

REVISION SCHEDULE		
Delta	Issued As	Issue Date

KEYNOTES

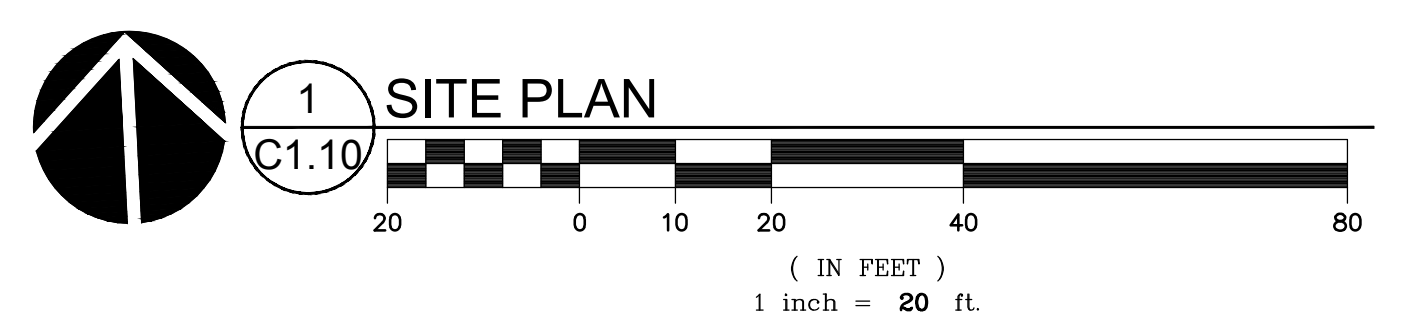
- 32-01 ASPHALT PAVEMENT PER PAVING LEGEND ON C0.01
- 32-02 CONCRETE SIDEWALK PER 2/C5.10
- 32-03 VERTICAL CURB PER 3/C5.10
- 32-04 MOUNTABLE CURB PER 4/C5.10
- 32-05 VERTICAL CURB AND GUTTER PER 5/C5.10
- 32-06 BIKE RACK PER 1/C5.10
- 32-07 CURB BREAK PER 6/C5.10
- 32-08 RIP RAP PER CITY OF WILSONVILLE STD DWG ST-6020 & ST-6045
- 32-09 PRECAST WHEEL STOP PER 8/C5.10
- 32-10 CORNER CURB RAMP PER 9/C5.10
- 32-11 PARALLEL CURB RAMP PER 10/C5.10
- 32-12 ACCESSIBLE PARKING STALL PER 11/C5.10
- 32-13 PARKING STALL STRIPING PER 12/C5.10
- 32-14 TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 32-15 LANDSCAPE AREA PER LANDSCAPE PLANS
- 32-16 ELECTRIC VEHICLE CHARGING STATION PER ELECTRICAL PLANS
- 32-17 MONUMENT SIGN PER ARCHITECTURAL PLANS
- 32-18 PROPOSED CITY OF WILSONVILLE ACCESS EASEMENT
- 32-19 RECESS SIDEWALK THICKNESS AS REQUIRED TO ACCOMMODATE WALK OFF MAT AT BUILDING ENTRANCE PER ARCHITECTURAL PLANS
- 32-20 THICKENED SLAB EDGE ON ALL SIDES OF PATIO SLAB PER 7/C5.10
- 32-21 SAWCUT PER 13/C5.10
- 32-22 DEEPENED VERTICAL CURB PER 14/C5.10
- 33-01 UTILITY STRUCTURE PER UTILITY PLAN
- 33-02 STORM FACILITY PER GRADING AND UTILITY PLANS
- 33-03 SITE LIGHT PER ELECTRICAL PLANS
- 33-04 TRANSFORMER WITH PROTECTIVE BOLLARD PER PGE PLANS AND SPECIFICATIONS

SITE DATA

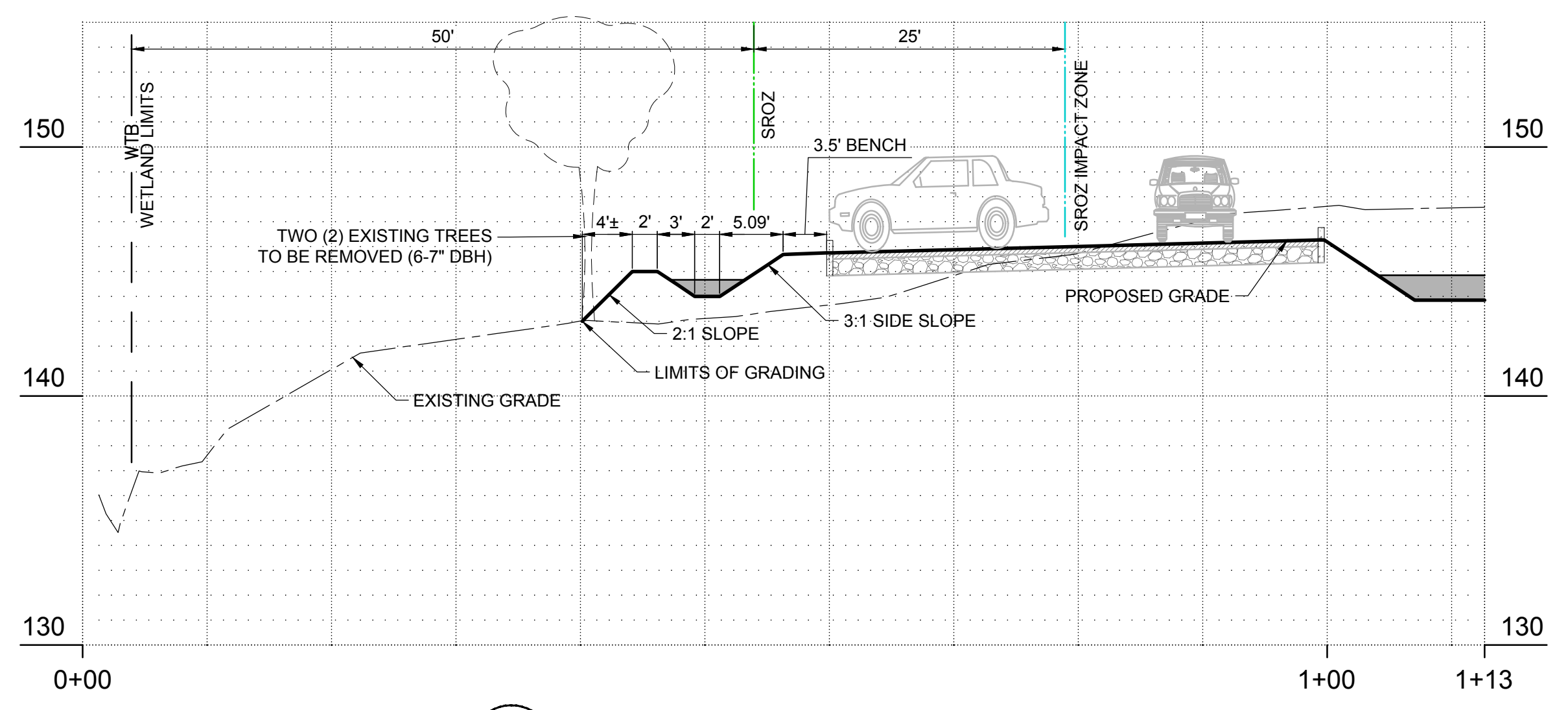
	AREA (SF)	AREA (AC)	COVERAGE
GROSS PROPERTY AREA	89,235	2.05	
UNDEVELOPABLE AREA	37,091	0.85	42%
NET BUILDABLE AREA	52,144	1.20	58%
AREA OF DISTURBANCE	62,604	1.44	70.2%
IMPERVIOUS AREA			
BUILDING AREA	15,744	0.36	17.6%
PAVED AREA	26,898	0.62	30.1%
TOTAL IMPERVIOUS AREA	42,642	0.98	47.8%
LANDSCAPE AREA*	19,962	0.46	31.9%
PARKING AREA	23,073	0.53	
PARKING AREA LANDSCAPE *INCLUDES NON-BUILDABLE AREA	5,213	0.12	22.6%

PARKING DATA

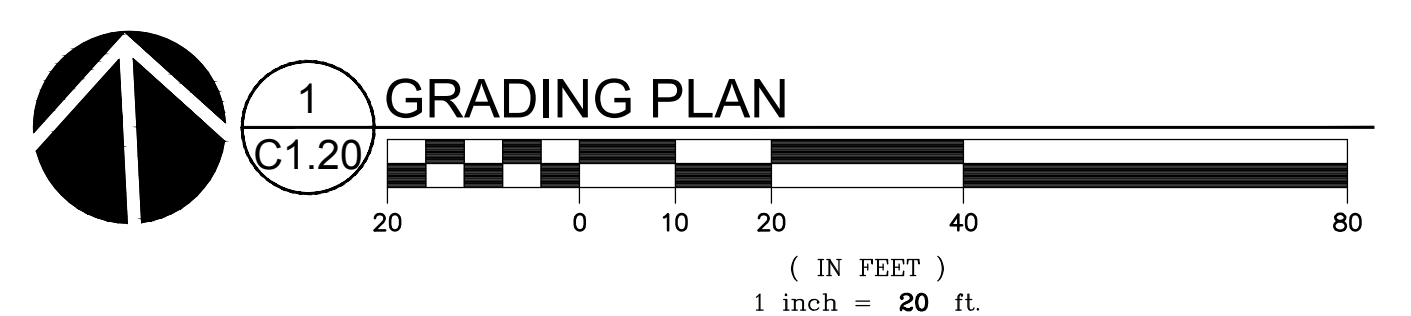
PARKING TYPE	REQUIRED STALLS		PROVIDED STALLS
	MINIMUM	MAXIMUM	
STANDARD	0	NONE	38
COMPACT	0	26	24
ACCESSIBLE	0	3	3
TOTAL PARKING	0	NONE	65
PARKING RATIO (SPACES/1,000 SF)	0	4.1	4.1
BICYCLE PARKING	REQUIRED SPACES		PROVIDED SPACES
SHORT TERM (1/5,000 SF, 2 MIN.)	4	-	4
LONG TERM	0	-	0
TOTAL BICYCLE PARKING	4		4



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2 CROSS SECTION AT WEST
 C1.20 HORIZ: 1" = 10'
 VERT: 1" = 5'



STORMWATER PLANT SCHEDULE

PER CITY OF WILSONVILLE STORMWATER AND SURFACE WATER DESIGN & CONSTRUCTION STANDARDS - SECTION 3 - PUBLIC WORKS STANDARDS (2015)

LANDSCAPE PLAN FACILITY AREA CALCULATIONS INCLUDE TOP OF FREEBOARD. CIVIL PLAN FACILITY AREA CALCULATIONS REPORT TO TOP OF OVERFLOW INLET, EXCLUDING THE FREEBOARD.

PROVIDE AT LEAST 50% EVERGREEN PLANTS AND AT LEAST 2 SPECIES OF HERBACEOUS AND SMALL SHRUBS/GROUND COVER PLANT COMMUNITIES.

MOIST (ZONE A) VEGETATION TYPE	QUANTITY	SIZE
GROUND COVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	4/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	3/100 SF	30" HEIGHT
DRY (ZONE B) VEGETATION TYPE	QUANTITY	SIZE
GROUND COVER PLANTS	115/100 SF	#1 CONTAINER
SMALL SHRUBS	4/100 SF	#1 CONTAINER
LARGE SHRUBS / SMALL TREES	3/100 SF	30" HEIGHT
TREE (DECIDUOUS) OR	1/100 SF	1" CALIPER
TREE (EVERGREEN)	1/100 SF	6" HEIGHT

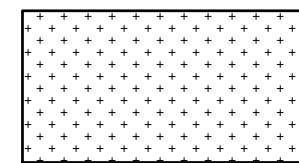
PLANT LIST						
FACILITY A / RAIN GARDEN						
PLANT NAME	SIZE	SPACING	EVER-GREEN	ZONE A	ZONE B	
REQUIRED HERBACEOUS / GROUND COVER PLANTS (115 PER 100 SF)				2217	657	
ARCTOSTAPHYLOS UVA-URSI / KINNIKINICK	#1	12" OC	YES			357
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	740		
FRAGARIA CHILOENSIS / BEACH STRAWBERRY	#1	12" OC	YES			150
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	740		
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	#1	12" OC	YES	737	150	
REQUIRED SMALL SHRUBS (4 PER 100 SF)				77	23	
CORNUS SERCIA 'KELSEY' / KELSEY DOGWOOD	#2	36"	NO	37	10	
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	36"	YES	40		
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	36"	NO		13	
REQUIRED LARGE SHRUBS / SMALL TREES (3 PER 100 SF)				58	17	
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	48"	NO	18		
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	48"	NO	20	9	
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	48"	NO	20	8	
REQUIRED TREES (1 PER 100 SF)				0	6	
CORNUS NUTTALII / PACIFIC DOGWOOD	1" CAL	AS SHOWN	NO		3	
ACER CIRCINATUM / VINE MAPLE	1" CAL	AS SHOWN	NO		3	
TOTAL PLANTS IN FACILITY				3,055		
TOTAL EVERGREEN PLANTS				2,914		
% EVERGREEN IN FACILITY				95.4%		

PLANT LIST						
FACILITY B / SWALE						
PLANT NAME	SIZE	SPACING	EVER-GREEN	ZONE A	ZONE B	
REQUIRED HERBACEOUS / GROUND COVER PLANTS (115 PER 100 SF)				338	1,137	
ARCTOSTAPHYLOS UVA-URSI / KINNIKINICK	#1	12" OC	YES			617
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	114		
FRAGARIA CHILOENSIS / BEACH STRAWBERRY	#1	12" OC	YES			260
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	114		
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	#1	12" OC	YES	110	260	
REQUIRED SMALL SHRUBS (4 PER 100 SF)				12	40	
CORNUS SERCIA 'KELSEY' / KELSEY DOGWOOD	#2	36"	NO	6	20	
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	36"	YES	6		
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	36"	NO		20	
REQUIRED LARGE SHRUBS / SMALL TREES (3 PER 100 SF)				9	30	
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	48"	NO	3		
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	48"	NO	3	15	
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	48"	NO	3	15	
REQUIRED TREES (1 PER 100 SF)				0	10	
CORNUS NUTTALII / PACIFIC DOGWOOD	1" CAL	AS SHOWN	NO		5	
ACER CIRCINATUM / VINE MAPLE	1" CAL	AS SHOWN	NO		5	
TOTAL PLANTS IN FACILITY				1,576		
TOTAL EVERGREEN PLANTS				1,481		
% EVERGREEN IN FACILITY				93.9%		

STORMWATER NOTES

- PLANTING SCHEDULE: CONTAINERIZED STOCK SHALL BE INSTALLED ONLY FROM FEBRUARY 1 THROUGH MAY 1 AND OCTOBER 1 THROUGH NOVEMBER 15. BARE ROOT STOCK SHALL BE INSTALLED ONLY FROM DECEMBER 15 THROUGH APRIL 15. SEEDING SHALL OCCUR ONLY BETWEEN MARCH 1 THROUGH MAY 15 AND SEPTEMBER 1 THROUGH OCTOBER 15.
- EROSION CONTROL: GRADING, SOIL PREPARATION, AND SEEDING SHALL BE PERFORMED DURING OPTIMAL WEATHER CONDITIONS AND AT LOW FLOW LEVELS TO MINIMIZE SEDIMENT IMPACTS. BIODEGRADABLE FABRICS SUCH AS BURLAP MAY BE USED TO SECURE PLANT PLUGS IN PLACE AND TO DISCOURAGE FLOATING UPON INUNDATION. NO PLASTIC MESH THAT CAN ENTANGLE WILDLIFE IS PERMITTED.
- GROWING MEDIUM INSTALLATION:
 - PROTECT GROWING MEDIUM FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE.
 - PLACE MEDIUM IN LOOSE LIFTS, NOT TO EXCEED 8-INCHES AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. THE MATERIAL SHALL NOT OTHERWISE BE MECHANICALLY COMPACTED.
 - WEATHER PERMITTING, PLANTS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER PLACING AND GRADING THE GROWING MEDIUM IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.
 - TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION MEASURES ARE FUNCTIONAL, INCLUDING PROTECTION OF OVERFLOW STRUCTURES.
 - IN ALL CASES, THE FACILITY MUST BE PROTECTED FROM FOOT AND EQUIPMENT TRAFFIC THAT IS UNRELATED TO THE CONSTRUCTION OF THE FACILITY. TEMPORARY FENCING OR WALKWAYS SHOULD BE INSTALLED AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE FACILITY. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED IN THE FACILITY.
 - STORMWATER MANAGEMENT FACILITIES SHALL BE KEPT CLEAN AND SHALL NOT BE USED AS EROSION AND SEDIMENT CONTROL STRUCTURES DURING CONSTRUCTION.
 - PLACEMENT OF THE GROWING MEDIUM WILL NOT BE ALLOWED WHEN THE GROUND IS FROZEN OR SATURATED OR WHEN THE WEATHER IS DETERMINED TO BE TOO WET.
- MULCHING FOR STORMWATER FACILITIES SHALL BE PER SECTION A.3.7. USE OF MULCH IN FREQUENTLY INUNDATED AREAS SHALL BE LIMITED TO AVOID ANY POSSIBLE WATER QUALITY IMPACTS INCLUDING THE LEACHING OF TANNINS AND NUTRIENTS, AND THE MIGRATION OF MULCH INTO WATERWAYS. MULCHES SHALL BE STABLE AND INERT MATTER OF SUFFICIENT MASS AND DENSITY THAT IT WILL NOT FLOAT IN STANDARD FLOWS. MULCH COVER SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE FACILITY WITH MINIMUM THICKNESS OF 2-INCHES IN DEPTH.
- PLANT PROTECTION FROM WILDLIFE: DEPENDING ON SITE CONDITIONS, APPROPRIATE MEASURES SHALL BE TAKEN TO LIMIT WILDLIFE-RELATED DAMAGE. IF BEAVERS OR NUTRIA ARE PRESENT, PROTECT THE MAIN STEM OF ALL TREES WITHIN 100' OF THE EDGE OF WATER WITH 3/8" OF WIRE MESH.
- FERTILIZER SHOULD GENERALLY BE AVOIDED IN STORMWATER FACILITIES. FERTILIZE ALL PLANTS DURING ESTABLISHMENT AS NEEDED WITH SLOW RELEASE, ORGANIC (LOW YIELD) MATERIAL.
- IRRIGATION: A CITY APPROVED IRRIGATION SYSTEM MAY BE USED DURING THE 2-YEAR ESTABLISHMENT PERIOD. WATERING SHALL BE AT A RATE TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION DURING ESTABLISHMENT. OTHER IRRIGATION TECHNIQUES, SUCH AS DEEP WATERING, MAY BE ALLOWED WITH PRIOR APPROVAL BY THE CITY'S AUTHORIZED REPRESENTATIVE.
- MAINTENANCE: CHECK FOR WEEDS REGULARLY. CHECK MULCH REGULARLY AND MAINTAIN EVEN COVERAGE. REPLANT BARE PATCHES AS NECESSARY TO COMPLY WITH THE FACILITY'S COVERAGE REQUIREMENTS AND MAINTENANCE PLAN. IMPLEMENT ALL OF THE REQUIRED MAINTENANCE ACTIVITIES LISTED IN THE CITY OF WILSONVILLE VEGETATED STORMWATER MANAGEMENT FACILITY DETAILS.

STREAM BUFFER PLANT SCHEDULE



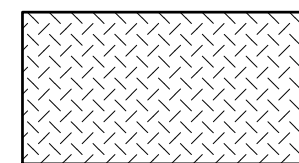
STREAM BUFFER (4,704 SF)

PLANT SPECIES	PERCENTAGE	QTY.	SIZE	SPACING
TREES:				
ACER CIRCINATUM / VINE MAPLE	---	5	1" CAL.	AS SHOWN
RHAMNUS PURSHIANA / CASCARA	---	4	1" CAL.	AS SHOWN

LARGE SHRUBS:	PERCENTAGE	QTY.	SIZE	SPACING
HOLODISCUS DISCOLOR / OCEANSPRAY	5% (236 SF)	13	#2	48" OC
OEMLERIA CERASIFORMIS / INDIAN PLUM	5% (236 SF)	13	#2	48" OC
PHYSOCARPUS CAPITATUS / PACIFIC NINBARK	5% (236 SF)	13	#2	48" OC
RIBES SANGUINEUM / RED FLOWERING CURRANT	5% (236 SF)	13	#2	48" OC
SPIREA DOUGLASII / WESTERN SPIREA	5% (236 SF)	13	#2	48" OC

SMALL SHRUBS:	PERCENTAGE	QTY.	SIZE	SPACING
GAULTHERIA SHALLON / SALAL	15% (705 SF)	72	#1	36" OC
MAHONIA AQUIFOLIUM / OREGON GRAPE	15% (705 SF)	72	#1	36" OC
MAHONIA REPENS / CREEPING OREGON GRAPE	15% (705 SF)	72	#1	36" OC
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	15% (705 SF)	72	#1	36" OC
SYMPHORICARPOS ALBUS / SNOWBERRY	15% (705 SF)	72	#1	36" OC

IMPACT AREA PLANT SCHEDULE



IMPACT AREA MITIGATION PLANTING (280 SF)

PLANT SPECIES	PERCENTAGE	QTY.	SIZE	SPACING
LARGE SHRUBS:				
RIBES SANGUINEUM / RED FLOWERING CURRANT	5% (14 SF)	1	#2	48" OC
SMALL SHRUBS:				
GAULTHERIA SHALLON / SALAL	30% (84 SF)	9	#1	36" OC
MAHONIA REPENS / LOW OREGON GRAPE	20% (56 SF)	6	#1	36" OC
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	25% (70 SF)	8	#1	36" OC
SYMPHORICARPOS ALBUS / SNOWBERRY	20% (56 SF)	6	#1	36" OC

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	MATURE H x W
TREES				
	ACER CIRCINATUM VINE MAPLE	5' HT. MIN.		15' x 15'
	ACER RUBRUM 'OCTOBER GLORY' BOWHALL RED MAPLE	12' HT. MIN.		50' x 50'
	CONIFEROUS TREE TO REMAIN	---		---
	CORNUS NUTTALII X FLORIDA 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD	1" CAL. B&B		25' x 20'
	DECIDUOUS TREE TO REMAIN	---		---
	RHAMNUS PURSHIANA CASCARA	1" CAL. B&B		30' x 25'
	STREET TREE TO REMAIN	---		---
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	12' HT. MIN.		45' x 30'
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA	2" CAL. B&B		60' x 40'
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	MATURE H x W
SHRUBS				
	BOUTELLOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA GRASS	2 GAL.	36" o.c.	3' x 3'
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	2 GAL.	24" o.c.	5' x 2'
	CLEMATIS X 'ARABELLA' ARABELLA CLEMATIS	1 GAL.	12" o.c.	1' x 4'
	CORNUS SERICEA 'FARROW' ARCTIC FIRE RED TWIG DOGWOOD	2 GAL.	48" o.c.	4' x 4'
	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD	2 GAL.	36" o.c.	2' x 3'
	FRAGRANT SWEET BOX SARCOCOCCA RUSCIFOLIA	2 GAL.	48" o.c.	4' x 4'
	MAHONIA AQUIFOLIUM OREGON GRAPE	2 GAL.	48" o.c.	6' x 4'
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	2 GAL.	36" o.c.	3' x 4'
	MAHONIA DOMESTICA 'LEMON-LIME' LEMON-LIME MAHONIA	2 GAL.	36" o.c.	3' x 3'
	PINUS MUGO 'SLO-MOUND' SLO-MOUND MUGO PINE	2 GAL.	48" o.c.	3' x 4'
	RIBES SANGUINEUM RED FLOWERING CURRANT	2 GAL.	60" o.c.	5' x 5'
	ROSA X 'NOA87400A' FLOWER CARPET AMBER ROSE	2 GAL.	36" o.c.	2' x 3'
	ROSA X 'RAD SUNNY' SUNNY KNOCK OUT SHRUB ROSE	2 GAL.	36" o.c.	3' x 3'
	SALVIA MEMOROSA 'CARADONNA' MEADOW SAGE	1 GAL.	18" o.c.	2' x 1.5'
	SPIRAEA BETULIFOLIA 'TOR GOLD' GLOW GIRL BIRCHLEAF SPIREA	2 GAL.	48" o.c.	4' x 4'
	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	2 GAL.	48" o.c.	3' x 4'
GROUND COVERS				
	ARCTOSTAPHYLOS UVA-URSI KINNIKINICK	1 GAL.	24" o.c.	
	CRUSHED ROCK SURFACING 1/4", CLEAN, NO FINES, COMPACTED	---		
	FRAGARIA CHILOENSIS BEACH STRAWBERRY	1 GAL.	24" o.c.	
	IMPACT AREA MITIGATION PLANTING SEE PLANT SCHEDULE L0.01	---		
	PLANTING BY OTHERS PRESERVE AND PROTECT	---		
	ROCK MULCH	---		
	1-2" WASHED DRAIN ROCK RUBUS CALYCAINOIDES 'EMERALD CARPET' EMERALD CARPET CREEPING BRAMBLE	1 GAL.	24" o.c.	
	STORMWATER ZONE A SEE STORMWATER PLANT SCHEDULE L0.01	---		
	STORMWATER ZONE B SEE STORMWATER PLANT SCHEDULE L0.01	---		
	STREAM BUFFER SEE STREAM BUFFER PLANT SCHEDULE L0.01	---		

SHEET INDEX

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L0.02	LANDSCAPE CODE PLAN
L0.03	TREE AND VEGETATION PROTECTION PLAN
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L1.11	PLANTING PLAN - SOUTH
L5.10	DETAILS

LANDSCAPE NOTES

GENERAL

- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
- NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE-CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.

PLANTING

- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
- SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUND COVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
- ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
- DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
- REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
- A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
- TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
- ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.

IRRIGATION

- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDE LOOP SYSTEM FOR OPTIMUM EFFICIENCY.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE OF 1"=20'.
- CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
- IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
- SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER.
- SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER NON-VEGETATED SURFACES.
- ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
- PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
- VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
- ZONE THE FOLLOWING AREAS SEPARATELY: STORMWATER AREAS, STREAM BUFFER AREAS, PERMANENT LANDSCAPE AREAS, AND TREES.
- QUICK COUPLERS TO BE PLACED EVERY 150 LINEAR FEET MAX INCLUDE QUICK COUPLER ADJACENT TO TRASH ENCLOSURE.
- IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
- PROVIDE SPRAY IRRIGATION WITHIN STREAM BUFFER, STORMWATER FACILITIES, AND AT NORTH END OF PARKING LOT WITHIN GROUND COVER AT WATER UTILITY ACCESS. PROVIDE DRIP IRRIGATION AROUND BUILDING, IN PLANTERS, AND WITHIN PARKING AREA.



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25117 SW Parkway
Avenue, Wilsonville,
OR, 97070

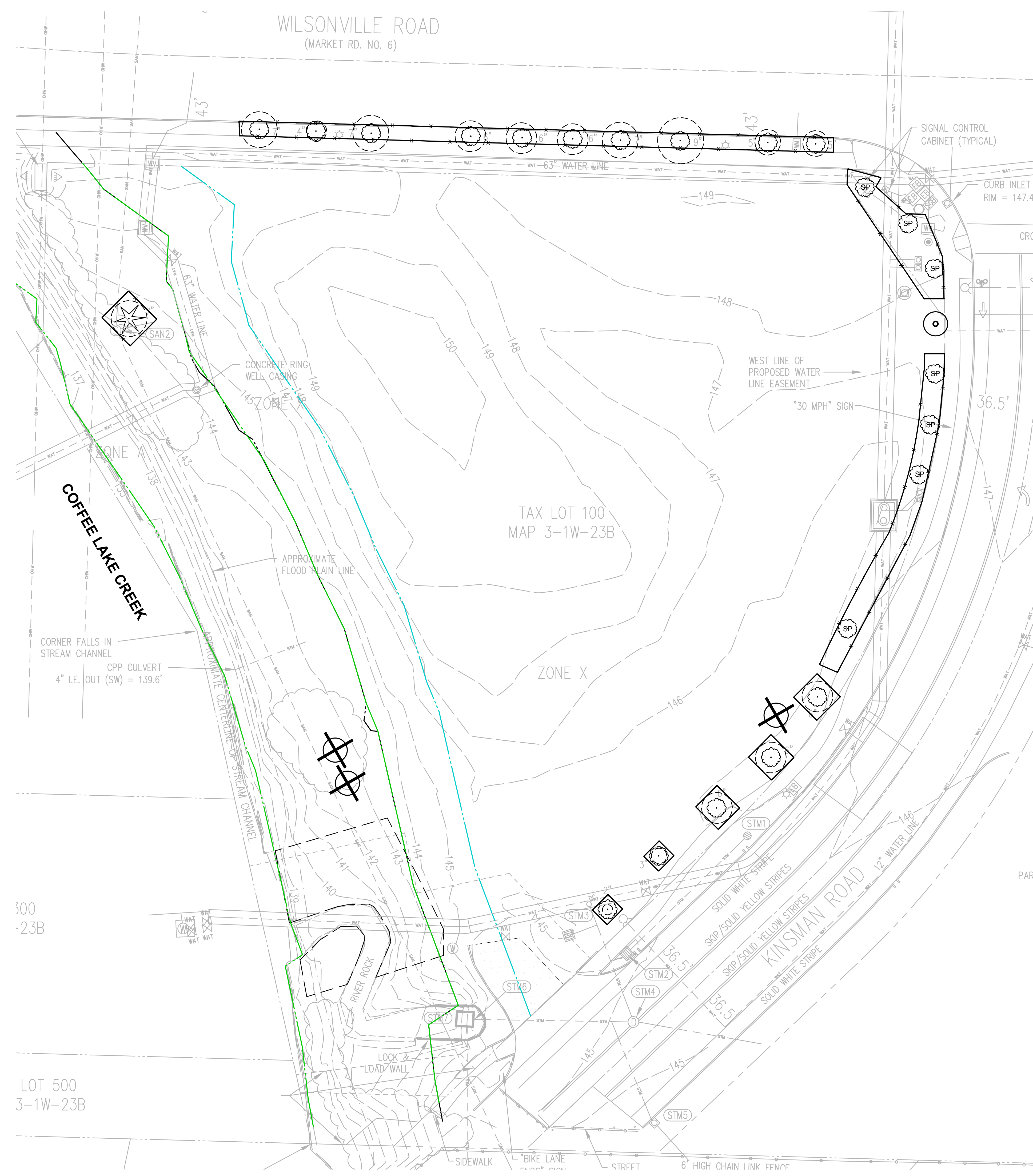
Project
CIS
COLLABORATION
CENTER

30125 SW KINSMAN RD.
WILSONVILLE, OR 97070



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Delta	Issued As	Issue Date



This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTES:
 1. FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
 2. FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.
 3. POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 4. FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/2/14	

2 TREE PROTECTION FENCING SCALE: NTS

DIAMETER OF TREE AT 4.5' ABOVE GRADE IS 12 INCHES
 ENCROACHMENTS SHALL BE NO CLOSER THAN THE DRIP LINE OF THE CANOPY WITHOUT PRIOR APPROVAL BY CITY AND ARBORIST.
 ROOT PROTECTION ZONE IS A 12 FOOT RADIUS CIRCLE (24' DIAMETER)

ENCROACHMENTS SHALL OCCUPY NO MORE THAN 25% OF THE TOTAL AREA IN THE ROOT PROTECTION ZONE

3 ROOT PROTECTION ZONE SCALE: NTS

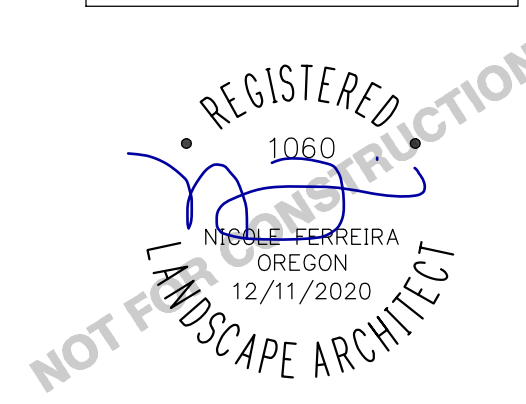
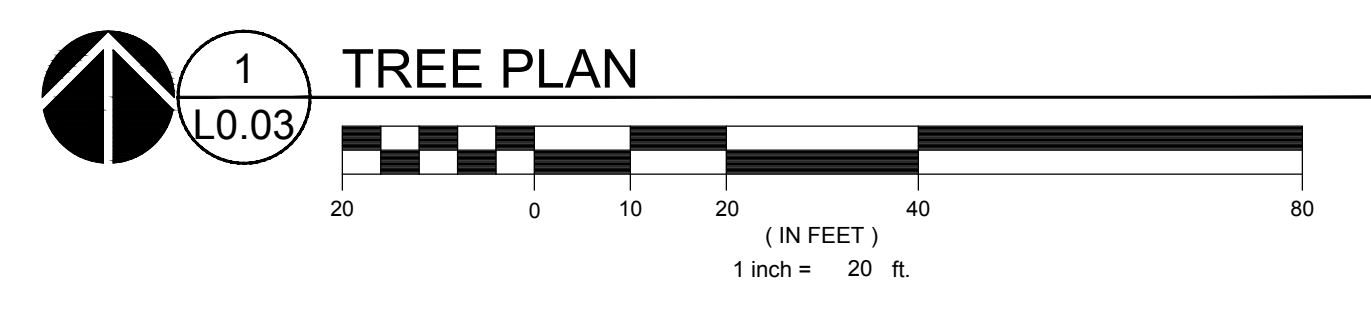
TREE SCHEDULE

- DECIDUOUS TREE TO REMAIN
- CONIFEROUS TREE TO REMAIN
- ROOT PROTECTION ZONE
- TREE TO REMOVE
- TREE TO BE PROVIDED UNDER SEPARATE PERMIT
- TREE BY OTHER PERMIT, TO BE RELOCATED
- TREE PROTECTION FENCING

TREES	QTY
CONIFEROUS TREE TO REMAIN	1
CONIFEROUS TREE TO REMOVE	2
ON-SITE DECIDUOUS TREE TO REMAIN	5
ON-SITE DECIDUOUS TREE TO REMOVE	1
OFF-SITE DECIDUOUS TREE TO REMAIN	10
OFF-SITE DECIDUOUS TREE TO REMOVE	0
TREE BY OTHER PERMIT TO REMAIN	7
TREE BY OTHER PERMIT TO RELOCATE	1

NOTES

- REFERENCE PLANTING PLAN FOR NEW TREE PLANTINGS.
- ALL EROSION CONTROL MEASURES AND TREE PROTECTION FENCING ARE TO BE INSTALLED PRIOR TO ANY DEMOLITION ACTIVITIES.
- PROTECT EXISTING LANDSCAPING TO THE MAXIMUM EXTENT PRACTICABLE.
- PROTECT ALL UNDERGROUND UTILITY SERVICES AND CONDUIT UNLESS NOTED OTHERWISE.
- CRITICAL ROOT ZONES AND TREE PROTECTION FENCING ONLY SHOWN FOR TREES AFFECTED BY DEVELOPMENT.
- ARBORIST MONITORING: ARBORIST SHALL BE ON SITE DURING EXCAVATION WITHIN CRITICAL ROOT ZONES OF EXISTING TREES.
- TREES REMOVED WITHIN THE SROZ WILL BE REPLANTED AT A 1:1 RATIO.
- NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT, OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK.
- DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND PROTECTED.
- PROPOSED TRENCHING AND EXCAVATION AROUND TREES SHALL BE COORDINATED WITH CONSULTING ARBORIST.
- WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT SEVER SMALLER ROOTS. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE.
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. PROVIDE TEMPORARY EARTH COVER, OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.
- FOR TREES TO BE PROVIDED UNDER SEPARATE PERMIT: IF TREES ARE INSTALLED PRIOR TO SITE WORK FOR THIS PROJECT, PROVIDE TREE AND VEGETATION PROTECTION AS SHOWN.



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
TREE AND VEGETATION PROTECTION PLAN

JOB NO. **2220098.00**

L0.03

REVISION SCHEDULE		
Delta	Issued As	Issue Date

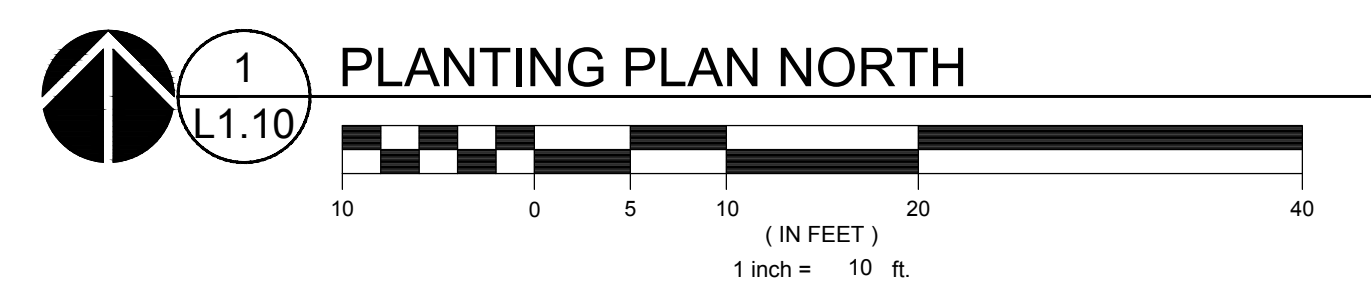
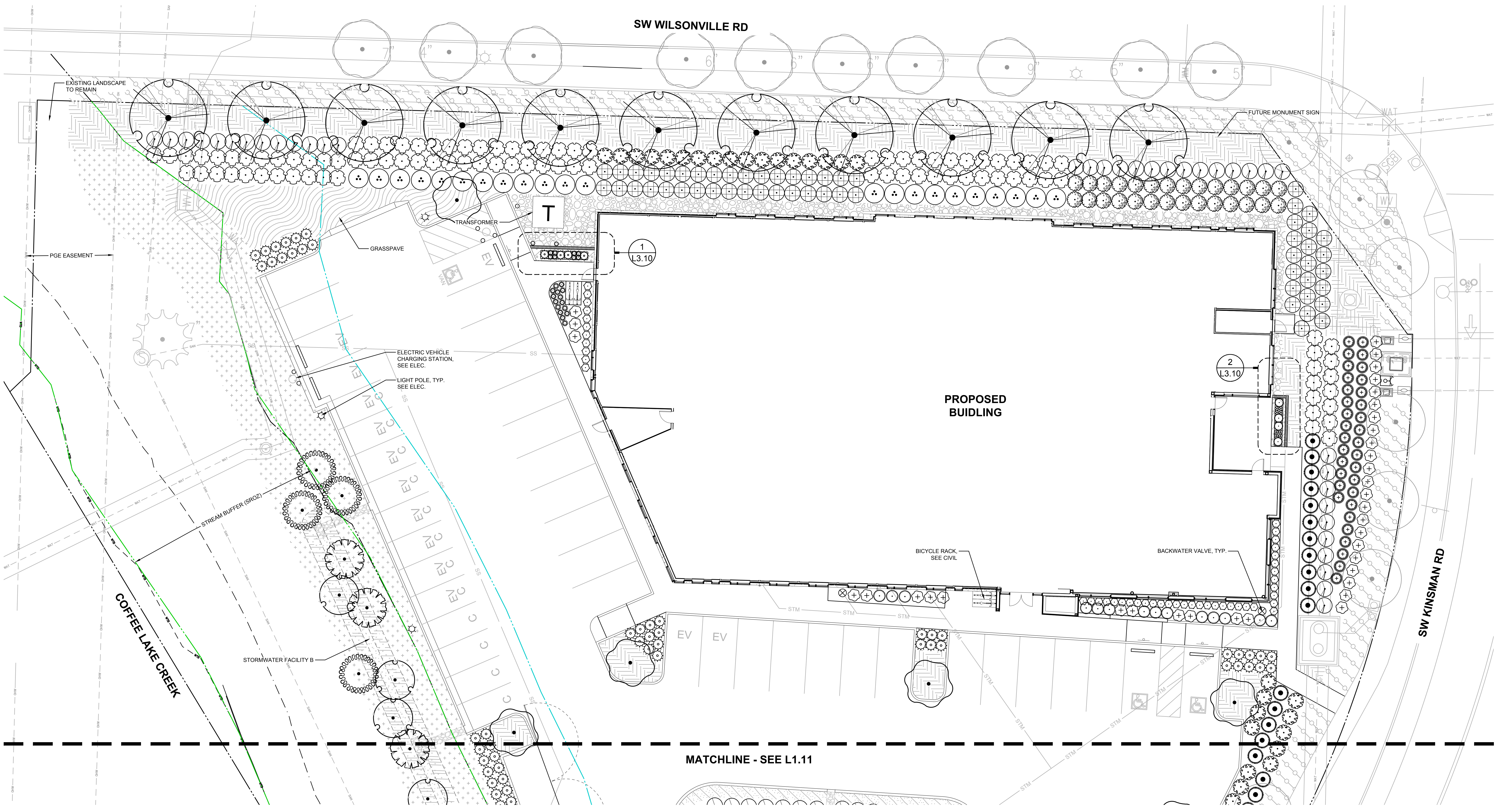
SHEET TITLE:
**PLANTING PLAN
NORTH**

SHEET

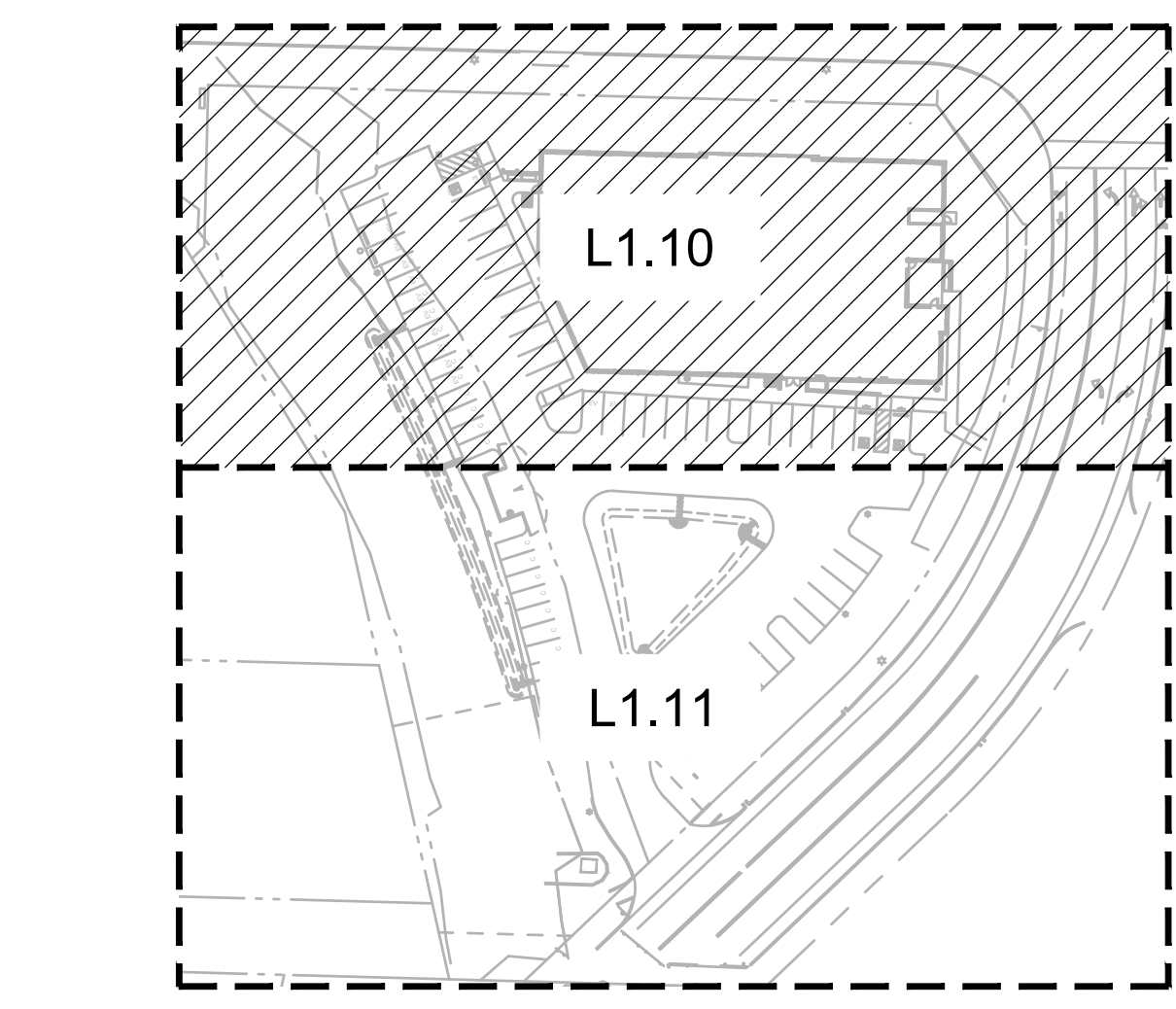
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JOB NO. **2220098.00**

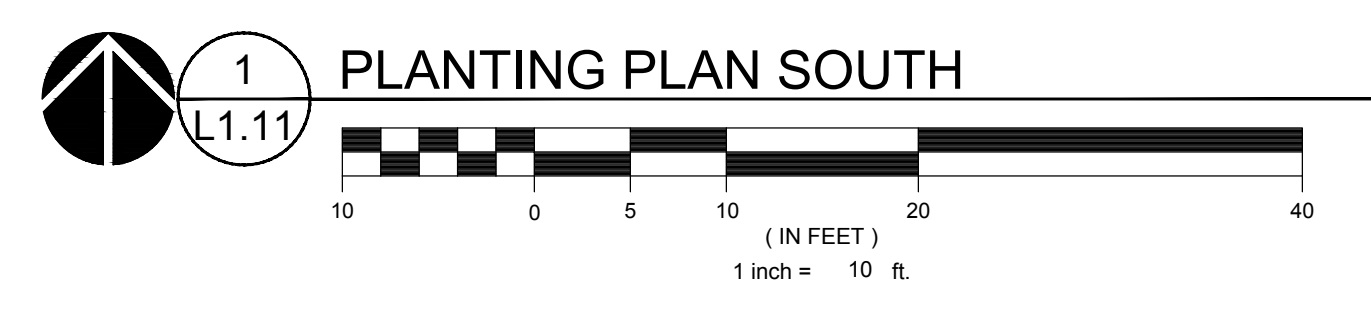
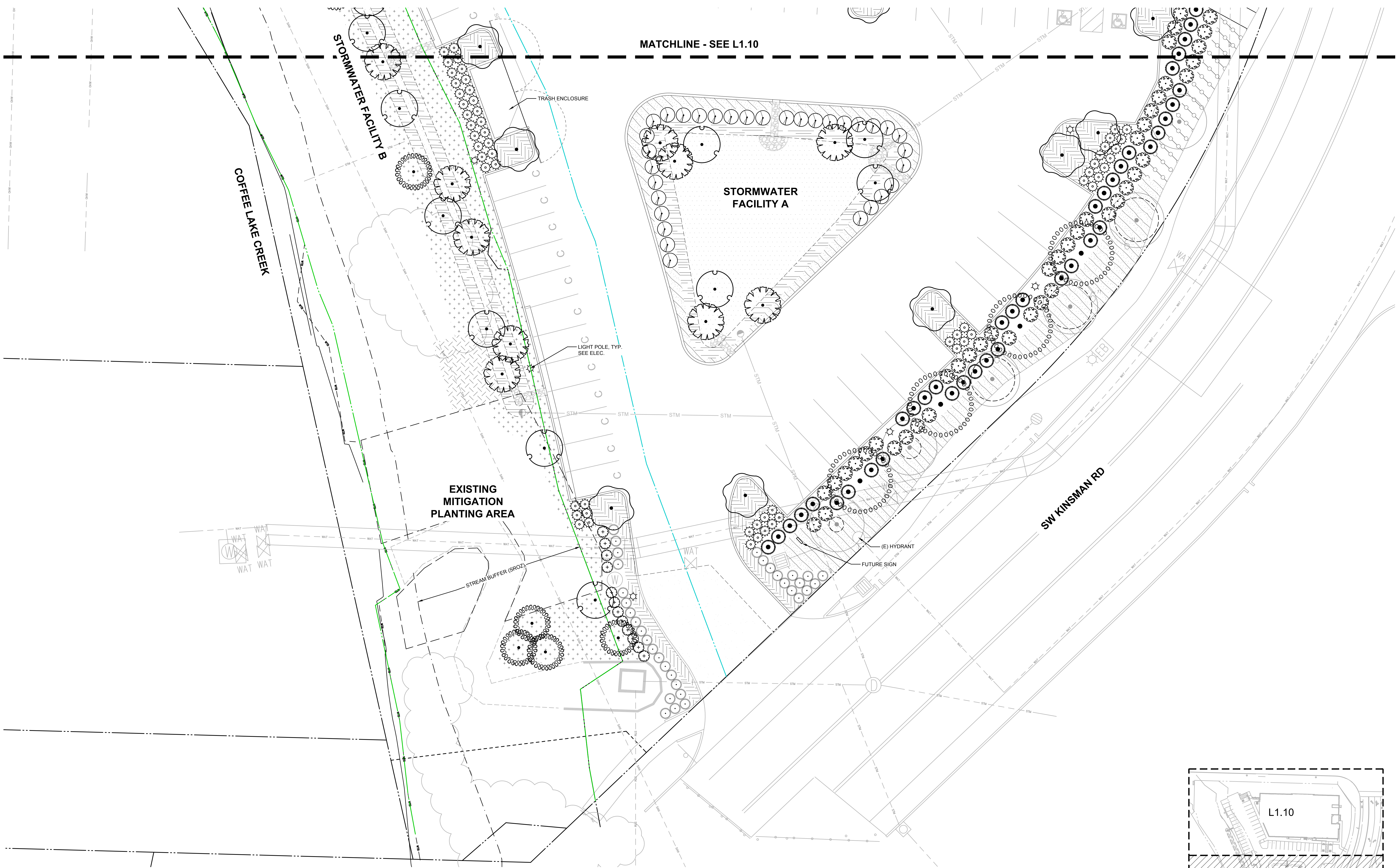
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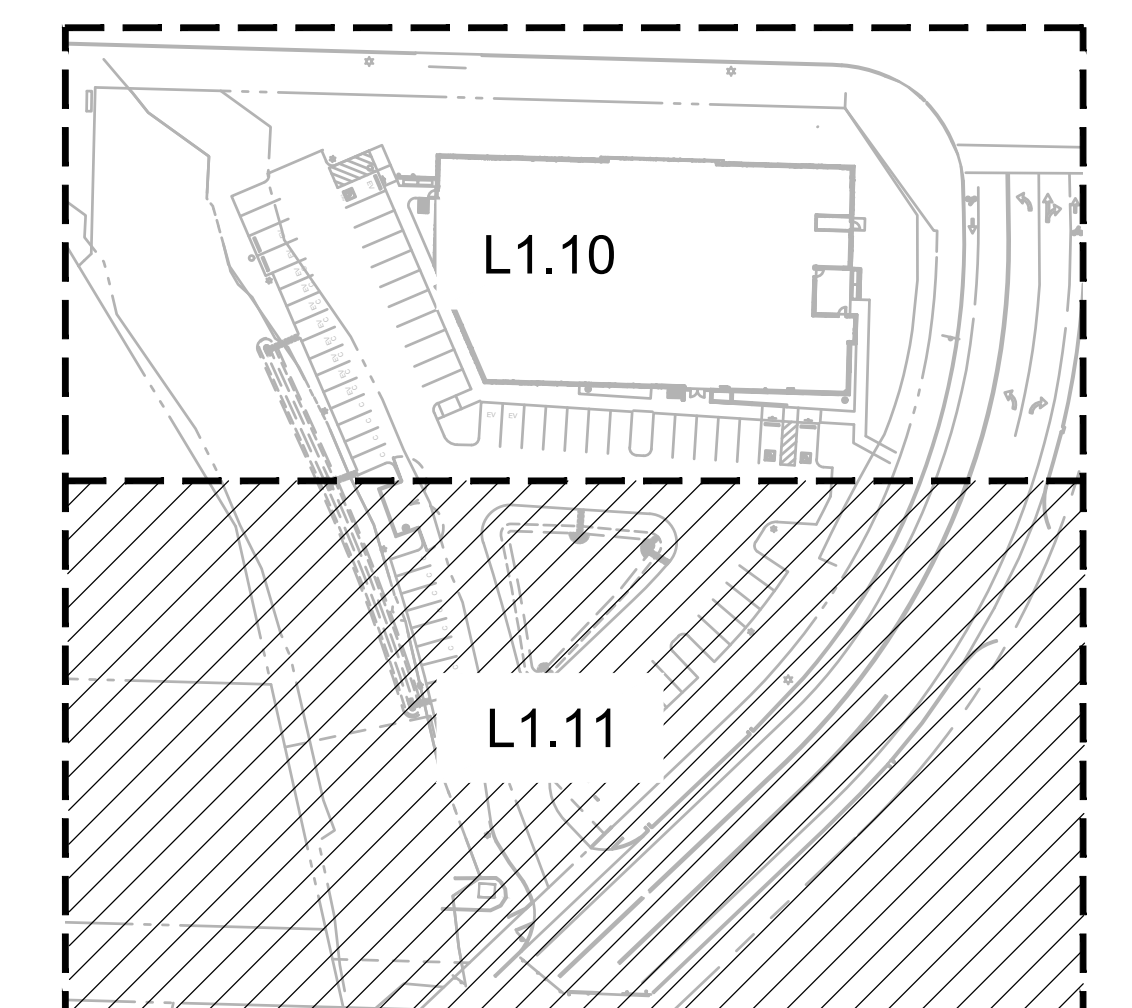
NOTES
1. SEE L0.01 FOR PLANT SCHEDULES



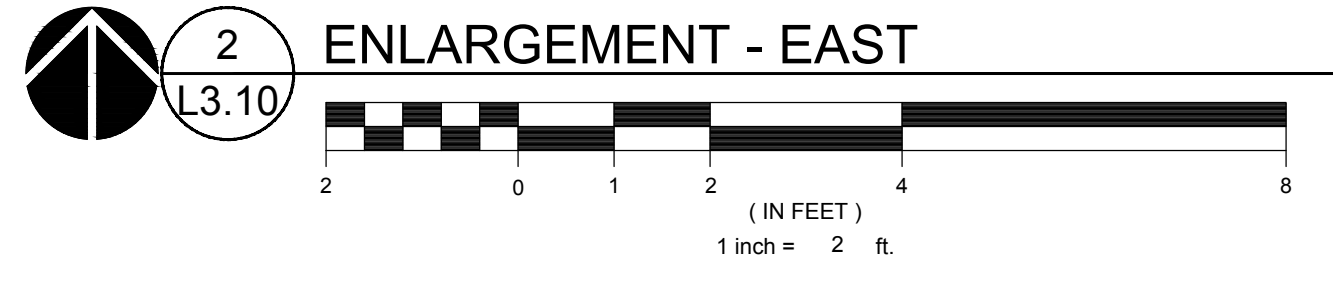
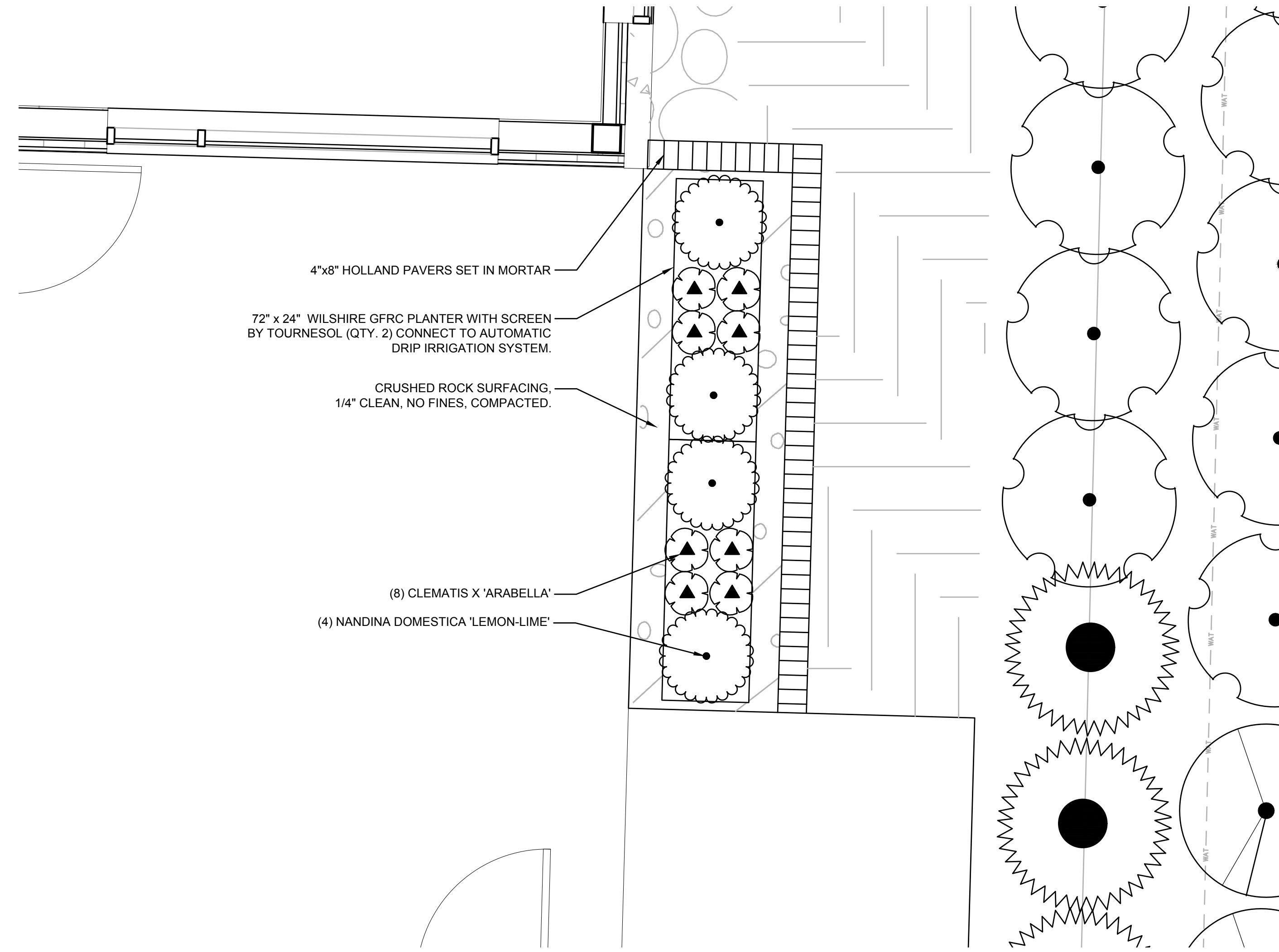
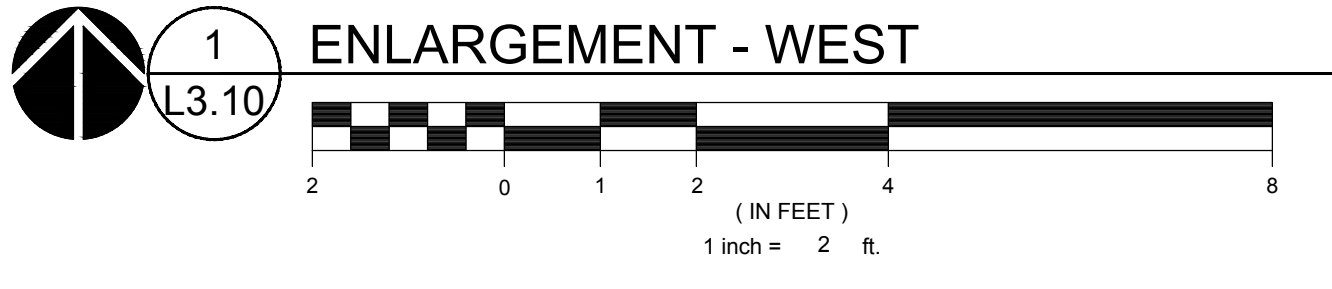
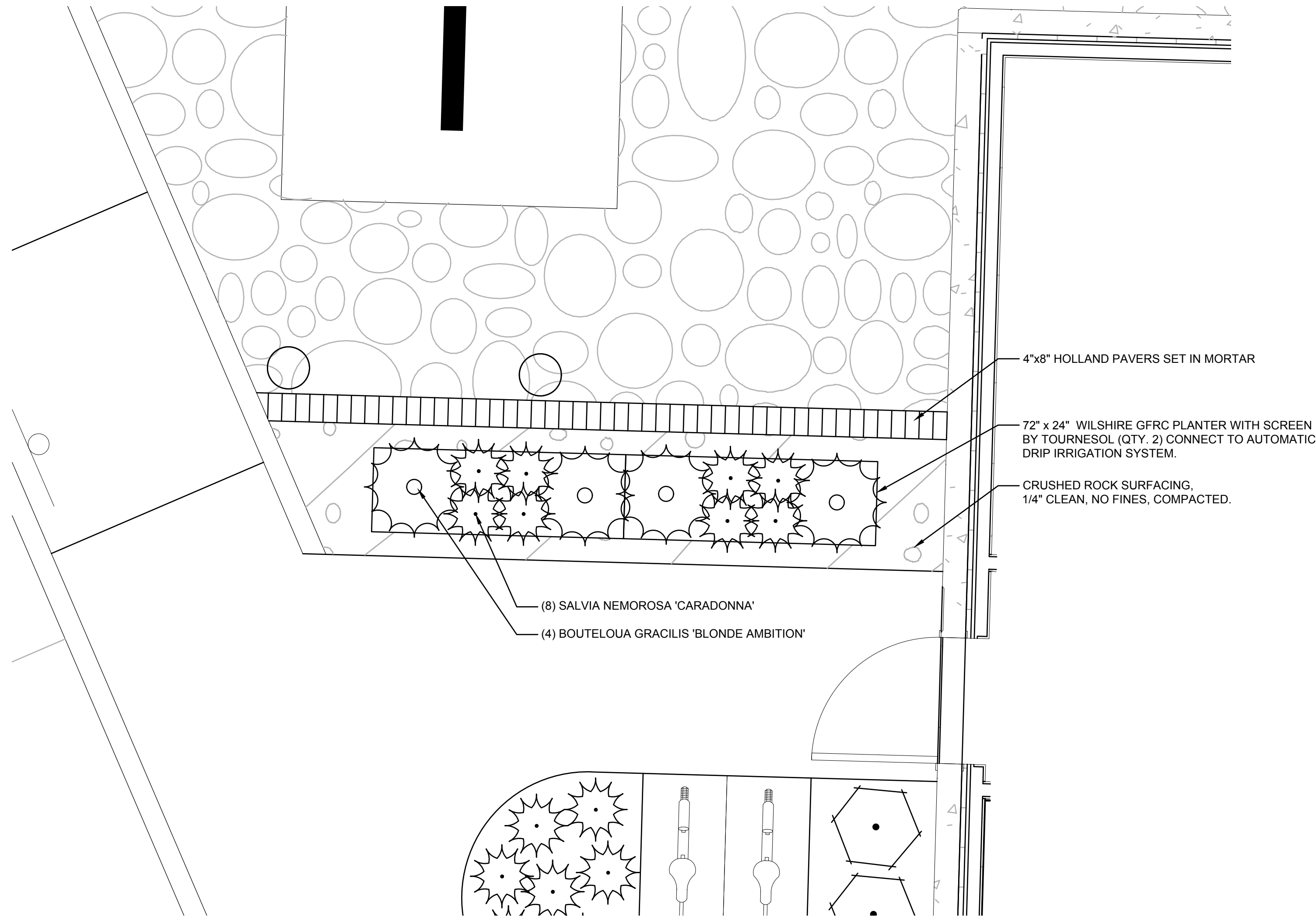
REVISION SCHEDULE		
Delta	Issued As	Issue Date



NOTES
1. SEE L0.01 FOR PLANT SCHEDULES



KEY MAP
SCALE: NTS



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Delta	Issued As	Issue Date

SHEET TITLE:
ENLARGEMENTS

SHEET

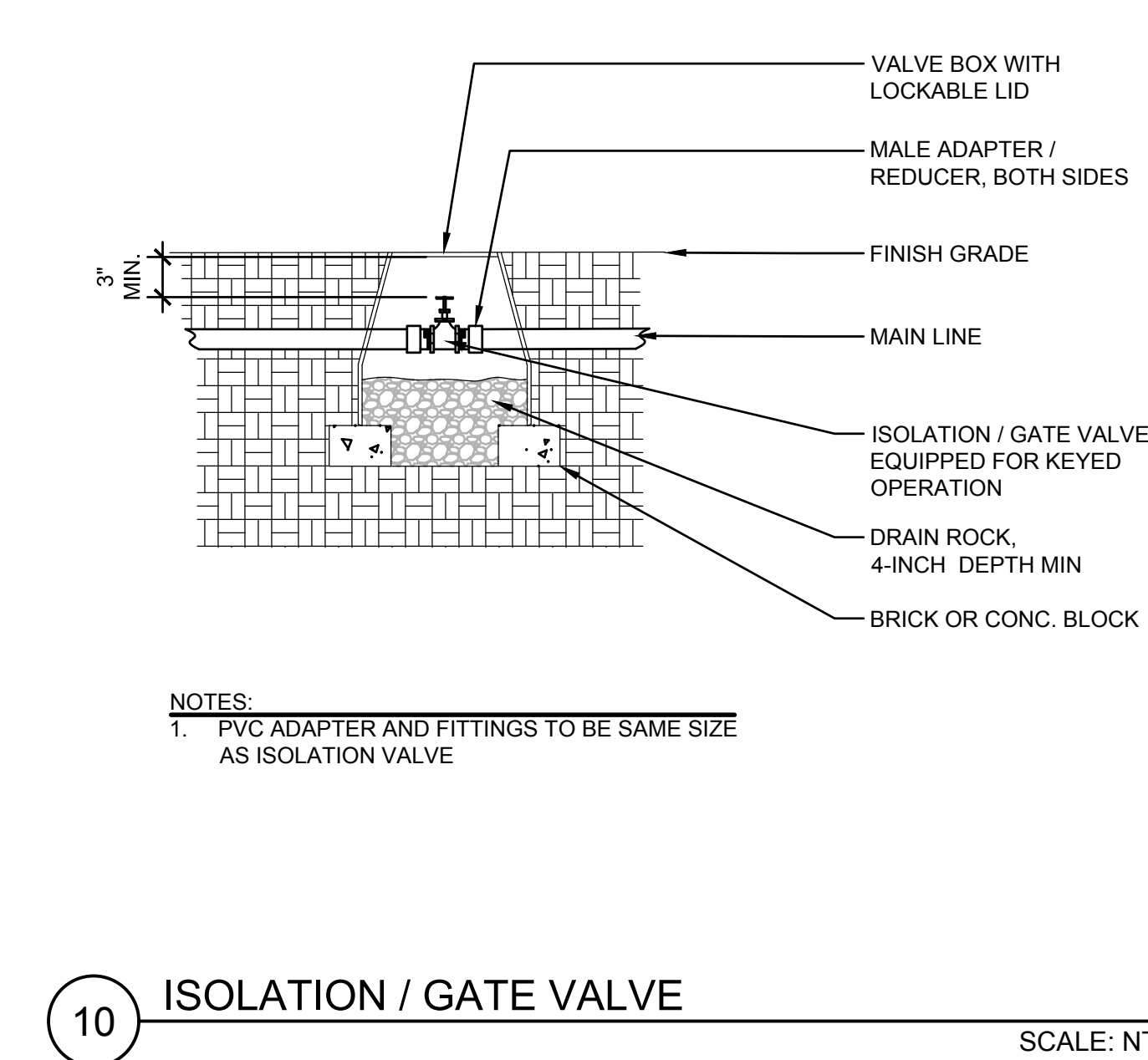
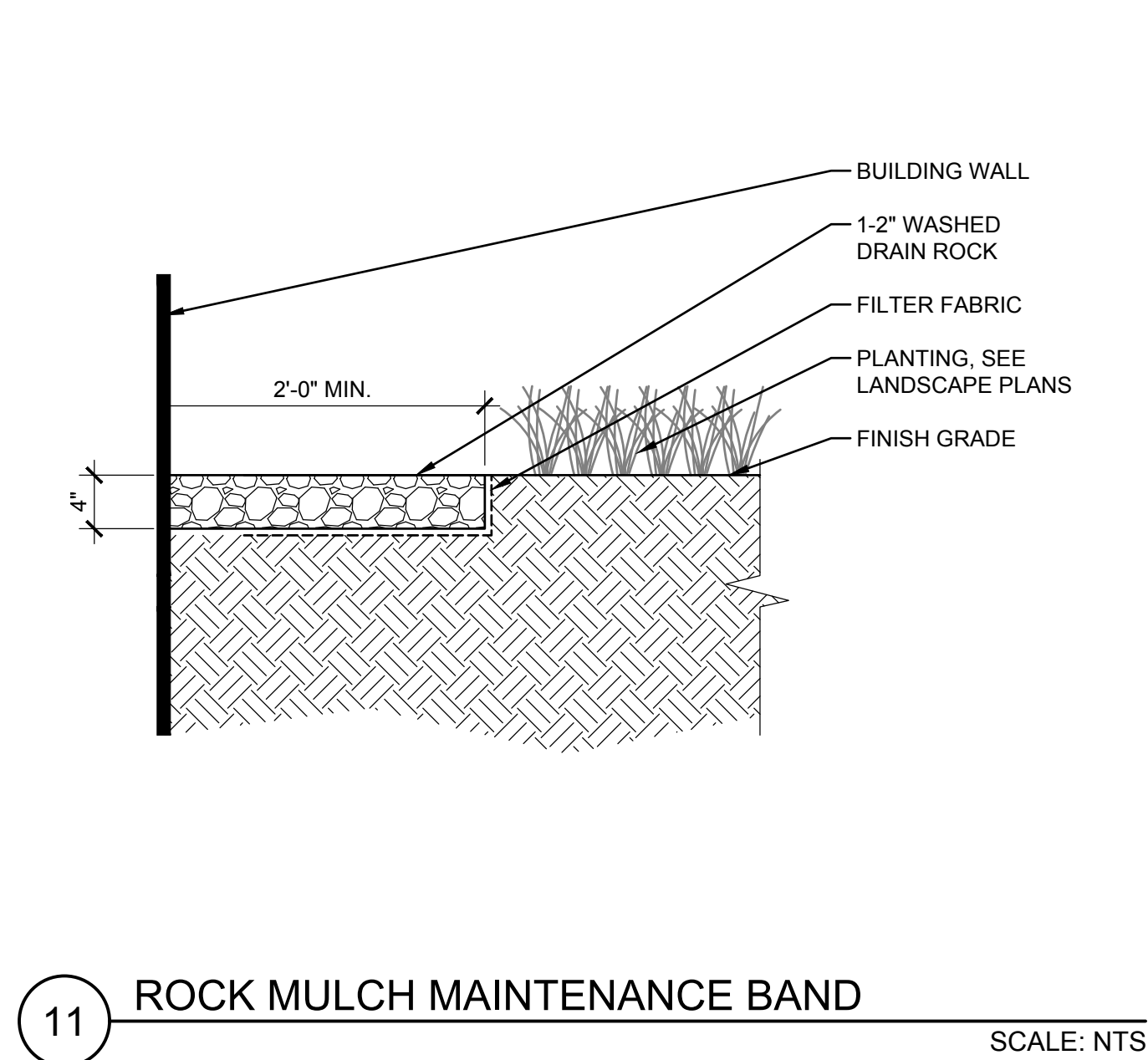
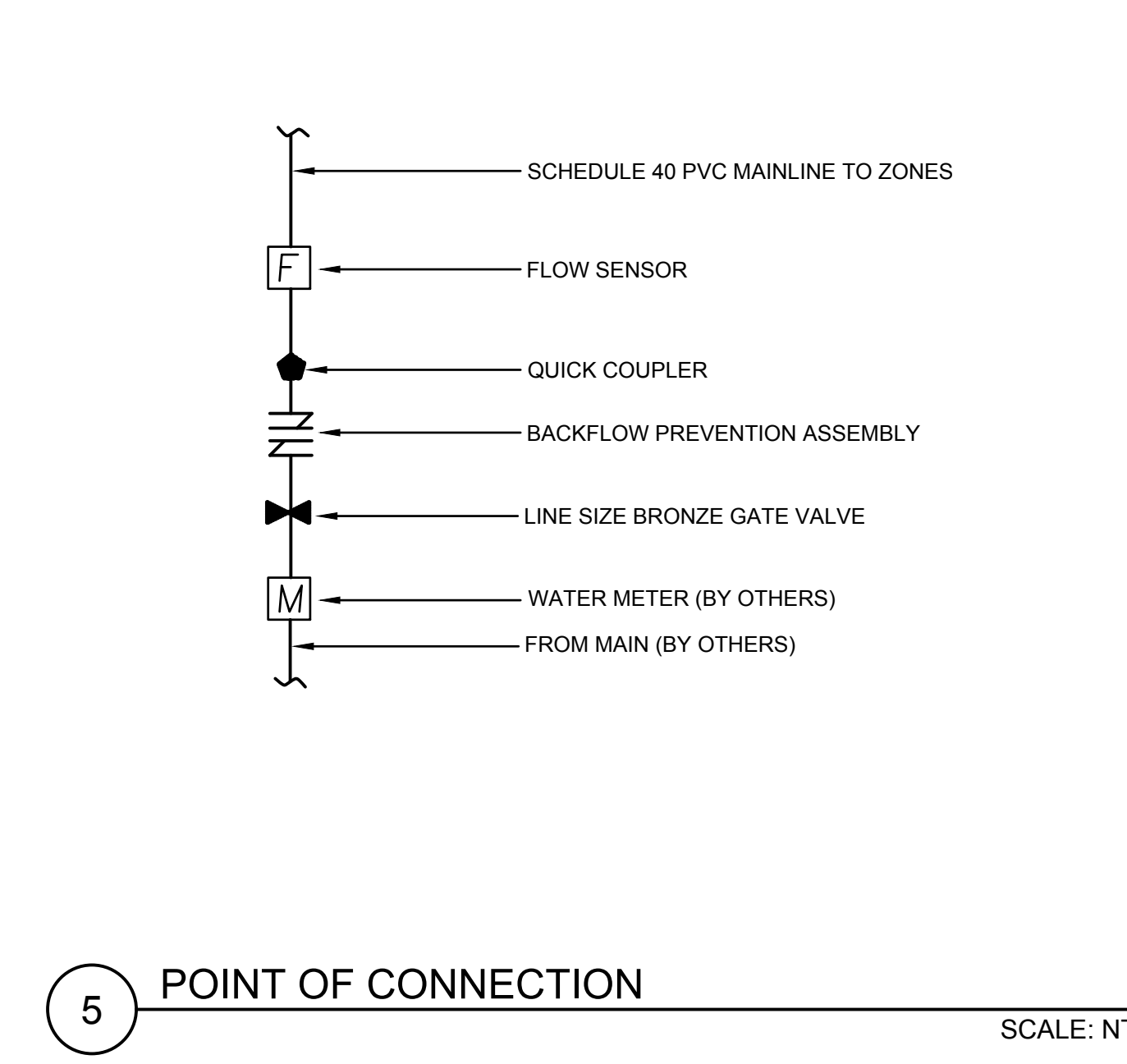
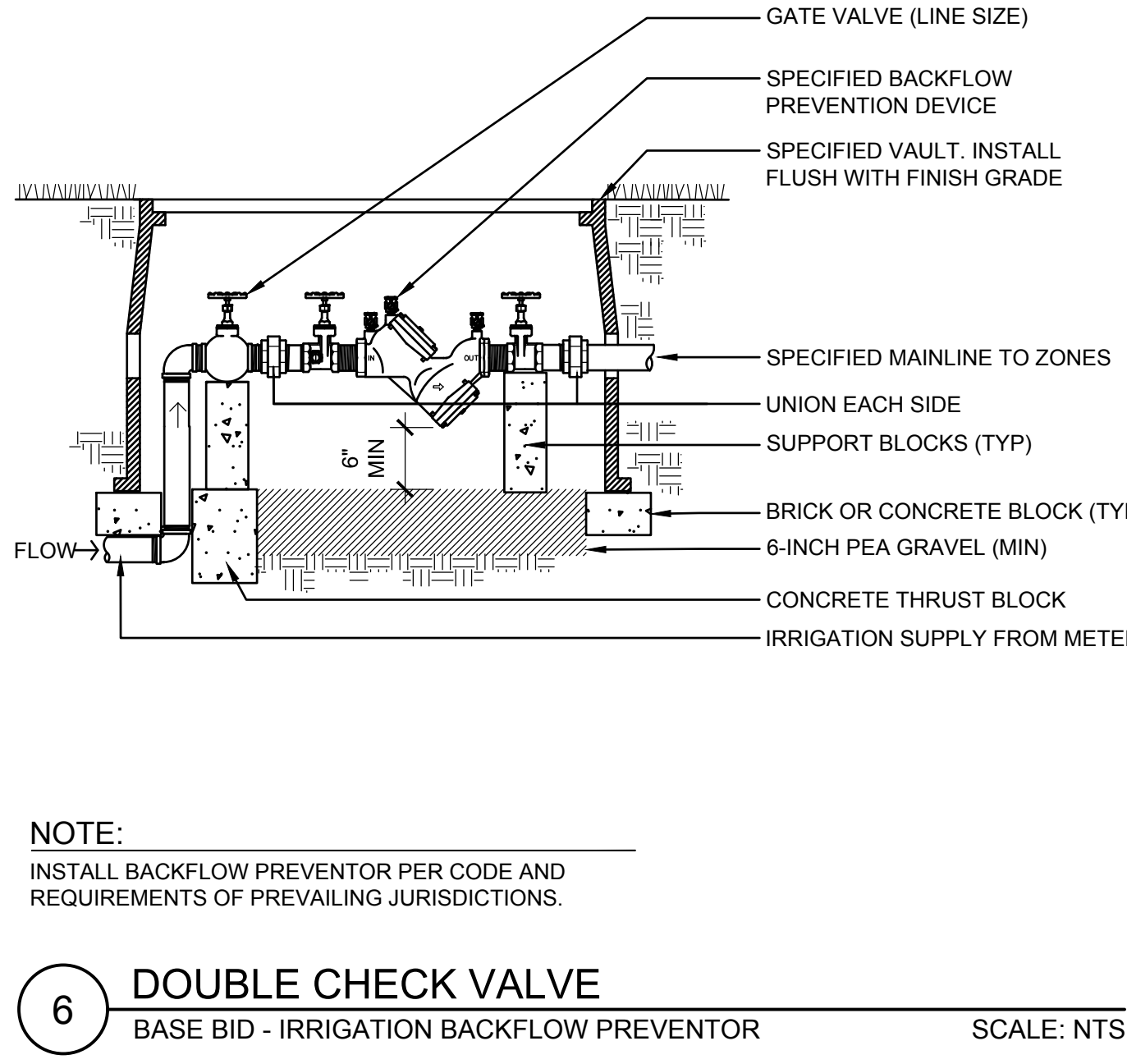
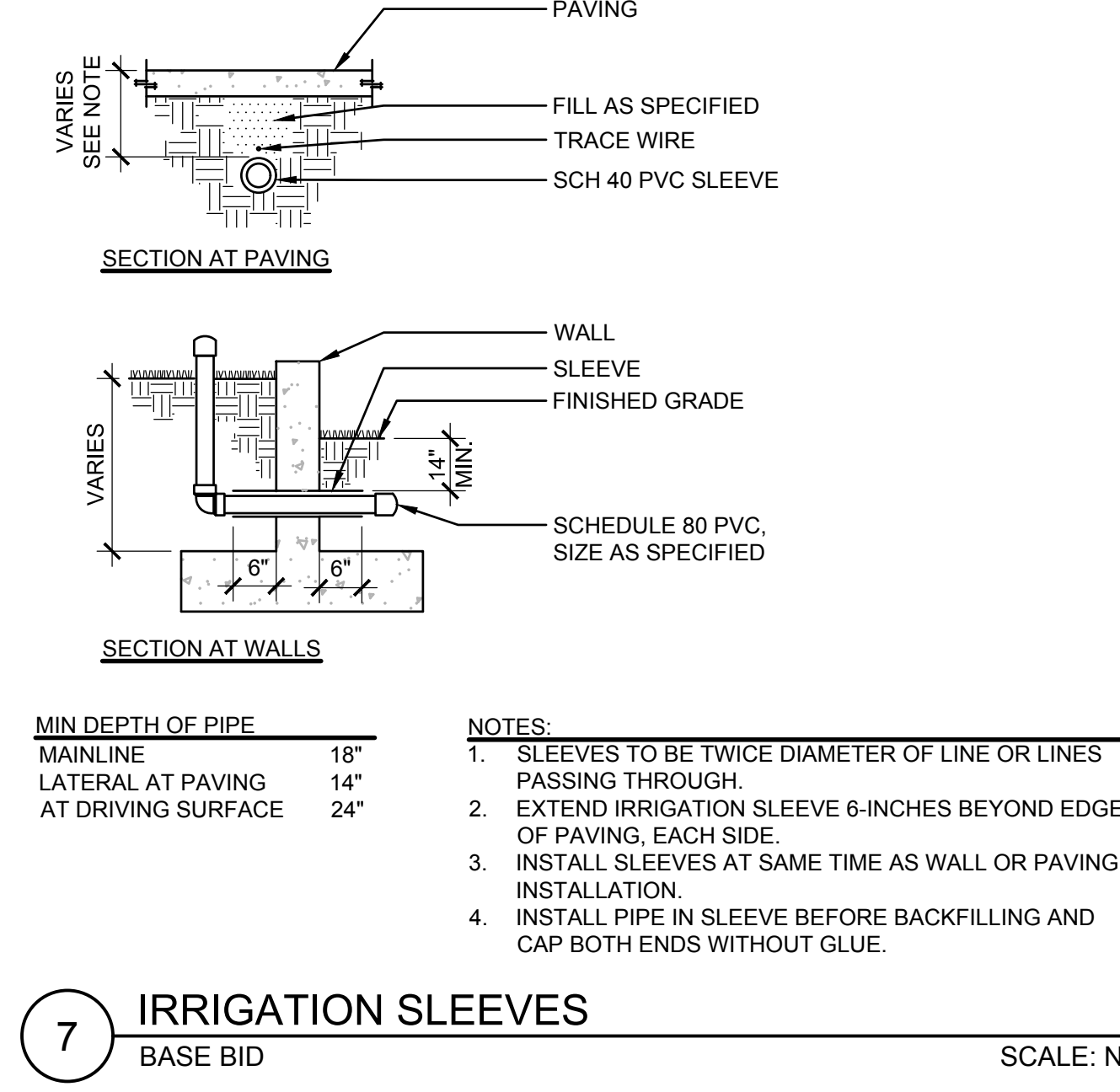
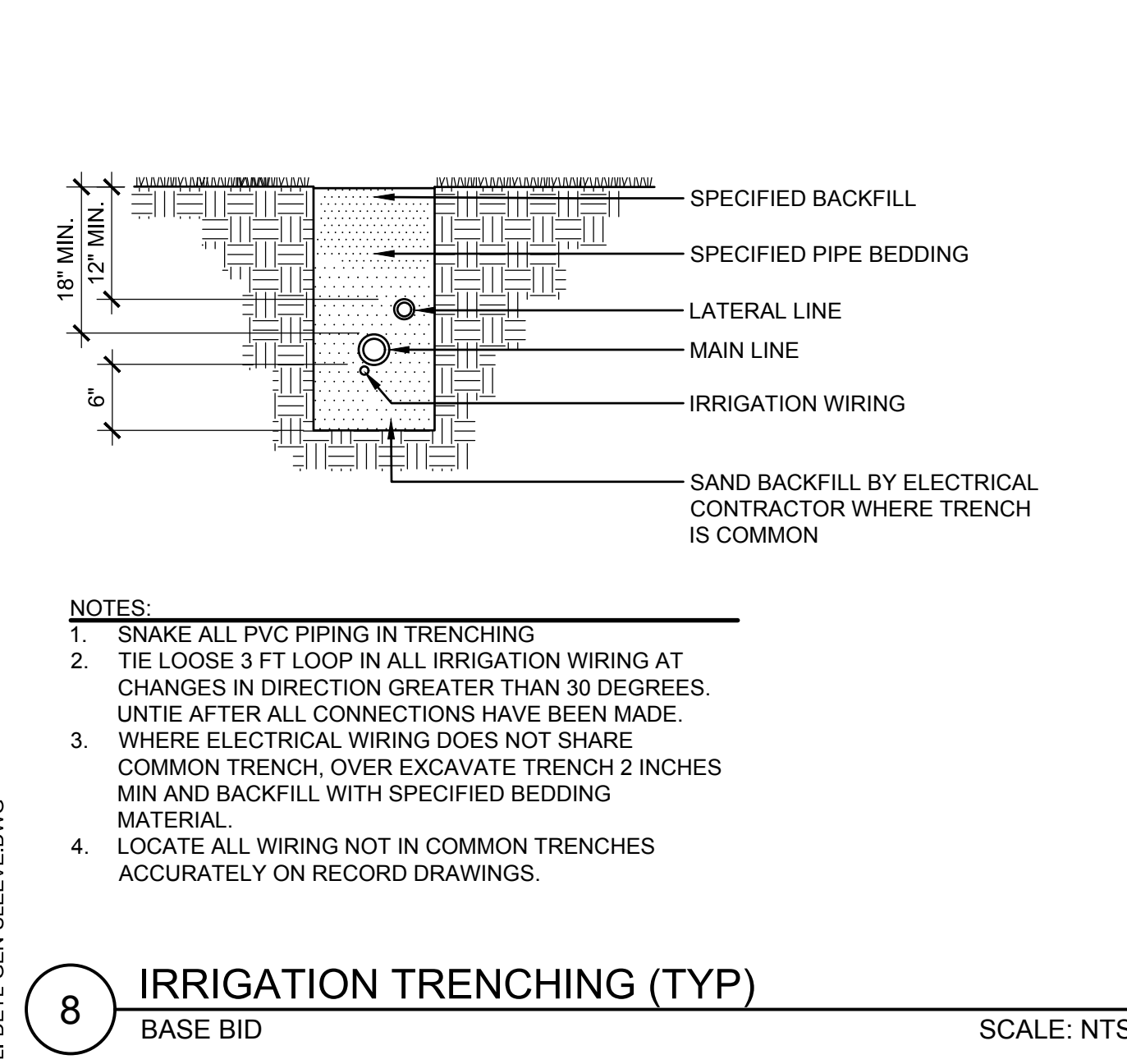
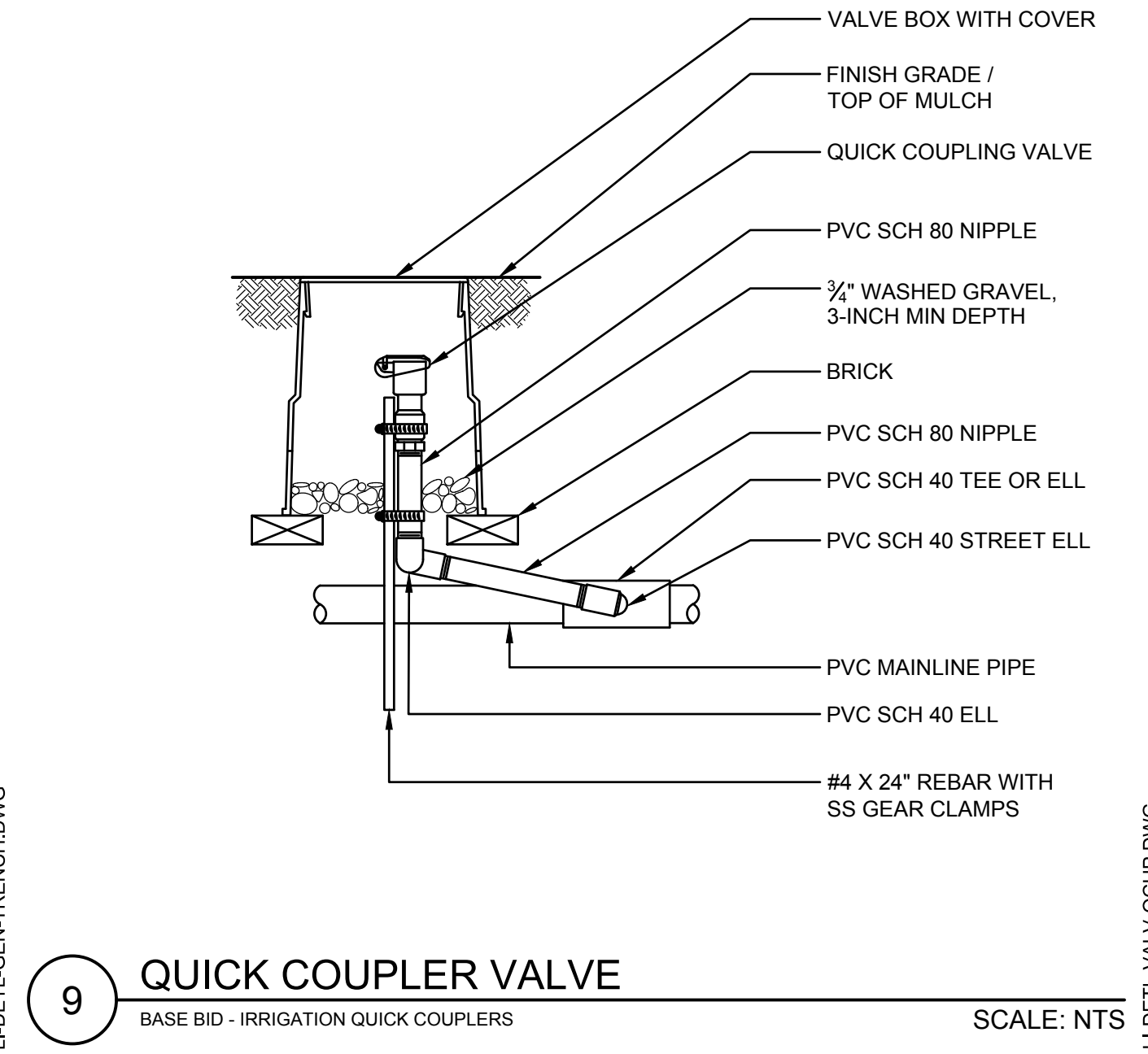
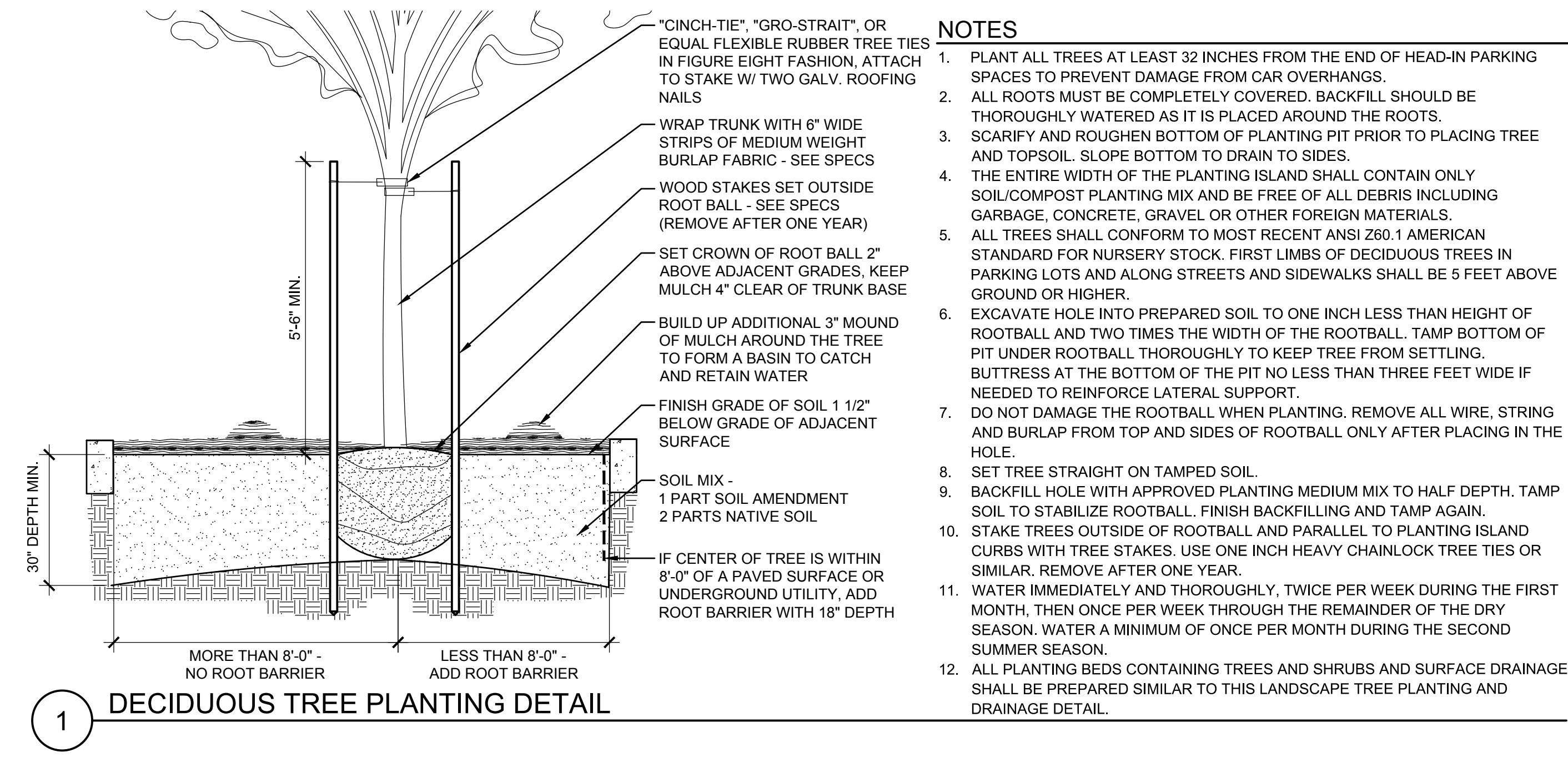
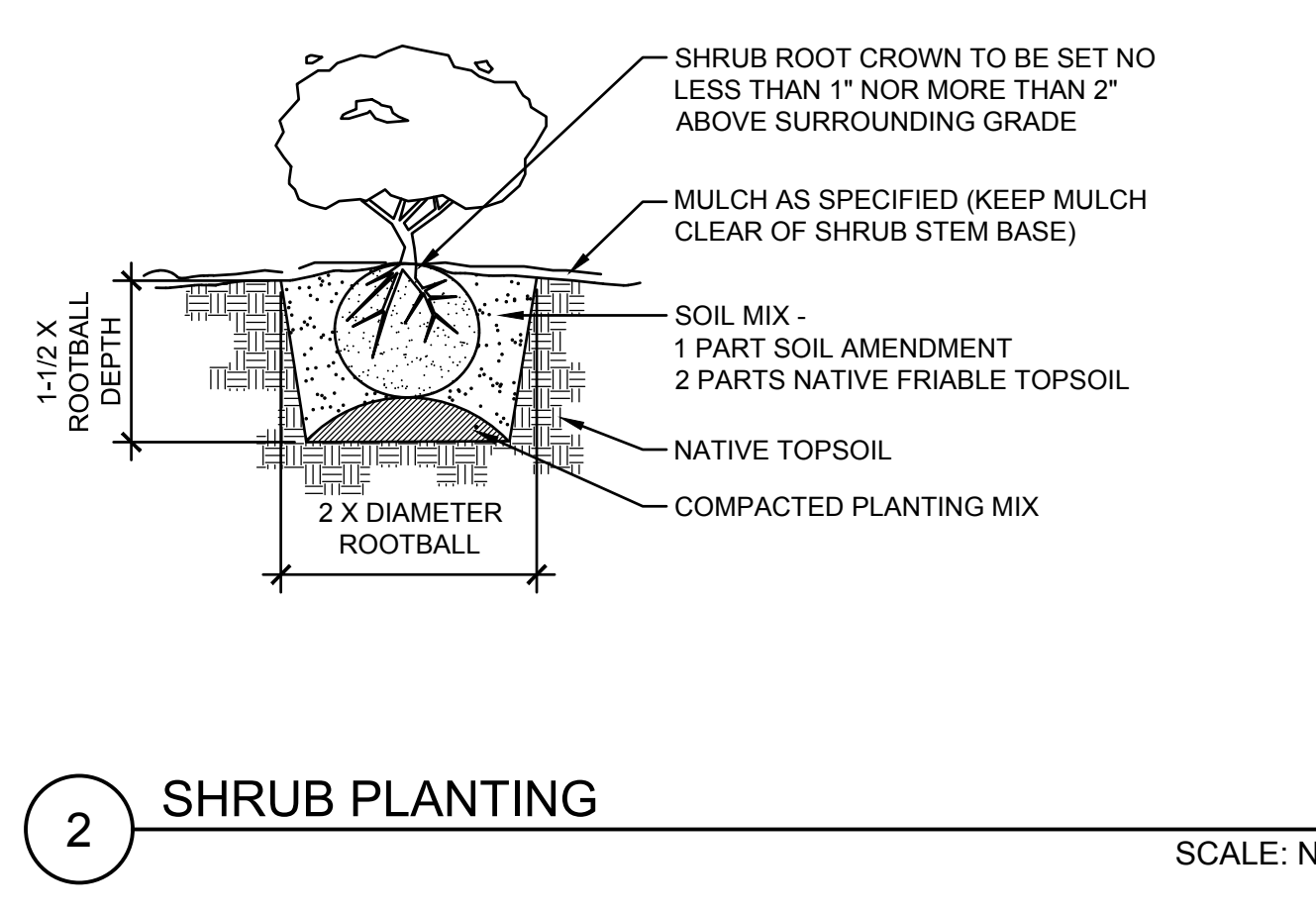
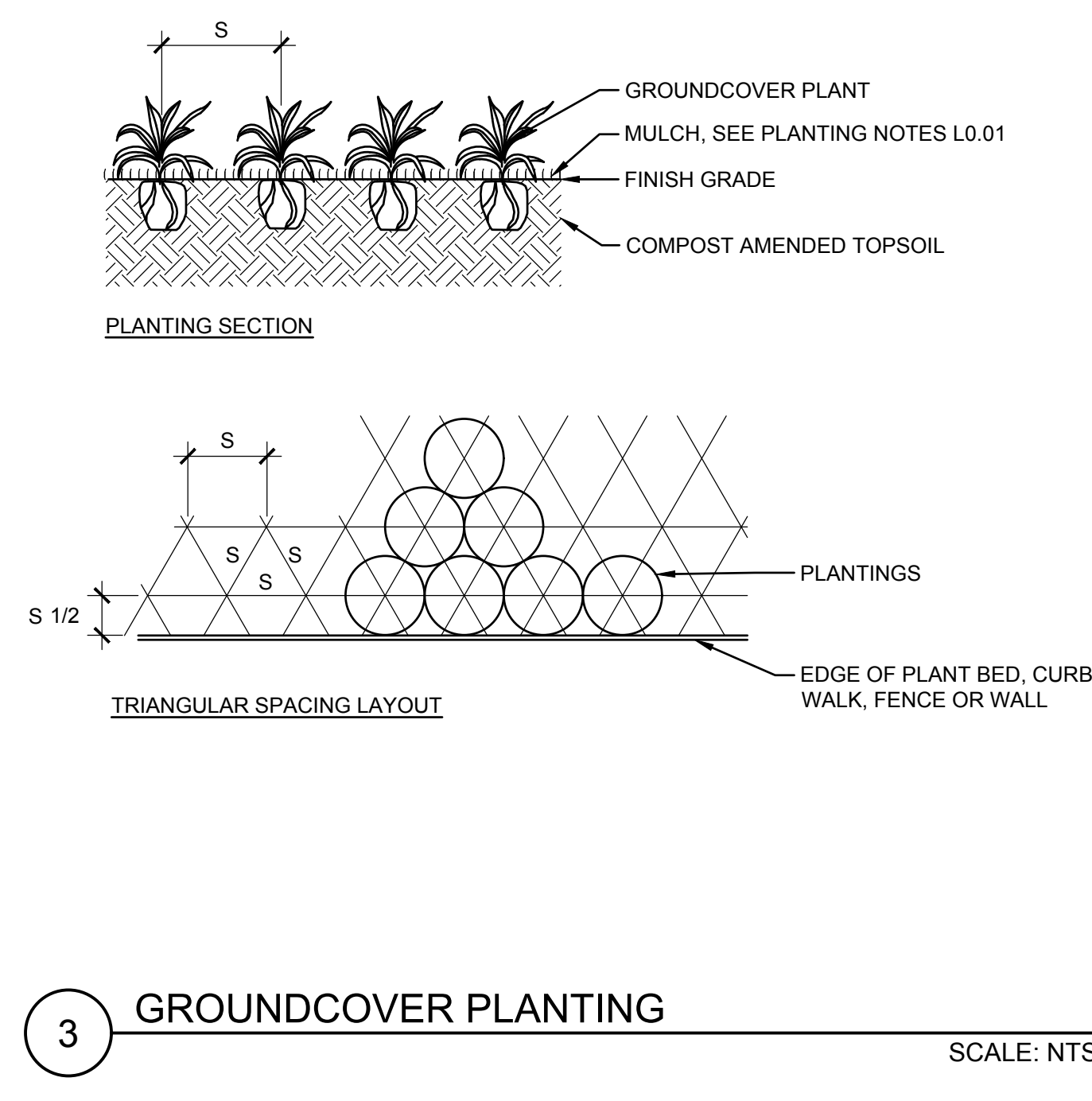
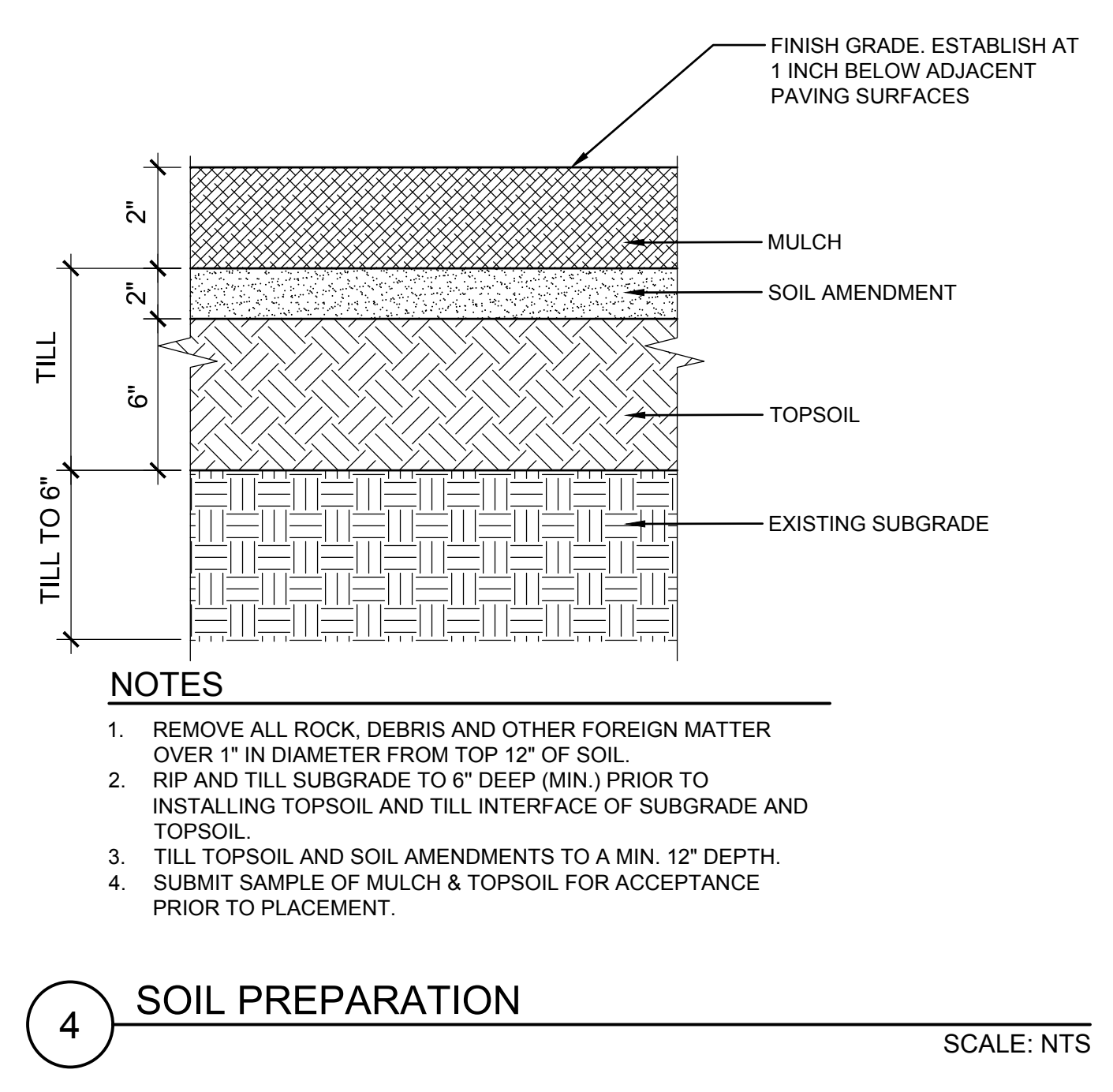
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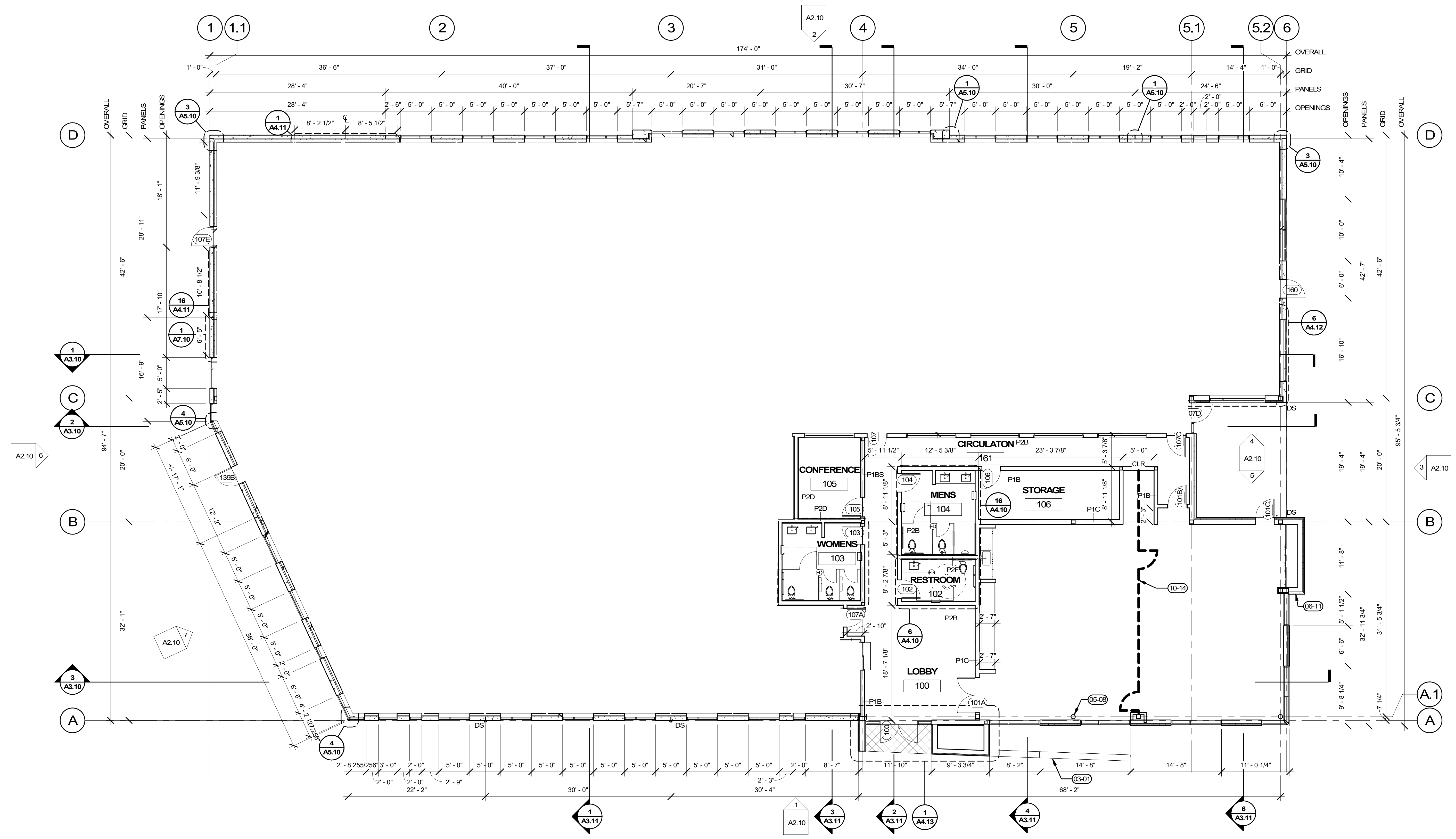
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
DETAILS

JOB NO. **2220098.00**





1 FLOOR PLAN
A1.10
1/8" = 1'-0"
PROJECT NORTH

- GENERAL NOTES**
- A. REFER TO ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATION
 - B. REFER TO A0.02 FOR WALL TYPES
 - C. REFER TO A1.13 FOR FINISH SCHEDULE
 - D. REFER TO FINISH PLAN FOR CASEWORK AND RELATED FINISH INFORMATION
 - E. EQUIPMENT & FURNITURE SHOWN FOR REFERENCE ONLY
 - F. REFER TO A6.10 FOR DOOR TYPES & DOOR SCHEDULE
 - G. ALL PENETRATIONS IN THE WALL INCLUDING OUTLETS, DUCTS AND PIPING SHOULD BE CALKED AIRTIGHT WITH ACOUSTICAL SEALANT.
 - H. INTERIOR PARTITION CONTROL JOINTS PER DETAIL
 - I. ALL INTERIOR PARTITIONS TO BE P1A UNLESS OTHERWISE NOTED.

- LEGEND**
- INTERIOR PARTITION - REFER TO A1.20 FOR WALL HEIGHTS
 - INTERIOR GLAZING
 - CONCRETE TILT PANEL WITH INTERIOR FURRING PER 3/A0.02
 - EXTERIOR FIBER CEMENT RAINSCREEN WALL PER 1/A5.11

- KEYNOTES**
- 03-01 CONCRETE SEAT WALL
 - 05-08 STEEL FRAMING PER STRUCT.
 - 06-11 CEDAR SOFFIT FINISH CONTINUES DOWN FACE OF WALL
 - 09-06 3FORM SPECIALTY WALL PANEL, RP-2. CHANNEL SET AT FLOOR AND CEILING. REFER TO ELEVATION 15/A4.21
 - 10-14 OPERABLE PARTITION WITH PERSONNEL EGRESS DOORS AS SHOWN DASHED

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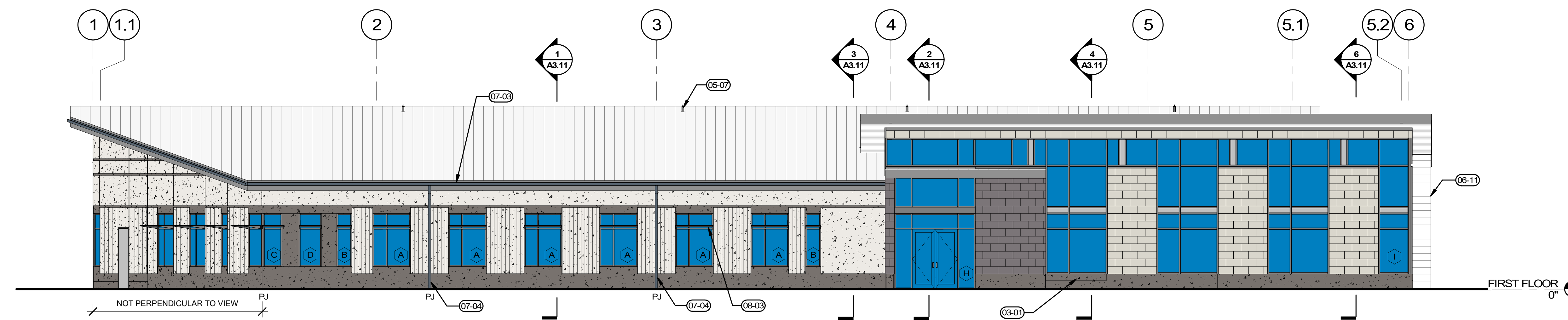
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SHEET TITLE:
FLOOR PLAN

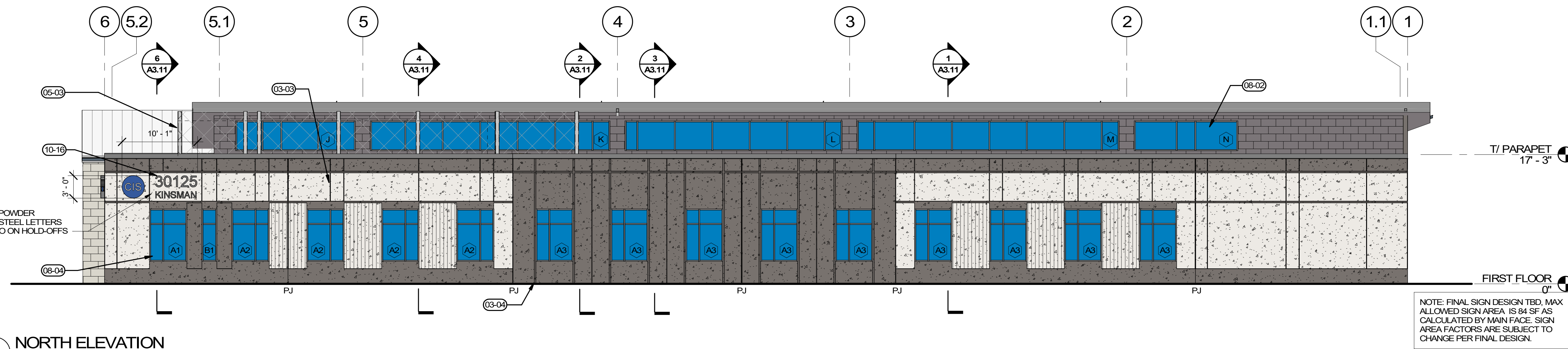
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A1.10

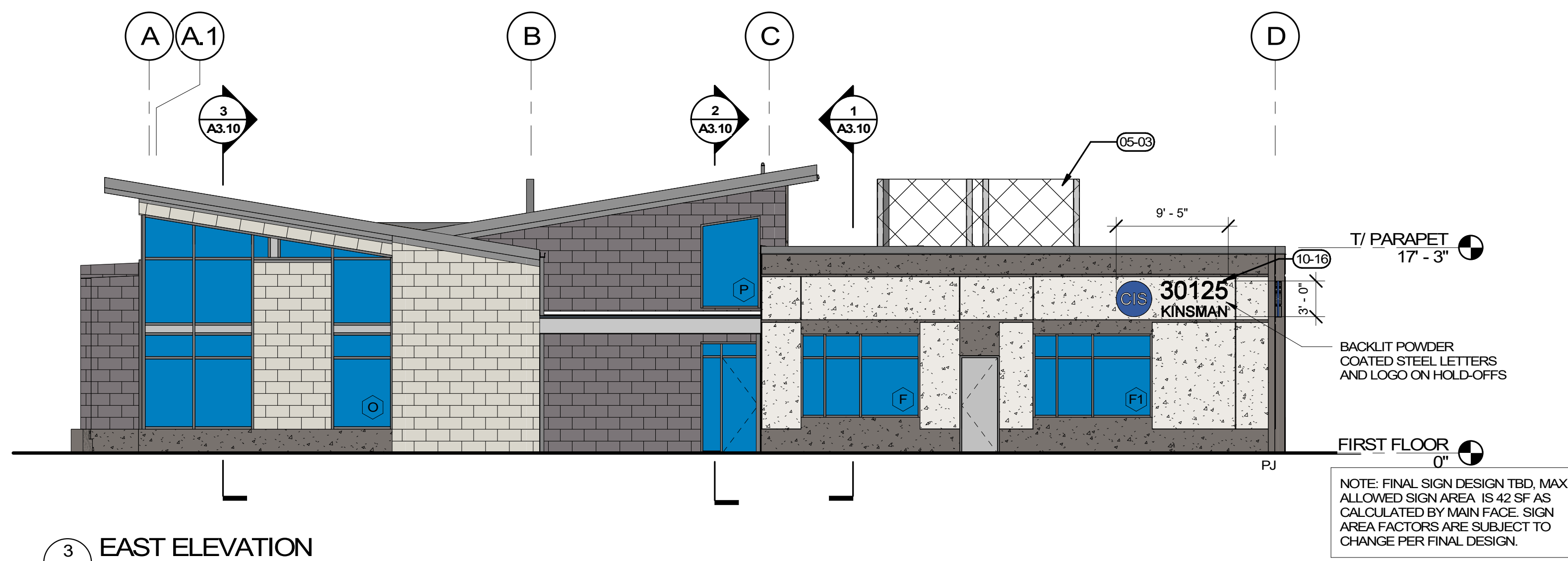
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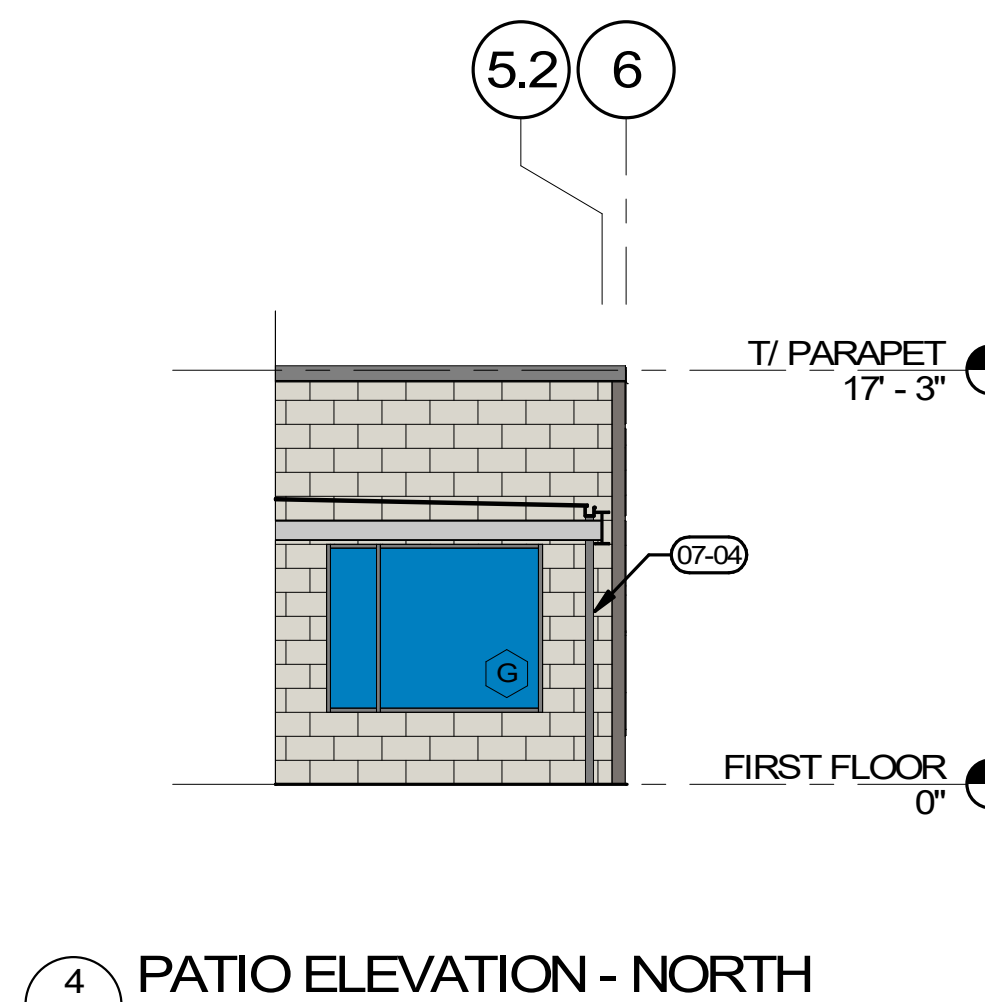
1 SOUTH ELEVATION
A2.10 1/8" = 1'-0"



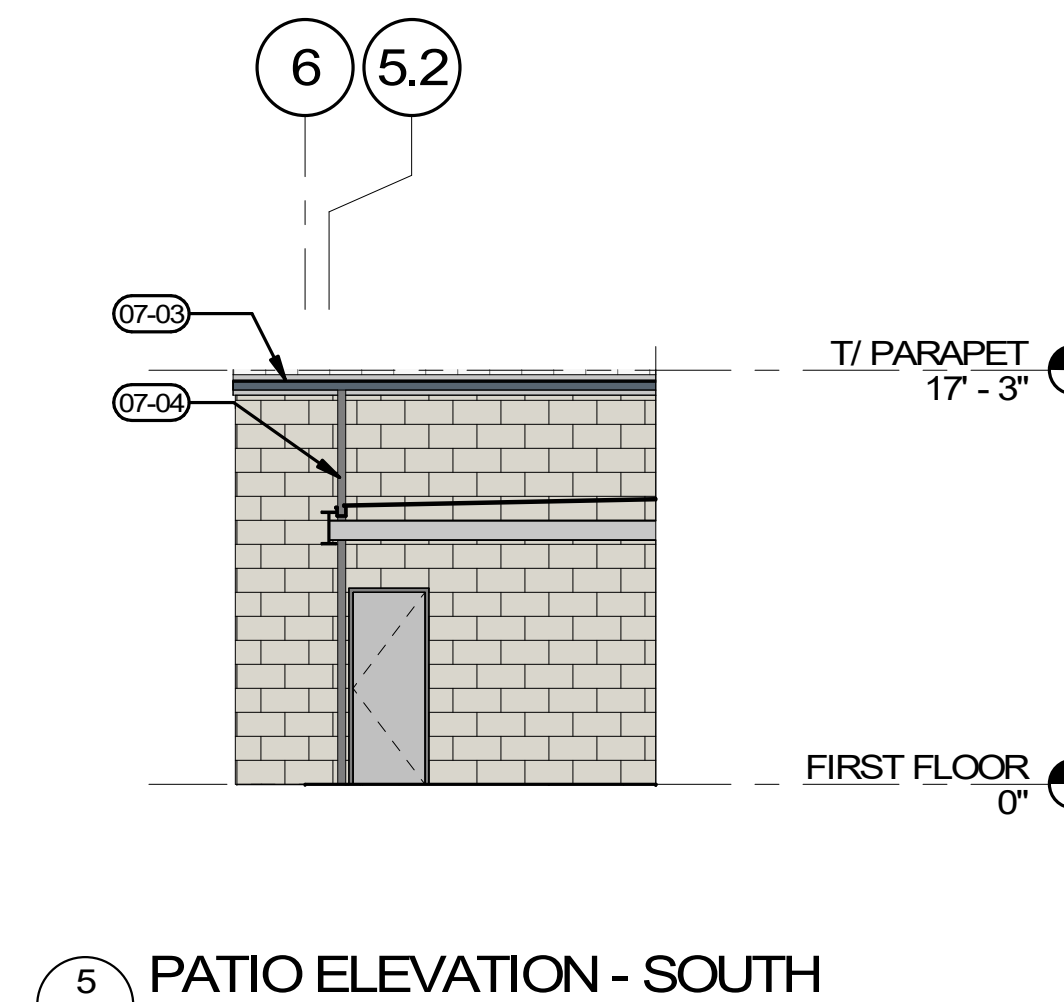
2 NORTH ELEVATION
A2.10 1/8" = 1'-0"



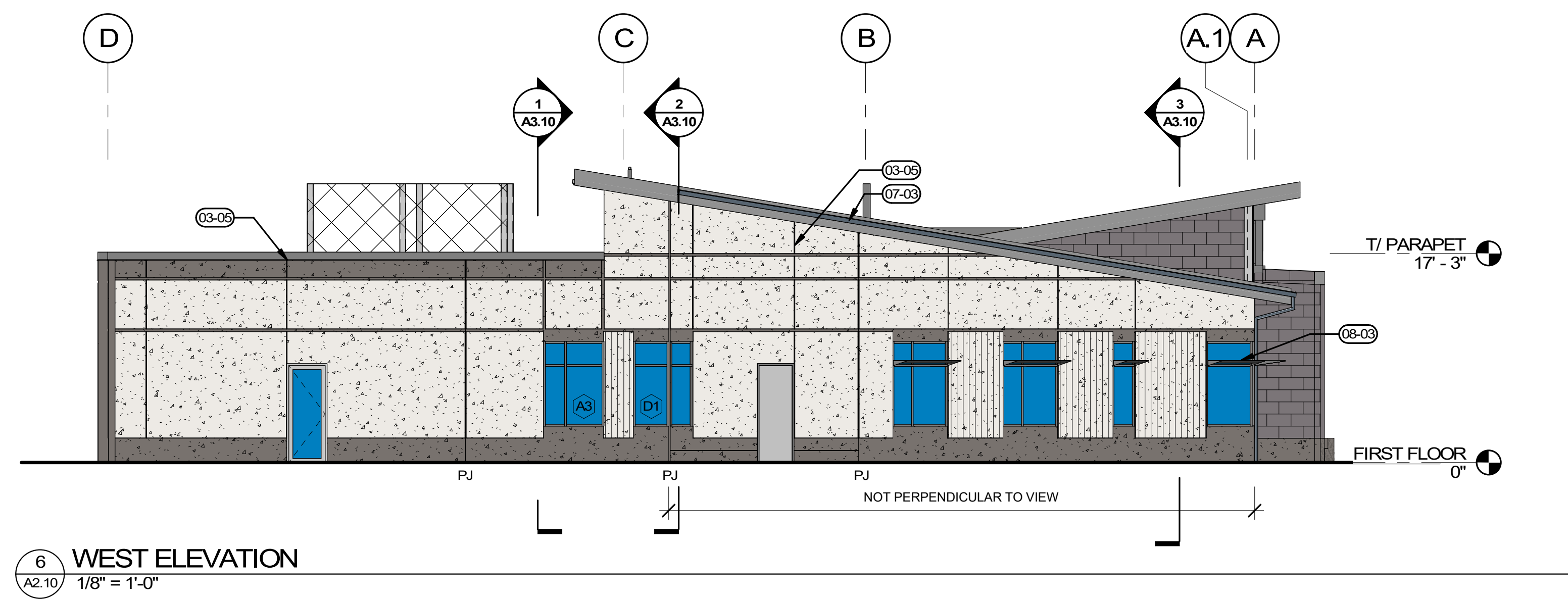
3 EAST ELEVATION
A2.10 1/8" = 1'-0"



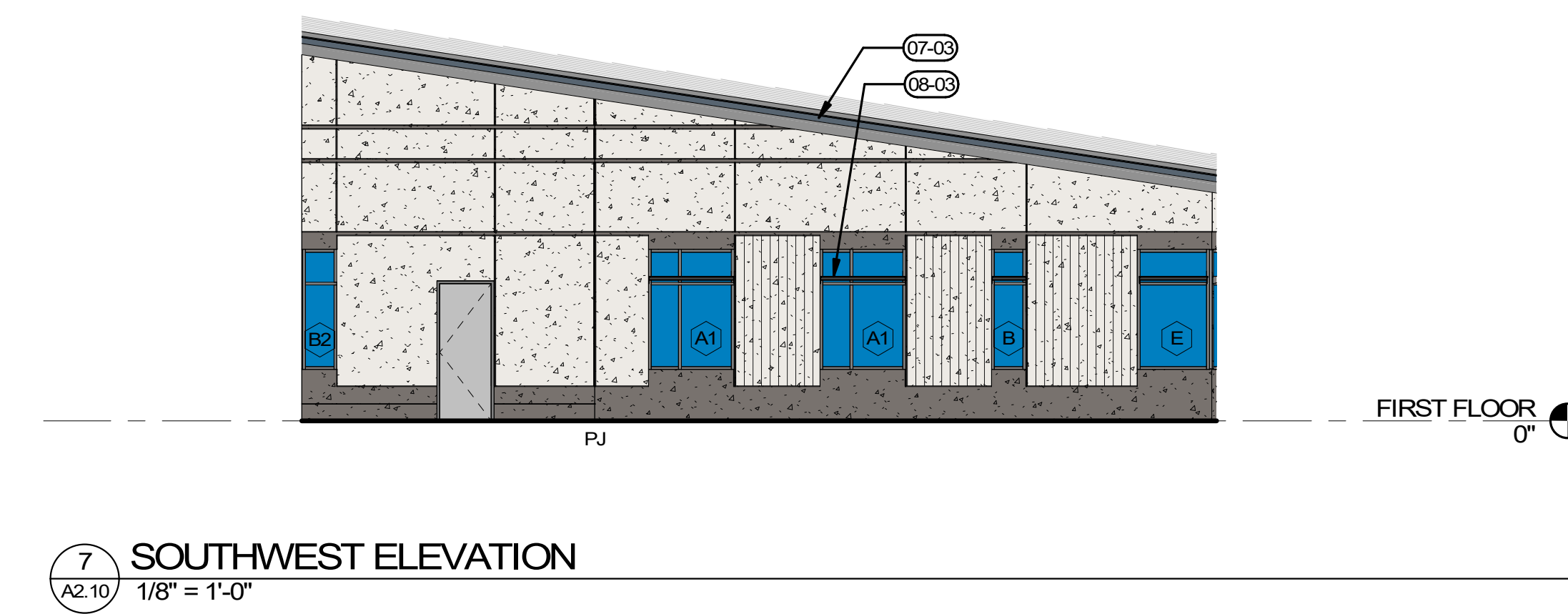
4 PATIO ELEVATION - NORTH
A2.10 1/8" = 1'-0"



5 PATIO ELEVATION - SOUTH
A2.10 1/8" = 1'-0"



6 WEST ELEVATION
A2.10 1/8" = 1'-0"



7 SOUTHWEST ELEVATION
A2.10 1/8" = 1'-0"

GENERAL NOTES

- A. MAINTAIN 1/2" PER FOOT MINIMUM SLOPE THROUGHOUT ROOF. ADD CRICKETS AS REQUIRED TO PROVIDE POSITIVE SLOPE TO DRAIN AT MINIMUM 1/4" PER FOOT AT ENTIRE ROOF, TYPICAL.
- B. ALL ROOF ELEVATIONS TO BOTTOM OF DECK.
- C. WALKWAY ENDS ARE SHOWN SCHEMATICALLY. WALKWAY PADS SHOULD BE PROVIDED AT AREAS SHOWN AND TO INCLUDE ALL EQUIPMENT INSTALLATIONS, DOORWAYS, STAIR/LADDER LANDINGS, AND OTHER AREAS REQUIRING REGULAR MAINTENANCE.
- D. CONTRACTOR TO PROVIDE COVERS, ENCLOSURES, AND/OR SEALANTS AT ALL ROOF PENETRATIONS, PIPES, CURBS, DUCTS, AND CONNECTIONS. COORDINATE AND REFER TO MECHANICAL/ELECTRICAL DISCIPLINES FOR ADDITIONAL INFORMATION.
- E. SEE DETAIL 13/A5.14 FOR ELECTRICAL CONDUIT PENETRATIONS.
- F. SEE DETAILS 11-12/A5.14 FOR PIPE PENETRATIONS.
- G. SEE DETAILS 9/10/A5.14 FOR MECHANICAL UNIT CURBS.

LEGEND

- CONCRETE TILT PANELS - SHERWIN WILLIAMS "SNOWBOUND"
- CONCRETE TILT PANELS - FORMLINER PATTERN PER SPEC - PAINT SHERWIN WILLIAMS "SNOWBOUND"
- CONCRETE TILT PANELS - SHERWIN WILLIAMS "GAUNTLET GREY"
- FIBER CEMENT PANEL - FC-1: "ARGENT GREY"
- FIBER CEMENT PANEL - FC-2: "CHALK"
- METAL SCREEN, REFER TO DETAIL
- PAINTED CONCRETE REVEALS
- METAL INFILL PANEL PER SPECS
- PJ PANEL JOINT - REFER TO STRUCTURAL

KEYNOTES

- 03-01 CONCRETE SEAT WALL
- 03-03 VERTICAL REVEALS TO ALIGN WITH WINDOW MULLIONS BELOW, TYP. U.N.O.
- 03-04 REVEAL "A" AT JAMBS OF OPENINGS AT BUMP-OUT, TYP.
- 03-05 REVEAL "B" VERTICAL ALONG ADJACENT DOOR JAMB
- 05-03 METAL SCREEN WALL AT ROOFTOP UNITS. SEE EXTERIOR DETAILS.
- 05-07 ROOF TIE-OFFS. SEE HIGH ROOF PLAN FOR LOCATIONS
- 06-11 CEDAR SOFFIT FINISH CONTINUES DOWN FACE OF WALL
- 07-03 METAL GUTTER
- 07-04 METAL DOWNSPOUT - RECTANGULAR PROFILE, 4"x3"
- 08-02 CLERESTORY GLAZING PER ELEVATIONS AND EXTERIOR GLAZING SCHEDULE.
- 08-03 INTEGRAL STOREFRONT SHADE DEVICES. FINISH TO MATCH MULLION SYSTEM OF ASSOCIATED OPENINGS.
- 08-04 PROVIDE ACOUSTIC GLAZING, FRAMES AND SEALS AT NORTH STOREFRONT OPENINGS
- 10-16 BUILDING ADDRESS SIGN

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Delta	Issued As	Issue Date

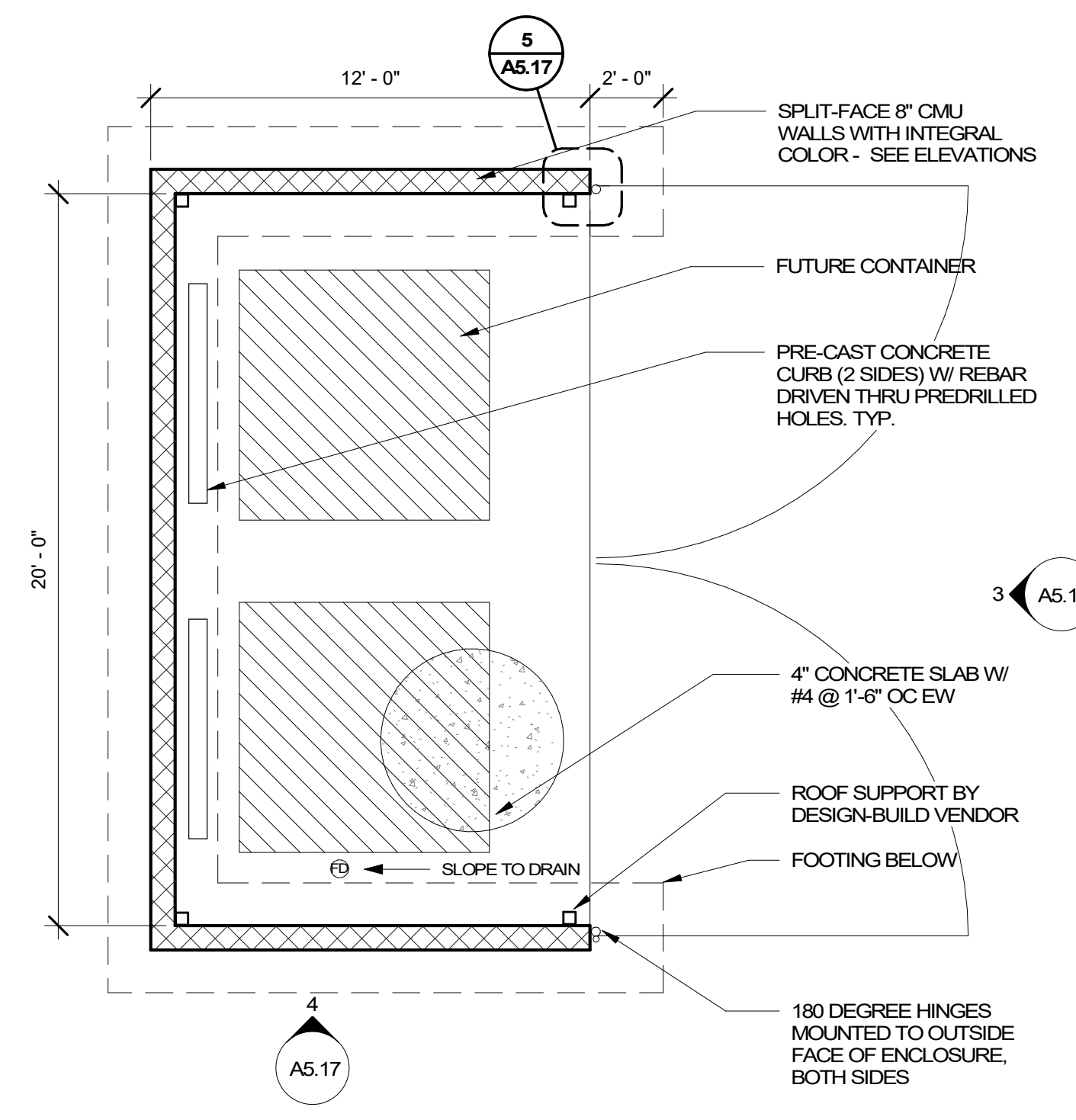
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ELEVATIONS**

SHEET

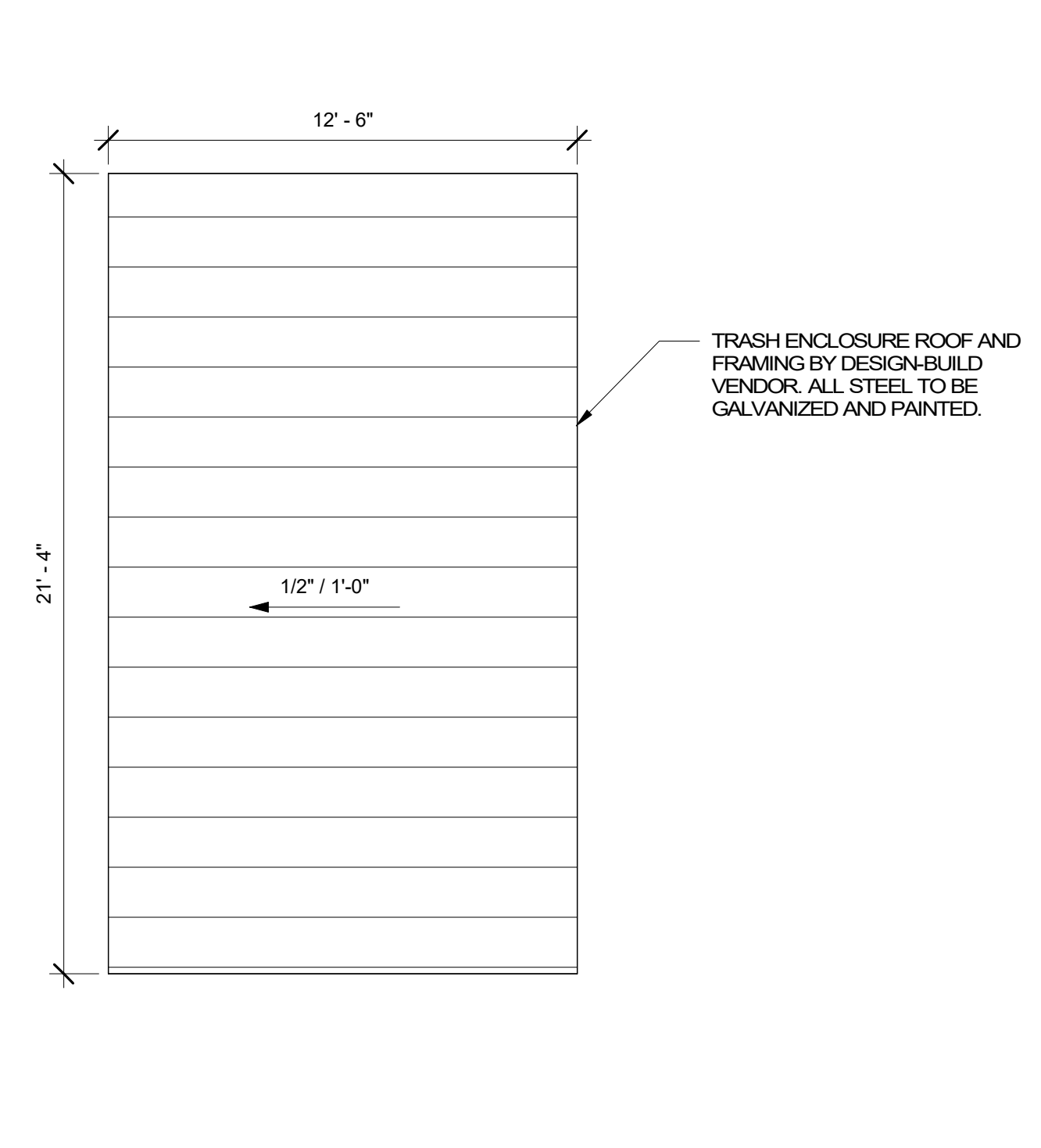
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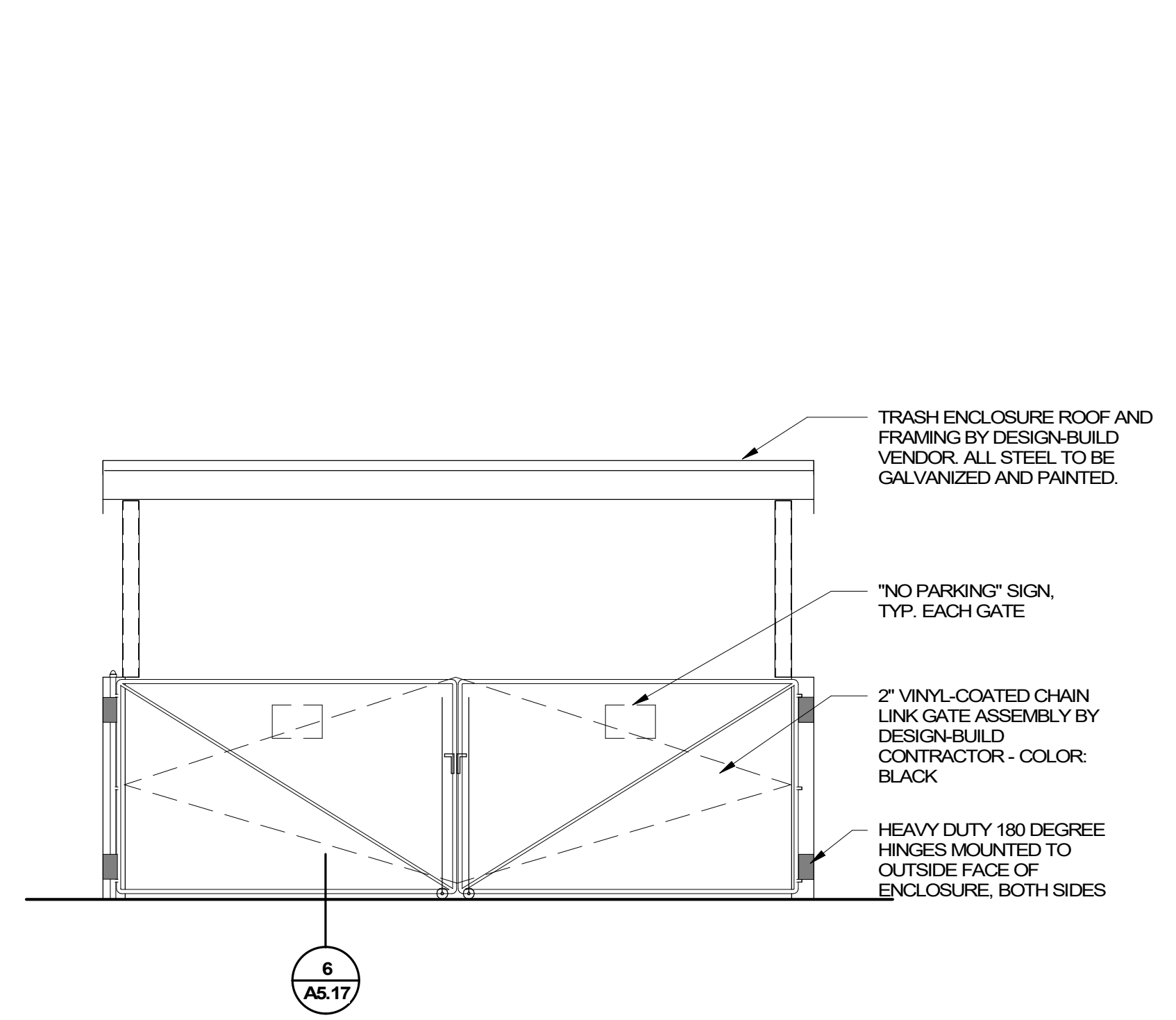
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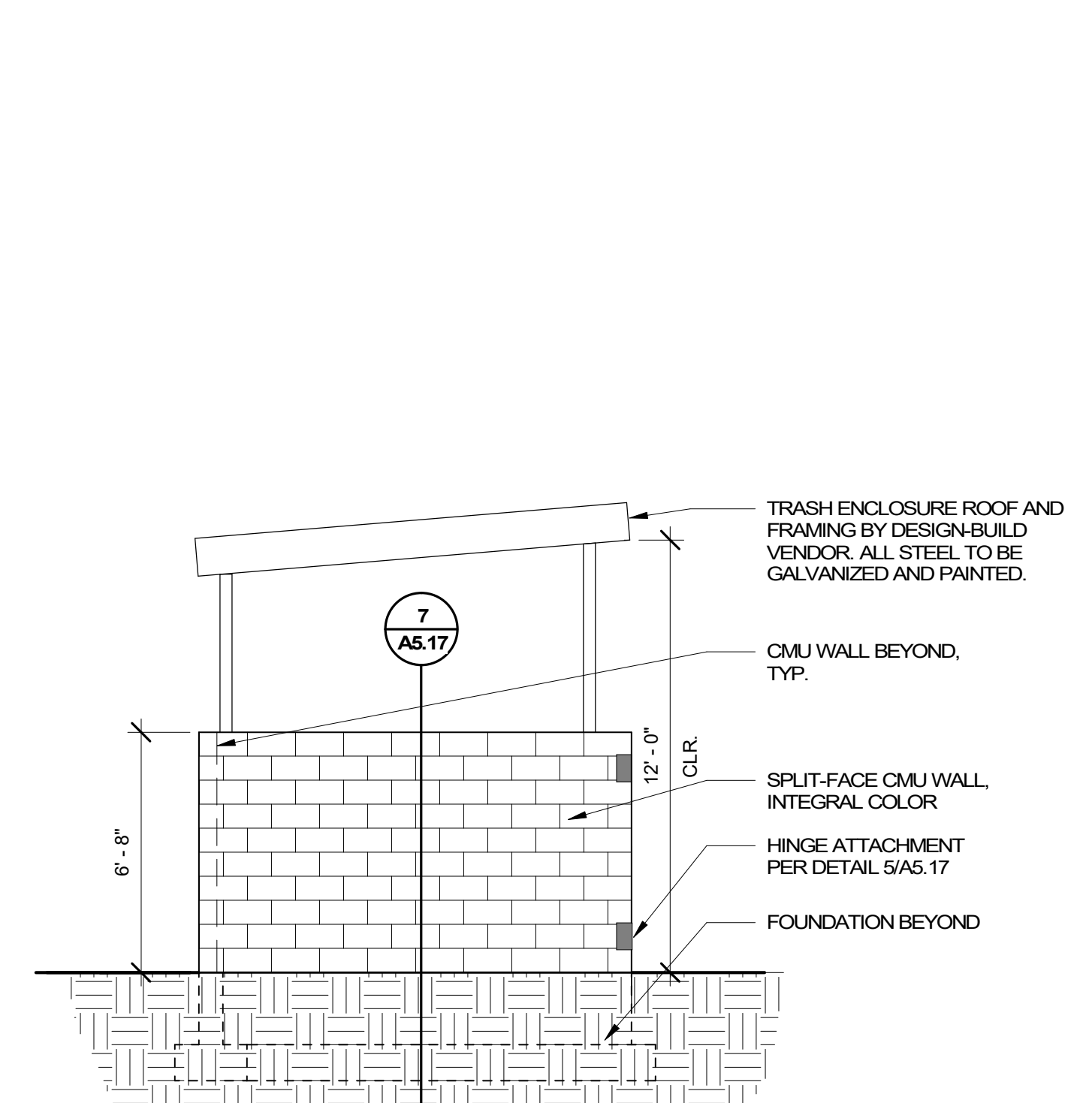
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 1/4" = 1'-0"



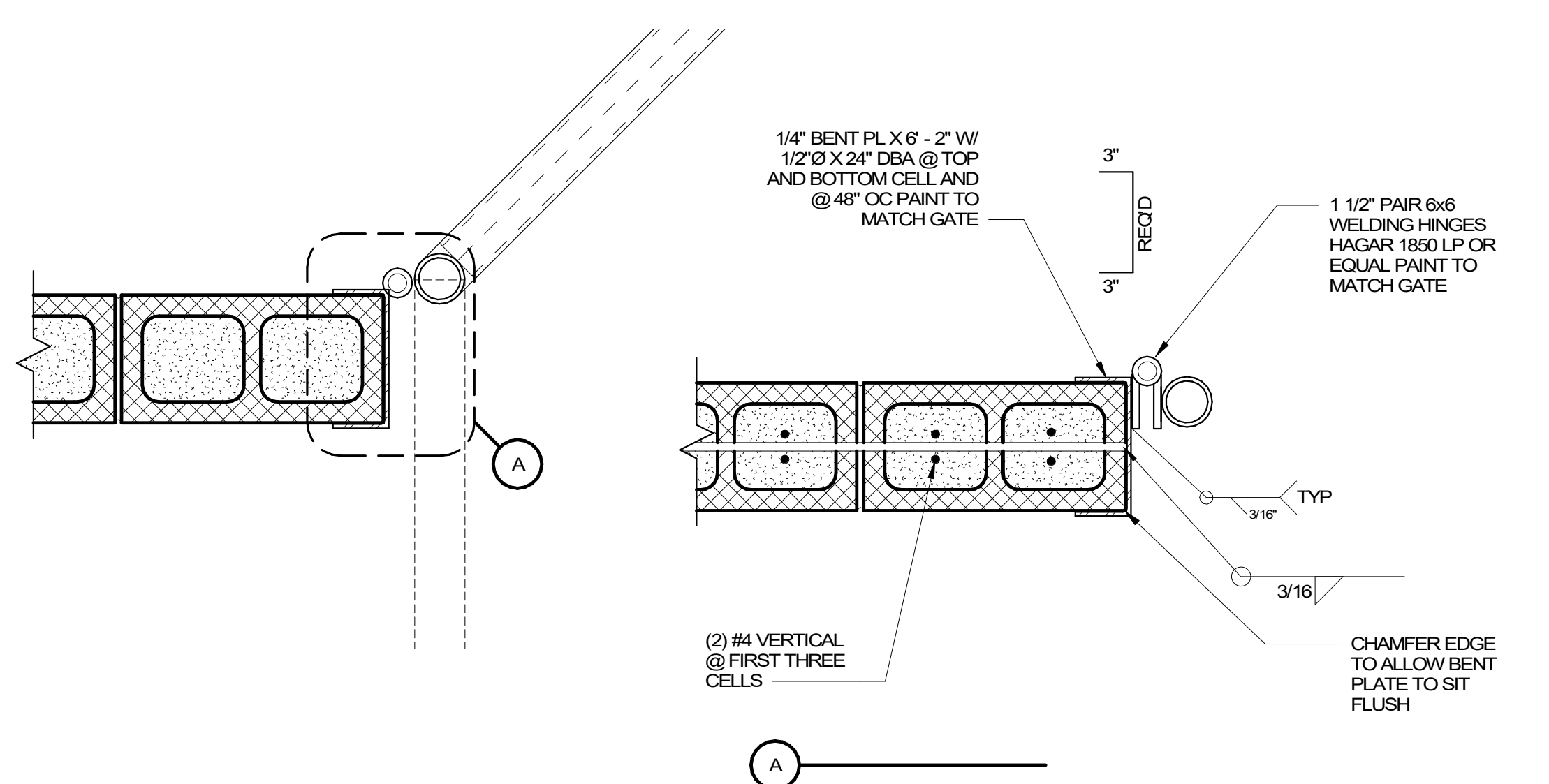
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 1/4" = 1'-0"



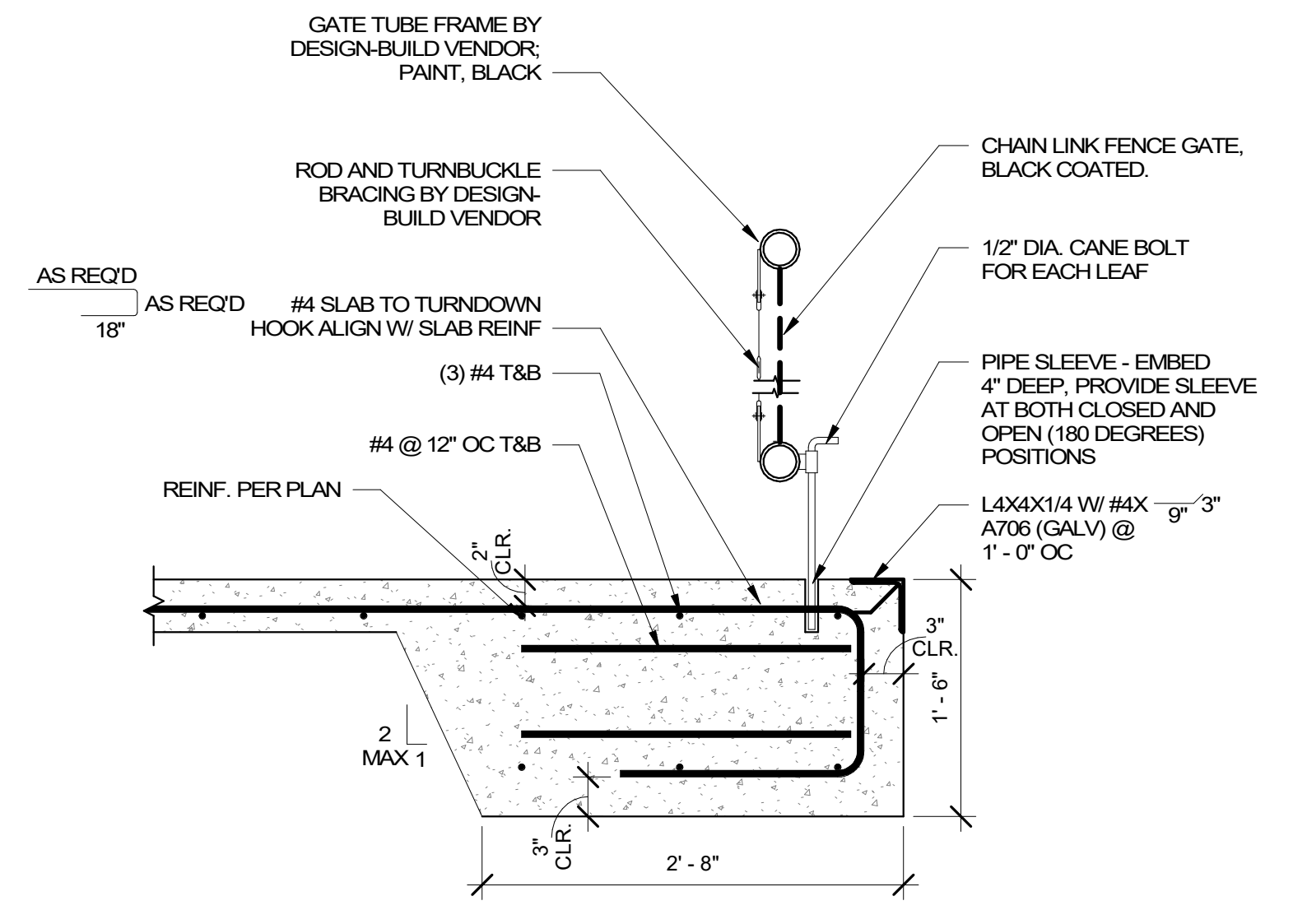
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 1/4" = 1'-0"



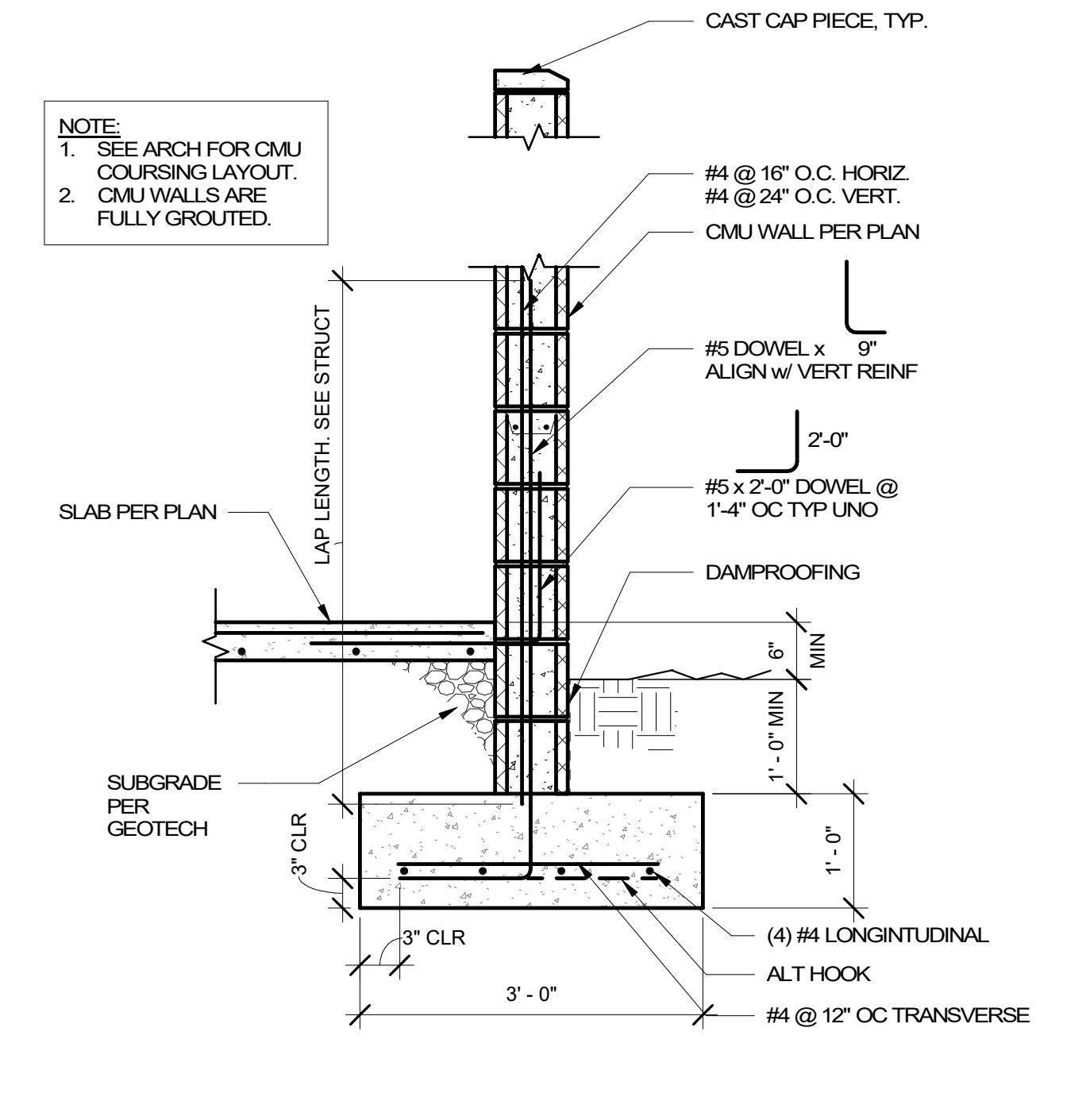
4 TRASH ENCLOSURE SIDE ELEVATION
 1/4" = 1'-0"



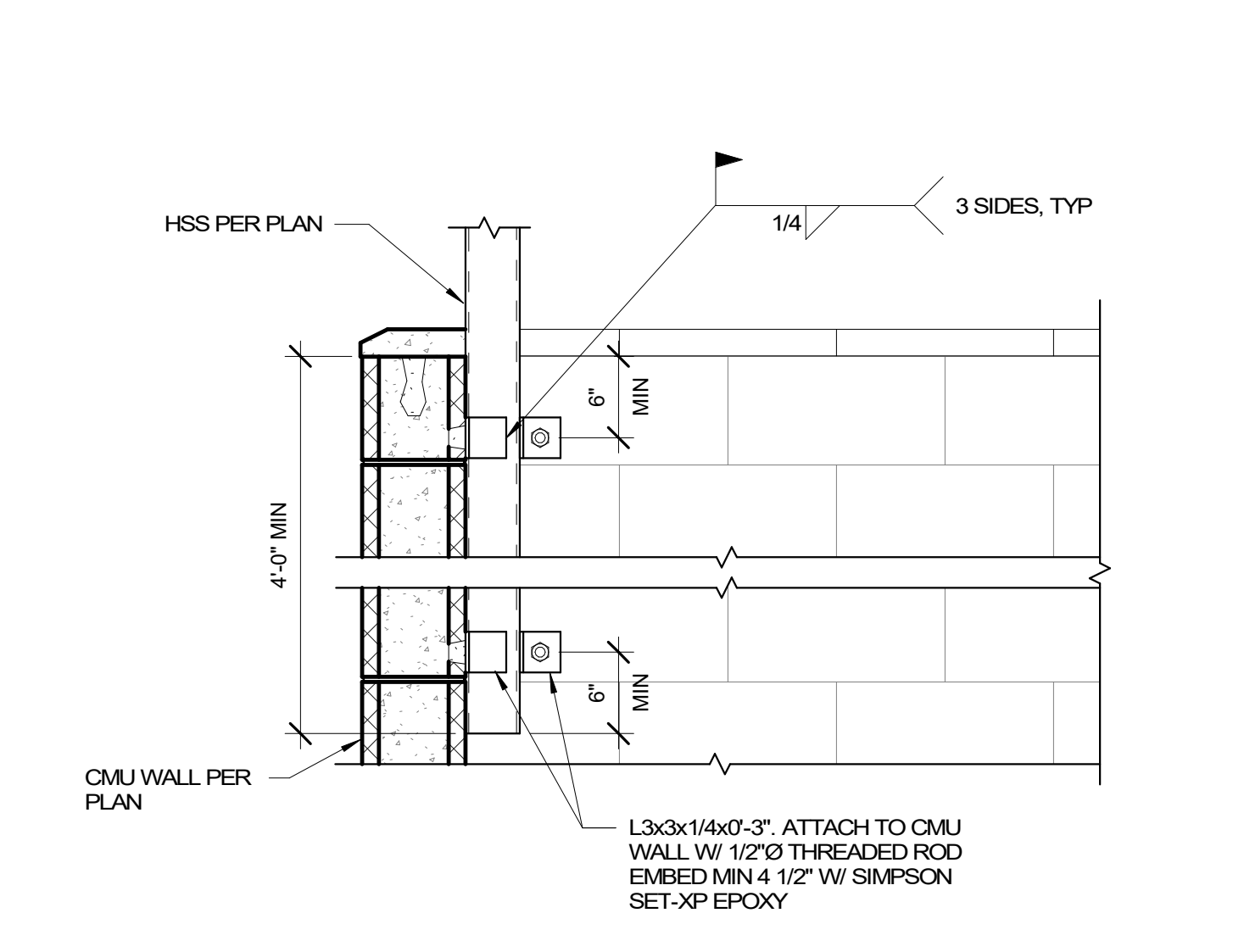
5 GATE HINGE
 1/2" = 1'-0"



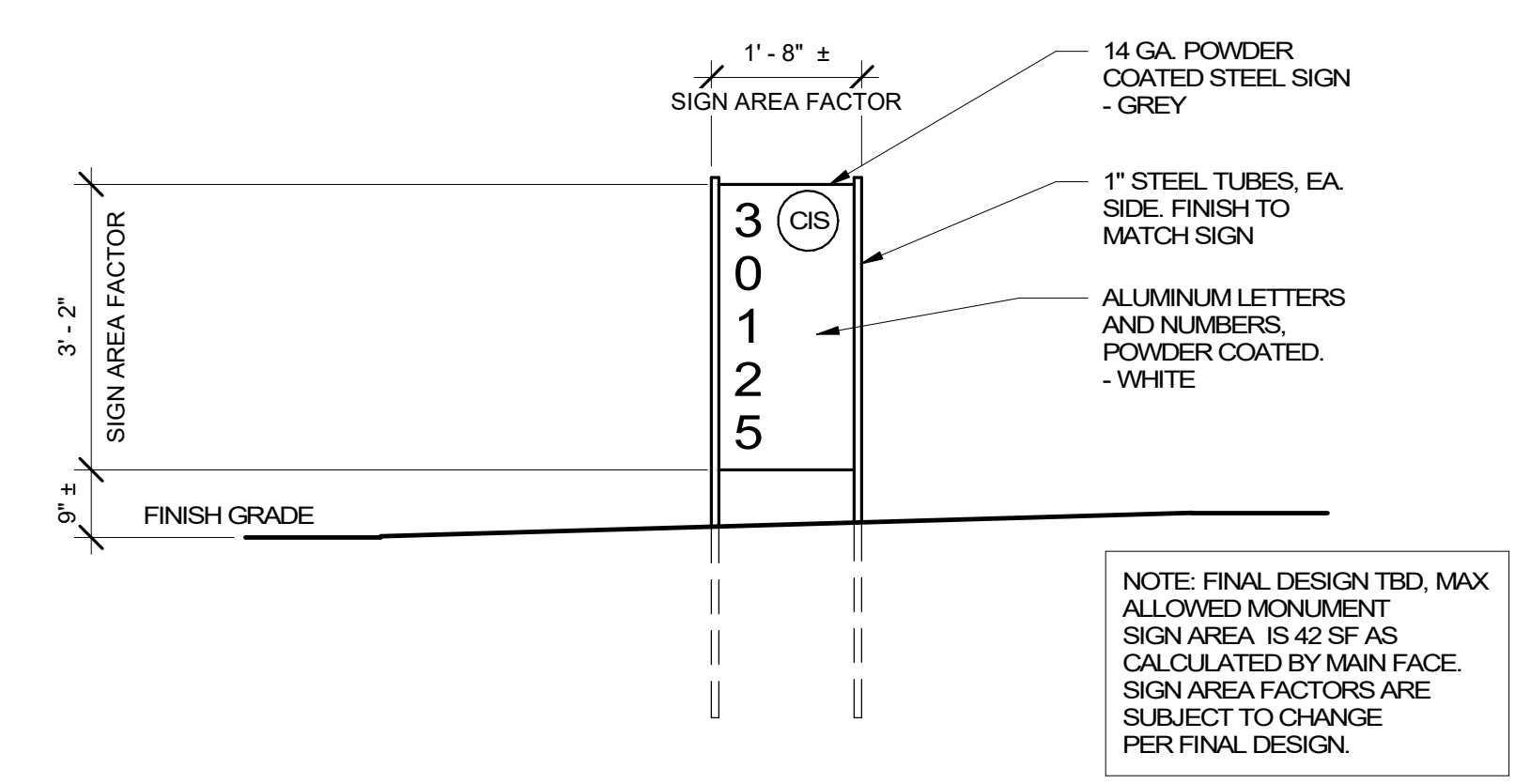
6 FTG @ FRONT OF TRASH ENCLOSURE
 1" = 1'-0"



7 CMU WALL TO FOOTING
 3/4" = 1'-0"



8 COLUMN TO CMU
 1" = 1'-0"



9 DRIVEWAY SIGN ELEVATION
 1/2" = 1'-0"

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REVISION SCHEDULE		
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SHEET TITLE
SITE DETAILS

SHEET

A5.17

JOB NO. **2220098.00**



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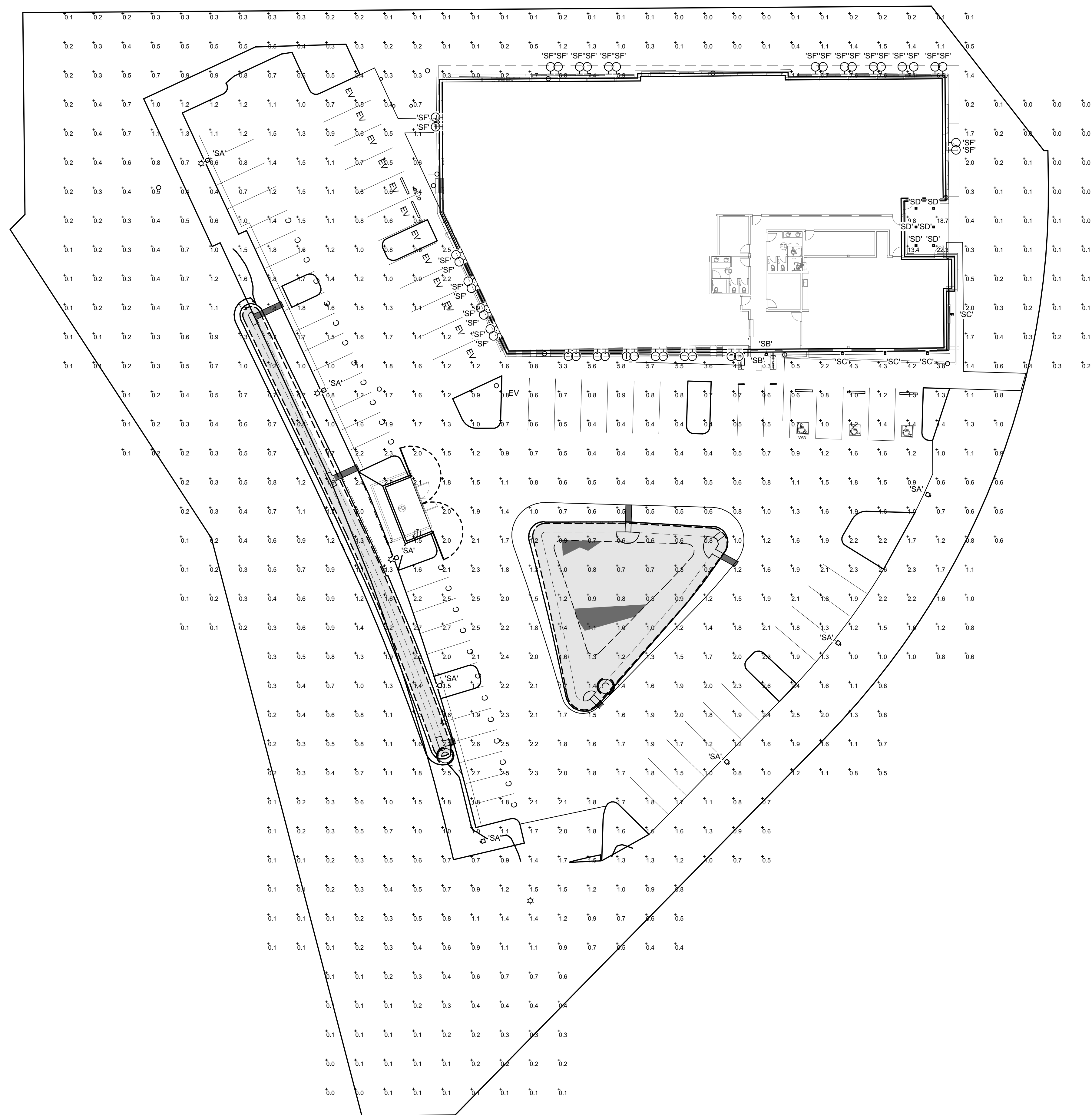
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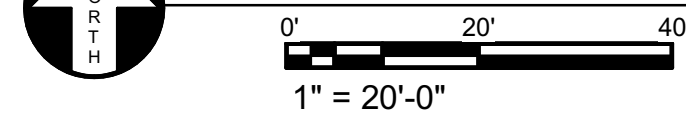
Project

**CIS
COLLABORATION
CENTER**

Mechanical/Electrical



1 SITE LEVEL 1 SITE ELECTRICAL PLAN



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SHEET TITLE:
**SITE PLAN -
ELECTRICAL**

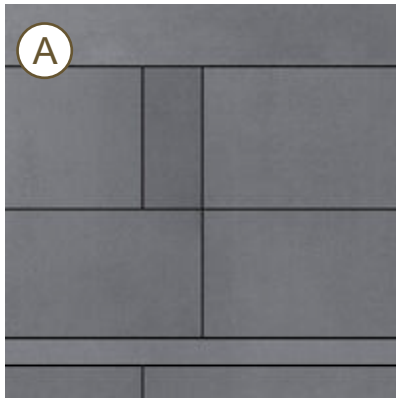
SHEET

E1.10

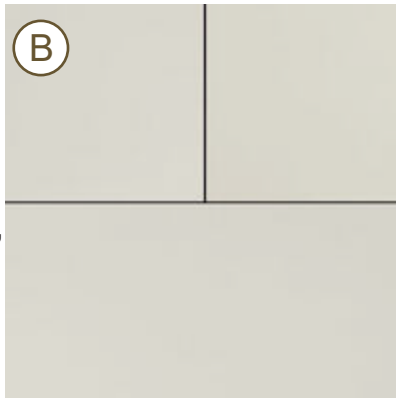
JOB NO. **2220098.00**

**INTERFACE
ENGINEERING**
PROJECT 2022-0367
CONTACT Jason Mathes
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.383.2266
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CIS EXTERIOR MATERIAL BOARD



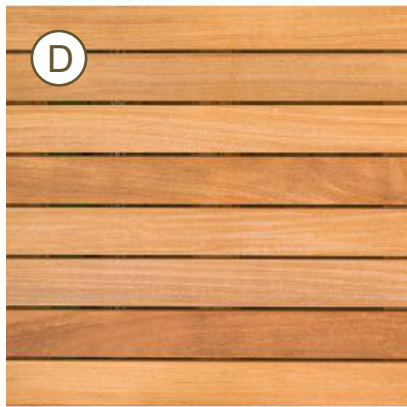
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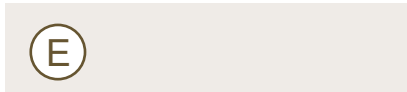
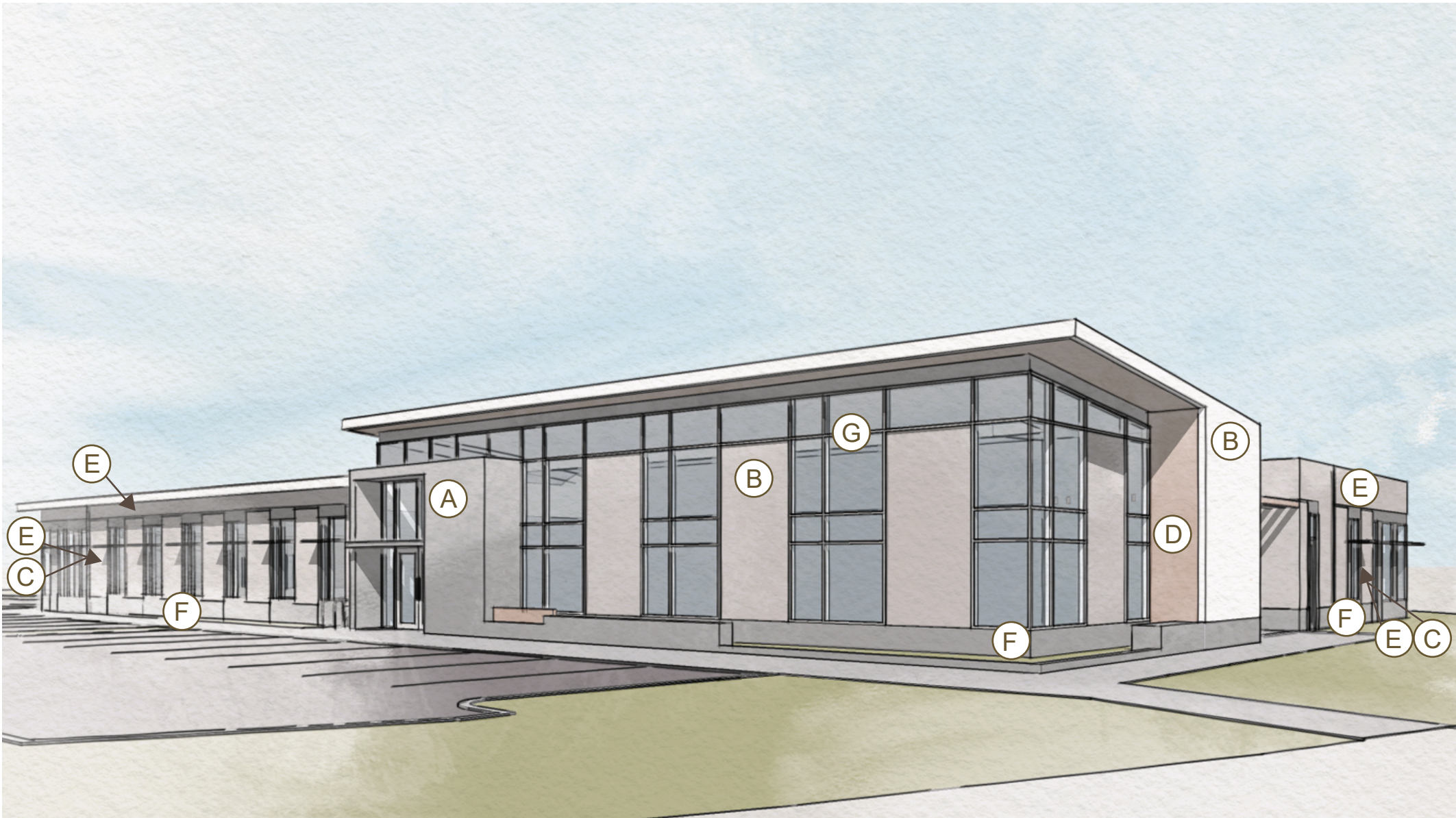
EQUITONE:
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RECKLI CONCRETE
FORMLINER
2/74 URAL



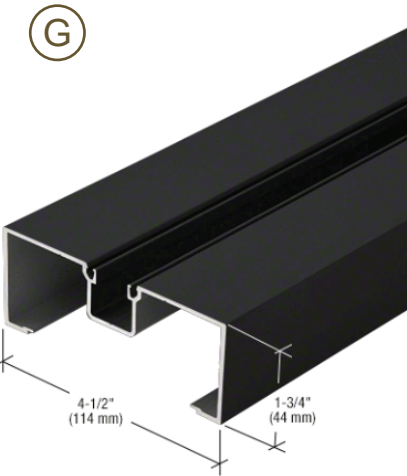
VERTICAL GRAIN
CEDAR SOFFIT AT
CANOPY & OVERHANG



SHERWIN- WILLIAMS:
SNOWBOUND



SHERWIN- WILLIAMS:
GAUNTLET GRAY



BLACK ANODIZED
MULLION





