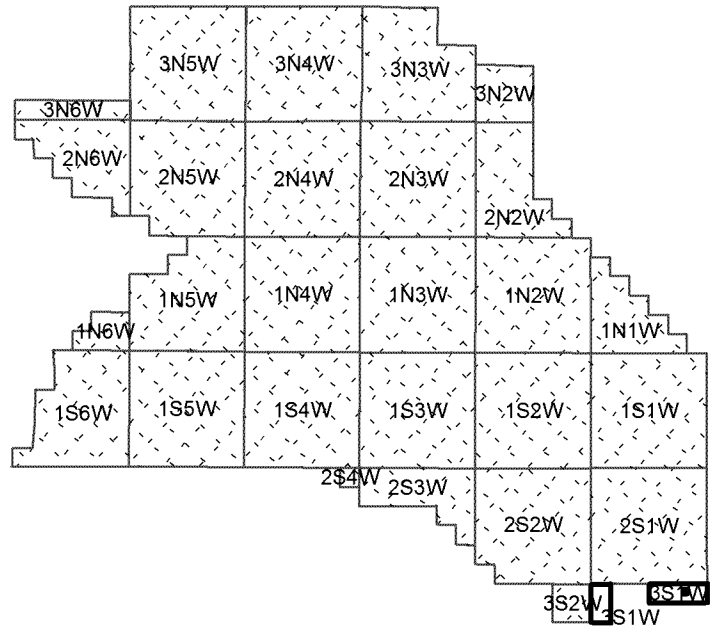
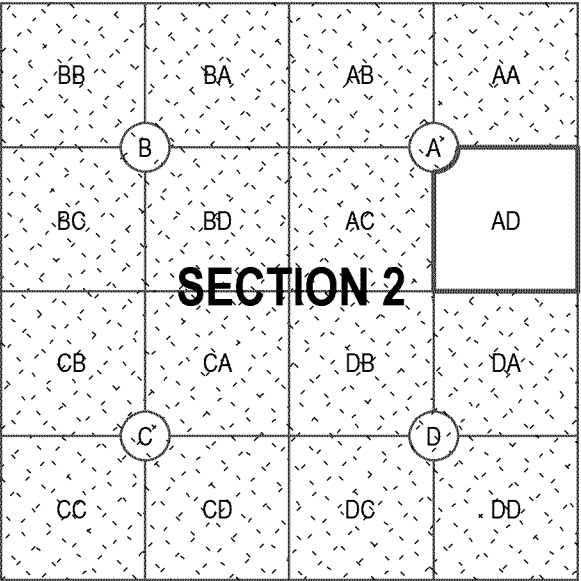




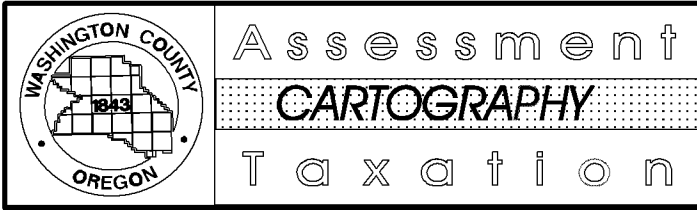
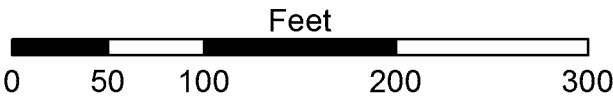
WASHINGTON COUNTY OREGON
SE 1/4 NE 1/4 SECTION 2 T3S R1W W.M.
SCALE 1" = 100'

36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6
12	7	8	9	10	11	12	7
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us



Cancelled Taxlots For: 3S102AD
800, 90153, 90163, 90111, 90121, 90161,



PLOT DATE: 10/11/2018
Rotation: 0.5
FOR ASSESSMENT PURPOSES
ONLY - DO NOT RELY ON
FOR OTHER USE

Map areas delineated by either gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.



LEGEND

- - DENOTES MONUMENT FOUND AS NOTED
- - DENOTES SET 5/8"X30" IRON ROD WITH YELLOW CAP SCRIBED "DRINKWATER PLS. 926"

STAFFORD PARK NO. 2

Book 51 Page 13

LOCATED IN THE NE 1/4 & SE 1/4, SEC 2, T3S, RIW, WM.
CITY OF WILSONVILLE, WASHINGTON COUNTY, OREGON

SURVEYED MARCH, 1980

BY: DRINKWATER ENGINEERING INC.

9205 SW BURHAM ST - TIGARD, OR 97223 - (503) 639-1185

PLATE 1 OF 2

SURVEYORS CERTIFICATE

I, RICHARD L. DRINKWATER, FIRST BEING DULY SWORN, DEPOSE AND SAY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH 5/8" X 30" IRON RODS AT ALL LOT AND BOUNDARY LINE CHANGES IN DIRECTION. THE LANDS REPRESENTED IN THE ANNEXED MAP OF STAFFORD PARK NO. 2 AND AT THE INITIAL POINT I SET A 2 INCH DIAMETER IRON PIPE WITH A 5/8" IRON ROD INSIDE FROM WHICH THE EAST 1/4 CORNER OF SECTION 2, T3S, RIW, WM. BEAR N89°56'09"E 633.50 FEET AND N00°04'12"W 152.33 FEET; THENCE FROM SAID INITIAL POINT S00°03'51"E ALONG THE WEST RIGHT OF WAY OF S.W. PARKWAY AVE. A DISTANCE OF 1800.02 FEET TO A 5/8 INCH IRON ROD AT THE NORTH EAST CORNER OF LOT 9 OF THE PLAT OF STAFFORD PARK A DAILY RECORDED PLAT FILED WITH WASHINGTON COUNTY PLAT RECORDS BOOK 39, PAGE 47; THENCE S89°56'09"W ALONG THE NORTH LINE OF SAID LOT 9 A DISTANCE OF 434.33 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF INTERSTATE 5; THENCE N00°05'57"E ALONG THE SAID EASTERLY RIGHT OF WAY A DISTANCE OF 375.39 FEET TO A 5/8 INCH IRON ROD DESIGNATED AS ENGINEERS STATION "LS 404+00"; THENCE N6°26'48"E CONTINUING ALONG SAID EASTERLY RIGHT OF WAY 404.42 FEET TO A 5/8 INCH IRON ROD DESIGNATED AS ENGINEERS STATION "LS 399+84.44"; THENCE N89°53'39"E A DISTANCE OF 1017.74 FEET TO A 5/8 INCH IRON ROD IN THE EAST LINE OF SAID SECTION 2; THENCE S00°28'00"E ALONG THE EAST LINE OF SAID SECTION 2 A DISTANCE OF 452.11 FEET TO A 1/2 INCH IRON PIPE AT THE EAST ONE QUARTER OF SAID SECTION 2; THENCE S00°04'12"E CONTINUING ALONG SAID EAST LINE OF SECTION 2 A DISTANCE OF 152.33 FEET TO A 2 INCH IRON PIPE WITH A 5/8 INCH IRON ROD INSIDE AND THE NORTHEAST CORNER OF LOT 8 OF SAID PLAT OF STAFFORD PARK; THENCE S69°56'09"W ALONG THE NORTH LINE OF SAID LOT 8 A DISTANCE OF 633.50 FEET TO THE INITIAL POINT.

CONTAINING 16.2768 ACRES MORE OR LESS ACCORDING TO THE BEARINGS AND DIMENSIONS GIVEN IN THE ABOVE SURVEYORS CERTIFICATE.

Richard L. Drinkwater
REGISTERED PROFESSIONAL LAND SURVEYOR
OF OREGON No. 926

SUBSCRIBED AND SWORN BEFORE ME
THIS 11th DAY OF MARCH, 1980

Richard L. Drinkwater
NOTARY PUBLIC IN AND FOR THE STATE OF OREGON
MY COMMISSION EXPIRES 2-12-82

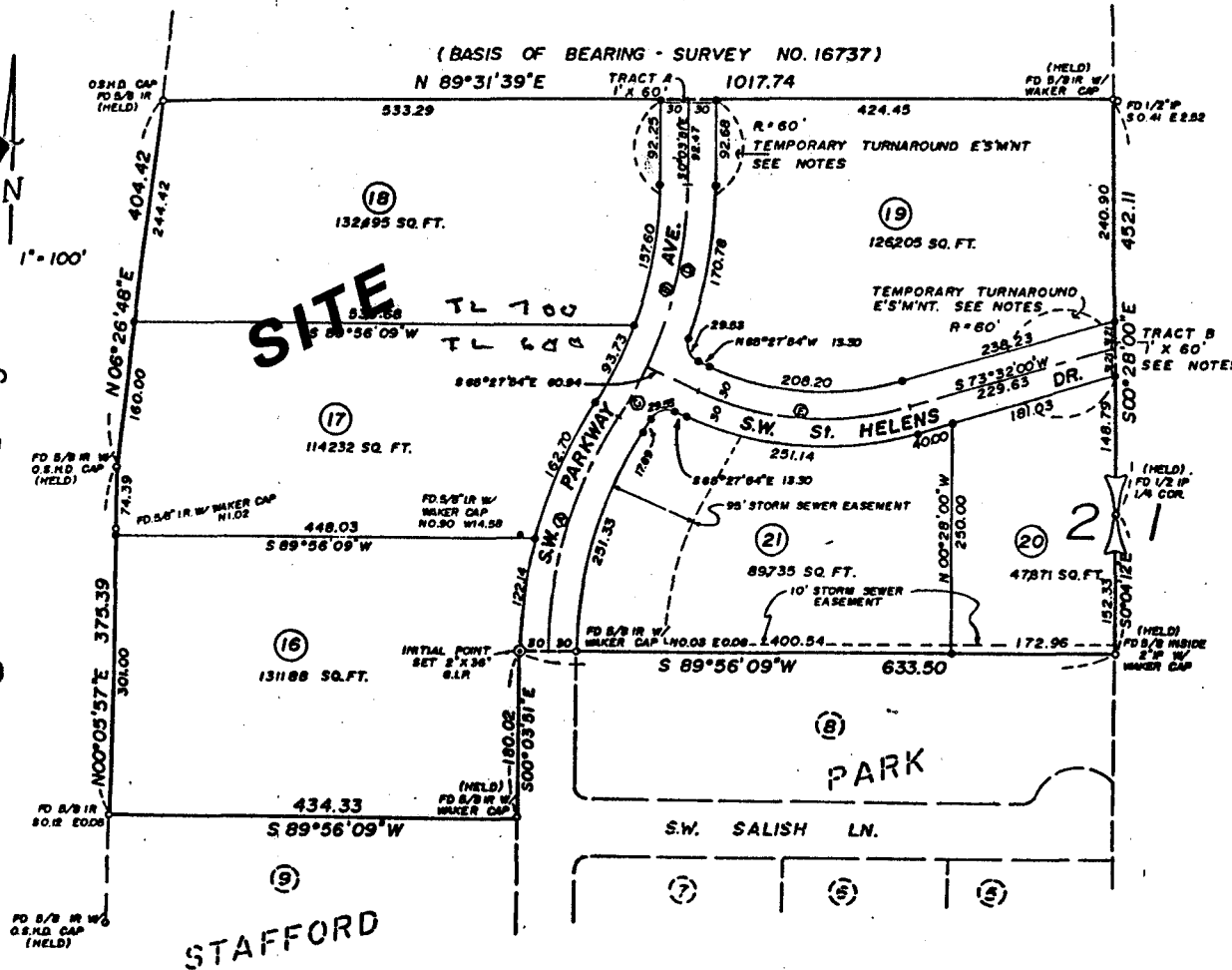


LOT CURVE DATA

NO.	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
16	510.00	13°43'19"	122.14	121.85	S 06°47'40" W
17	450.00	11°56'04"	93.73	93.56	S 25°58'07" W
17	510.00	18°16'42"	162.70	162.01	S 22°47'48" W
18	450.00	20°03'36"	157.60	156.79	S 09°56'07" W
18	290.94	41°00'07"	208.20	203.79	N 85°57'57" W
19	20.00	84°35'12"	29.53	28.92	N 23°10'18" W
19	510.00	19°11'10"	170.78	169.98	N 05°51'44" E
21	450.00	32°00'00"	288.08	284.61	N 15°56'09" E
21	510.00	01°58'15"	17.69	17.69	N 80°56'32" E
21	20.00	84°35'12"	29.53	28.92	N 72°14'30" E
21	390.94	41°00'07"	281.14	245.81	S 85°57'57" E

CURVE DATA

NO.	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
A	450.00	32°00'00"	288.08	284.61	N 15°56'09" E
B	450.00	32°00'00"	288.08	284.61	N 15°56'09" E
C	450.00	07°24'03"	62.00	61.98	N 28°14'08" E
D	450.00	24°35'37"	206.08	204.50	N 12°14'08" E
E	320.94	41°00'07"	229.67	224.80	S 85°57'57" E



NOTES

- TRACTS A & B ARE STREET PLUGS. ARE CONVEYED TO THE CITY OF WILSONVILLE.
- TEMPORARY TURNAROUND EASEMENTS TO BE REVOKED WHEN STREETS ARE EXTENDED.
- A 6' UTILITY EASEMENT EXISTS OVER ALL FRONT LOT LINES; 5' OVER ALL SIDE AND REAR LOT LINES.

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Richard L. Drinkwater
CITY OF WILSONVILLE
RICHARD L. DRINKWATER
926

Don Rasmussen Company
Development Review Board
February 24, 1997 Page 4 of 104

LOCATED IN LOTS 17 AND 18 OF
"STAFFORD PARK NO. 2"
IN THE NE 1/4 & SE 1/4 OF SECTION 2,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, W.M.
CITY OF WILSONVILLE
WASHINGTON COUNTY, OREGON

LEGEND

-
- EXISTING A/C PAVEMENT
- EXISTING CONCRETE
- EXISTING GRAVEL ROAD

①	SANITARY MANHOLE: RIM EL. 279.06'	③	STORM MANHOLE: RIM EL. = 293.09'	③	CATCH BASIN: RIM EL. = 278.26' I.E. IN W = 276.81' (6" PVC) I.E. OUT SE = 275.71' (8" CONC.)
②	SANITARY MANHOLE: RIM EL. 283.32'	②	STORM MANHOLE: RIM EL. = 287.48'	④	CATCH BASIN: RIM EL. = 277.79' I.E. IN W = 275.24' (8" CONC.) I.E. OUT SE = 275.28' (12" CONC.)
③	SANITARY MANHOLE: RIM EL. 287.13'			⑤	STORM DRAIN (OUTFALL TO POND) I.E. OUT SE = 274.80' (12" CONC.)
④	SANITARY MANHOLE: RIM EL. 291.09'			⑥	CATCH BASIN: RIM EL. = 287.04' I.E. OUT N = 282.62' (8" CONC.)
⑤	SANITARY MANHOLE: RIM EL. 288.20'			⑦	CATCH BASIN: RIM EL. = 286.61' I.E. OUT SW = 282.36' (12" CONC.)
⑥	SANITARY MANHOLE: RIM EL. 294.35'			⑧	CATCH BASIN: RIM EL. = 288.63' I.E. OUT SE = 282.73' (12" CONC.)
				⑨	STORM DRAIN (DITCH INLET) I.E. IN NE = 288.11' (12" CONC.)
				⑩	STORM DRAIN (OUTFALL TO POND) I.E. OUT SE = 277.18' (30" CONC.)

INTERSTATE - 5

NORTH

SCALE 1" = 30'

OREGON STATE HIGHWAY DEPARTMENT BENCHMARK NO. W662
BENCHMARK ELEVATION = 281.52 FEET
A BRASS DISK SET IN CONCRETE AT THE NORTHEAST CORNER
OF THE STAFFORD ROAD OVERPASS OF I-5.

- ① GARBAGE ENCLOSURE WITH CONCRETE BLOCK WALLS
- ② UNDERGROUND POWER VAULT
- ③ GRAVEL ROAD

U.S. INTERSTATE 5 FREEWAY

S.W. HELENS DR.

S.W. PARKWAY AVE.

NORTH BUILDING
MAIN FLOOR
ELEVATION 299.50'

FUTURE
SOUTH BUILDING
MAIN FLOOR
ELEVATION 297.25'

SITE PLAN
SCALE: 1" = 20'-0"

LEGEND

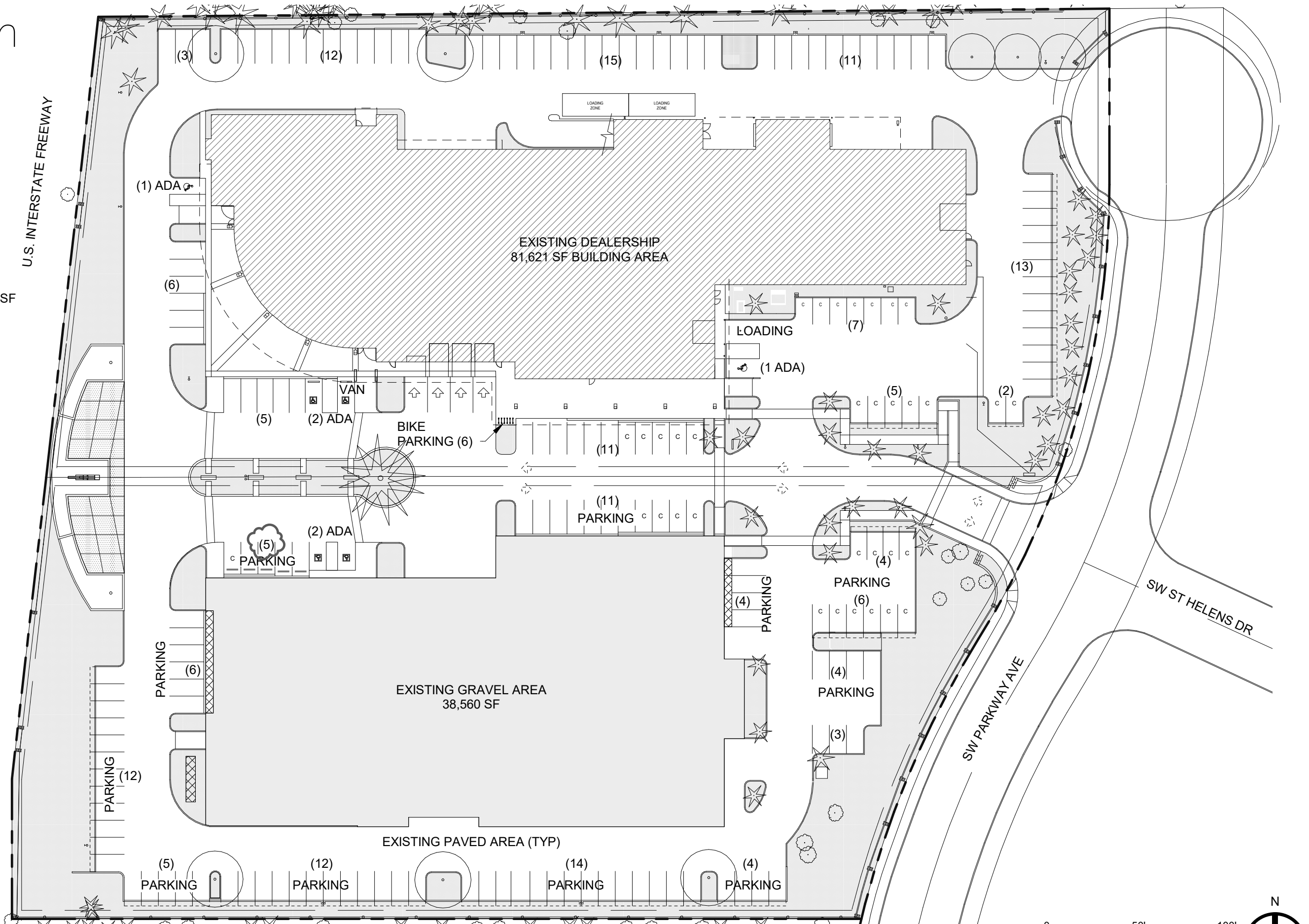
- MAINTAIN EXISTING TREES
- LIGHTING POLES (L.P.) - SEE LIGHTING PLAN
- CONCRETE RETAINING WALL
- CURB
- COMPACT PARKING SPACE
- GRAVEL SUB-BASE PHASE ONE
- ACCESSIBLE ROUTE
* CONFIRM CONSTRUCTION
(I.E. SIDEWALK OR PAINT)

GENERAL NOTE

1. GENERAL CONTRACTOR TO COORDINATE ON SITE CONDITIONS FOR RETAINING WALL ELEVATIONS / HEIGHTS, BERMED LANDSCAPING, AND RELOCATION OF MATURE TREES WITH THE ARCHITECT, ARBORIST, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER.
2. GENERAL CONTRACTOR TO COORDINATE SITE ELECTRICAL / UTILITY / SEWERS DISTRIBUTION WITH ARCHITECT, CIVIL, AND ELECTRICAL / MECHANICAL ENGINEER, AND UTILITY COMPANIES.
3. GENERAL CONTRACTOR TO CONFIRM EXTENT OF GRAVEL BASE WITH ARCHITECT AND OWNER.
4. SEE D4/A1.9 FOR ENTRY GATE

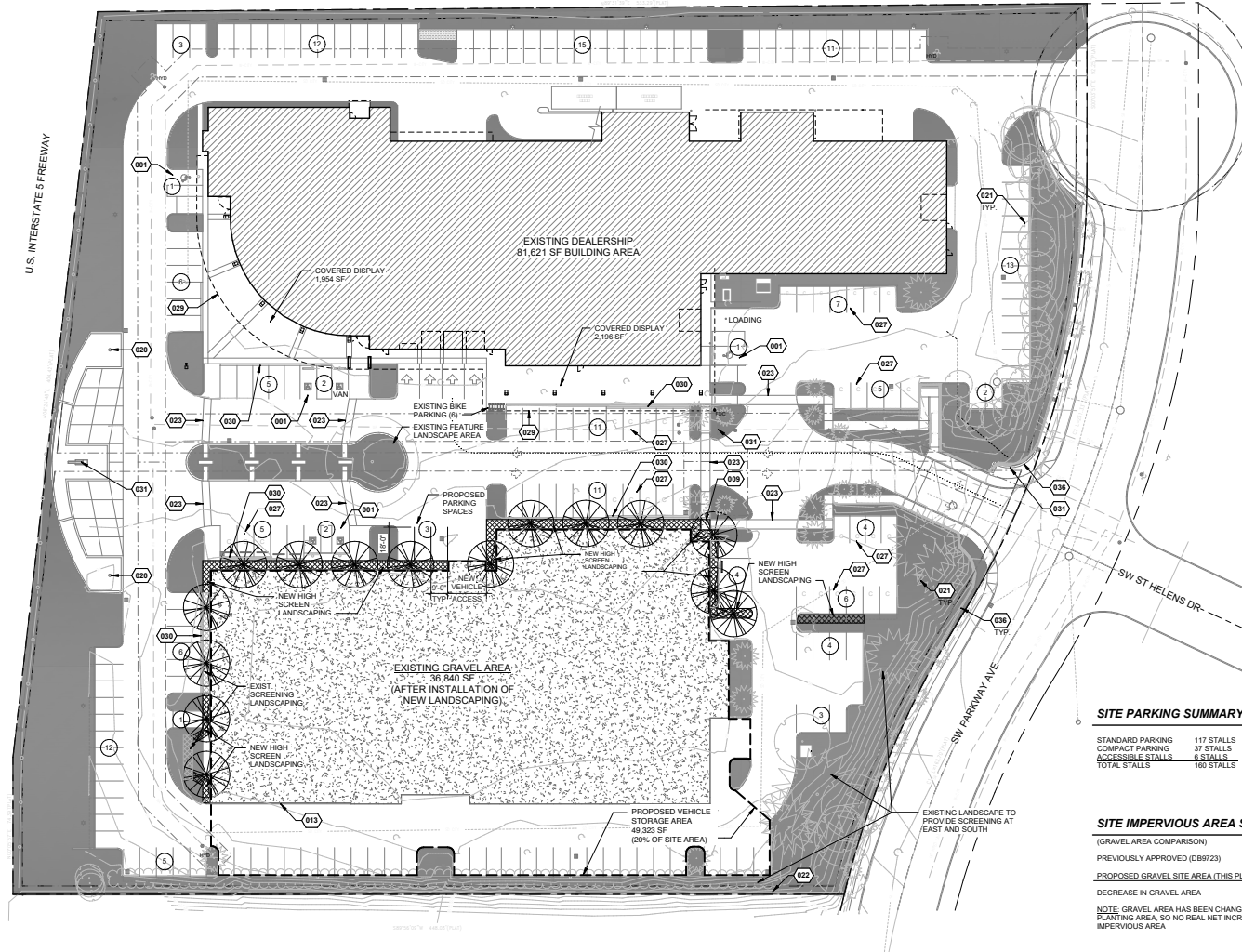
Site Plan
EXISTING

SITE AREA = 246,727 SF



STAGE II SITE PLAN

SOUTH LOT INVENTORY STORAGE



KEYNOTES

- 001 EXISTING ACCESSIBLE PARKING
- 009 PROPOSED CONCRETE PAD
- 013 EXISTING CURB
- 020 EXISTING FLAG POLE
- 021 EXISTING TREE TO REMAIN
- 022 EXISTING FENCE
- 023 EXISTING CROSSWALK
- 027 EXISTING COMPACT PARKING
- 029 LINE OF EXISTING STRUCTURE ABOVE, TYP.
- 030 EXISTING STEPPED CONCRETE CURB
- 031 EXISTING MONUMENT SIGN
- 036 EXISTING RETAINING WALL

LEGEND

- PROPOSED TREE
- HIGH LANDSCAPE SCREEN
- PROPOSED GRAVEL AREA
- EXISTING LANDSCAPE AREA
- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- EXISTING BUILDING
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- EXISTING SITE LIGHTING
- NO. OF PARKING SPACES IN GROUP
- TRAFFIC ARROW
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- EXISTING CATCH BASIN

SITE PARKING SUMMARY

STANDARD PARKING	117 STALLS
COMPACT PARKING	37 STALLS
ACCESSIBLE STALLS	6 STALLS
TOTAL STALLS	160 STALLS

SITE AREA SCHEDULE

AREA TYPE	AREA	%
BUILDING	42,889 SF	17%
GRAVEL	36,840 SF	15%
LANDSCAPE	53,844 SF	22%
PAVEMENT	115,154 SF	47%
TOTAL	248,727 SF	100%

SITE IMPERVIOUS AREA SUMMARY

(GRAVEL AREA COMPARISON)

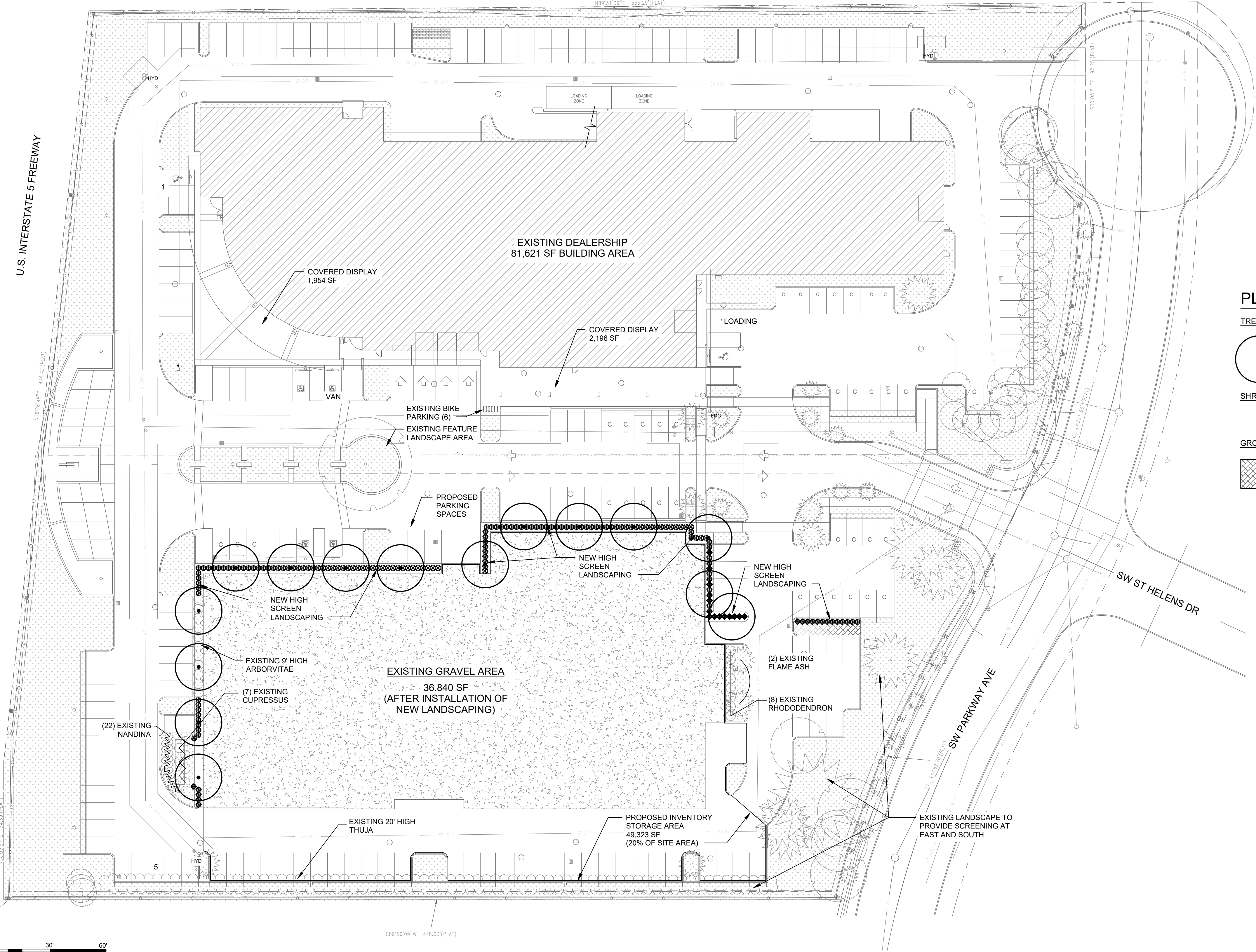
PREVIOUSLY APPROVED (DB9723)	38,560 SF
PROPOSED GRAVEL SITE AREA (THIS PLAN)	36,840 SF
DECREASE IN GRAVEL AREA	1,720 SF

NOTE: GRAVEL AREA HAS BEEN CHANGED TO PLANTING AREA, SO NO REAL NET INCREASE IN IMPERVIOUS AREA

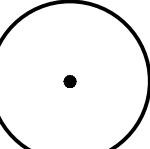
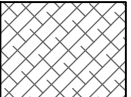
Scale: As Indicated

STAGE II LANDSCAPE PLAN

SOUTH LOT INVENTORY STORAGE



PLANT SCHEDULE

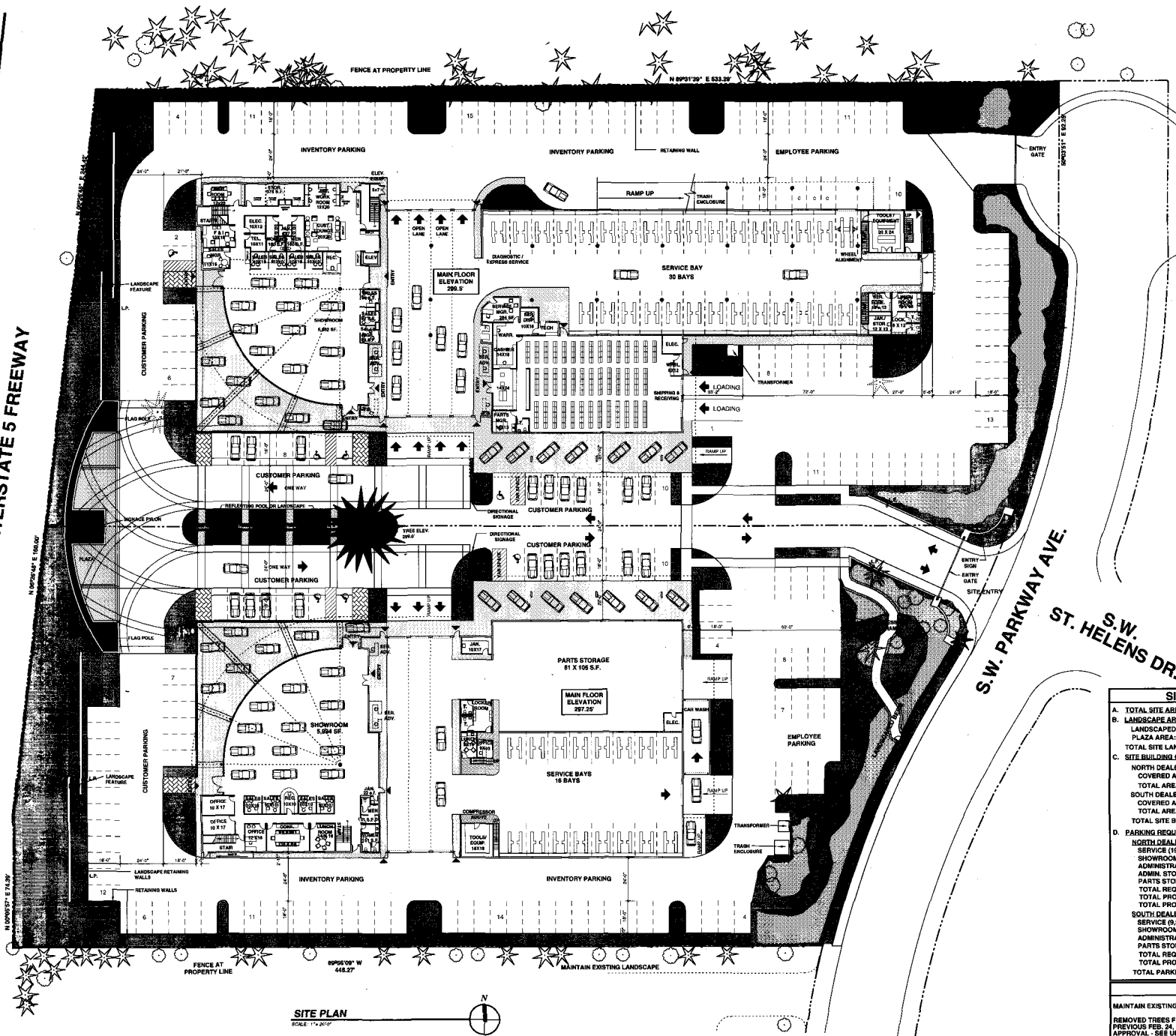
TREES	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Prunus x yedoensis 'Akebono' / Akebono Yoshino Cherry	B & B	1.5" cal. / 6' high graft	as shown	15
SHRUBS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	B & B	6' ht	32" o.c.	159
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	1 gal	6"-12"	5' o.c.	8

IRRIGATION NOTE
An automatic drip irrigation system will be extended to provide 1" per week precipitation rate to all proposed landscaping.

Scale: As indicated

281 706

U.S. INTERSTATE 5 FREEWAY



SITE PLAN
SCALE: 1/4" = 20'-0"

SITE INFORMATION		
A. TOTAL SITE AREA:	(5.55 ACRES)	246,048 S.F.
B. LANDSCAPED AREA:	(20.5%)	50,553 S.F.
PLAZA AREA:	(2.0%)	4,704 S.F.
TOTAL SITE LANDSCAPE AREA:	(22.5%)	55,257 S.F.
C. SITE BUILDING COVERAGE:		
NORTH DEALERSHIP:		39,845 S.F.
COVERED AREA:		6,882 S.F.
TOTAL AREA:		46,527 S.F.
SOUTH DEALERSHIP:		30,541 S.F.
COVERED AREA:		5,435 S.F.
TOTAL AREA:		37,076 S.F.
TOTAL SITE BUILDING AREA:	(34.0%)	83,603 S.F.
D. PARKING REQUIREMENTS:		
RODIL DEALERSHIP:		
SERVICE (19,171 S.F. @ 1/200)		96 SPACES
SHOWROOM (9,283 S.F. @ 1/600)		16 SPACES
ADMINISTRATION (5,025 S.F. @ 1/250)		21 SPACES
ADMIN. STOR. (744 S.F. @ 1/2,000)		1 SPACES
PARTS STOR. (4,709 S.F. @ 1/2,000)		3 SPACES
TOTAL REQUIRED:		137 SPACES
TOTAL PROVIDED ON GRADE:		110 SPACES
TOTAL PROVIDED IN PARKING GARAGE:		58 SPACES
SOUTH DEALERSHIP:		
SERVICE (9,581 S.F. @ 1/200)		48 SPACES
SHOWROOM (6,434 S.F. @ 1/600)		11 SPACES
ADMINISTRATION (5,469 S.F. @ 1/250)		22 SPACES
PARTS STORAGE (6,406 S.F. @ 1/2,000)		4 SPACES
TOTAL REQUIRED:		85 SPACES
TOTAL PROVIDED:		91 SPACES
TOTAL PARKING AND DRIVE AREA:		197,185 S.F.

LEGEND	
MAINTAIN EXISTING TREES	
REMOVED TREES FROM PREVIOUS FEB. 24, 1997 APPROVAL - SEE UPDATED LANDSCAPE PLAN	
LIGHTING POLES - SEE LIGHTING PLAN	

PRELIMINARY
NOT FOR
CONSTRUCTION

R S

1121 S.W. Salmon
Suite 100
Portland, OR 97205
Tel. 503.221.1121
Fax. 503.221.2007

RASMUSSEN MERCEDES
WILSONVILLE, OREGON

PROJECT NAME

PRELIMINARY SITE PLAN /
MAIN FLOOR PLAN
NORTH & SOUTH DEALERSHIP

SHEET TITLE

FOR SUBMIT FOR PLANNING
REVIEW FEB. 24, 1997

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

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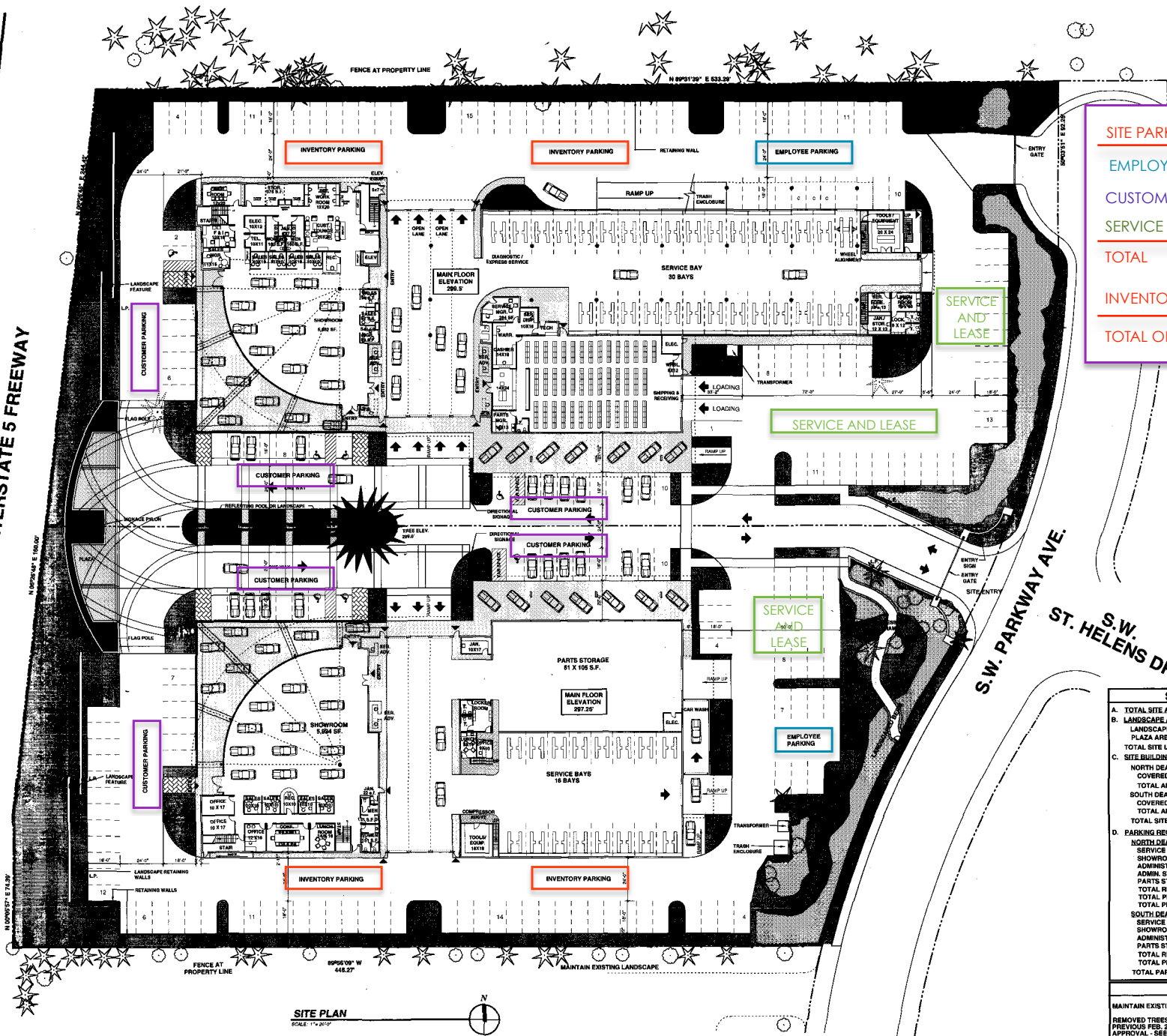
© LRS ARCHITECTS PC

1997 STAGE II FINAL SITE PLAN - USE DIAGRAM

10.11.21

281 706

U.S. INTERSTATE 5 FREEWAY



SITE PLAN
SCALE: 1"=20'-0"

SITE PARKING USE SUMMARY

EMPLOYEE PARKING	28 STALLS
CUSTOMER PARKING	69 STALLS
SERVICE AND LEASE PARKING	45 STALLS
TOTAL	142 STALLS
INVENTORY PARKING	59 STALLS
TOTAL ON-GRADE PARKING	201 STALLS

SITE INFORMATION

A. TOTAL SITE AREA:	(5.55 ACRES)	246,048 S.F.
B. LANDSCAPED AREA:	(20.5%)	50,553 S.F.
PLAZA AREA:	(2.0%)	4,704 S.F.
TOTAL SITE LANDSCAPE AREA:	(22.5%)	55,257 S.F.
C. SITE BUILDING COVERAGE:		
NORTH DEALERSHIP:	39,845 S.F.	
COVERED AREA:	6,882 S.F.	
TOTAL AREA:	46,527 S.F.	
SOUTH DEALERSHIP:	30,541 S.F.	
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TOTAL AREA:	37,076 S.F.	
TOTAL SITE BUILDING AREA:	(34.0%)	83,603 S.F.
D. PARKING REQUIREMENTS:		
ROBTD. DEALERSHIP:		
SERVICE (19,171 S.F. @ 1/200)	96 SPACES	
SHOWROOM (9,283 S.F. @ 1/600)	16 SPACES	
ADMINISTRATION (5,025 S.F. @ 1/250)	21 SPACES	
ADMIN. STOR. (744 S.F. @ 1/2,000)	1 SPACES	
PARTS STOR. (4,708 S.F. @ 1/2,000)	3 SPACES	
TOTAL REQUIRED:	137 SPACES	
TOTAL PROVIDED ON GRADE:	110 SPACES	
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SERVICE (9,581 S.F. @ 1/200)	48 SPACES	
SHOWROOM (6,434 S.F. @ 1/600)	11 SPACES	
ADMINISTRATION (5,469 S.F. @ 1/250)	22 SPACES	
PARTS STORAGE (6,406 S.F. @ 1/2,000)	4 SPACES	
TOTAL REQUIRED:	85 SPACES	
TOTAL PROVIDED:	91 SPACES	
TOTAL PARKING AND DRIVE AREA:	197,185 S.F.	

LEGEND

MAINTAIN EXISTING TREES
REMOVED TREES FROM
PREVIOUS FEB. 24, 1997
APPROVAL - SEE UPDATED
LANDSCAPE PLAN
LIGHTING POLES - SEE LIGHTING PLAN



A1

RASMUSSEN MERCEDES
WILSONVILLE, OREGON

PRELIMINARY SITE PLAN /
MAIN FLOOR PLAN
NORTH & SOUTH DEALERSHIP

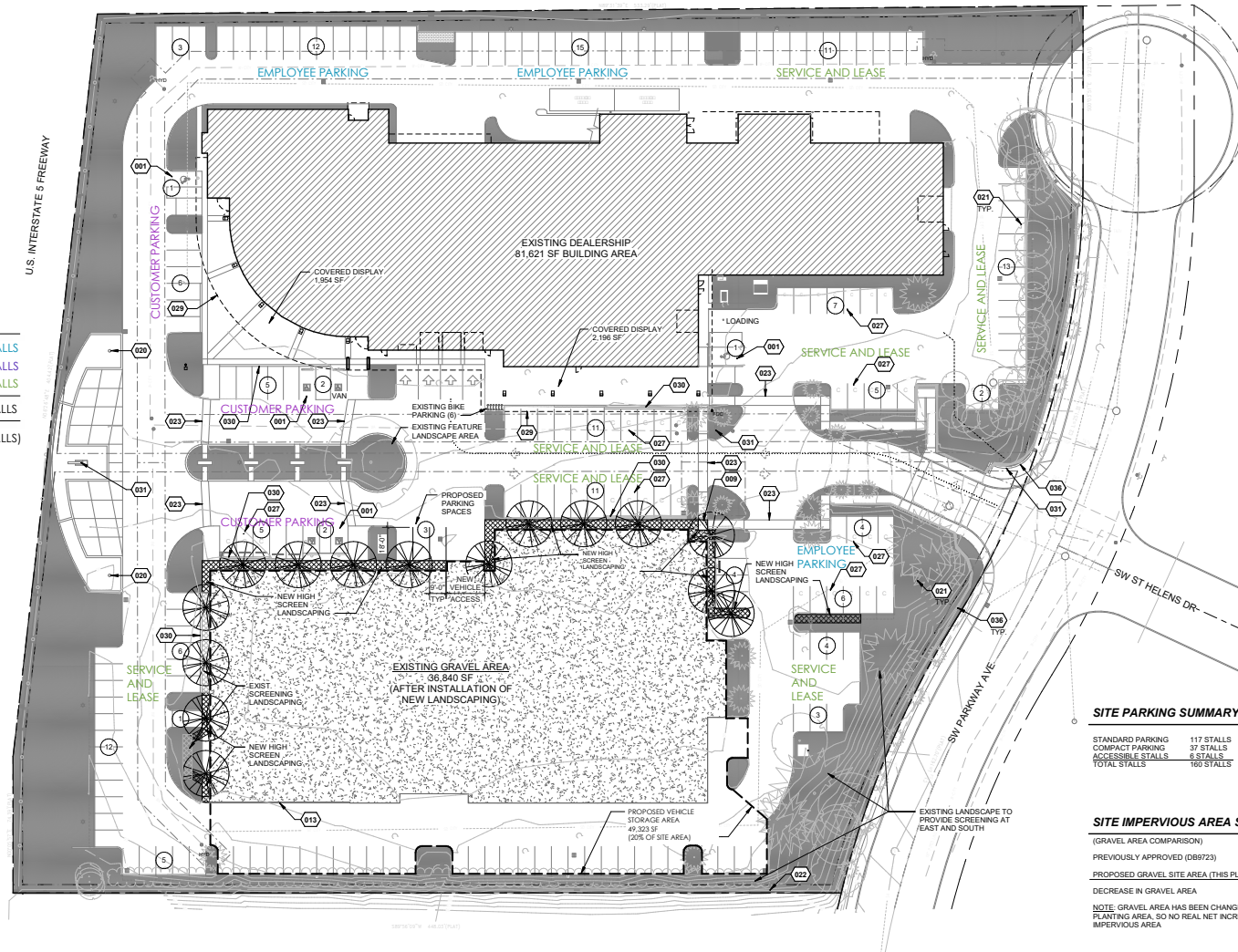
SHEET TITLE
SUBMIT FOR PLANNING
REVIEW 4.5.97
DATE 6.5.97
CHECK: SPH
DRAWN BY: KDA/LAM
PROJECT: 96156

STAGE II SITE PLAN - USE DIAGRAM

SOUTH LOT INVENTORY STORAGE

SITE PARKING USE SUMMARY

EMPLOYEE PARKING	44 STALLS
CUSTOMER PARKING	24 STALLS
SERVICE AND LEASE PARKING	92 STALLS
TOTAL PARKING	160 STALLS
(PLUS TOTAL PARKING IN GARAGE)	58 STALLS



KEYNOTES

- 001 EXISTING ACCESSIBLE PARKING
- 009 PROPOSED CONCRETE PAD
- 013 EXISTING CURB
- 020 EXISTING FLAG POLE
- 021 EXISTING TREE TO REMAIN
- 022 EXISTING FENCE
- 023 EXISTING CROSSWALK
- 027 EXISTING COMPACT PARKING
- 029 LINE OF EXISTING STRUCTURE ABOVE, TYP.
- 030 EXISTING STEPPED CONCRETE CURB
- 031 EXISTING MONUMENT SIGN
- 036 EXISTING RETAINING WALL

LEGEND

- PROPOSED TREE
- HIGH LANDSCAPE SCREEN
- PROPOSED GRAVEL AREA
- EXISTING LANDSCAPE AREA
- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- EXISTING BUILDING
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- EXISTING SITE LIGHTING
- NO. OF PARKING SPACES IN GROUP
- TRAFFIC ARROW
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- EXISTING CATCH BASIN

SITE PARKING SUMMARY

STANDARD PARKING	117 STALLS
COMPACT PARKING	37 STALLS
ACCESSIBLE STALLS	6 STALLS
TOTAL STALLS	160 STALLS

SITE AREA SCHEDULE

AREA TYPE	AREA	%
BUILDING	40,599 SF	17%
GRAVEL	36,840 SF	16%
LANDSCAPE	53,844 SF	23%
PAVEMENT	115,154 SF	47%
TOTAL	246,727 SF	100%

SITE IMPERVIOUS AREA SUMMARY

(GRAVEL AREA COMPARISON)	
PREVIOUSLY APPROVED (069723)	38,560 SF
PROPOSED GRAVEL SITE AREA (THIS PLAN)	36,840 SF
DECREASE IN GRAVEL AREA	1,720 SF

NOTE: GRAVEL AREA HAS BEEN CHANGED TO PLANTING AREA, SO NO REAL NET INCREASE IN IMPERVIOUS AREA.

Scale: As indicated