistent with the provisions of Table 2, footnote 4.

*Menu Two:*

## OPTION 3

---

1. Innovative building techniques, such as rainwater harvesting, graywater systems, green roofs, or other environmental systems, shall be incorporated into the building design to significantly reduce impact to the environment.
2. Building architecture that creates a distinctive community landmark exemplifying the preferred materials and form for Town Center described in Subsection 4.132(.06)M. and discussed in the Town Center Plan.
3. Pedestrian-oriented and creative lighting incorporated into landscape features and plazas and/or interior window retail displays that are lit at night.
4. Achievement of LEED certification, Earth Advantage, or another recognized environmental certification.
5. Installation of public art, consistent with the provisions of Subsection 4.132(.06)K. for art within plaza areas.

...

## OPTION 4

### Section 4.132. Town Center Zone.

...

(.06) *Design and Development Standards:*

...

- C. *Development Standards.* Development standards apply to all new development within the Town Center boundary.

<b>Table 2. Town Center Development Standards [1]</b>				
	<b>Town Center</b>			
<b>STANDARD</b>	<b>SUB-DISTRICT</b>			
	<b>MSD</b>	<b>N-MU</b>	<b>MU</b>	<b>C-MU</b>
<b>Front setback</b>				
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Maximum [2]	20 ft.	20 ft.	20 ft.	10 ft.
<b>Side facing street on corner and through lots</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Side yard</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum [2]	10 ft.	10 ft.	10 ft.	10 ft.
<b>Rear setback</b>				
Minimum	0 ft.	0 ft.	0 ft.	0 ft.
Maximum	20 ft.	20 ft.	20 ft.	20 ft.
<b>Building height (stories) [3]</b>				
Minimum	two	two	two	two
>Maximum (stories/feet) [4]	four	three	four	five
Ground floor height minimum [5]	15 ft.	12 ft.	12 ft.	15 ft.
Ground floor uses	Mixed-use buildings required within 200 feet of the Park Place/Courtside Drive intersection.	N/A	N/A	N/A
Building site coverage maximum	90%	75%	90%	90%
Minimum landscaping	10%	15%	10%	10%
Minimum building frontage	70%	25%	50%	50%
<b>Residential density (units per acre)</b>				
Minimum [6]	40	16	40	40
Maximum	None	40	None	None

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(Supp. No. 6)

## OPTION 4

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- [1] This table does not apply to existing development. All new buildings in the district must meet these development standards.
  - [2] For commercial development, the maximum front and street side yard setback is ten feet. For mixed-use and residential only development, the maximum front setback is 20 feet. Front setbacks are permitted provided they are used for seating or other uses that encourage pedestrian activity and active ground floor uses. A variety of building setbacks are encouraged.
  - [3] Second stories or higher in buildings must be useable. No false front buildings are permitted.
  - [4] Within the MSD, MU and C-MU sub-districts, the maximum number of building stories may be increased by one story if a minimum of 25 percent of the units of the bonus floor area are affordable, with rental rates /mortgage restrictions for a minimum of ten years, to households earning at or below 80 percent of median family income of Wilsonville.
  - [5] This standard does not apply to residential only buildings.
  - [6] Minimum residential density applies to residential-only development. There is no minimum residential density for mixed-use development.
- D. *Waivers to Development Standards.* Development standards apply to all new development within the Town Center boundary.

The Development Review Board (DRB) may approve waivers within the MU and C-MU sub-districts to: (a) increase the size of the ground floor of a building floorplate; or (b) decrease ~~and/or~~ the number of stories of a building. Within the MU sub-district, the DRB may also approve a waiver to increase the number of stories of a building by one story within the MU and C-MU sub-districts. Any waiver sought under this subsection D must ~~meet the requirements inconsistent with the provisions of~~ Section 4.118(.03) ~~and if~~ one item from each of the two following menus are met in a manner to clearly go substantially above and beyond Code requirements and typical building and site design to create a sense of place and mitigate negative impacts of the project related to the reason for the waiver. A waiver to increase the number of stories may not be obtained if a development includes a bonus floor as allowed pursuant to Table 2, Note 4. Notwithstanding Section 4.118(.03), waivers to the size of the ground floor building floorplate or number of stories is not allowed in the MSD and N-MU subdistricts, nor is an applicant allowed to seek a waiver under Section 4.118(.03) absent compliance with this subsection D. Items chosen from the menus shall account for need based on adjacent sites or the surrounding area:

*Menu One:*

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4. Provision of incubator space on site, either within or adjacent to the development that provides below market lease rates for small businesses.
5. Provision of affordable housing on the development site, consistent with the provisions of Table 2, footnote 4.

*Menu Two:*

## OPTION 4

---

1. Innovative building techniques, such as rainwater harvesting, graywater systems, green roofs, or other environmental systems, shall be incorporated into the building design to significantly reduce impact to the environment.
2. Building architecture that creates a distinctive community landmark exemplifying the preferred materials and form for Town Center described in Subsection 4.132(.06)M. and discussed in the Town Center Plan.
3. Pedestrian-oriented and creative lighting incorporated into landscape features and plazas and/or interior window retail displays that are lit at night.
4. Achievement of LEED certification, Earth Advantage, or another recognized environmental certification.
5. Installation of public art, consistent with the provisions of Subsection 4.132(.06)K. for art within plaza areas.

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**Chart of Town Center Building Height Waiver Alternative Options 1-4**

Options	Allow Additional Story <sup>^</sup> in MU?*	Allow Additional Story in CMU?	Allow Additional Story AND Bonus Story for Aff Hsg?
Option 1	Yes (max = 5 stories)	Yes (max = 6 stories)	Yes (max = 6 & 7 stories)
Option 2	Yes (max = 5 stories)	Yes (max = 6 stories)	No
Option 3	Yes (max = 5 stories)	No (max = 5 stories)	Yes (max = 6 stories)
Option 4	Yes (max = 5 stories)	No (max = 5 stories)	No

\* For each Option, an additional consideration could be to limit the waiver to just the areas west of the Main Street District so that developments in MU adjacent to N-MU (2-3 story building height subdistrict) cannot seek the waiver to increase building height.

<sup>^</sup> Section 4.001.306 Story: That portion of a building included between a floor and the ceiling next above it, exclusive of a basement.