DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR

LAND USE RESUBMITTAL - JULY 26, 2022

OWNER

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FIRE PROTECTION

TO BE DETERMINED TELEPHONE: TBD CONTACT: TBD EMAIL: TBD

ARCHITECT

MACKENZIE 1515 SE WATER AVE, SUITE 100 PORTLAND, OR 97214 TELEPHONE: 503-224-9560 PRINCIPAL: JOSH MCDOWELL ARCHITECT OF RECORD: SCOTT MOORE PROJECT MANAGER: ADAM GOLDBERG EMAIL: AGOLDBERG@MCKNZE.COM

CIVIL ENGINEER

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SITE INFORMATION ADDRESS: 9710 SW DAY RD. CITY OF WILSONVILLE, OR

AREA	S
BUILDING	5
<u>FLOOR 1</u> WAREHOUSE OFFICE OFFICE (F)	5 2 (1
<u>FLOOR 2:</u> MEZZANINE MEZZANINE (F)	2 1

GEOTECHNICAL REPORT DATED 11/19/2021

PERMITS

 BUILDING: EARLY GRADING:



REFER TO CIVIL PLANS FOR ADDITIONAL SITE INFORMATION

BUILDING INFORMATION

SQUARE FEET 58,116 SF

55,569 SF 2,437 SF (2,037 SF)

2,196 SF 1,833 SF

SEE APPENDIX ONE IN THE SPECIFICATION BOOK FOR GEOTECHNICAL REPORT DATED 6/30/2021 AND ADDENDUM #1

DEFERRED SUBMITTALS

 DESIGN BUILD STAIRS OPEN WEB METAL JOIST & GIRDERS STOREFRONT SYSTEM AND ATTACHMENT

- BUCKLING RESTRAINED BRACE & CONNECTION MECHANICAL ELECTRICAL
- PLUMBING FIRE PROTECTION

SEPARATE PERMITS

- DESIGN BUILD FIRE SPRINKLER DESIGN BUILD FIRE ALARM
- MECHANICAL ELECTRICAL
- PLUMBING PUBLIC WORKS
- UNDERGROUND FIRE LINES EMERGENCY RESPONSE RADIO COVERAGE (ERRC)
- FIRE PUMP (INSTALLED PER NFPA 20) • DIESEL FUEL TANK (PER 2019 OFC CHPTER 57 & NFPA 30).
- INCLUDE FUEL FILL PLAN KNOXBOX WAREHOUSE RACKING
- WAREHOUSE EQUIPMENT AND ATTACHMENT

NOTES:

1. DESIGN BUILDERS ARE FULLY RESPONSIBLE FOR THE DESIGN OF THESE SYSTEMS / COMPONENTS. THESE SYSTEMS / COMPONENTS SHOWN ON DOCUMENTS ARE SCHEMATIC ONLY: THEY ARE NOT INTENDED TO REPRESENT FINAL / CODE COMPLIANT DESIGN. PROVIDE DESIGN DOCUMENT SUBMITTAL TO MACKENZIE FOR REVIEW PRIOR TO SUBMITTAL TO CITY OF WILSONVILLE, OREGON.

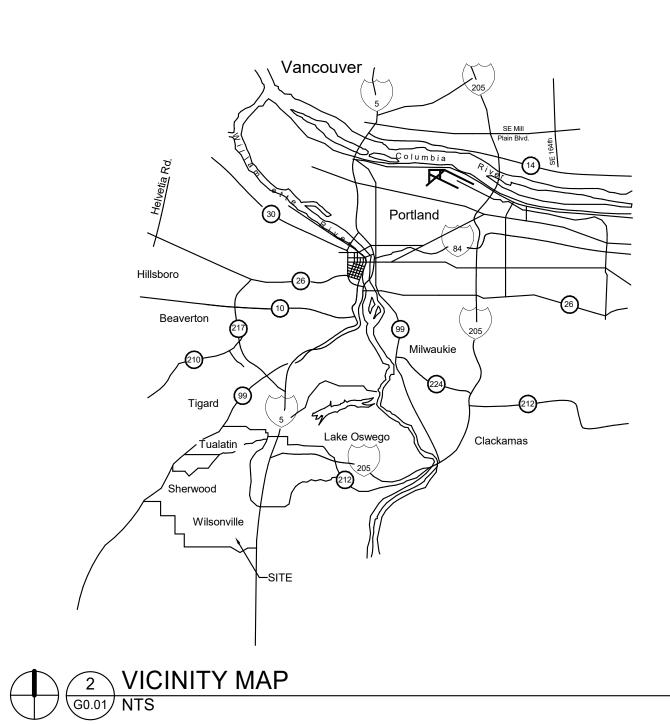
<u>DRAW</u>	ING INDEX
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G0.02	PROJECT GENERAL NOTES, SYMBOLS, AND ABBREV
G1.10	CODE ANALYSIS
G1.11	ENERGY CODE COMPLIANCE
G1.20	EXISTING CONDITIONS SURVEY
<u>CIVIL DRAWI</u>	NGS
C0.01	CIVIL NOTES AND LEGEND
C1.10	SITE PLAN
C1.20	GRADING PLAN
C1.21	GRADING CROSS SECTIONS
C1.22	GRADING ENLARGEMENT PLAN
C1.30 C1.31	UTILITY PLAN
C1.31 C1.32	UTILITY PLAN – SANITARY CONNECTION SANITARY PROFILE
C2.10	OVERALL RETAINING WALL PLAN
C2.11	EAST RETAINING WALL PROFILE
C2.12	NORTHWEST AND SOUTHWEST RETAINING WALL P
C3.10	CIRCULATION PLAN
C3.11	FIRE SAFETY PLAN
C4.00	EROSION AND SEDIMENT CONTROL PLAN
C4.10	CLEARING AND DEMOLITION PLAN
C4.20	MASS GRADING AND STABILIZATION CONSTRUCTIO
C4.30	MASS GRADING AND STABILIZATION RUNOFF CONT
C4.40 C4.50	UTILITY CONSTRUCTION ESC PLAN FOUNDATION ESC PLAN
C4.60	EROSION AND SEDIMENT CONTROL PLAN DETAILS
C4.70	EROSION AND SEDIMENT CONTROL PLAN DETAILS
C5.10	CIVIL DETAILS
C5.11	CIVIL DETAILS
C5.12	CIVIL DETAILS
C5.13	CIVIL DETAILS
R0.00	COVER SHEET
R0.01	NOTES, LEGENDS, AND ABBREVIATIONS
R0.02	CROSS SECTIONS DETAILS
R0.03 R0.04	DETAILS
R1.01	DEMOLITION PLAN
R1.10	PLAN AND PROFILE
R1.20	PLAN ENLARGEMENTS
R1.30	UTILITY PLAN
R1.40	STRIPING AND SIGNAGE PLAN
R1.41	STRIPING AND SIGNAGE DETAILS
R1.50	STREET LIGHTING AND PHOTOMETRICS PLAN
LANDSCAPE	DRAWINGS

L5.10 PLANTING DETAILS L5.11 IRRIGATION DETAILS	L0.03 T L0.04 T L1.10 P L1.11 P L1.20 IF L1.21 IF L5.10 P	
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ARCHITECTURAL DRAWINGS

A0.01	ARCHITECTURAL GENERAL NOTES AND SYMBOLS
A0.02	PARTITION TYPES
A0.09	SITE PLAN
A1.10	OVERALL FLOOR & ROOF PLANS
A2.10	BUILDING ELEVATIONS
A2.20	ENLARGED BUILDING ELEVATIONS
A3.10	BUILDING SECTIONS
A3.20	WALL SECTIONS
A3.21	WALL SECTIONS
A4.10	ENLARGED PLANS
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A5.10	SITE DETAILS
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A5.12	EXTERIOR DETAILS
A5.13	ROOF DETAILS
A5.14	CANOPY DETAILS
A5.20	STOREFRONT & INTERIOR DETAILS
A6.10	DOOR & FINISH SCHEDULE
A7.10	STAIR PLANS
STRUCTUR/	AL DRAWINGS
S0.00	STRUCTURAL GENERAL NOTES

0.00	STRUCTURAL GENERAL NOTES
0.10	TYPICAL DETAILS
0.20	TYPICAL INTERIOR LIGHT GAGE STEEL DETAILS
1.11	FOUNDATION PLAN
1.15	MEZZANINE FRAMING AND FOUNDATION PLAN
1.21	ROOF FRAMING AND NAILING & STRAPPING PLANS
2.10	BUILDING ELEVATIONS
5.82	TILT DETAILS





Architecture - Interiors Planning - Engineering

REVIATIONS

Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com MACKENZIE DESIGN DRIVEN | CLIENT FOCUSED Clien

L PROFILES

TION ESC PLAN ONTROL PLAN

Delta Logistics 9835 SW COMMERCE CIRCLE, WILSONVILLE, OR 97070

Project

DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR

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SHEET TITLE: TITLE SHEET AND DRAWING INDEX

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SHEET





desk Docs://Delta Logistics Wilsonville Annex-ZC/502 Delta Logistics-B.rvt 11/18/2022 8:51:11 AM As

indicated

STANDARD ABBREVIATIONS

ENGR

ENGINEER

@	АТ	EOP	EDGE OF PANEL	L	ANGLE
AB	ANCHOR BOLT	EP	EPOXY PAINT / EDGE OF PAVEMENT	LAM	LAMINATE
AC	ASPHALTIC CONCRETE	EPDM	ETHYLENE PROPYLENE DIENE	LAV	LAVATORY
ACI	AMERICAN CONCRETE INSTITUTE		MONOMER	LB	LAG BOLT
ADA	AMERICANS WITH DISIBILITIES ACT	EQ	EQUAL	LL	LIVE LOAD
ADD'L	ADDITIONAL	ES	EACH SIDE	LLV	LONG LEG VERTION
ADJ	ADJACENT/ ADJUSTABLE	ETC	EPOXY TRAFFIC COATING / ETCETERA	LONG / LONGIT	LONGITUDINAL
AESS	ARCHITECTURALLY EXPOSED	EW	EACH WAY	LP	LOWPOINT
	STRUCTURAL STEEL	EXP	EXPOSED STRUCTURE	LSL	LAMINATED STRA
AFF	ABOVE FINISH FLOOR	EXP JT / EJ	EXPANSION JOINT	LVL	LAMINATED VENE
AISC	AMERICAN INSTITUTE OF STEEL	EXT	EXTERIOR	LWC	LIGHTWEIGHT CO
	CONSTRUCTION				
AL / ALUM	ALUMINUM	F/	FACE OF	Μ	MIRROR
ALT	ALTERNATE	F/STUD	FACE OF STUD	M/E/P	MECHANICAL/ ELE
APPROX	APPROXIMATE	FB	FLAT BAR		OR PROCESS
ARCH	ARCHITECT(URAL)	FC	FACE OF CURB	MANF	MANUFACTURER
ATR	ALL-THREAD ROD	FD	FLOOR DRAIN	MAS	MASONRY
		FDC	FIRE DEPARTMENT CONNECTION	MATL	MATERIAL
B/	BOTTOM OF	FE	FIRE EXTINGUISHER	MAX	MAXIMUM
BATT	BATTEN INSULATION	FF	FACTORY FINISH / FINISHED FACE	MB	MACHINE BOLT
BD	BOARD	FFE	FINISH FLOOR ELEVATION	MDF/MDO	MEDIUM DENSITY
BLD / BLDG	BUILDING	FIN	FINISH(ED)		OVERLAY
BLK	BLOCK	FL	FLUSH	MECH	MECHANICAL
BLKG	BLOCKING	FLR	FLOOR	MFD	MANUFACTURED
BM	BENCHMARK / BEAM	FM	FACTORY MUTUAL	MFG	MANUFACTURING
BN	BOUNDARY NAIL	FN	FIELD NAILING	MFR	MANUFACTURER
BOT / BOTT	BOTTOM	FND	FOUNDATION	MGR	MANAGER
BRG	BEARING	FOC	FACE OF CONCRETE	MH	MAN HOLE
BSMT	BASEMENT	FOF	FACE OF FINISH	MIN	MINIMUM
BTWN	BETWEEN	FOIC	FURNISH BY OWNER INSTALL BY	MISC	MISCELLANEOUS
BUR	BUILT UP ROOFING		CONTRACTOR	MK	MARK
		FOM	FACE OF MASONRY	MLP	METAL LINEAR PA
CAB	CABINET	FOS	FACE OF STUD	MO	MASONRY OPENII
CB	CATCH BASIN	FOW	FACE OF WALL	MOD BIT	MODIFIED BITUMI
CDF	CONTROLLED DENSITY FILL	FS	FAR SIDE	MP	METAL PANEL
CIP	CAST IRON	FT	FEET/FOOT FIRE TREATED	MTL	METAL
CJ	CONTROL JOINT	FTG	FOOTING		
CL/Q	CENTERLINE			(N)	NEW
CLNG	CEILING	GA	GAUGE	NFPA	NATIONAL FIRE P
CLR	CLEAR	GALV	GALVANIZED	NIC	NOT IN CONTRAC
CMP		GEN	GENERAL	NO. / #	NUMBER
CMU	CONCRETE MASONRY UNIT	GLB	GLULAM BEAM	NOM	NOMINAL
CNTR	CENTER	GLZ	GLAZING	NR	NON RATED
CO	CLEAN OUT	GR	GRADE	NS	NEAR SIDE
COL	COLUMN	GRD	GRID ONLY	NTE	NOT TO EXCEED
CONC	CONCRETE	GSA	U.S. GENERAL SERVICES	NTS	NOT TO SCALE
CONF	CONFERENCE	UUA	ADMINISTRATION	NIG	NOT TO SCALL
CONF	CONNECTION	GYP BD	GYPSUM BOARD	O/A	OVERALL
CONN	CONNECTION	011 88		OC OC	OVERALL ON CENTER
CONST	CONSTRUCTION	HB	HOSE BIB	OD	
CONST		HC	HOLLOW CORE / HANDICAP	OFCI	OWNER FURNISH
	CONTINUOUS	HCM	HOLLOW CLAY MASONRY	OFCI	INSTALLED
CONTR	CONTRACTOR	HDPE	HIGH DENSITY POLYETHELENE	OFOI	OWNER FURNISH
COORD	COORDINATE	HDR	HEADER	0101	INSTALLED
CORR	CORRUGAT(ED) (ION)	HDWR	HARDWARE	ОН	OPPOSITE HAND
CPT	CARPET	HGR	HANGER	OHD	OVERHEAD DOOF
CRC	CHEMICAL RESISTANT COATING			OPNG	OPENING
CSK	COUNTERSINK	HL	HALFLITE	OPP	OPPOSITE
CSP	CONCRETE SEWER PIPE	HM		OSF / O/FACE	OUTSIDE FACE
CTOP	COUNTERTOP	HMK	HOLLOW METAL KNOCKDOWN	OSF / O/FACE OSSC	OREGON STRUCT
CTR / CNTR	CENTER	HMW	HOLLOW METAL WELDED	0330	CODE
CW	CONCRETE WALL	HORIZ	HORIZONTAL	OTS	OPEN TO STRUCT
		HR(S)	HOUR(S)	010	
d	PENNY(NAILS)	HS	HEADED STUD	Р	PAINT
DBA	DEFORMED BAR ANCHOR	HSB	HIGH STRENGTH BOLT	P-LAM	PLASTIC LAMINAT
DBL	DOUBLE	HSS	HOLLOW STRUCTURAL STEEL	P.E.	PROFFESSIONAL
DC	DEMAND CRITICAL WELD	HTG	HEATING	P.E. PB	PARTICLE BOARD
DET / DTL	DETAIL	HVAC	HEATING, VENTILATION AND AIR	PD PDA / PAF	POWDER DRIVEN
DET/DTL	DETAIL				ACTUATED FASTE
DF	DRINKING FOUNTAIN / DOUGLAS FIR	HWS	HEADED WELD STUD	PJ	PANEL JOINT
DIA / ø	DIAMETER			PL/P	PLATE
DIAPH	DIAPHRAGM	IBC	INTERNATIONAL BUILDING CODE	PLB	PARALLAM BEAM
DIM	DIMENSION	ID		PLMB	PLUMBING
DL	DEAD LOAD	IE		PLY / PLYWD	PLYWOOD
DN	DOWN	IF		PNL	PANEL
DP	DEEP	IFC	INTERNATIONAL FIRE CODE	PR	PAIR
DR	DOOR	IMC	INTERNATIONAL MECHANCIAL CODE	PS	POUR STRIP
DS	DOWN SPOUT	INFO	INFORMATION	PSF	POUNDS PER SQI
DWG	DRAWING	INSP	INSPECTION / INSPECTOR	PSI	POUNDS PER SQU
DWLS	DOWELS	INSUL	INSULATION	PSI PSL	POUNDS PER SQU PARALLEL STRAN
		INT	INTERIOR		
(E) / EXIST	EXISTING	IPC	INTERNATIONAL PLUMBING CODE	PT	PRESSURE TREA
E/	EDGE OF			PVC	POLY VINYL CHLC
EA	EACH	JNT	JOINT	PVC PVMT	PAVEMENT
EF	EACH FACE	JST	JOIST		
EIFS	EXTERIOR INSULATION FINISH				
	SYSTEM	К	KIPS		
ELECT	ELECTRICAL	KSF	KIPS PER SQUARE FOOT		
ELEV	ELEVATION	KSI	KIPS PER SQUARE INCH		
EN	EDGE NAIL				
ENGR	ENGINEER				

TE	R	RADIUS
TE DRY	RAD RB	RADIUL RUBBER BASE
LT	RBE	ROOF BASE ELEVATION
AD	RCP	REFLECTED CEILING PLAN
EG VERTICAL	RD	ROOF DRAIN
UDINAL	RECEPT	RECEPTION(IST)
	REF	REFERENCE / REFRIGERATOR
	REINF	REINFORCING
TED VENEER LUMBER /EIGHT CONCRETE	REQ / REQ'D REV	REQUIRED REVISION
	RM	ROOM
र	RO	ROUGH OPENING
NICAL/ ELECTRICAL/ PLUMBING DCESS	ROW	RIGHT OF WAY
ACTURER	S	STAIN
RY	SAT	SUSPENDED ACOUSTICAL TILE
AL JM	SC	SEALED CONCRETE / SOLID CORE WOOD
	SCHED	SCHEDULE
/ DENSITY FIBERBOARD /	SCM	STRUCTURAL CLAY MASONRY
λY	SF	STORE FRONT / SQUARE FEET
NICAL	SFRS	SEISMIC FORCE RESISTING SYSTEM
ACTURED	SHTG / SHT'G	SHEATHING
ACTURING ACTURER	SIM	
ER	SLRS SLV	SEISMIC LOAD RESISTIVE SYSTEM SHORT LEG VERTICAL
DLE	SMS	SHEET METAL SCREW
M	SOG	SLAB ON GRADE
LANEOUS	SP	SPACE(D)(S)
	SPEC(S)	SPECIFICATION(S)
	SQ	SQUARE
RY OPENING	SS	STAINLESS STEEL / SOLID SURFACE
ED BITUMINOUS PANEL	ST DT	STONE STATION POINT
	STA PT STAGG	STATION POINT STAGGERED
	STAGO	STANDARD
	STIFF	STIFFENER
AL FIRE PROTECTION AGENCY	STL	STEEL
CONTRACT	STRUCT	STRUCTURAL
R	SUSP	SUSPENDED
AL ATED	SV	SHEET VINYL
IDE	т	TEMPEPED
	T&B	TEMPERED TOP AND BOTTOM
SCALE	T/	TOP OF
	TC	TOP OF CURB
LL	TEMP	TEMPERATURE / TEMPORARY
ITER	THK	THICK / THICKNESS
	TL	TOTAL LOAD
R FURNISHED, CONTRACTOR	TN	
R FURNISHED, OWNER	TO TOF	TOP OF TOP OF FOOTING
LED	TOS	TOP OF STEEL
ITE HAND	TOW	TOP OF WALL
EAD DOOR	TPO	THERMOPLASTIC POLYOLEFIN
IG ITE	TRANS / TRANSV	TRANSVERSE
E FACE	TS	TUBE STEEL
N STRUCTURAL SPECIALTY	TYP	TYPICAL
	U/S	UNDERSIDE
O STRUCTURE	UC	UNDER COUNTER
	UL	UNDER WRITERS LABORATORIES
CLAMINATE	UNO / UON	UNLESS NOTED OTHERWISE
ESSIONAL ENGINEER	USG	UNITED STATES GYPSUM
LE BOARD		
R DRIVEN ANCHORS/POWDER	VCT	VINYL COMPOSITION TILE
TED FASTENER	VERT	
JOINT	VEST VFY	VESTIBULE VERIFY
AM BEAM	VIF	VERIFY IN FIELD
AM DEAM NG	VP	VISION PANEL
OD		
	W/	WITH
	W/CRC	COATING WITH CHEMICAL
	W/O	RESISTANCE WITHOUT
S PER SQUARE FOOT	WB	WOOD BASE
S PER SQUARE INCH	WC	WOOD BASE WATER CLOSET / WALL COVERING
.EL STRAND LUMBER JRE TREATED / PORCELAIN	WD	WOOD
JNE INEATED / FORGELAIN	WF	WIDE FLANGE BEAM
INYL CHLORIDE	WH	WATER HEATER
ENT	WP	WATER PROOF / WOOD PANELING / WORK POINT
	WR	WORK POINT WATER RESISTANT
	WRGB	WATER RESISTANT WATER RESISTANT GYPSUM BOARD
	WS	WATER STOP / WELDED STUD
	WWF	WELDED WIRE FABRIC

WWF

WWR

WELDED WIRE FABRIC

WELDED WIRE MESH

SYMBOLS AND REFERENCES

		- TRUE NORTH
NORTH ARROW		- PROJECT NORTH
GRIDLINE	0	
	/	- DETAIL #
DETAIL REFERENCE MARK	A101	- OPT. NOTE
		- SHEET #
		- SUB-CATEGORY - CATEGORY
KEYNOTE		- DIVISION #
		- NOTE #
REVISION MARK	1-	- REVISION #

REVISION CLOUD

PROJECT GENERAL NOTES

- THE DRAWINGS LOCATE PRODUCTS, SURFACES, AND MATERIALS AND THE NOTES CONVEY DESIGN Α. INTENT. THE PROJECT INTENT IS TO PROVIDE FOR A COMPLETE, WORKING SYSTEM. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE Β. EDITION, AND TO CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES. C. VERIFY AND CONFIRM ALL CONDITIONS, DIMENSIONS, AND LAYOUT INFORMATION PRIOR TO START OF CONSTRUCTION. NOTIFY MACKENZIE OF ANY DISCREPANCIES PRIOR TO START OF WORK. ANY CORRECTION WORK REQUIRED AS A RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE
- PERFORMED AT NO ADDITIONAL COST TO THE OWNER. D. CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS OF THE ENTIRE WORK. INCONSISTENCIES IN THE PLANS OR SPECIFICATIONS SHALL BE CALLED TO THE ATTENTION OF MACKENZIE.
- REFER TO ENLARGED PLANS AND ELEVATIONS WHERE INDICATED FOR ADDITIONAL INFORMATION. Ε. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE, AND DETAILS TAKE PRECEDENCE OVER PLANS. IN THE CASE OF A CONFLICT, THE HIGHEST COST OPTION SHOULD BE PRICED. F. DETAIL REFERENCES SHALL BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS
- OCCUR, UNLESS NOTED OTHERWISE. THE TERMS "ABOVE FINISH FLOOR" (AFF) AND "FINISH FLOOR ELEVATION" (FFE) REFER TO FINAL G. FINISHED FLOOR ELEVATION, WHETHER BUILT-UP SLAB, COMPOSITE DECK, OR RAISED ACCESS FLOOR. DO NOT SCALE DRAWINGS. Η.
- CUTTING AND DRILLING OF STRUCTURAL MEMBERS NOT DETAILED REQUIRES THE WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD. FINISH FLOOR ELEVATION OF 0'-0" = 262.5' AS INDICATED ON CIVIL DRAWINGS. SAVE AND RECYCLE DEMOLITION DEBRIS AS APPLICABLE. ALL DEMOLISHED OR REMOVED EXISTING
- MATERIAL SHALL BE LEGALLY DISPOSED. COORDINATE WITH THE CITY OF WILSONVILLE REQUIREMENTS FOR RECYCLING/RE-USE OF DEMOLITION DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR WORK. THE L. CONTRACTOR WILL COORDINATE CLEAN UP OF ALL AREAS AFFECTED BY DUST OR ANY MATERIALS, BOTH DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT, INCLUDING THE INSIDE
- OF ALL WINDOWS AS NECESSARY SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT. M. ALL DESIGN-BUILD ITEMS, SYSTEMS, AND ELEMENTS ARE TO BE SUBMITTED FOR REVIEW AND APPROVED BY MACKENZIE. EXISTING MATERIAL NOTED TO BE RETURNED TO THE OWNER SHALL BE SAFELY STORED AND Ν.
- PROTECTED UNTIL IT IS REMOVED FROM THE SITE BY THE OWNER



Architecture - Interiors Planning - Engineering

Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com MACKENZIE. DESIGN DRIVEN | CLIENT FOCUSED Client

Delta Logistics 9835 SW COMMERCE CIRCLE, WILSONVILLE, OR 97070

Project

DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR



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REVISION SCHEDULE			
Delta	Issued As	Issue Date	

SHEET TITLE: PROJECT GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS

DRAWN BY: ADG

CHECKED BY: SJM

SHEET



^{JOB NO.} **2200502.00**

BUILDING I	NFORMATION
SITE AREA: BUILDING FOOTPRIN BUILDING AREA:	
BOILDING MILLA	00,214 01
BUILDING (CODE DATA
	OREGON STRUCTURAL SPECIALTY CODE
GENERAL CODE ANA	
	<u>'E:</u> III-B, TWO STORIES
BUILDING IS DESIGNE FOR CLASS I-IV NON	RINKLER SYSTEM THROUGHOUT (ESFR) ED WITH AN ESFR SPRINKLERED SYSTEM ENCAPSULATED COMMODITIES PER NFPA CTION SPECIFICATIONS. FIRE PUMP IS
OCCUPANCIES: B AND S-1 - BASED ON NON SPE	ERATED USE PER 508.3
~~ ~~ ~~ ~~ ~~ ~~ AREA	GROSS SQUARE FEET
BUILDING	62,107 SF
FLOOR 1: WAREHOUSE	58,125 SF
<u>FLOOR 2:</u> STORAGE FUTURE STORAGE	2,149 SF (1,833 SF)
BUILDING HEIGHT AN	ND STORIES (TABLES 504.3 AND 504.4):
ALLOWABLE: 60	0'-0" / 2 STORIES 6'-6" / 2 STORIES
UNLIMITED AREA BU	ILDING (SEE SECTION 507.4):
	STORIES, FULLY SPRINKLERED, UNLIMITED SECTION 507.4, SURROUNDED BY A BUFFER ORE ON 4 SIDES.
BUILDING FIRE RESIS	STIVE REQUIREMENTS (SEE SECTION 601):
STRUCTURAL FRAME BEARING WALLS - EX BEARING WALLS - IN NON-BEARING WALLS NON-BEARING WALLS FLOOR: ROOF: SHAFTS (707.3.1) STAIRS (1019.1) ELECTRICAL ROOM (9	KTERIOR: NR TERIOR: NR S - EXTERIOR: NR NR NR NR NONE NONE NR Table 509) NR
TABLE 509 ELECTRIC REQUIREMENTS REF PER ELECTRICAL CO PER ELECTRICAL DR LOCATED AT EXTERI PER ELECTRICAL DR INSTALLED INDOORS	REQUIREMENTS PER 509 INCEDENTAL USES CAL INSTALLATIONS AND TRANSFORMERS ERENCES SEPARATION AND/OR PROTECTION ODE SECTIONS 110.26-110.34 AND 450.8-450.48. AWINGS TRANSFORMER VAULTS ARE OR AND NOT WITHING THE ELECTRICAL ROOM. AWINGS DRY-TYPE TRANSFORMERS S ARE LESS THE 112.5 KVA AND DOES NOT ATED IN A ROOM WITH RATED CONSTRUCTION
ELECTRICAL ROOM V	WILL NOT HOUSE BATTERY STORAGE
FIRE BARRIERS SHAI 707.5.	LL MEET ALL CONTINUITY REQUIREMENTS PER
PENETRATIONS THR	OUGH FIRE BARRIER WALLS SHALL MEET ALL

REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07 84

FIRE BARRIERS SHALL MEET ALL DUCT AND AIR TRANSFER OPENING REQUIREMENTS PER 707.10 FIRE SEPARATION DISTANCE (TABLE 602):

III-B	NORTH	EAST	SOUTH	WEST
WAREHOUSE	100'	33'	104'	635'
 FULLY SPRINKLERED ES PORTABLE FIRE EXTINGI THROUGHOUT BASED O 	JISHERS	SHALL BE)

DOORS (SECTION 1010) RATED, SIZED, AND HARDWARE PROVIDED TO MEET SECTION 1010 - SEE INDIVIDUAL FLOOR PLANS AND SPECIFICATIONS.

• PROVIDE PANIC HARDWARE AT ELECTRICAL ROOM (1010.1.9) MEANS OF EGRESS ILLUMINATION (SECTION 1008)

ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008.2. UNDER EMERGENCY POWER, MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH SECTION 1008.3.

FIRE PROTECTION - CHAPTER 9

BASED ON 2019 OREGON FIRE CODE OFC SECTION 509.1

ROOMS CONTAINING CONTROLS FOR AIR CONTAINING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT.

SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATIONS TO BE APPROVED BY THE FIRE CODE OFFICIAL. WHERE REQUIRED AND APPROVED BY THE FIRE CODE OFFICIAL UTILITIES ARE TO BE LEGIBLY MARKED TO IDENTITY THE JANITOR SPACE IT SERVES.

PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS SHALL MEET ALL REQUIREMENTS PER SECTION 714 AS WELL AS FIRE RESISTANCE RATED WALLS TO MEET FIRE STOPPING PER SPECIFICATION 07 84 00

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS FULLY SPRINKLERED NFPA-13 ESFR FIRE SYSTEM

SECTION 906 PORTABLE FIRE EXTINGUISHERS PROVIDE (1) FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A:10-B:C FOR EACH 3,000 SF OF FLOOR AREA. TRAVEL FROM ANY

PORTION OF BUILDING NOT TO EXCEED 75'. FIRE EXTINGUISHERS LOCATED WITH OFFICE AREA TO BE SEMI-RECESSED CABINETS.

OFC APPENDIX D FIRE APPARATUS ACCESS ROADS SEE SHEET C1.00 FOR AERIAL FIRE APPARATUS ACCESS.

- OFC CHAPTER 32 HIGH-PILED COMBUSTIBLE STORAGE BUILDING IS DESIGNED TO ACCOMMODATE HIGH PILED STORAGE TYPE I-IV UNENCAPSULTED COMMODITIES UP TO 36' HIGH-PILED STORAGE PER OFC TABLE 3206.2:
- AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH OFC SECTION 3206.4 FIRE DETECTION SYSTEM IS NOT REQUIRED PER TABLE 3206.2
- BUILDING ACCESS IS PROVIDED PER OFC SECTION 3206.6 • SMOKE AND HEAT REMOVAL IS REQUIRED PER TABLE 3260.6 FOOTNOTE I: AUTOMATIC FIRE-EXTINGUISHING SYSTEM PROVIDED
- IN ACCORDANCE WITH OFC 3207 AND 3208 • MAX PILE DIMENSIONS - 120' LONG x 40' HIGH MAX PILE VOUME - 400,000 CUBIC FEET

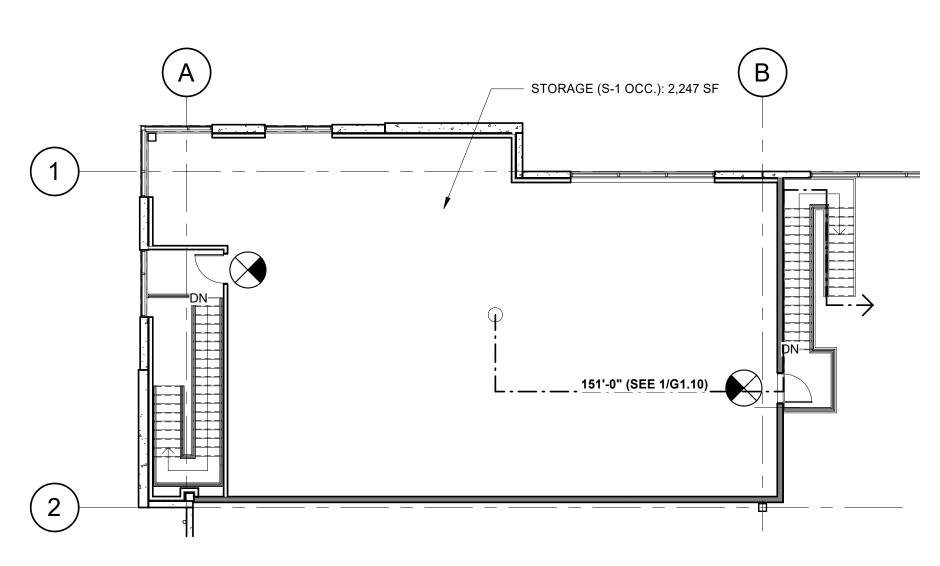
MEANS OF EGRESS

- SECTION 1008 MEANS OF EGRESS ILLUMINATION
 PROVIDE MEANS OF EGRESS ILLUMINATION AT A MINIMUM OF ONE FOOT CANDLE DOORS. WAREHOUSE/ OFFICE PROVIDE - EMERGENCY POWER FOR MIN 90 MINUTES. (BATTERY BACK-UP) - AVERAGE INITIAL ILLUMINATION OF 1 FOOT-CANDLE(11 LUX)
- MAXIMUM UNIFORMITY RATIO OF 40 : 1 - SEE FLOOR PLANS FOR PATH
- FLOOR PLAN AND DOOR HARDWARE. ALL DOOR HARDWARE TO COMPLY WITH ADA REQUIREMENTS. SEE SPEC'S. THRESHOLDS TO COMPLY WITH 1010.1.7
- 1008.1.9.1 HARDWARE HEIGHT TO COMPLY WITH 1010.1.9.2
- LOCKS AND LATCHES TO COMPLY 1010.1.9.4 • BOLT LOCKS ARE NOT PERMITTED UNLESS MEETING 1010.1.9.5 EXCEPTIONS • THE UNLATCHING OF ANY DOOR OR LEAF SHALL COMPLY 1010.1.9.6

SECTION 1013 - EXIT SIGNS PROVIDE EXIT SIGNAGE TO MEET SECTION 1013.1.

•

SECTION 1028 - EXIT DISCHARGE
 ALL EXITS DISCHARGE AT GROUND LEVEL



2 CODE PLAN - SECOND FLOOR G1.10 1" = 10'-0"

OCCUPANCY				WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS				
USE	OCCUPANCY TYPE	LOAD FACTOR 1004.1.2	AREA	OCCUPANCY LOAD	RATIO	MEN'S WATER CLOSETS	WOMEN'S WATER CLOSETS	UNISEX WATER CLOSETS	RATIO	MEN'S LAVATORIES	WOMEN'S LAVATORIES	UNISEX LAVATORIES	RATIO	RATIO
OFFICE	В		2,443.00	60	1 PER 25 ≤ 50 1 PER 50 REMAINDER),	1.20	-	1 PER 40 ≤ 80, 1 PER 80 REMAINDER		0.75	0.75	_	N/A
OFFICE (150LO	AD FACTOR)	150	1,693.00	12	2									
OFFICE (15 LO	AD FACTOR)	15	590.00	40)									
STORAGE	S-1	300	2,149.00	3	3									
WAREHOUSE	S-1	500	55,682.00	112	2 1 PER 100	0.56	0.56		1 PER 100		0.56	0.56	-	N/A
SUBTOTALS						1.76	1.76	-			1.31	1.31	-	-
REQUIRED TOTALS			60,274.00			2	2	-			2	2	-	-
PROVIDED						2	2	1			2	2	1	

CODE SECTION		OCCUPA	NCY		1005		1006.2.1 100		1006.2.1 1		1017 1006		006		
	OCCUPANCY	LOAD FACTOR		OCCUPANT LOAD	EGRESS WIDTH	EGRESS	WIDTH	COMMON	COMMON PATH	MIN. EXIT	EXIT DISTANCE	MAX TRAVEL	TRAVEL DISTANCE	EXITS	EXITS
USE	TYPE (CHAP. 3)	1004.1.2	AREA	(1004.1.1)	FACTOR	WIDTH	PROVIDED	PATH REQUIRED	PROVIDED	DISTANCE	PROVIDED	DISTANCE	PROVIDED	REQUIRED	PROVIDED
BUSINESS AREAS	В	150	1,853	13	0.2	3''		100'-0"	44'-0"	32'-4"	64'-8"			1	2
100 VESTIBULE			100												
101 OPEN OFFICE			1,040									200'-0"	84'-6"		
107 WOMENS			175												
106 MENS			175												
108 JAN.			55												
109 W/C			58												
103 OFFICE			125												
104 OFFICE			125												
UNCONCENTRATED	В	15	590	40	0.2	8''		100'-0"	44'-0"	N/A	N/A			1	1
105 BREAK			315												
105A DATA			40												
102 CONFERENCE			235												
WAREHOUSE	S-1	500	54,985	110	0.2	22''		100'-0"	N/A	211'-4"					
001 WAREHOUSE			54,985									250'-0"	143'-6"	2	5
	S-1	300	2,846	10	0.2	2''		100'-0"	N/A	211'-4"					
002 ELECTRICAL			280												
005 FIRE PUMP			417												
200 STORAGE			2,149									250'-0"	151'-0"	2	2
BUILDING TOTAL			60,274	163		33''	216"								

AT PATH OF EGRESS TO MEET SECTION 1008. EXTEND 5'-0" OUTSIDE EGRESS

SECTION 1010 - DOORS, GATES AND TURNSTILES
 EXTERIOR DOORS SIZED AND HARDWARE PROVIDED TO MEET SECTION. SEE

HARDWARE ON DOORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH

GENERAL NOTES

- THIS SHEET IS MEANT FOR CODE REVIEW PURPOSES ONLY. SEE SHEET A1.10 FOR ADDITIONAL PLAN INFORMATION. EMERGENCY LIGHTING ALONG THE EGRESS PATH SHALL
- NOT BE LESS THAN 1 FOOTCANDLE AT THE FLOOR LEVEL AT ALL POINTS ALONG THE EGRESS PATH, A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 SHALL
- NOT BE EXCEEDED TO MEET ALL REQUIREMENTS OF SECTION 1008. SECTION 1010.1.1 REQUIRES A CLEAR DOOR WIDTH OF 32". ALL PROVIDED DOORS COMPLY.

GOVERNING CODES 2019 OREGON STRUCTURAL SPECIALTY CODE 2021 OREGON ENERGY EFFICIENCY CODE 2019 OREGON MECHANICAL SPECIALTY CODE

2021 OREGON ELECTRICAL SPECIALTY CODE 2021 OREGON PLUMBING SPECIALTY CODE 2019 OREGON FIRE CODE ICC A117.1-2009 ACCESSIBILITY

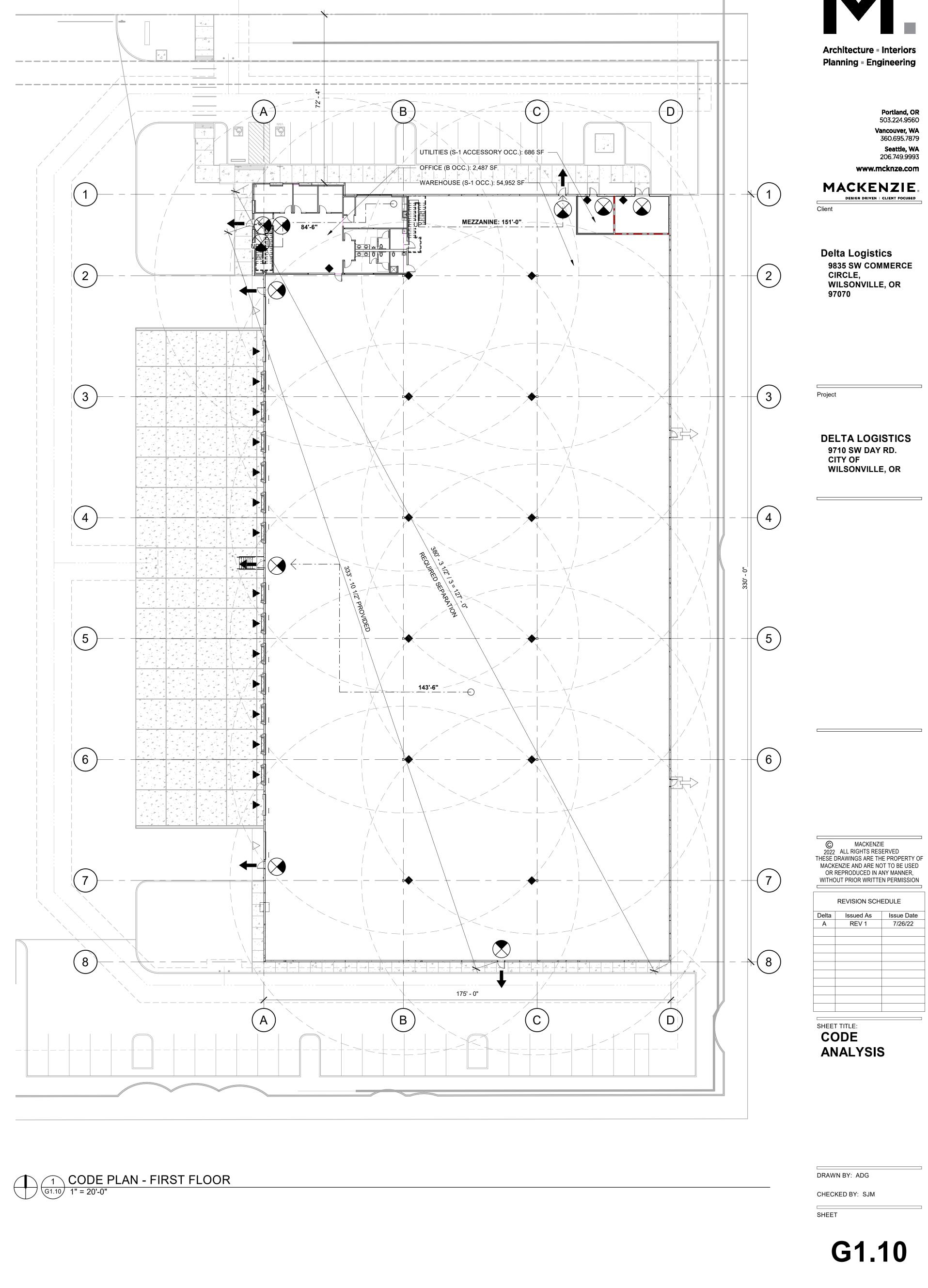
LEGEND

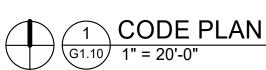
D.

DOCK HIGH OVERHEAD DOOR	
DRIVE IN OVERHEAD DOOR	\bigtriangleup
FIRE EXTINGUISHER LOCATION (75' CLEARANCE RADIUS). GC TO COORDINATE FINAL QUANTITIES & LOCATIONS WITH FIRE MARSHAL	•
EXITS	-
FIRE ACCESS DOOR	
PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS PER THESE LOCATIONS	\bigotimes
MAXIMUM TRAVEL DISTANCE	⋳ ,

WALL TYPES

CONCRETE TILT PANEL - SEE STRUCTURAL ELEVATIONS FOR THICKNESSES	4
HR RATED WALL PER 11/A5.20	— • —
FULL HEIGHT WALL PER 12/A5.20	
STICK-PIN INSULATION 10/A5.20	<u> </u>
NTERIOR PARTITION PER 13/15/A5.20	





^{JOB NO.} **2200502.00**

indicated





Project Information

Energy Code: Project Title: Location: Climate Zone: Project Type: Vertical Glazing / Wall Area:

Construction Site: 9710 SW Day Road Wilsonville, Oregon 97070

Performance Sim. Specs:

Building Area

1-Warehouse : Semiheated 2-Office : Nonresidential

Envelope Assemblies Assemb

Roof: Insulation Entirely Above Deck, [Warehouse] Skylight: Metal Frame: Plastic, with Cu ID N/A, SHGC 0.35, VT 0.64, [Bldg. Use Roof: Insulation Entirely Above Dec OFFICE SLAB: Unheated Slab-On-Gra Office] (c) WAREHOUSE SLAB: Unheated Slab-

Warehouse] (c) NORTH TILT WALL - (furring at office) NORTH Thickness, Normal Density, Furring: f

Office] Window: Metal Frame: Fixed, Perf. S SHGC 0.40, VT 0.50, [Bldg. Use 2 - C TILT WALL - (stickpin at office): Solid Normal Density, Furring: None, [Bld Window: Metal Frame: Fixed, Perf. S SHGC 0.40, VT 0.50, [Bldg. Use 2 -TILT WALL - NORTH: Solid Concrete Density, Furring: None, [Bldg. Use] Man Door: Insulated Metal, Swingin Warehouse] Window: Metal Frame: Fixed, Perf. SHGC 0.40, VT 0.50, [Bldg. Use 1 -

TILT WALL - (furring at office) NORT

Data filename:

Project Title: Delta Logistics - Wilsonville

COMcheck Software Version COMcheckWeb Envelope Compliance Certificate

90.1 (2019) Standard

Delta Logistics - Wilsonville Wilsonville, Oregon 4c

New Construction

5% EnergyPlus 8.1.0.009 (EPW: USA_OR_Portland.Intl.AP.726980_TMY3.epw)

Owner/Agent: Igor Nichiporchik Delta Logistics 9835 SW Commerce Circle Wilsonville, Oregon 97070 503-665-2200 igor@deltagov.com	Designer/Contractor: Adam Goldberg Mackenzie 1515 SE Water Ave, Suite 100 Portland, Oregon 97214 8476481232 agoldberg@mcknze.com					
Floor Area						
5	55682					
	2443					

bly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor _{ix}
eck, [Bldg. Use 1 -	55682		20.0	0.048	0.093
h Curb, Perf. Specs.: Product Use 1 - Warehouse] (b)	576			0.450	0.750
eck, [Bldg. Use 2 - Office]	2443		20.0	0.048	0.032
Grade, [Bldg. Use 2 -	112			0.730	0.520
b-On-Grade, [Bldg. Use 1 -	911			0.730	0.730
RTH: Solid Concrete, 12in. g: Metal, [Bldg. Use 2 -	394	13.0	0.0	0.138	0.104
. Specs.: Product ID N/A, - Office] (b)	140			0.450	0.360
olid Concrete, 10in. Thickness, Ildg. Use 2 - Office]	952		13.0	0.067	0.104
- Office] (b)	224			0.450	0.360
te, 8in. Thickness, Normal 2 1 - Warehouse]	2637		0.0	0.740	0.580
ing, [Bldg. Use 1 -	21			0.130	0.370
. Specs.: Product ID N/A, - Warehouse] (b)	315			0.450	0.500
RTH: Solid Concrete, 8in.	295	13.0	0.0	0.142	0.104

Report date: 03/24/22 Page 1 of 12

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U Factor _{in}
Thickness, Normal Density, Furring: Metal, [Bldg. Use 2 -					
Office] Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	97			0.450	0.360
TILT WALL - (stickpin at office) NORTH: Solid Concrete, Bin. Thickness, Normal Density, Furring: None, [Bldg. Use 2 - Office]	706		13.0	0.068	0.104
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	105			0.450	0.360
TILT WALL - (furring at riser) NORTH: Solid Concrete, 8in. Thickness, Normal Density, Furring: Metal, [Bldg. Use 1 - Warehouse]	453	13.0	0.0	0.142	0.580
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	63			0.130	0.370
Ext. Wall: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	1037		13.0	0.068	0.580
EAST TILT WALL (furring at riser) - EAST: Solid Concrete, 8in. Thickness, Normal Density, Furring: Metal, [Bldg. Use 1 -	160	13.0	0.0	0.142	0.580
Warehouse] TILT WALL (stickpin at riser) - EAST: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	429		13.0	0.068	0.580
TILT WALL - EAST: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	11516		0.0	0.740	0.580
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	42			0.130	0.370
SOUTH TILT WALL - SOUTH: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	6071		0.0	0.740	0.580
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	21			0.130	0.370
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 1 - Warehouse] (b)	525			0.450	0.500
WEST TILT WALL - WEST: Solid Concrete, 8in. Thickness, Normal Density, Furring: None, [Bldg. Use 1 - Warehouse]	9747		0.0	0.740	0.580
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 1 - Warehouse] (b)	148			0.450	0.500
Man Door: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	63			0.130	0.370
Roll-Up Door: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse]	1686			0.130	0.360
TILT WALL - (furring office) WEST: Solid Concrete, 12in. Thickness, Normal Density, Furring: Metal, [Bldg. Use 2 - Office]	438	13.0	0.0	0.138	0.104
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	141			0.450	0.360
TILT WALL - (stickpin at office) WEST: Solid Concrete, 10in. Thickness, Normal Density, Furring: None, [Bldg. Use 2 - Office]	1006		13.0	0.067	0.104
Window: Metal Frame: Fixed, Perf. Specs.: Product ID N/A, SHGC 0.40, VT 0.50, [Bldg. Use 2 - Office] (b)	225			0.450	0.360
(a) Budget U-factors are used for software baseline calculation (b) Fenestration product performance must be certified in acc (c) Slab-On-Grade proposed and budget U-factors shown in ta	ns ONLY, and an ordance with NF	RC and re	-		nts.

Project Title: Delta Logistics - Wilsonville Data filename:

Report date: 03/24/22 Page 2 of 12 Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans,

Envelope Compliance Statement

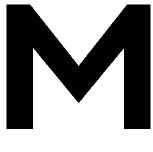
nvelope PASSES: Design 1% better than code

specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2019) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

Project Title: Delta Logistics - Wilsonville Data filename:

Report date: 03/24/22 Page 3 of 12



Architecture - Interiors Planning - Engineering

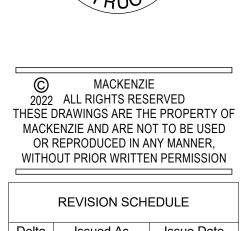
Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com MACKENZIE. DESIGN DRIVEN | CLIENT FOCUSED Client

Delta Logistics 9835 SW COMMERCE CIRCLE, WILSONVILLE, OR 97070

Project

DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR





OR REPRODUCED IN ANY MANNER, WITHOUT PRIOR WRITTEN PERMISSION						
REVISION SCHEDULE						
Delta	Issued As	Issue Date				

REVISION CONEDULE						
Delta	Issued As	Issue Date				

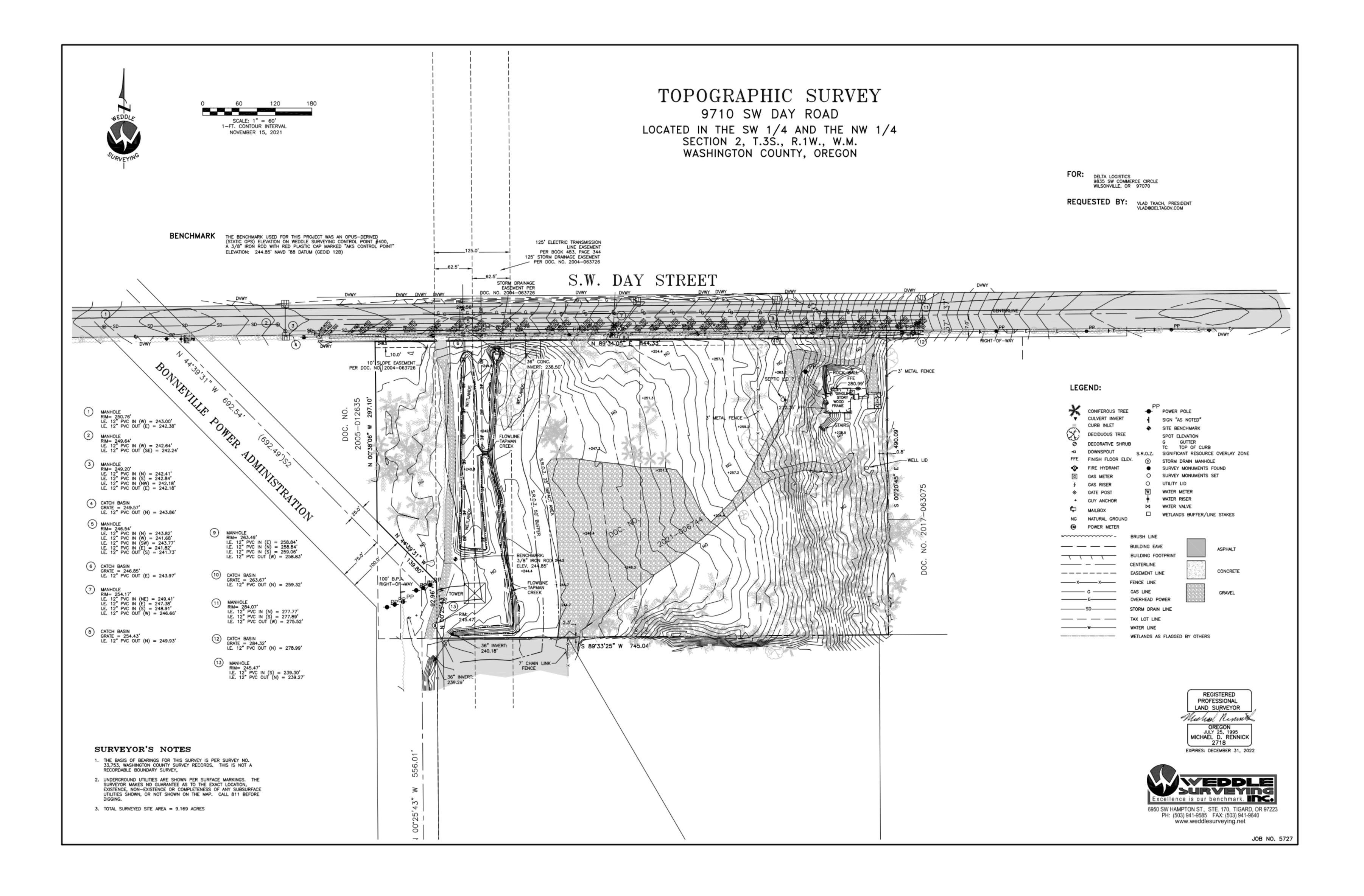
SHEET TITLE: ENERGY CODE COMPLIANCE

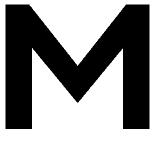
DRAWN BY: ADG

CHECKED BY: SJM SHEET



JOB NO. 2200502.00





Portland, OR 503.224.9560 Vancouver, WA 360.695.7879 **Seattle, WA** 206.749.9993 www.mcknze.com MACKENZIE. DESIGN DRIVEN | CLIENT FOCUSED Clien

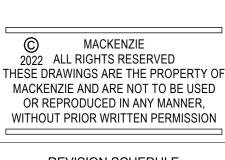
Delta Logistics 9835 SW COMMERCE CIRCLE, WILSONVILLE, OR 97070

Project

DELTA LOGISTICS 9710 SW DAY RD. CITY OF WILSONVILLE, OR







REVISION SCHEDULE					
Delta	Issued As	Issue Date			



DRAWN BY: Author

CHECKED BY: Checker



^{JOB NO.} **2200502.00**

SHEET

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
- 2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
- 3. CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
- 5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
- 6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT 7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
- 8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

SITE DEMOLITION NOTES

- 1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
- 2. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES
- 3. MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
- 4. PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE
- 5. DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
- 6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
- 7. DEMOLISH AND REMOVE ALL NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE. DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE
- 8. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES)
- 9. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

GRADING NOTES

- 1. ROUGH GRADING: ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
- 2. FINISH GRADING: BRING ALL FINISH GRADES TO LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
- 3. EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL
- 5. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL
- 6. SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
- 7. CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION
- 8. ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS
- 9. PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS)

UTILITY NOTES

- REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
- FITTINGS, UNLESS OTHERWISE NOTED
- 5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
- FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
- LANDSCAPE PLANS AND SPECIFICATIONS
- OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING
- 10. CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE
- ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES
- 12. CONTRACTOR SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS
- SPECIFICATIONS AND GENERAL EXPECTATIONS
- OF STRUCTURE TO CENTER OF STRUCTURE
- STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES/ETC TO THE SLOPES OF THE SITE GRADING
- TRAFFIC RATED

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL

2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE

3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS PER DETAIL 1/C5.10 AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE

4. ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE

6. IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR

7. PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&T PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE 8. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE

9. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET

11. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE

CONTRACTOR SHALL EXPOSE THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND

CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE

13. PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. - WATERTIGHT, MINIMUM/MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT

14. PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER

15. MANHOLE RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE

16. MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20

EROSION CONTROL NOTES

- 1. HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
- 2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPROPRIATE NON-STORMWATER POLLUTION CONTROLS
- 3. THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (AHJ). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE AHJ, THE PLANS, AND THE PROJECT SPECIFICATIONS
- 4. CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
- 5. METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE KEPT TO A MINIMUM AND SHALL BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
- 6. ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
- 7. HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURSIDICTION
- 8. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
- 9. INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
- 10. STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

SITE WORK NOTES

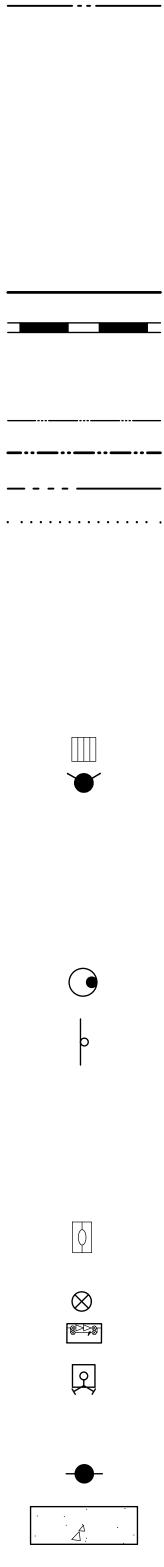
- 1. ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE
- 2. STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
- WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)
- 4. PAVEMENTS WITH DEPRESSIONS OR BIRD BATHS, UNCONTROLLED CRACKS WHICH ARE VISIBLE WITHOUT MAGNIFICATION, AND/OR BONY OR OPEN GRADED SURFACES (EXCEPTING POROUS PAVEMENTS) WILL BE CONSIDERED UNACCEPTABLE. CONTRACTOR SHALL REVIEW PAVEMENT REPAIR OR REPLACEMENT ALTERNATIVES WITH THE OWNER AND ENGINEER PRIOR TO CONDUCTING THE REPAIR WORK.

LEGEND

EXISTING

PROPOSED

ROW LINE	
BRUSH LINE	·······
BUILDING EAVE	
BUILDING FOOTPRINT	
CENTERLINE	
EASEMENT LINE	
ENCE LINE	XX
GAS LINE	G
OVERHEAD POWER	—————E ————
SANITARY LINE	
STORM DRAIN LINE	SD
TAX LOT LINE	
WATER LINE	
DOMESTIC WATER LINE	
FIRE WATER LINE (PRIVATE)	
FIRE WATER LINE (PUBLIC)	
WETLANDS AOI	
WETLANDS BUFFER	
SROZ BOUNDARY	· ·
CULVERT INVERT	
CURB INLET	
DECORATIVE SHRUB	(2°°°)
DOWNSPOUT	<□
CATCH BASIN	
FIRE HYDRANT	t Ot
GAS METER	G
GAS RISER	2
GATE POST	*
GUY ANCHOR	\downarrow
<i>I</i> AILBOX	
MANHOLE	Ц
POWER METER	EM
SIGN "AS NOTED"	
SITE BENCHMARK	
STORM DRAIN MANHOLE	
SURVEY MONUMENTS FOUND	$\overline{\bullet}$
SURVEY MONUMENTS SET	\bigcirc
JTILITY LID	$\tilde{\bigcirc}$
WATER METER	VV
NATER RISE	W
NATER VALVE	
WATER VAULT	
DC	
WETLANDS BUFFER/ INE STAKES	
	PP
POWER POLE	
SDEWALK	
	<
IREE	
WETLAND AREA	



+<

ABBREVIATIONS

RAIN GARDEN

тс	TOP OF CURB	WM	WATER METER
AC	ASPHALT	ОН	OVERHEAD WIRE
FH	FIRE HYDRANT	SSWR	SANITARY SEWER
FG	FINISHED GRADE	MH	MANHOLE
SW	SIDEWALK ELEVATION	IE	INVERT ELEVATION
TS	TOP OF STAIR	СВ	CATCH BASIN
BS	BOTTOM OF STAIR	STM	STORM
TYP	TYPICAL	RD	ROOF DRAIN
R.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
LS	LANDSCAPE	NG	NATURAL GROUND
SROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
00		GPM	GALLONS PER MINUTE
CO		FW	FIRE WATER
INV	INVERT	PWS	PUBLIC WORKS
RD	ROOF DRAIN		STANDARDS
COW	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
AOI	AREA OF IMPACT	ELEV	ELEVATION

DESIGN REVIEW SET 07/29/2022



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Project

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CIVIL NOTES

AND LEGEND

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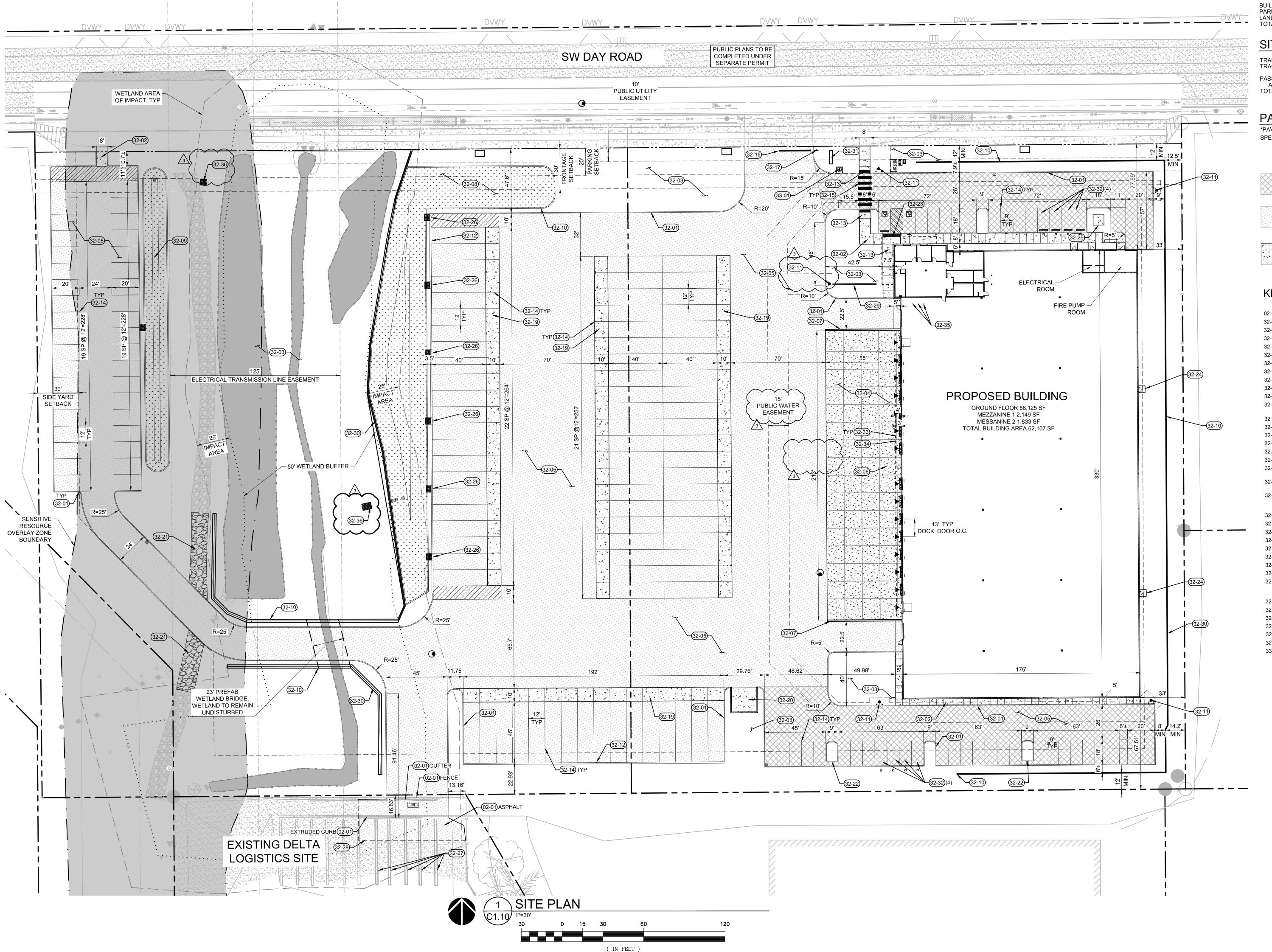
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(IN FEET) 1 inch = **30** ft.

SITE COVERAGE SUMMARY

LDING FOOTPRINT AREA: RKING AND PAVING AREA: IDSCAPE AREA: FAL SITE AREA:	58,125 190,265 138,317 386,708	SF SF SF SF	1.33 AC 4.37 AC 3.15 AC 8.88 AC	

SITE PARKING SUMMARY

TRAILERS (50'X12'):	80 STALLS
TRACTOR STALLS (20'X12'):	38 STALLS
PASSENGER VEHICLES (18'X9'):	39 STALLS
ACCESSIBLE STALLS:	2 STALLS
TOTAL VEHICLE STALLS:	41 STALLS

PAVEMENT LEGEND *PAVEMENT SECTIONS PER GEODESIGN, SEE APPENDIX IN PROJECT

SPECIFICATIONS		
		SECTION PER SUBSUI BEDROCK
	LIGHT PAVEMENT (NO TRUCK TRAFFIC)	2.5" AC OVER 4.0" BASE ROCK
	HEAVY TRUCK PAVEMENT: (APPROX.50 TPD)	4.0" AC OVER 4.0" BASE ROCK
	CONCRETE SECTION:	6" PCC WITH #4 @ 24" ROCK BASE. SUBGRA GEOTECHNICAL REPO

KEYNOTES

02-01	REMOVE EXISTING AS NOTED
32-01	CONCRETE VERTICAL CURB, PER DETAIL 1/C5.10
32-02	CONCRETE SIDEWALK, PER DETAIL 7/C5.10
32-03	LANDSCAPE AREA, SEE LANDSCAPE PLANS
32-04	CONCRETE TRUCK DOCK, SEE PAVEMENT LEGEND
32-05	ASPHALT PAVING AREA, SEE PAVEMENT LEGEND
32-06	DOCK STAIR, PER ARCHITECTURAL DETAIL
32-07	DOCK RETAINING WALL, PER ARCHITECTURAL DETAIL
32-08	RAIN GARDEN 1, PER DETAIL 7/C5.12
32-09	RAIN GARDEN 2, PER DETAIL 8/C5.12
32-10	DESIGN-BUILD SOIL NAIL WALL, OR APPROVED EQUAL. SEE WAL
32-11	FIRE HYDRANT ASSEMBLY WITH BOLLARD PROTECTION. BOLLAR 3/C5.10, SEE UTILITY PLAN FOR FIRE HYDRANT DETAILS
32-12	12" HIGH X 12" WIDE CURB AT TRUCK TRAILER PARKING STALLS,
32-13	PERPENDICULAR CURB RAMP, PER DETAIL 12/C5.10
32-14	4" WHITE PARKING STRIPE, PER SPECIFICATIONS
32-15	12" WIDE CROSSWALK STRIPE, PER SPECIFICATIONS
32-16	12" WIDE WHITE STOP BAR STRIPE
32-17	STOP SIGN, PER DETAIL 14/C5.10
32-19	10' WIDE TRAILER LANDING GEAR STRIP. 6" PCC W/ #4 @ 24" O.C. CRUSHED ROCK BASE. SEE DETAIL 8/C5.10 FOR CONCRETE TO A
32-20	19'X20' CONCRETE PAD FOR TRASH ENCLOSURE. SEE ARCHITEC TRASH ENCLOSURE DETAIL
32-21	RAMP GRAVEL ROAD TO MATCH GRADE AT DRIVE AISLE. SLOPE INSTALL FLUSH CURB AT FOR WIDTH OF ROAD AT DRIVE AISLE. S MORE DETAILS.
32-22	3' CHANNEL, PER DETAIL 1/C5.12
32-23	PARALLEL CURB RAMP, PER DETAIL 13/C5.10
32-24	5' X 5' CONCRETE LANDING, PER DETAIL 7/C5.10
32-25	8' X 8' CONCRETE PAD FOR GENERATOR. SEE MEP PLAN
32-26	3' WIDE CURB BREAK AT 50' O.C., PER DETAIL 5/C5.10
32-27	PAINT OVER EXISTING TRAILER STALL PARKING WITH BLACK PAI
32-28	FULL DEPTH SAW CUT, PER DETAIL 2/C5.10
32-29	SCREEN WALL, PER ARCHITECTURAL DETAIL 9/A5.10
32-30	3' HIGH GUARDRAIL TO BE EMBEDDED IN RETAINING WALL AT AL WALL HEIGHT IS GREATER THAN 30". SEE RETAINING WALL PRO AND 4/C5.12
32-31	MONUMENT SIGN. SEE LANDSCAPE PLANS FOR DETAILS
32-32	FUTURE ELECTRIC VEHICLE PARKING STALL. SEE ELECTRICAL P
32-33	3' WIDE ISOLATED ROW. SEE DETAIL 12/C5.11
32-34	BUILDING CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS A
32.35	3 RIKE RACKS SEE ARCHITECTURAL PLANS FOR DETAILS

32-35 3 BIKE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS 32-36 RIP RAP AT PIPE OUTFALL, PER DETAIL 9/C5.12. SEE UTILITY PLANS FOR LOCATION 33-01 FDC CONNECTION, PER DETAIL 16/C5.10, SEE UTILITY PLAN



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SURFACE CONDITION: SOIL SUBGRADE

2.5" AC OVER 8.0" BASE ROCK

5.0" AC OVER 18.0" BASE ROCK

24" O.C. OVER 4" OF CRUSHED RADE TO BE COMPACTED TO EPORT SPECIFICATIONS

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ALL PLAN FOR DETAILS ARD, PER DETAIL 2 AND 6, PER DETAIL 3/C5.10

C. EACH WAY OVER 4" ASPHALT TRANSITION CTURAL PLANS FOR PE NOT TO EXCEED 10%. E. SEE GRADING PLAN FOR

AINT

ALL LOCATIONS WHERE ROFILES AND DETAILS 3

PLANS FOR DETAILS AND SPECIFICATIONS.

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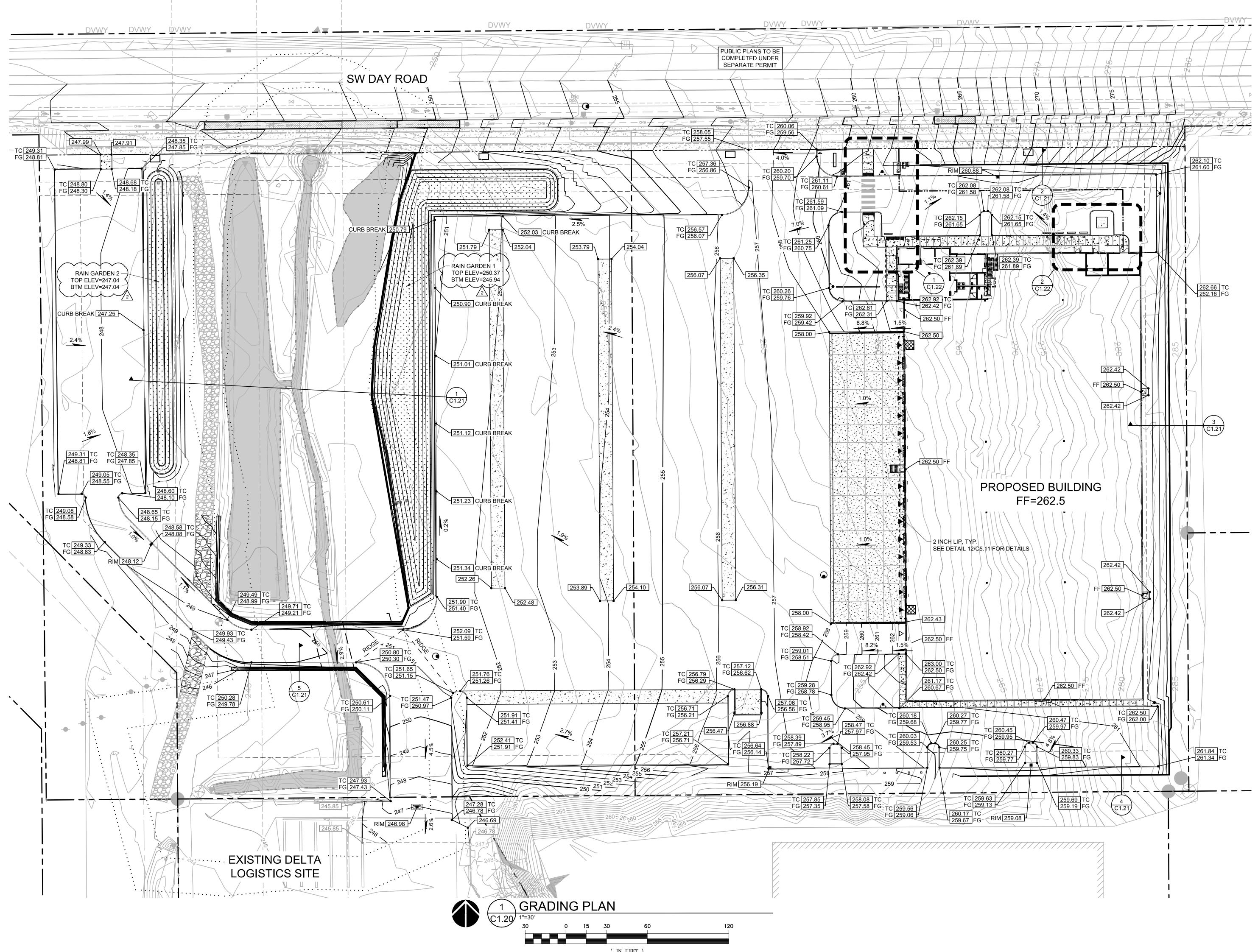
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SHEET TITLE: SITE PLAN

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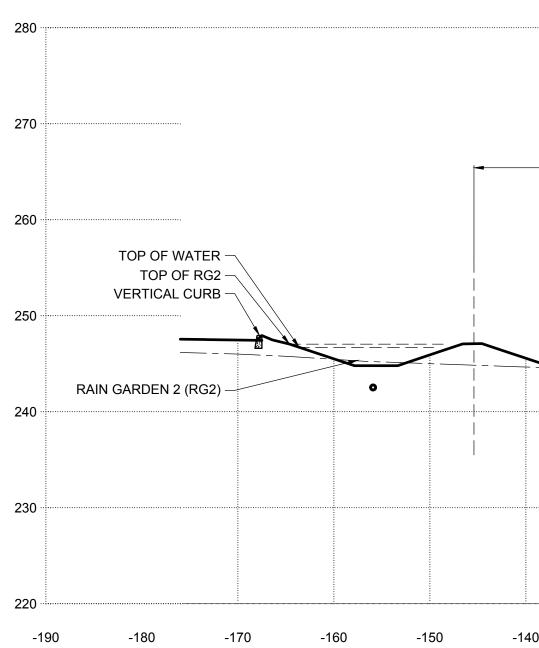
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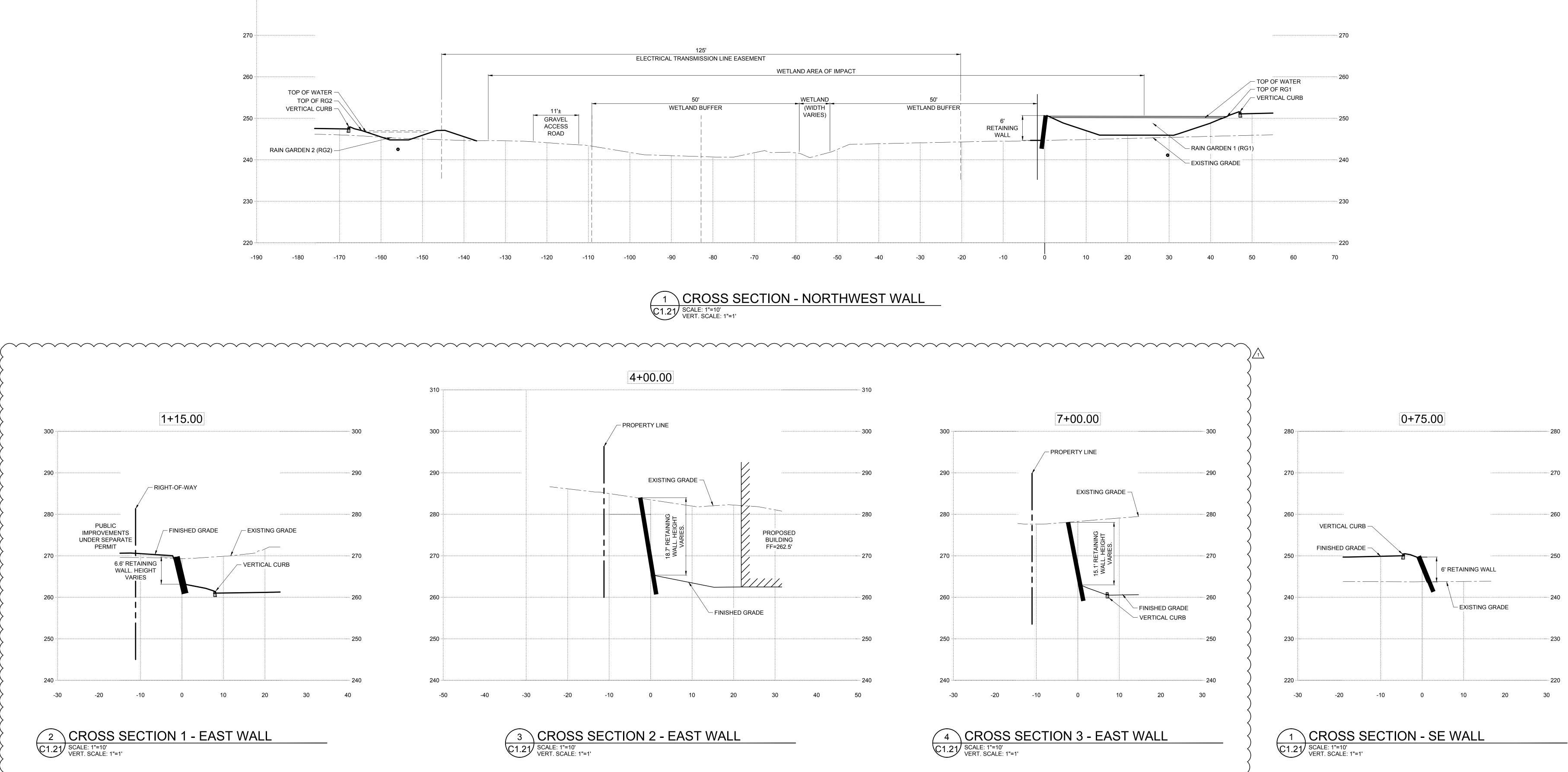
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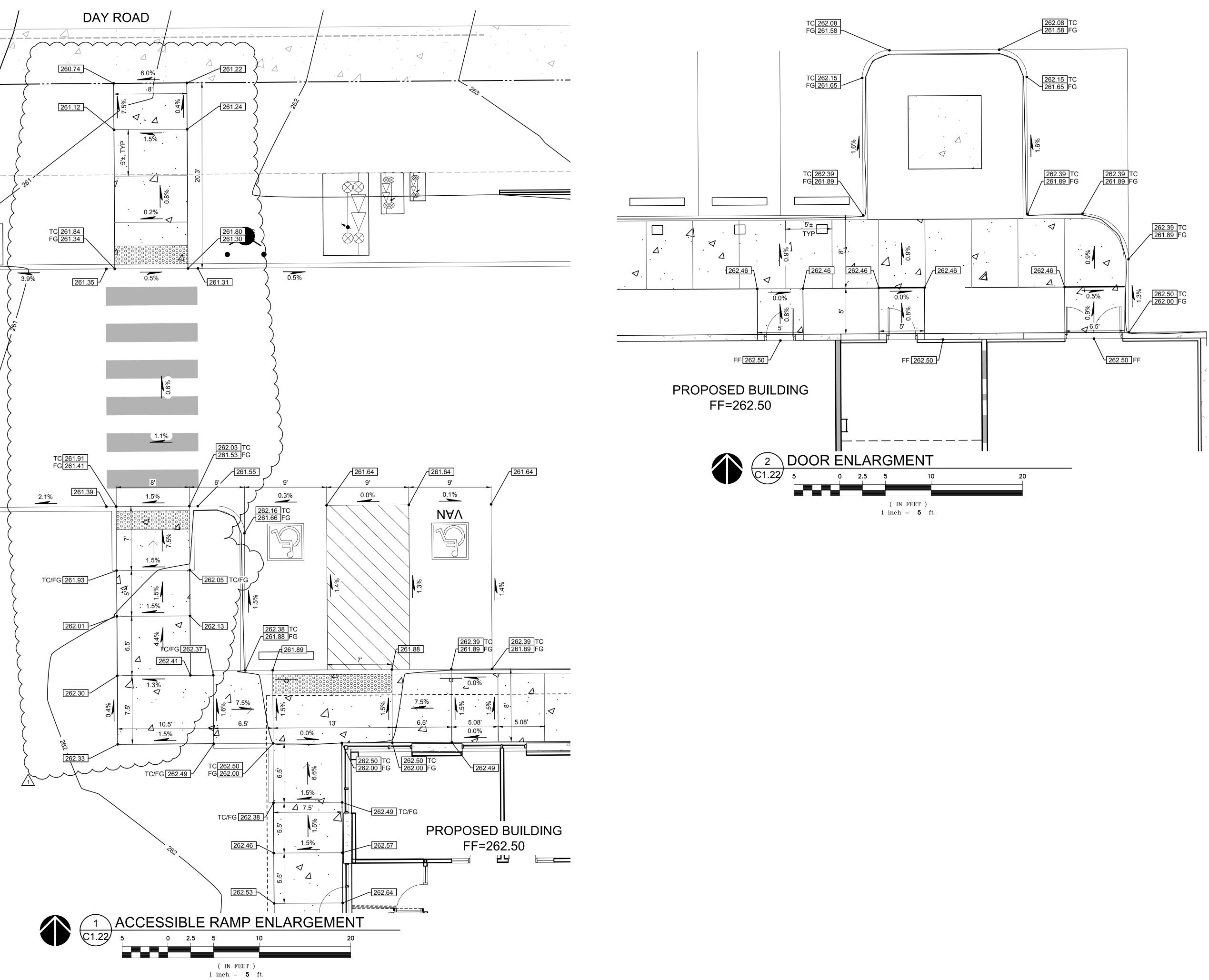
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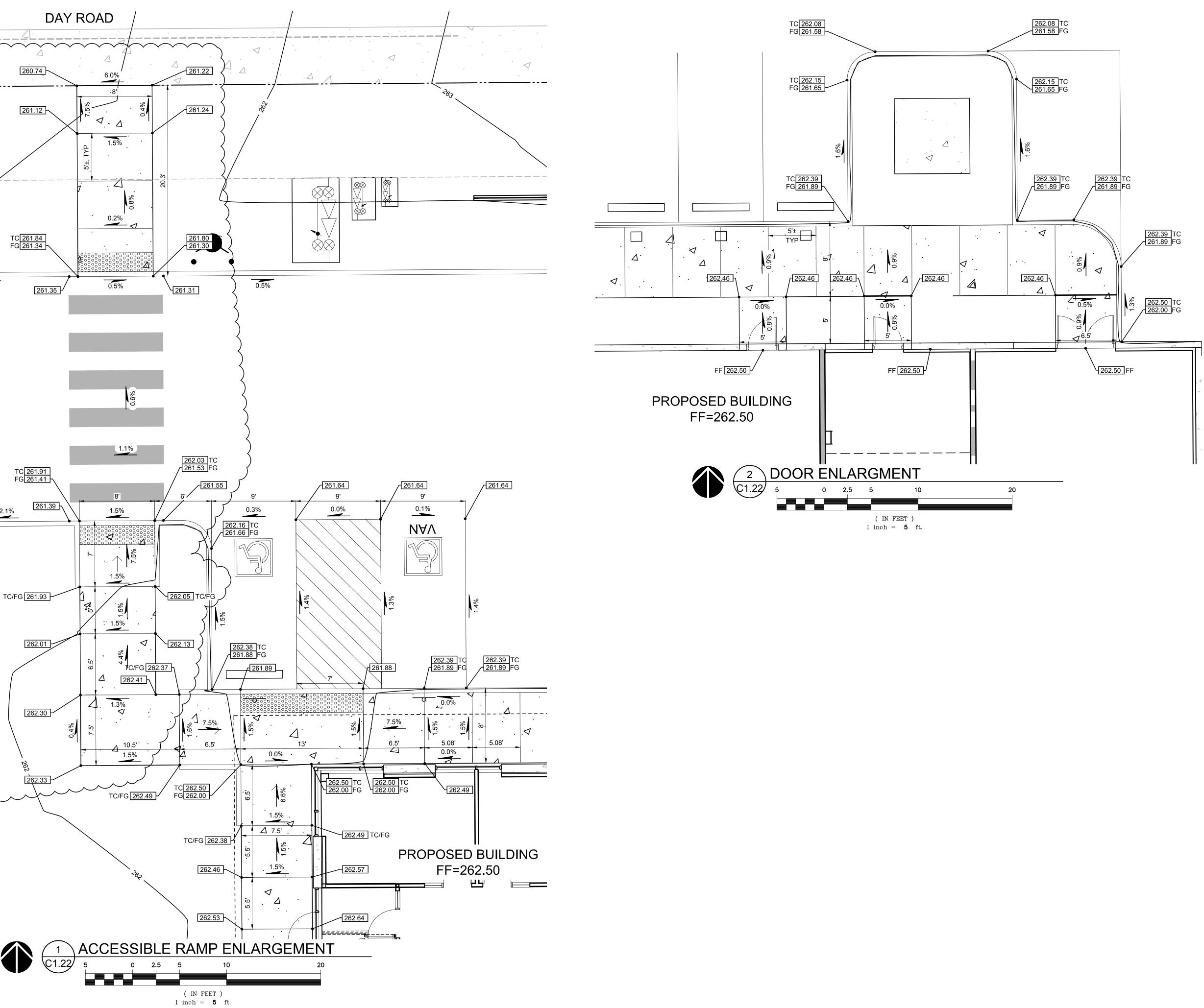
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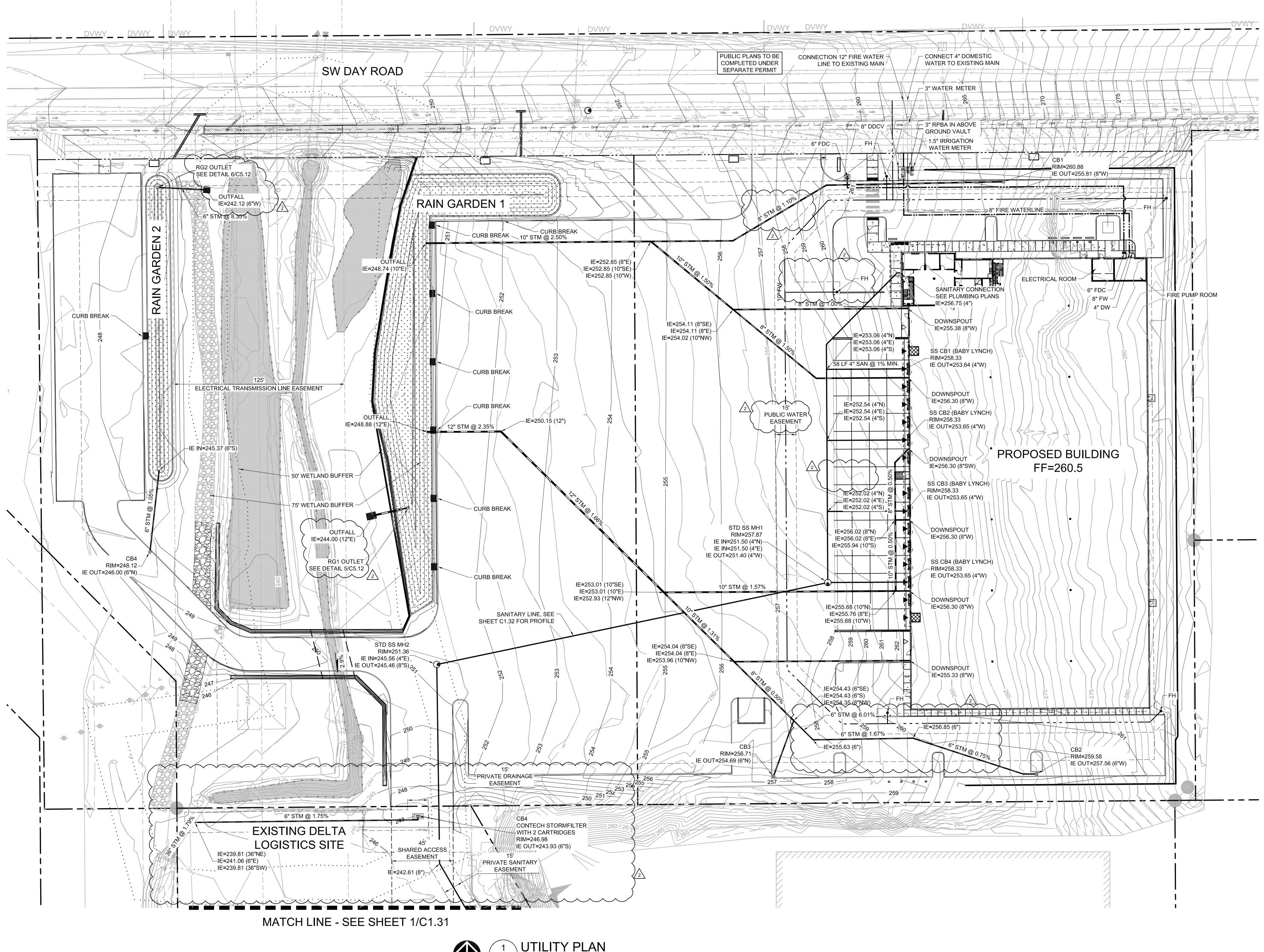
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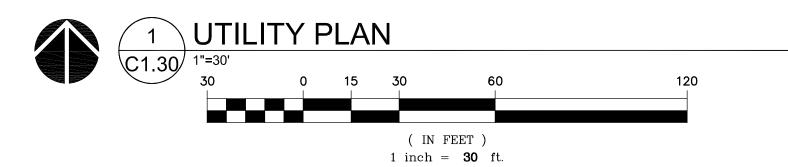
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UTILITY PLAN

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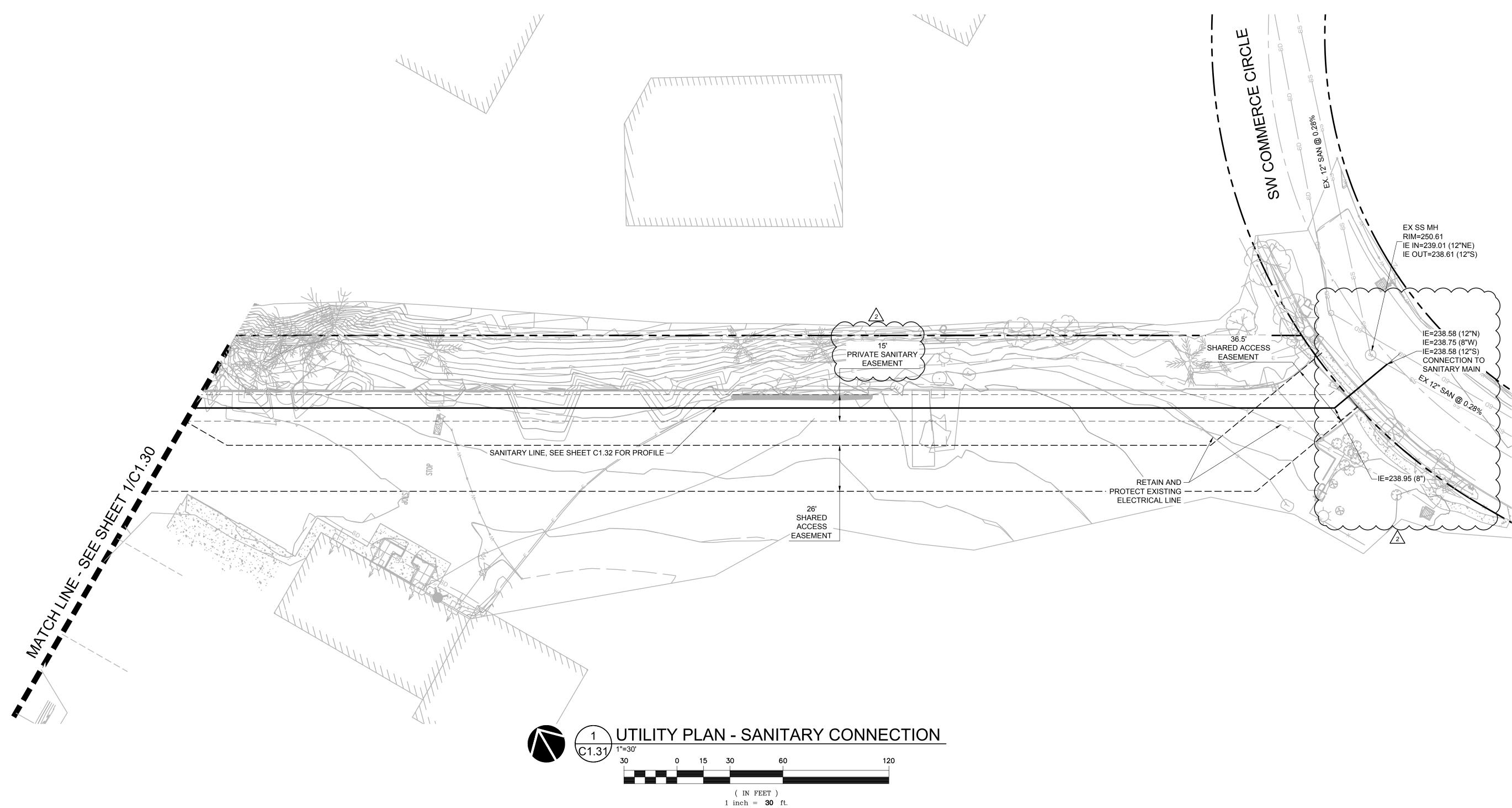
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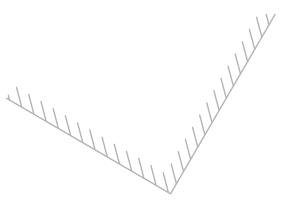
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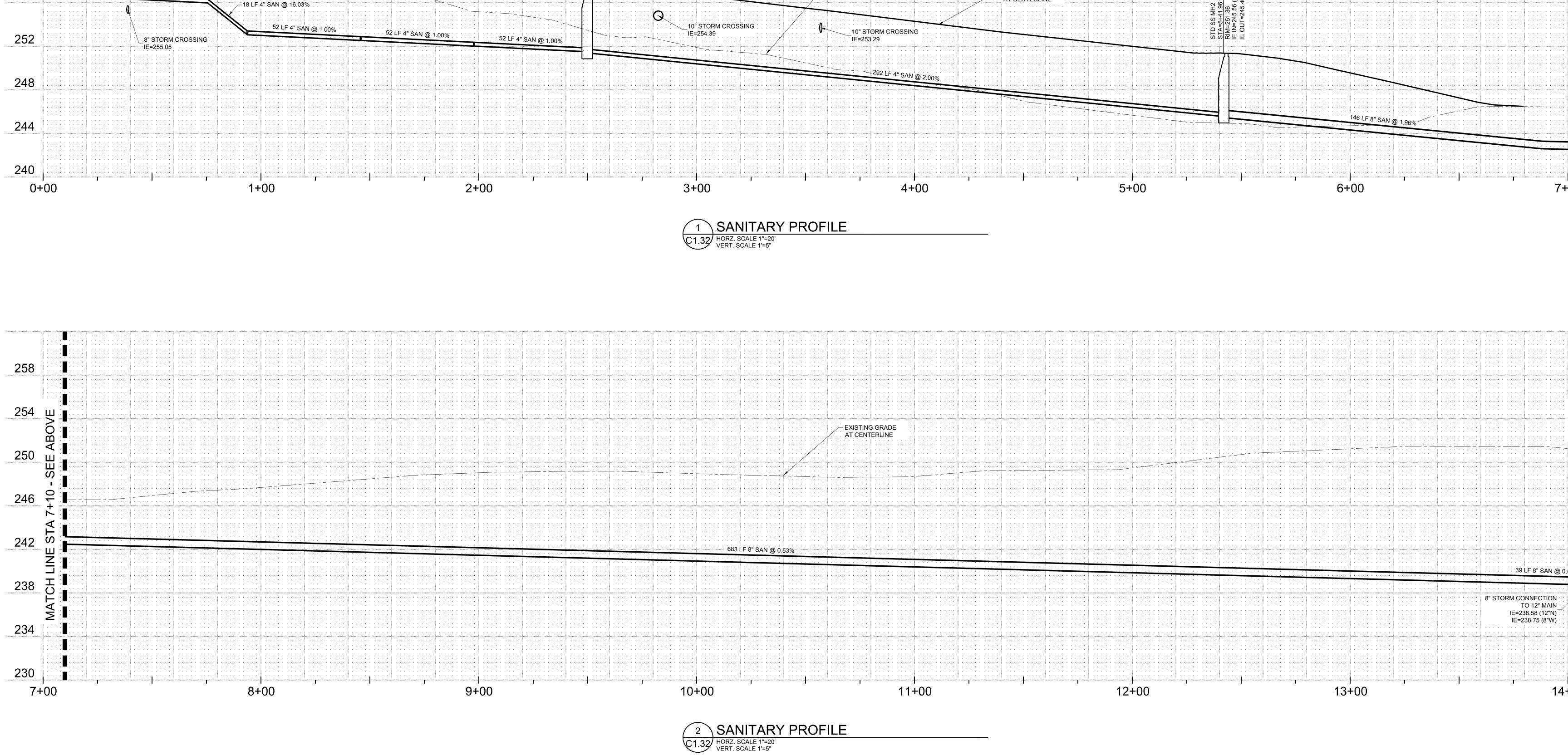


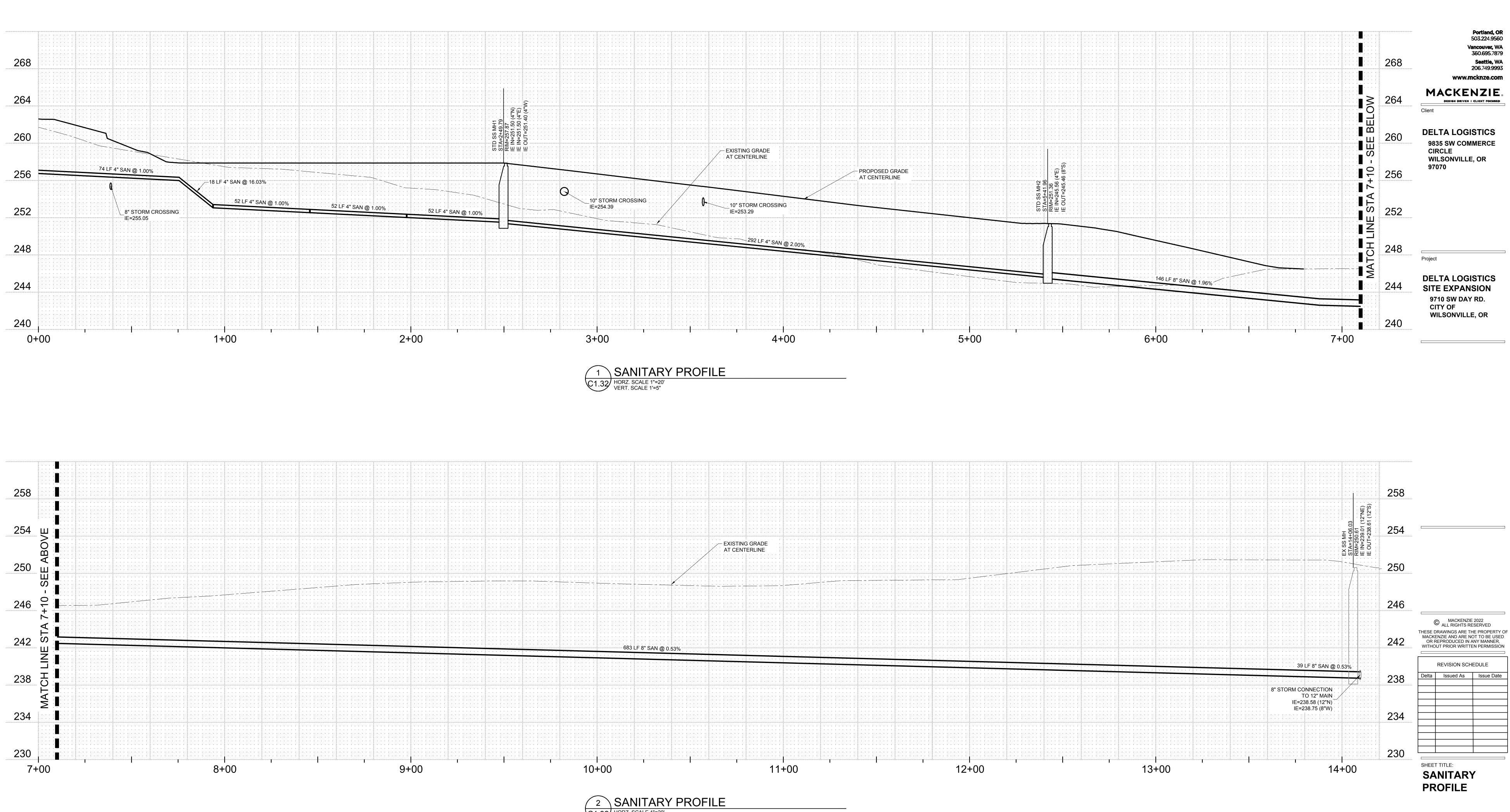


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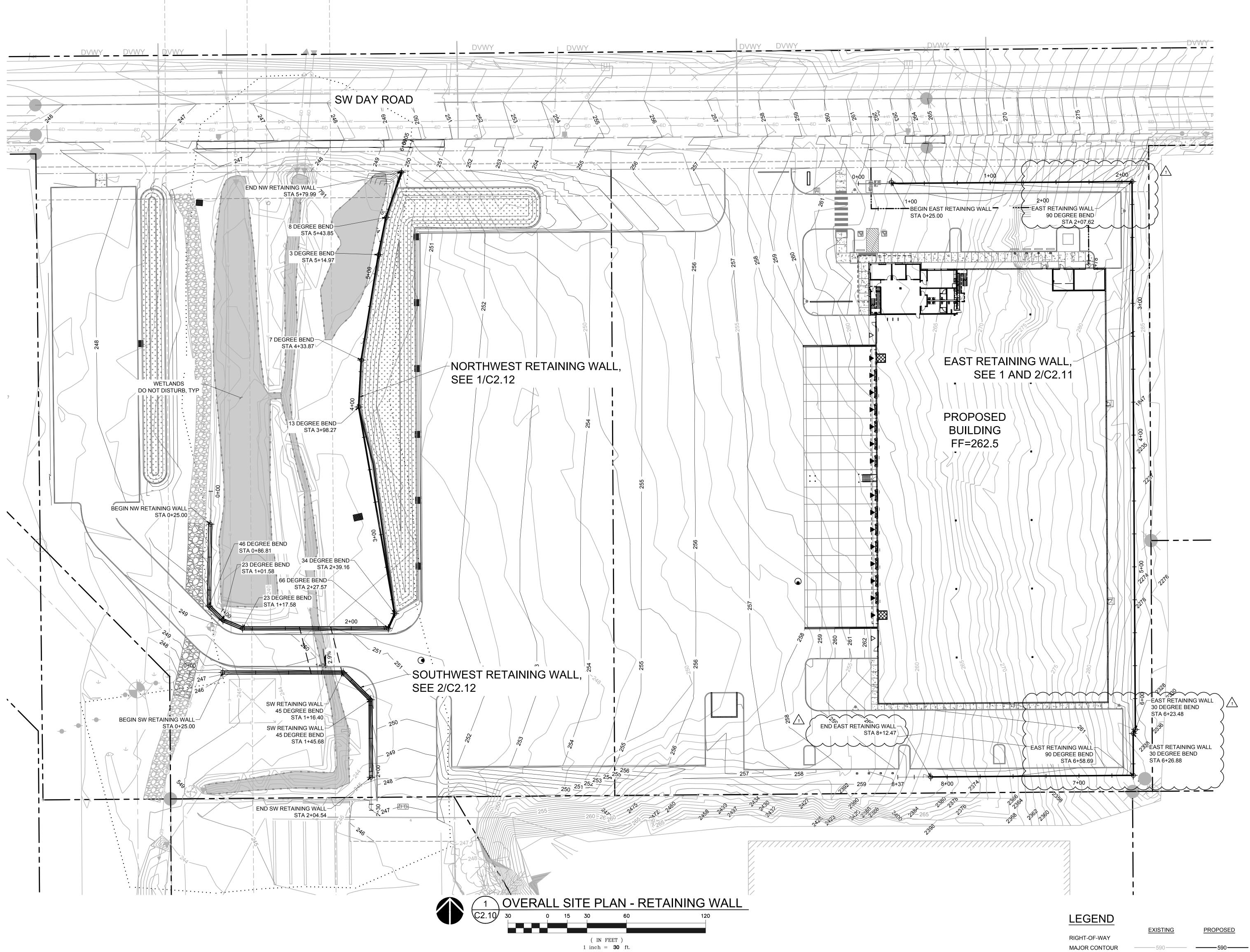
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SHEET	T TITLE:	
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JOB NO. **2200502.04**



MINOR CONTOUR

NOTE:

220050200 \\GRP.MCK\PROJECTS\PROJEC

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9835 SW COMMERCE CIRCLE WILSONVILLE, OR 97070

Project

DELTA LOGISTICS SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR

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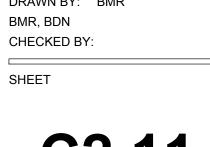
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DeltaIssued AsIssue Date1PLAN CHECK07/14/2022

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SHEET TITLE: OVERALL RETAINING WALL PLAN

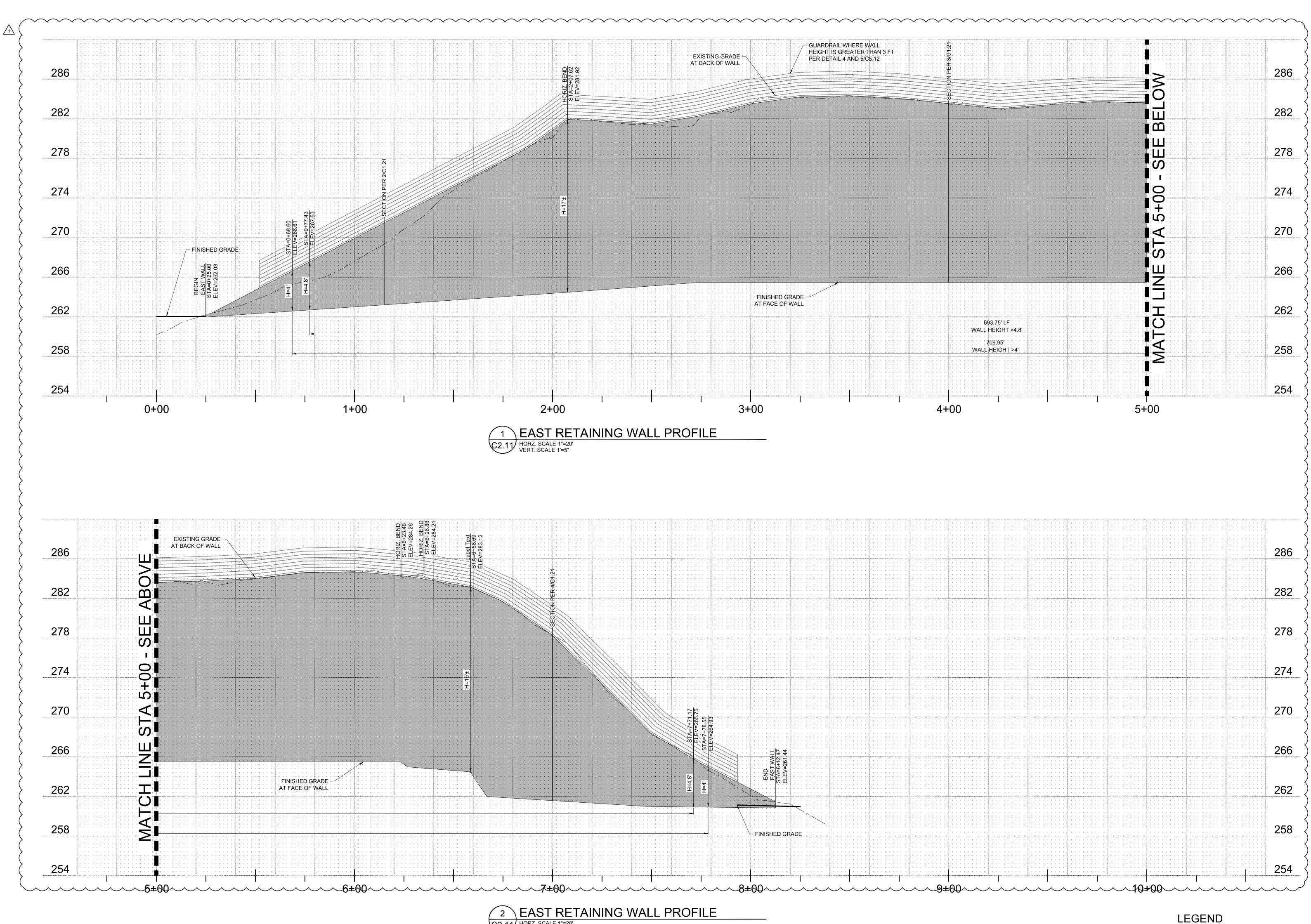
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^{JOB NO.} **2200502.04**

L PLAN AND PROFILE.DWG:C2.10 AOC 07/01/22 10:38 1:20



C2.11 HORZ. SCALE 1"=20' VERT. SCALE 1'=5"

<u>EXISTING</u>

RIGHT-OF-WAY MAJOR CONTOUR MINOR CONTOUR

_____591_____**591____**

ABBREVIATIONS GROUND ELEVATION AT FACE OF WALL FW GROUND ELEVATION AT BACK OF WALL BW

NOTE:

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DESIGN REVIEW SET 07/29/2022 CT5/220050200/DR4/4/INGS/CI//II \50/204-C2.10-13-RETAINING WALL PLAN AND PROFILE.DWG:C2.11 AOC 07/01/22 10:38 1:20 *220050200* \\GRP.MCK\PROJECTS\PROJECTS\Z2



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(IN FEET) 1 inch = **20** ft.

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 07/14/2022

WALL PROFILE

RETAINING

SHEET

DRAWN BY: AOC, BMR

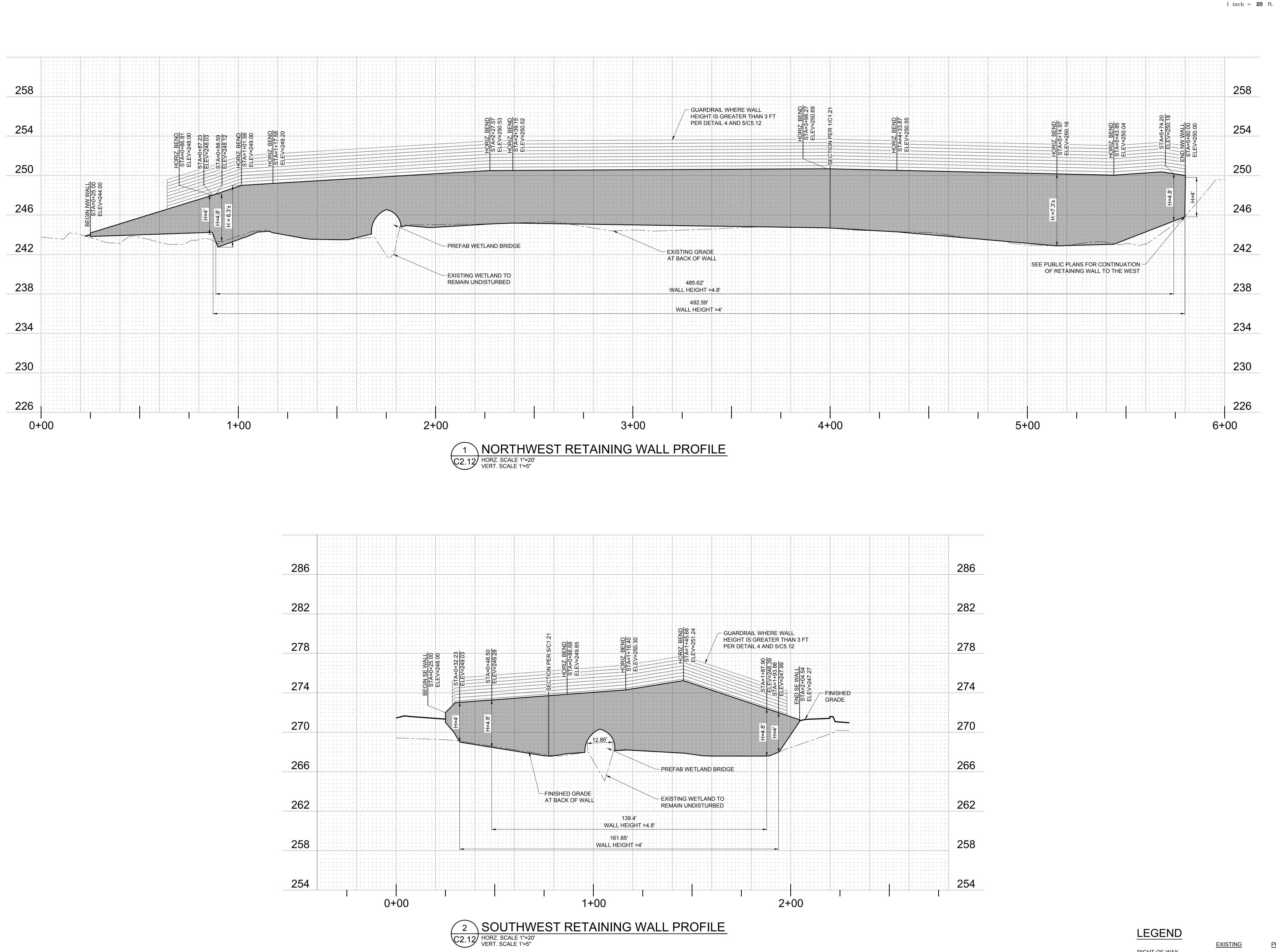
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^{JOB NO.} **2200502.04**

SHEET TITLE: EAST

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RIGHT-OF-WAY

MAJOR CONTOUR MINOR CONTOUR

ABBREVIATIONS

GROUND ELEVATION AT FACE OF WALL FW GROUND ELEVATION AT BACK OF WALL BW

NOTE:

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DESIGN REVIEW SET 07/29/2022 220050200\DR4\VINGS\CIVII\50204-C2.10-13-RETAINING WALL PLAN AND PROFILE.DWG:C2.12 BMR 03/21/22 10:04 1:20



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(IN FEET)

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WALL PROFILES

SHEET TITLE: NORTHWEST SOUTHWEST RETAINING

AND

PROPOSED

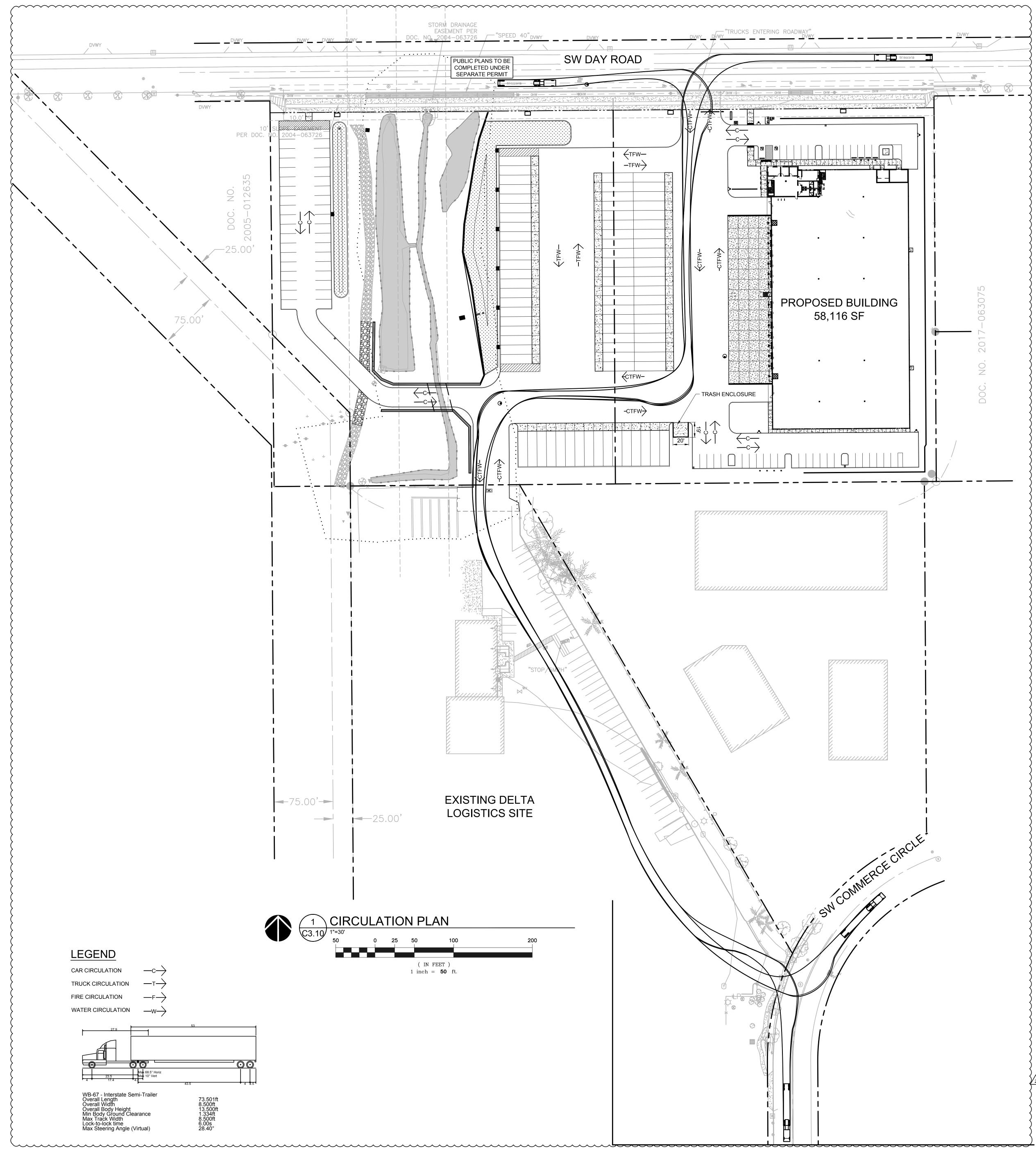
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> SHEET C2.12

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 1
 PLAN CHECK
 06/10/2022
 2 LAND USE 11/15/2022

SHEET TITLE:

PLAN

DRAWN BY:

CHECKED BY:

SHEET

BMF

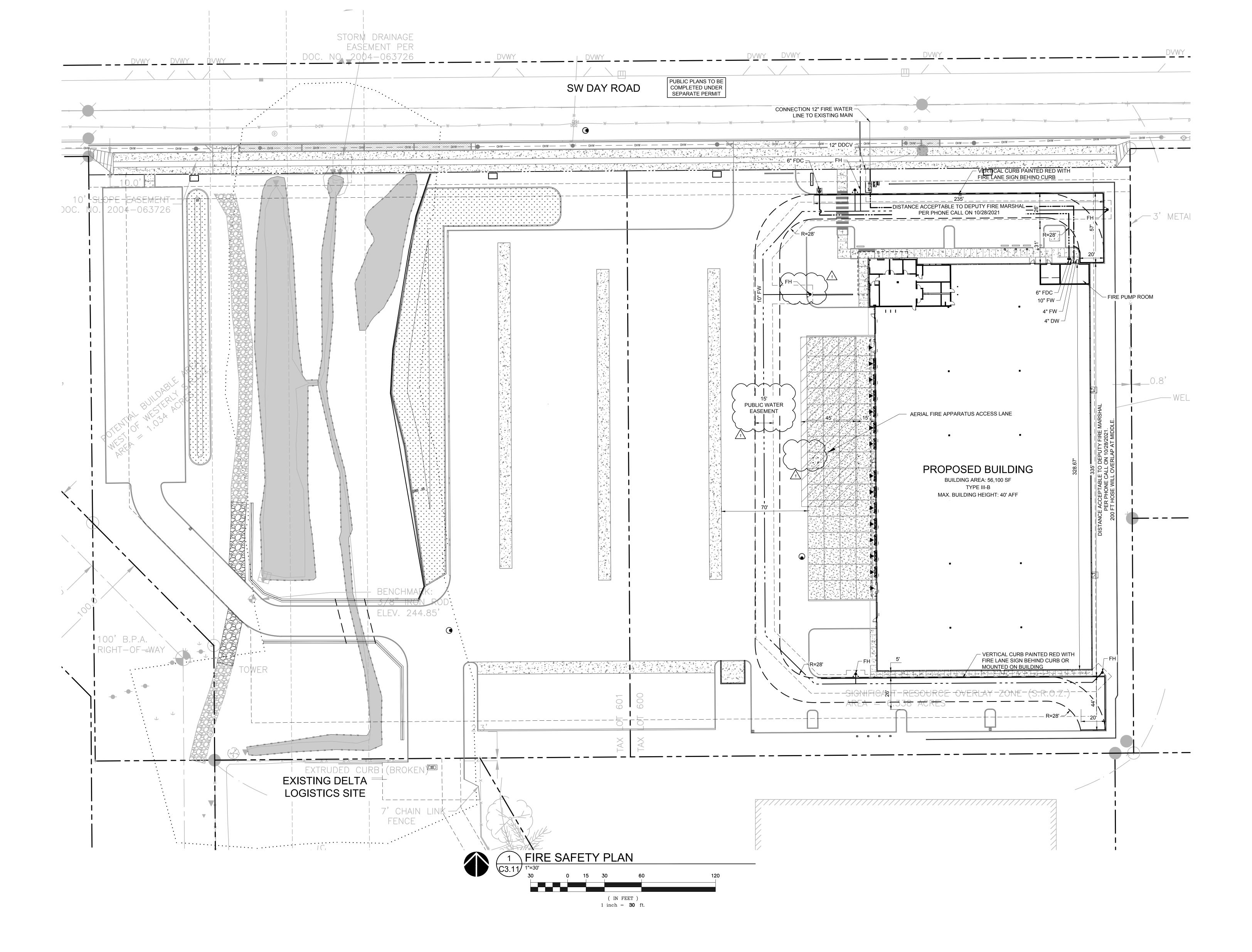
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^{JOB NO.} **2200502.04**

11/16/22 18:20 1:50

CIRCULATION

C3.10





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FIRE SAFETY PLAN

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JOB NO.

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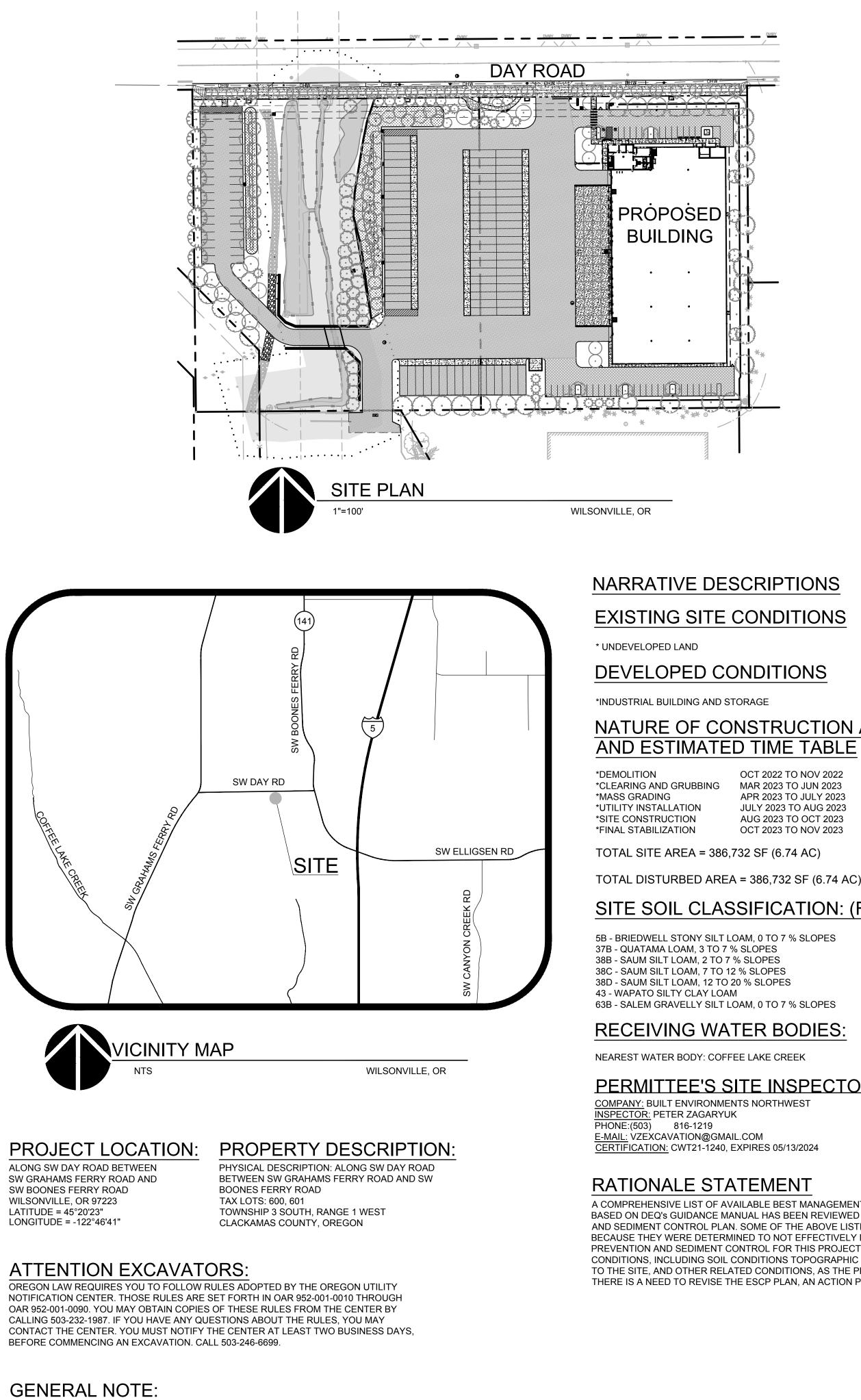
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DELTA LOGISTICS SITE EXPANSION EROSION AND SEDIMENT CONTROL PLAN



THIS PLAN SHOWS THE MINIMUM SUGGESTED LEVEL OF EROSION AND SEDIMENT CONTROL PROTECTION REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH ALL PERMITS, LOCAL, AND STATE REQUIREMENTS.

CLIENT

DELTA LOGISTICS CONTACT: IGOR NICHIPORCHIK 9835 SW COMMERCE CIR WILSONVILLE, OR PHONE: (503) 665-2200 IGOR@DELTAFREIGHTINC.COM

SURVEYOR

WEDDLE SURVEYING INC CONTACT: MICHAEL RENNICK 6950 SW HAMPTON ST, STE 170, TIGARD, OR 97223 PHONE:503-941-9585 XXXX@WEDDLESURVEYING.COM

CIVIL ENGINEERING

MACKENZIE CONTACT (PUBLIC): GREG MINO 1515 SE WATER AVE PORTLAND, OR 97214 PHONE: (971)-346-3702 GMINO@MCKNZE.COM

PLANNING MACKENZIE

CONTACT: LEE LEIGHTON 1515 SE WATER AVE PORTLAND, OR 97214 PHONE: 503-224-9560 LLEIGHTON@MCKNZE.COM CONTACT (PRIVATE): BREEZY RINEHART 1515 SE WATER AVE PORTLAND, OR 97214 PHONE: 971-346-3761 BRINEHART@MCKNZE.COM

WILSONVILLE, OR

TAX LOTS 600, 601 3S102B000601, 3S102B000600

CLACKAMAS COUNTY, OREGON

NARRATIVE DESCRIPTIONS

EXISTING SITE CONDITIONS

DEVELOPED CONDITIONS

NATURE OF CONSTRUCTION ACTIVITY

OCT 2022 TO NOV 2022 *CLEARING AND GRUBBING MAR 2023 TO JUN 2023 APR 2023 TO JULY 2023 JULY 2023 TO AUG 2023 AUG 2023 TO OCT 2023 OCT 2023 TO NOV 2023

TOTAL SITE AREA = 386,732 SF (6.74 AC)

TOTAL DISTURBED AREA = 386,732 SF (6.74 AC)

SITE SOIL CLASSIFICATION: (FROM USGS)

5B - BRIEDWELL STONY SILT LOAM, 0 TO 7 % SLOPES

63B - SALEM GRAVELLY SILT LOAM, 0 TO 7 % SLOPES

RECEIVING WATER BODIES:

NEAREST WATER BODY: COFFEE LAKE CREEK

PERMITTEE'S SITE INSPECTOR:

COMPANY: BUILT ENVIRONMENTS NORTHWEST

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESCP PLAN, AN ACTION PLAN WILL BE SUBMITTED.

INITIAL

2.2.20)

STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

	DIVAVINO NOTEO.
1.	ONCE KNOWN, INCLUDE A LIST OF ALL CONTRACTORS THAT WILL ENGAGE IN CONSTRUCTION ACTIVISITE, AND THE AREAS OF THE SITE WHERE THE CONTRACTOR(S) WILL ENGAGE IN CONSTRUCTION A REVISE THE LIST AS APPROPRIATE UNTIL PERMIT COVERAGE IS TERMINATED (SECTION 4.4.C.I). IN A INCLUDE A LIST OF ALL PERSONNEL (BY NAME AND POSITION) THAT ARE RESPONSIBLE FOR THE DE INSTALLATION AND MAINTENANCE OF STORMWATER CONTROL MEASURES (E.G. ESCP DEVELOPER, INSTALLER (SEE SECTION 4.10), AS WELL AS THEIR INDIVIDUAL RESPONSIBILITIES. (SECTION 4.4.C.II)
2.	VISUAL MONITORING INSPECTION REPORTS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PER REQUIREMENTS. (SECTION 6.5)
3. 4.	INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SE 6.5.Q) RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO AGENT, OR THE LOCAL MUNICIPALITY. (SECTION 4.7)
5. 6.	THE PERMIT REGISTRANT MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTR MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SECTIONS 4 A THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SECTION 4.8)
7.	SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ON SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SEC
8.	SEQUENCE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED AREAS FROM BECOMING A SOURCE OF EROSION. (SECTION 2.2.2)
9.	CREATE SMOOTH SURFACES BETWEEN SOIL SURFACE AND EROSION AND SEDIMENT CONTROLS TO STORMWATER FROM BYPASSING CONTROLS AND PONDING. (SECTION 2.2.3)
10.	IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIA AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETAT AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITI (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SECT
11.	PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETAT AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE VEGETATIVE SEED MIX USED. (SECTION 2.2.5)
	MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FEET OF WATERS OF THI (SECTION 2.2.4) INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL A
14.	SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SECTIONS 2.1.3) CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT C
15.	AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SECTIONS 2.1.1. AND 2.2.16) CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDAR
16.	(SECTIONS 2.2.6 AND 2.2.13) ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGI
17.	CONCRETE WORK. (SECTION 2.2.14) APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DIS AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATIONS MEASURES ARE I
	REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS RO. UTILITY POLE PADS.(SECTIONS 2.2.20 AND 2.2.21)
	ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (S 2.3.7)
19.	KEEP WASTE CONTAINER LIDS CLOSED WHEN NOT IN USE AND CLOSE LIDS AT THE END OF THE BUS DAY FOR THOSE CONTAINERS THAT ARE ACTIVELY USED THROUGHOUT THE DAY. FOR WASTE CON THAT DO NOT HAVE LIDS, PROVIDE EITHER (1) COVER (E.G., A TARP, PLASTIC SHEETING, TEMPORAR TO PREVENT EXPOSURE OF WASTES TO PRECIPITATION, OR (2) A SIMILARLY EFFECTIVE MEANS DES PREVENT THE DISCHARGE OF POLLUTANTS (E.G., SECONDARY CONTAINMENT). (SECTION 2.3.7)
20.	PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPS SUCH AS: CONST ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOC ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPS MUST BE IN PLACE PRIOR TO LAND- DISTURBING ACTIVITIES. (SECTION 2.2.7)
	WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN SITE. (SECTION 2.2.7.F) CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WAS
	WASTEWATER FROM CLEANOUT OF STUCCO, PAINT AND CURING COMPOUNDS. (SECTIONS 1.5 AND ENSURE THAT STEEP SLOPE AREAS WHERE CONSTRUCTION ACTIVITIES ARE NOT OCCURRING ARE DISTURBED. (SECTION 2.2.10)
24.	PREVENT SOIL COMPACTION IN AREAS WHERE POST-CONSTRUCTION INFILTRATION FACILITIES ARE INSTALLED. (SECTION 2.2.12)
25.	USE BMPS TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEH EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVIT WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER O VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBICIDES, PAINTS SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SECTIONS 2.3)
26.	PROVIDE PLANS FOR SEDIMENTATION BASINS THAT HAVE BEEN DESIGNED PER SECTION 2.2.17 AND BY AN OREGON PROFESSIONAL ENGINEER. (SEE SECTION 2.2.17.A)
27.	IF ENGINEERED SOILS ARE USED ON SITE, A SEDIMENTATION BASIN/IMPOUNDMENT MUST BE INSTAIL SECTIONS 2.2.17 AND 2.2.18)
28.	PROVIDE A DEWATERING PLAN FOR ACCUMULATED WATER FROM PRECIPITATION AND UNCONTAMING GROUNDWATER SEEPAGE DUE TO SHALLOW EXCAVATION ACTIVITIES. (SEE SECTION 2.4)
29.	IMPLEMENT THE FOLLOWING BMPS WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONS PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL D AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE A SUPPLIES. (SECTION 2.3)
30.	USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WI SOIL. (SECTION 2.2.9)
31.	THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. E CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SECT
32.	IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRA ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY OPERATING THE TREATMENT SYSTEM. OBTAIN ENVIRONMENTAL MANAGEMENT PLAN APPROVAL FR BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SECTION 1.2.9)
33.	TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF N THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS A TIMES OF THE YEAR. (SECTION 2.2)
34.	AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES A STABILIZED OR COVERED, OR OTHER BMPS MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO S WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SECTION 2.2.8)
35.	SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GIFENCE HEIGHT AND BEFORE FENCE REMOVAL. (SECTION 2.1.5.B)
36.	OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO IN DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SECTION 2.1.5.C)
37.	CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEE BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEE REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SECTION 2.1.5.D)
38.	WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REM

39. THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SECTION 2.2.19) DOCUMENT ANY PORTION(S) OF THE SITE WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED OR WILL BE TEMPORARILY INACTIVE FOR 14 OR MORE CALENDAR DAYS. (SECTION 6.5.F.)

41. PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SECTION

42. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROLS AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS NEEDED FOR LONG TERM USE FOLLOWING TERMINATION OF PERMIT COVERAGE. (SECTION 2.2.21)

NSTRUCTION ACTIVITIES ON N CONSTRUCTION ACTIVITIES CTION 4.4.C.I). IN ADDITION, NSIBLE FOR THE DESIGN, ESCP DEVELOPER, BMP (SECTION 4.4.C.II)

TH DEQ 1200-C PERMIT

REQUIREMENTS. (SECTION BLE ON REQUEST TO DEQ,

ANY OF THE CONTROL RMIT. (SECTIONS 4 AND 4.11)

CP REVISIONS IS ONLY UNDER THIN 10 DAYS. (SECTION 4.9) REVENT EXPOSED INACTIVE

MENT CONTROLS TO PREVENT

S) CRITICAL RIPARIAN AREAS DNES, AND VEGETATION E SITE AND SENSITIVE AREAS TER AREAS. (SECTION 2.2.1) REAS. RE-VEGETATE OPEN IDENTIFY THE TYPE OF

OF WATERS OF THE STATE. FECTION AS WELL AS ALL IONS 2.1.3)

IMIZE EROSION AT OUTLETS

RATIONAL INTERNAL STORM T THE SITE BOUNDARY.

REAS BEFORE BEGINNING DIATELY ON ALL DISTURBED

S MEASURES ARE NOT S DIRT ACCESS ROADS OR

ATER CONTROLS. (SECTION

HE END OF THE BUSINESS FOR WASTE CONTAINERS ETING, TEMPORARY ROOF ECTIVE MEANS DESIGNED TO SECTION 2.3.7) PS SUCH AS: CONSTRUCTION IPAVED ROADS LOCATED

LAND- DISTURBING TRUCKS OR DRAIN LOADS ON E., CONCRETE WASH-OUT,

SECTIONS 1.5 AND 2.3.9) T OCCURRING ARE NOT TION FACILITIES ARE TO BE

FROM SPILLS; VEHICLE AND INTENANCE ACTIVITIES; AND FLUID, AND OTHER OILS FROM ERBÍCIDES, PAINTS,

TIONS. (SECTIONS 2.2.15 AND SECTION 2.2.17 AND STAMPED

ENT MUST BE INSTALLED. (SEE

N AND UNCONTAMINATED CTION 2.4) FION AND RESPONSE

SAL PROCEDURES, SPILL KITS INERY, MATERIAL DELIVERY REAS FOR WASTE AND

EEDED TO AVOID WIND-BLOWN

IUST FOLLOW SURFACE WATERS. EXERCISE ARIAN ZONE. (SECTION 2.3.5) OCCULATION, FILTRATION, OPERATION AND OCATION OF INLET, LOCATION N AND FREQUENCY) BEFORE PLAN APPROVAL FROM DEQ

ND WEEKENDS, IF NEEDED. RING RAIN EVENTS AT ALL SOIL STOCKPILES MUST BE IT DISCHARGES TO SURFACE

D OF THE ABOVE GROUND

REACHES TWO INCHES

IFTY PERCENT. SEDIMENT CAPACITY HAS BEEN

SITE, MUST BE REMEDIATED INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIMEFRAME. (SECTION

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BMP MATRIX FOR								MACKENZII DESIGN DRIVEN I CLIENT FOCUS
REFER TO DEQ GUIDANCE MANUAL		CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)	DELTA LOGISTICS
EROSION PREVENTION	1		I				I	9835 SW COMMERCE
PRESERVE NATURAL VEGETATION	**X	Х						
GROUND COVER						Х	Х	WILSONVILLE, OR
HYDRAULIC APPLICATIONS								97070
PLASTIC SHEETING			Х	Х	Х		Х	
STRAW MULCH COVER	X						Х	
ROCK COVER								
DUST CONTROL	X	Х	Х	X	Х			
TEMPORARY/PERMANENT SEEDING	x		х	x	Х	Х	Х	
BUFFER ZONE	**X	Х	X	X	X	Х	X	
OTHER:								
SEDIMENT CONTROL								
SEDIMENT FENCE (INTERIOR)	**X	**X	Х	Х	Х	Х	Х	Project
STRAW WATTLES	**X	**X	Х	Х	Х	Х	Х	1
FILTER BERM								DELTA LOGISTICS
INLET PROTECTION	**X	**X	Х	X	Х	Х	Х	SITE EXPANSION
DEWATERING				X				9710 SW DAY RD.
SEDIMENT TRAP								
NATURAL BUFFER ENCROACHMENT	X	Х	x	X	Х	Х	Х	WILSONVILLE, OR
OTHER:								
RUNOFF CONTROL								
CONSTRUCTION ENTRANCE	**X	**X	Х	X			Х	
PIPE SLOPE DRAIN				X				
OUTLET PROTECTION				X				
SURFACE ROUGHENING			Х	X			Х	
CHECK DAMS		Х		Х			Х	
DTHER:								
OLLUTION PREVENTION								
PROPER SIGNAGE	X	Х	Х	X	Х	Х	Х	1
HAZ WASTE MGMT	X	Х	Х	X	Х	Х	Х	1
SPILL KIT ON-SITE	X	Х	Х	X	Х	Х	Х	1
CONCRETE WASHOUT AREA	X	Х	Х	X	Х	Х	Х	1
OTHER:	1		<u> </u>	1			1	7

* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE. ** SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

INSPECTION FREQUENCY TABLE

SITE CONDITION	MINIMUM FREQUENCY		
1. ACTIVE PERIOD	ON INITIAL DATE THAT LAND DISTURBANCE ACTIVITIES COMMENCE. WITHIN 24 HOURS OF ANY STORM EVENT, INCLUDING RUNOFF FROM SNOWMELT, IS OCCURRING AND RESULTS IN DISCHARGE FROM THE SITE.		
	AT LEAST ONCE EVERY FOURTEEN (14) DAYS, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.		
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.		
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	THE INSPECTOR MAY REDUCE THE FREQUENCY OF INSPECTIONS IN ANY AREA OF THE SITE WHERE THE STABILIZATION STEPS IN SECTION 2.2.20 HAVE BEEN COMPLETED TO TWICE PER MONTH FOR THE FIRST MONTH, NO LESS THAN 14 CALENDAR DAYS APART, THEN ONCE PER MONTH.		
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF SAFE, ACCESSIBLE, AND PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION OF THE RECEIVING WATERBODY.		
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE SUSPENDED AND RUNOFF IS UNLIKELY DUE TO FROZEN CONDITIONS.	VISUAL MONITORING INSPECTIONS MAY BE TEMPORARILY SUSPENDED. IMMEDIATELY RESUME MONITORING UPON THAWING, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.		
5. PERIODS DURING WHICH CONSTRUCTION ACTIVITIES ARE CONDUCTED AND RUNOFF IS UNLIKELY DURING FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.		
HOLD A PRE-CONSTRUCTION MEETING OF PROJECT PERSONNEL THAT INCLUDED THE INSPECTOR TO DISCUSSION EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS			

DISCUSSION EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS • ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS

 INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS • RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200-C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200-C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200-C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

LOCAL AGENCY-SPECIFIC EROSION CONTROL NOTES:

1. IF VEGETATIVE SEED MIXES ARE SPECIFIED. SEEDING MUST TAKE PLACE NO LATER THAT SEPTEMBER 1:

- THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS. 2. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY
- VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG) 3. ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31

EROSION AND SEDIMENT CONTROL PLANS SHEET INDEX

- C4.00 EROSION AND SEDIMENT CONTROL COVER SHEET
- C4.10 DEMOLITION ESC PLAN C4.20 CLEARING ESC PLAN
- C4.30 MASS GRADING AND STABILIZATION CONSTRUCTION ESC PLAN C4.40 MASS GRADING AND STABILIZATION RUNOFF CONTROL PLAN
- C4.50 UTILITY CONSTRUCTION ESC PLAN
- C4.60 FOUNDATION ESC PLAN C4.70 EROSION AND SEDIMENT CONTROL PLAN DETAILS

GENERAL PERMIT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE PERMIT DATE: 09/15/2020 FILE NO. 127017 EPA NO. ORR10G282

DESIGN REVIEW SET 07/29/2022



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Delta	Issued As	Issue Date		

SHEET TITLE: **EROSION AND** SEDIMENT



DRAWN BY: AOC CHECKED BY: BMF

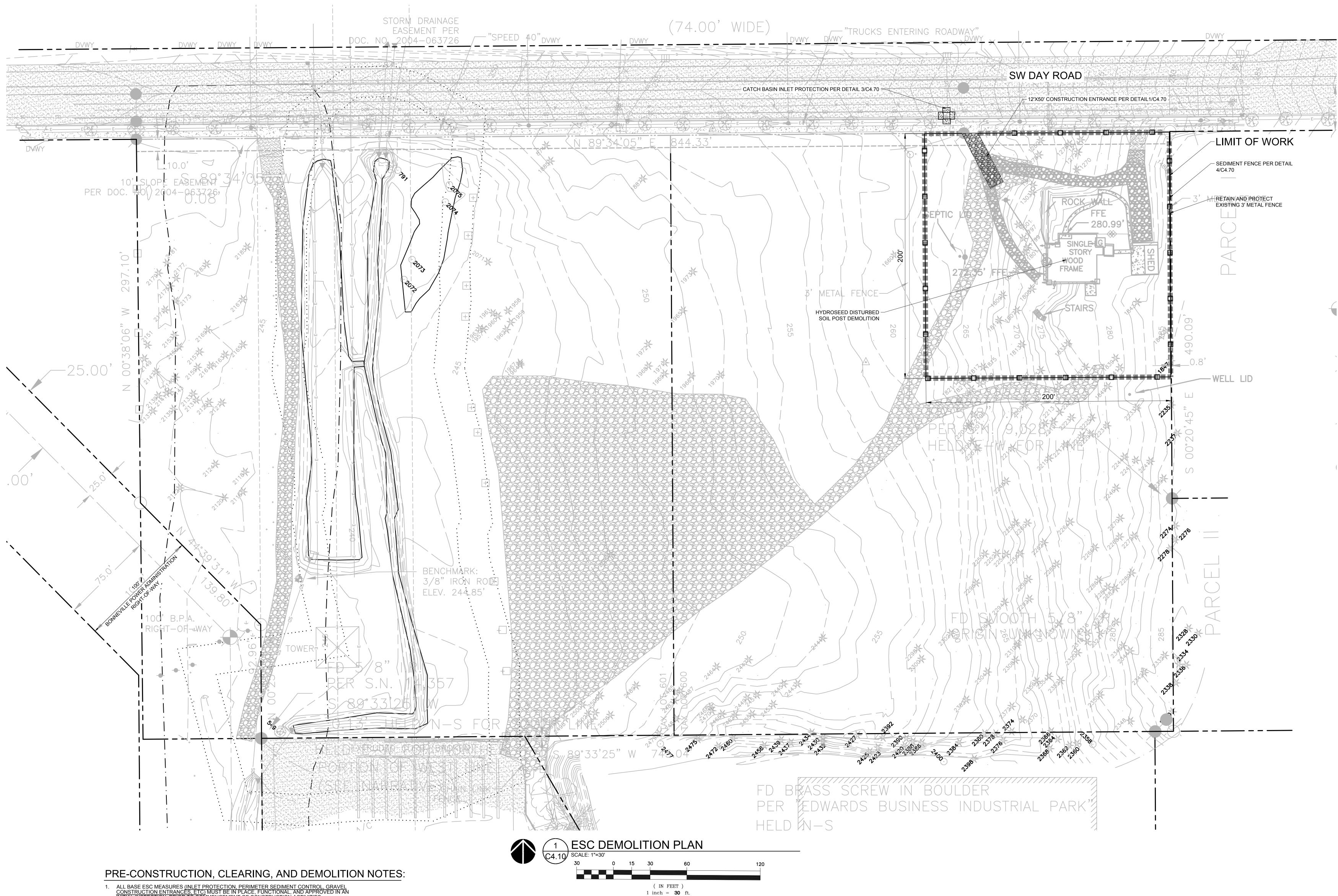


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- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- 2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE <u>SEDIMENT FENCE, BERMS,</u> CONSTRUCTED OUT OF MULCH, CHIPPINGS OR OTHER SUITABLE MATERIAL, STRAW WATTLES, OR OTHER APPROVED MATERIALS.
- SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
- 4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, <u>STREET SWEEPING</u>, AND VACUUMING, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE DROUGCT PROJECT.
- RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: <u>SLOPE DRAINS (WITH OUTLET PROTECTION)</u>, <u>CHECK DAMS</u>, <u>SURFACE</u> <u>ROUGHENING</u>, <u>AND BANK STABILIZATION</u>.
- 6. ADDITIONAL EROSION CONTROL MEASURES AND DETAILS CAN BE FOUND IN THE CLEAN WATER SERVICES'S CONSTRUCTION AND DESIGN STANDARDS, 2017.

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9835 SW COMMERCE CIRCLE WILSONVILLE, OR 97070

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SHEET TITLE: **DEMOLITION** ESC PLAN

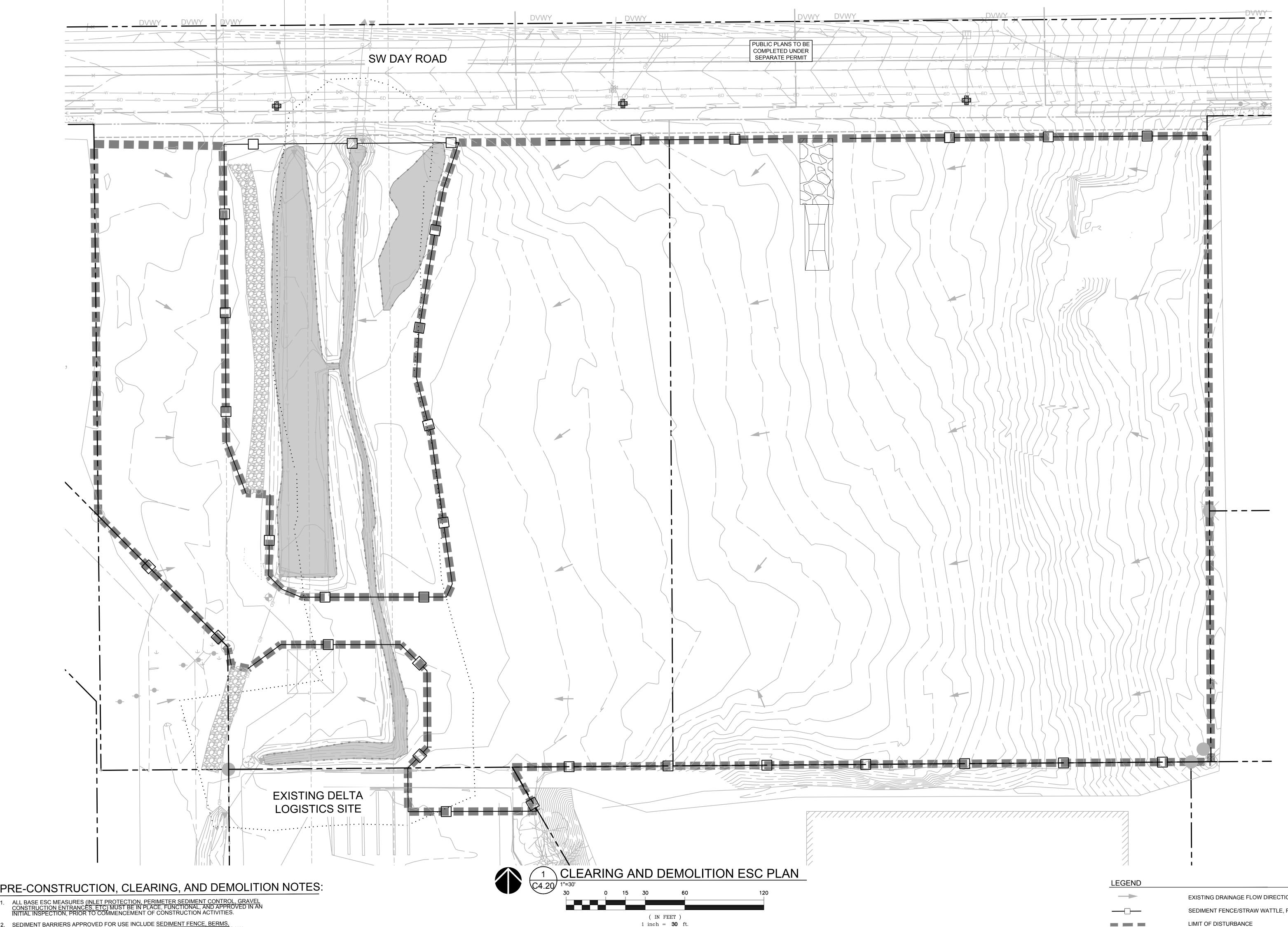
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JOB NO.



PRE-CONSTRUCTION, CLEARING, AND DEMOLITION NOTES:

- 2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE <u>SEDIMENT FENCE</u>, <u>BERMS</u>, <u>CONSTRUCTED OUT OF MULCH</u>, <u>CHIPPINGS OR OTHER SUITABLE MATERIAL</u>, <u>STRAW</u> <u>WATTLES</u>, <u>OR OTHER APPROVED MATERIALS</u>. SENSITIVE RESOURCES INCLUDING, BUT NOT LIMITED TO, TREES, WETLANDS, AND
- RIPARIAN PROTECTION AREAS SHALL BE CLEARLY DELINEATED WITH ORANGE CONSTRUCTION FENCING OR CHAIN LINK FENCING IN A MANNER THAT IS CLEARLY VISIBLE TO ANYONE IN THE AREA. NO ACTIVITIES ARE PERMITTED TO OCCUR BEYOND THE CONSTRUCTION BARRIER.
- 4. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, <u>STREET SWEEPING</u>, AND VACUUMING, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- RUN-ON AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-ON AND RUN-OFF CONTROL MEASURES INCLUDE: SLOPE DRAINS (WITH OUTLET PROTECTION), CHECK DAMS, SURFACE ROUGHENING, AND BANK STABILIZATION.
- ADDITIONAL EROSION CONTROL MEASURES AND DETAILS CAN BE FOUND IN THE CLEAN WATER SERVICES'S CONSTRUCTION AND DESIGN STANDARDS, 2017.

EXISTING DRAINAGE FLOW DIRECTION SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70 LIMIT OF DISTURBANCE

INLET PROTECTION, PER DETAIL 2/C4.70

GRAVEL CONSTRUCTION ENTRANCE, PER DETAIL 3/C4.70

WHEEL WASH, PER DETAIL 1/C4.70

STAGING AND STOCKPILE AREAS ARE TO BE DETERMINED BY THE CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION. THE OWNER'S EROSION CONTROL INSPECTOR SHALL BE MADE AWARE OF ALL CHANGES AND CONSULTED FOR BMP IMPLEMENTATIONS THAT MAY BE NECESSARY TO ACCOMMODATE THE SELECTED LOCATIONS.

THIS PLAN IS INTENDED TO BE ONLY A BASELINE APPROACH TO EROSION AND SEDIMENT CONTROL FOR THE PROJECT SITE. THE OWNER'S EROSION AND SEDIMENT CONTROL INSPECTOR SHALL BE RESPONSIBLE FOR INSTRUCTING THE CONTRACTOR TO ADJUST BMP'S AS NECESSARY TO PROPERLY MANAGE THE VARIOUS PHASES OF CONSTRUCTION AND ANY UNFORESEEN CONDITIONS REQUIRING DIFFERENT OR ADDITIONAL BMP'S TO MANAGE.

SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS

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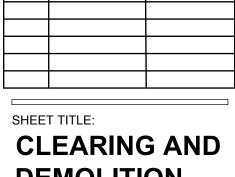
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DEMOLITION

ESC PLAN

SHEET

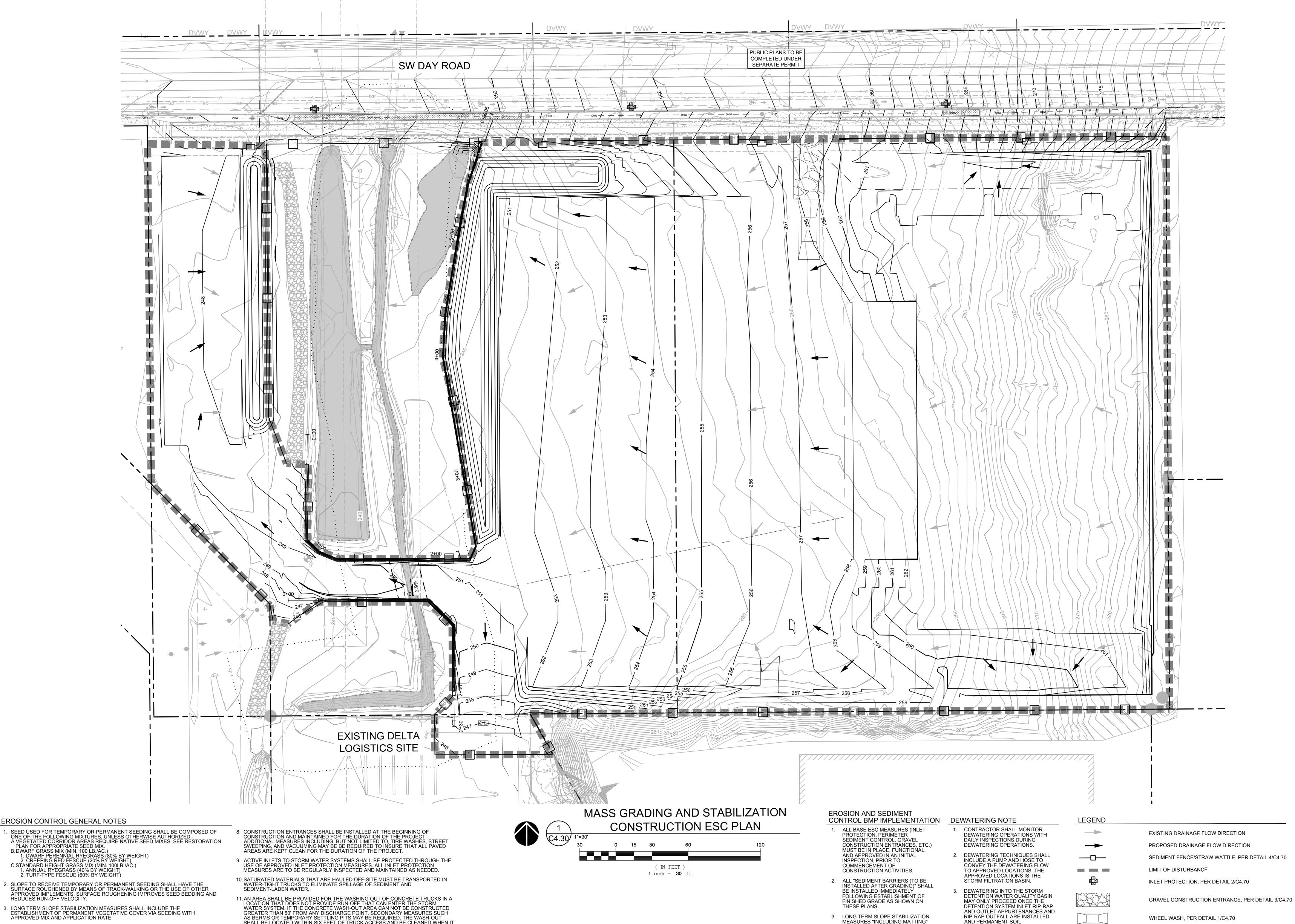
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CHECKED BY: BMR, BDN

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- TURF-TYPE FESCUE (60% BY WEIGHT)
- 2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- 6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- 7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.

- SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- 12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- 13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- 14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- 15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

- MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- 4. THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
- 5. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

- AND PERMANENT SOIL STABILIZATION IS IN PLACE
- 4. TRENCH AND FOUNDATION EXCAVATIONS SHALL BE PROTECTED DURING WET WEATHER FROM OVER SATURATION.
- 5. DEWATERING OPERATIONS LEFT **OVERNIGHT SHALL BE INSPECTED** IMMEDIATELY IN THE MORNING. IF DEWATERING OPERATIONS ARE LEFT IN OPERATION OVER WEEKENDS, HOLIDAYS OR MORE THAN 24 HOURS, THE CONTRACTOR SHALL PROVIDE FOR DAILY INSPECTIONS AND PROVIDE FOR **INSPECTION WITHIN 2 HOURS** AFTER RAIN EVENTS PRODUCING MORE THAN 0.5-INCHES IN A 24-HOUR PERIOD.

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EXISTING DRAINAGE FLOW DIRECTION PROPOSED DRAINAGE FLOW DIRECTION SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70 INLET PROTECTION, PER DETAIL 2/C4.70

SPILL KIT AND SPILL RESPONSE PROCEDURES SHALL BE KEPT IN/ON THE JOBSITE TRAILER AT ALL TIMES AND ALL FIELD PERSONNEL SHALL BE MADE AWARE

STAGING AND STOCKPILE AREAS ARE TO BE DETERMINED BY THE CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION. THE OWNER'S EROSION CONTROL INSPECTOR SHALL BE MADE AWARE OF ALL CHANGES AND CONSULTED FOR BMP IMPLEMENTATIONS THAT MAY BE NECESSARY TO ACCOMMODATE THE SELECTED LOCATIONS. THIS PLAN IS INTENDED TO BE ONLY A BASELINE APPROACH TO EROSION AND SEDIMENT CONTROL FOR THE PROJECT SITE. THE OWNER'S EROSION AND SEDIMENT CONTROL INSPECTOR SHALL BE RESPONSIBLE FOR INSTRUCTING THE CONTRACTOR TO ADJUST BMP'S AS NECESSARY TO PROPERLY MANAGE THE VARIOUS PHASES OF CONSTRUCTION AND ANY UNFORESEEN CONDITIONS REQUIRING DIFFERENT OR ADDITIONAL BMP'S TO MANAGE. SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS

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Project

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ESC PLAN

SHEET

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STABILIZATION CONSTRUCTION

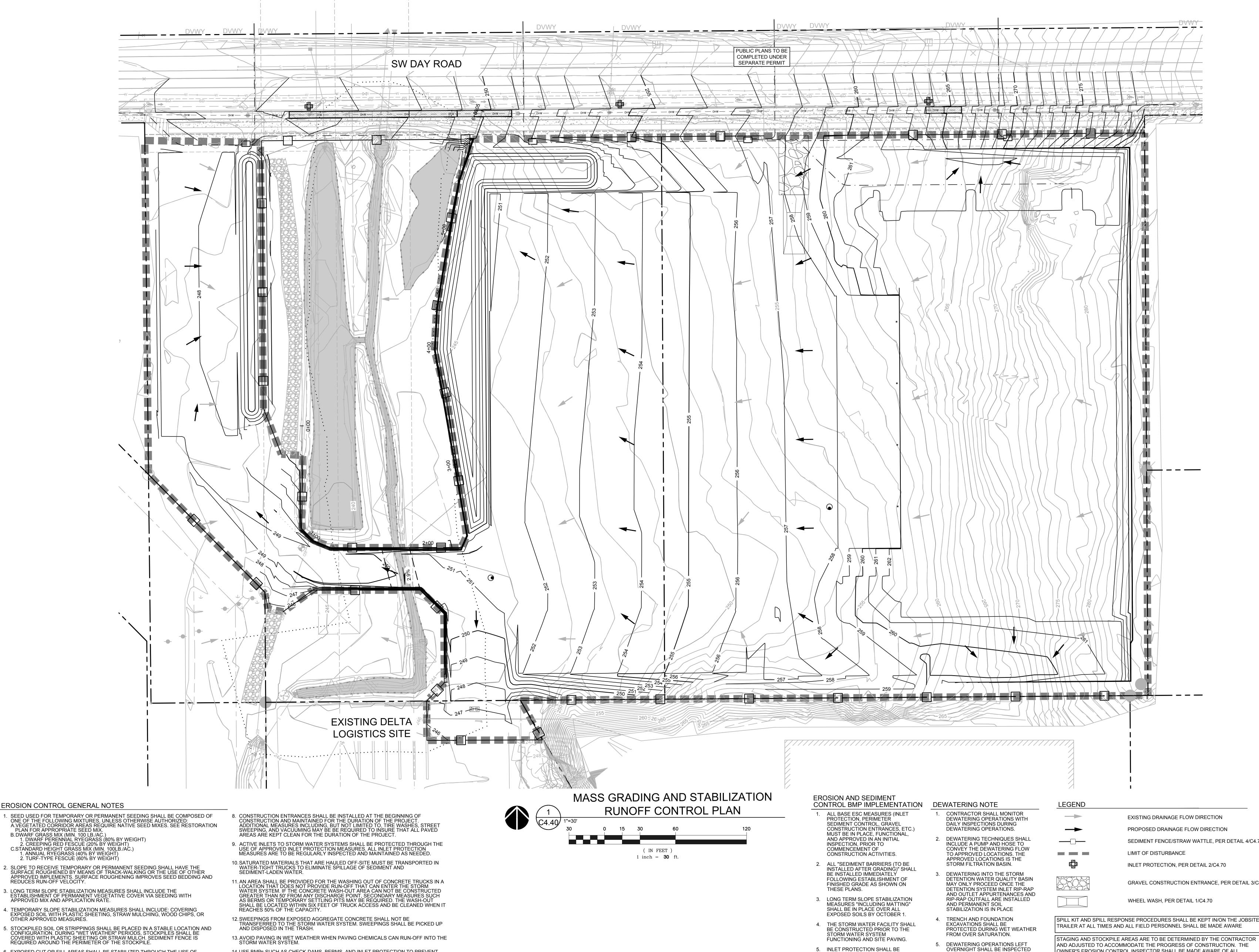
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MASS GRADING AND

SHEET TITLE:



- TURF-TYPE FESCUE (60% BY WEIGHT)
- 2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- 4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- 6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
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- 14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
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- IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

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EXISTING DRAINAGE FLOW DIRECTION PROPOSED DRAINAGE FLOW DIRECTION SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70

GRAVEL CONSTRUCTION ENTRANCE, PER DETAIL 3/C4.70

WHEEL WASH, PER DETAIL 1/C4.70

SPILL KIT AND SPILL RESPONSE PROCEDURES SHALL BE KEPT IN/ON THE JOBSITE TRAILER AT ALL TIMES AND ALL FIELD PERSONNEL SHALL BE MADE AWARE

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SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS

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CIRCLE WILSONVILLE, OR 97070

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CONTROL PLAN

SHEET TITLE: MASS GRADING AND STABILIZATION RUNOFF

SHEET

JOB NO.

CONTROL PLAN.DWG BMR 11/16/22 18:22 1:30

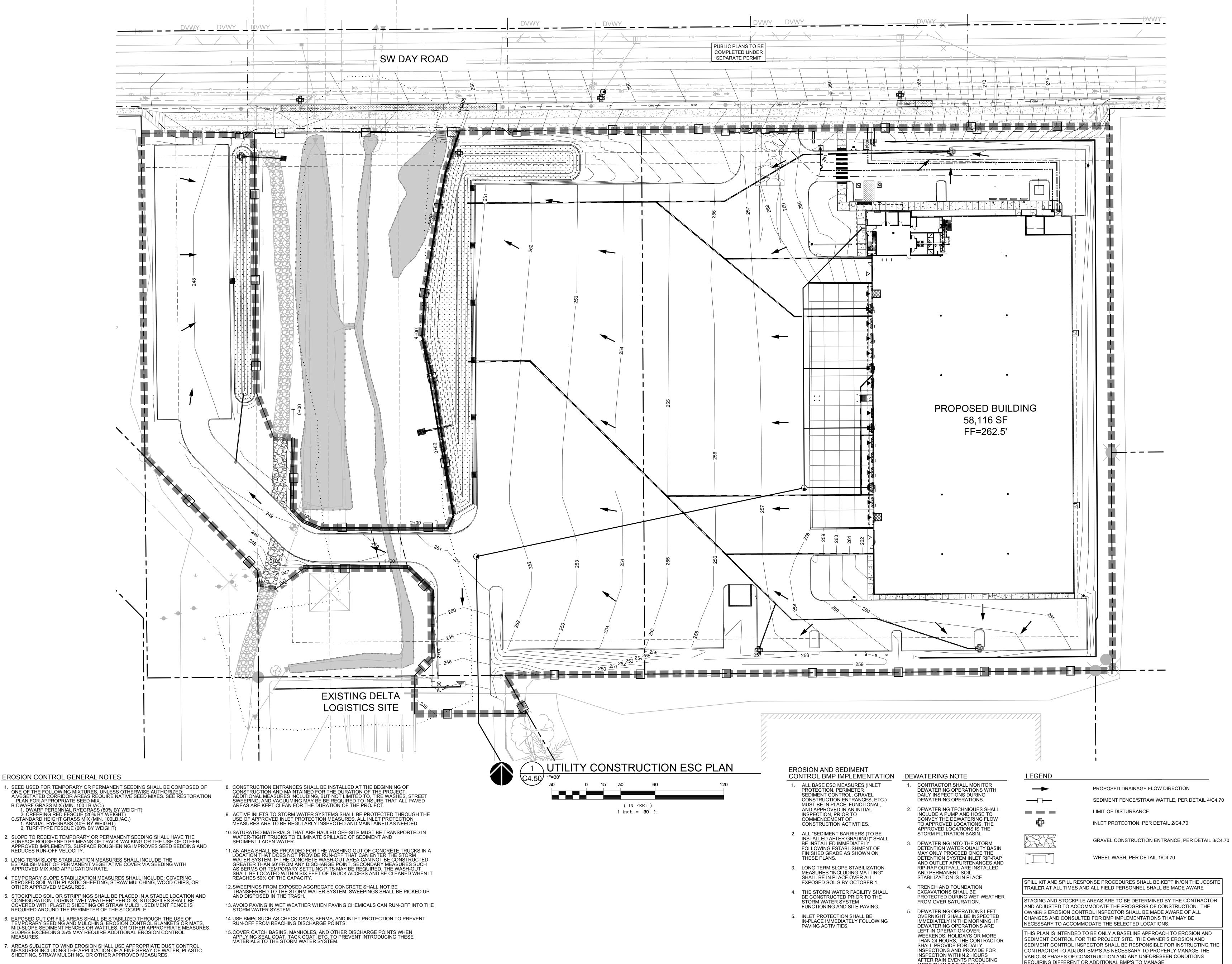
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9835 SW COMMERCE



- . TURF-TYPE FESCUE (60% BY WEIGHT)
- 2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND
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- 6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- 7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.

SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS

MORE THAN 0.5-INCHES IN A

24-HOUR PERIOD.

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CONSTRUCTION ESC PLAN

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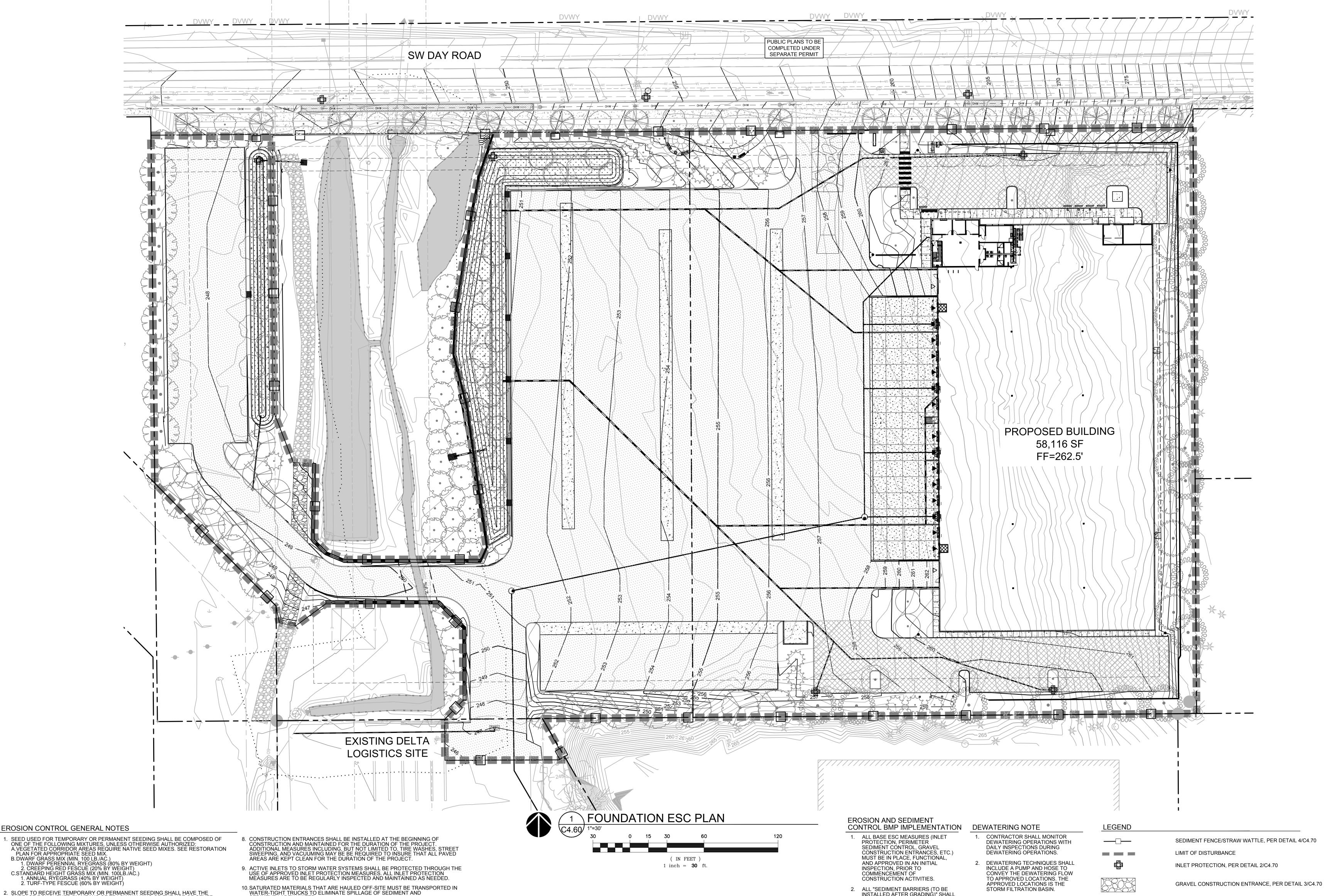
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- TURF-TYPE FESCUE (60% BY WEIGHT)
- 2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- 4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- 6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- 7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.

- SEDIMENT-LADEN WATER. 11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- 12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- 13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- 14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- 15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

- INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- 3. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- 4. THE STORM WATER FACILITY SHALL BE CONSTRUCTED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING. 5. INLET PROTECTION SHALL BE
- IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

- DEWATERING INTO THE STORM DETENTION WATER QUALITY BASIN MAY ONLY PROCEED ONCE THE DETENTION SYSTEM INLET RIP-RAP AND OUTLET APPURTENANCES AND RIP-RAP OUTFALL ARE INSTALLED AND PERMANENT SOIL STABILIZATION IS IN PLACE
- 4. TRENCH AND FOUNDATION EXCAVATIONS SHALL BE PROTECTED DURING WET WEATHER FROM OVER SATURATION.
- 5. DEWATERING OPERATIONS LEFT **OVERNIGHT SHALL BE INSPECTED** IMMEDIATELY IN THE MORNING. IF DEWATERING OPERATIONS ARE LEFT IN OPERATION OVER WEEKENDS, HOLIDAYS OR MORE THAN 24 HOURS, THE CONTRACTOR SHALL PROVIDE FOR DAILY INSPECTIONS AND PROVIDE FOR **INSPECTION WITHIN 2 HOURS** AFTER RAIN EVENTS PRODUCING MORE THAN 0.5-INCHES IN A 24-HOUR PERIOD.

SEDIMENT FENCE/STRAW WATTLE, PER DETAIL 4/C4.70

WHEEL WASH, PER DETAIL 1/C4.70

SPILL KIT AND SPILL RESPONSE PROCEDURES SHALL BE KEPT IN/ON THE JOBSITE TRAILER AT ALL TIMES AND ALL FIELD PERSONNEL SHALL BE MADE AWARE

STAGING AND STOCKPILE AREAS ARE TO BE DETERMINED BY THE CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION. THE OWNER'S EROSION CONTROL INSPECTOR SHALL BE MADE AWARE OF ALL CHANGES AND CONSULTED FOR BMP IMPLEMENTATIONS THAT MAY BE NECESSARY TO ACCOMMODATE THE SELECTED LOCATIONS. THIS PLAN IS INTENDED TO BE ONLY A BASELINE APPROACH TO EROSION AND SEDIMENT CONTROL FOR THE PROJECT SITE. THE OWNER'S EROSION AND SEDIMENT CONTROL INSPECTOR SHALL BE RESPONSIBLE FOR INSTRUCTING THE CONTRACTOR TO ADJUST BMP'S AS NECESSARY TO PROPERLY MANAGE THE VARIOUS PHASES OF CONSTRUCTION AND ANY UNFORESEEN CONDITIONS REQUIRING DIFFERENT OR ADDITIONAL BMP'S TO MANAGE. SEE SHEETS C4.70 FOR EROSION AND SEDIMENT CONTROL DETAILS

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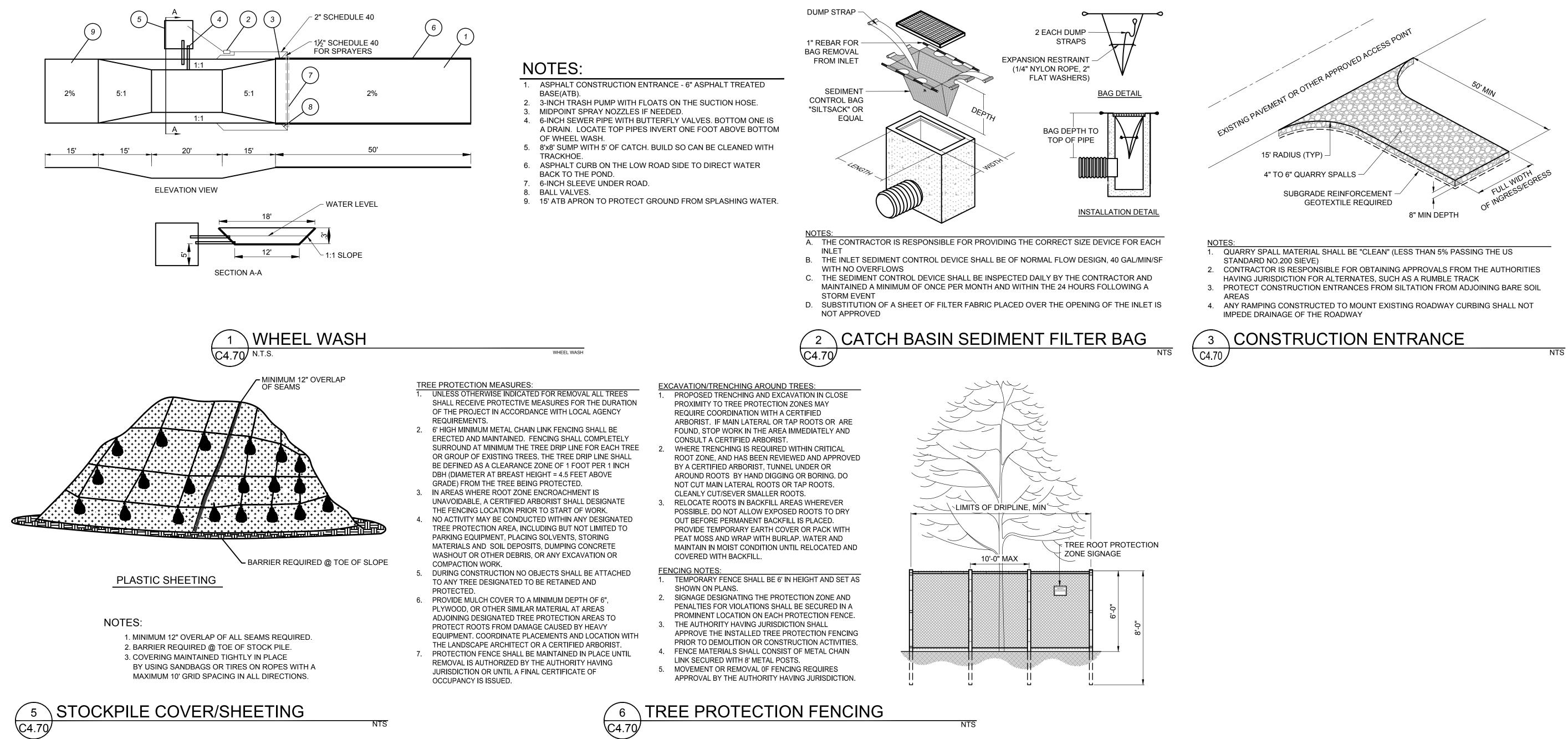
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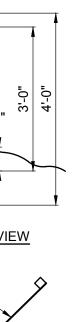
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- FINISHED GRADE _ _ _ _ _ _ _ _ _ _ _ _ _ 6'-0" ||+■---SIDE VIEW FRONT VIEW ANGLE BOTH ENDS OF SEDIMENT FENCE TO ASSURE SOIL IS TRAPPED INTERLOCK 2" x 2" ----TOP VIEW POSTS AND ATTACH A. BURY BOTTOM OF FILTER FABRIC 6" MIN VERTICALLY BELOW FINISHED GRADE B. UTILIZE 2" x 2" FIR, PINE, OR STEEL FENCE POSTS TO ANCHOR FENCING C. ATTACH FENCING TO POSTS USING STITCHED LOOPS INSTALLED ON UPHILL SIDE OF SLOPE D. COMPACT THE NATIVE FILL IN ALL AREAS OF FILTER FABRIC TRENCH E. ACCUMULATED SEDIMENT CAN BE ALLOWED TO REACH NO MORE THAN ONE-THIRD OF THE SEDIMENT FENCE HEIGHT

TOP OF FENCE -







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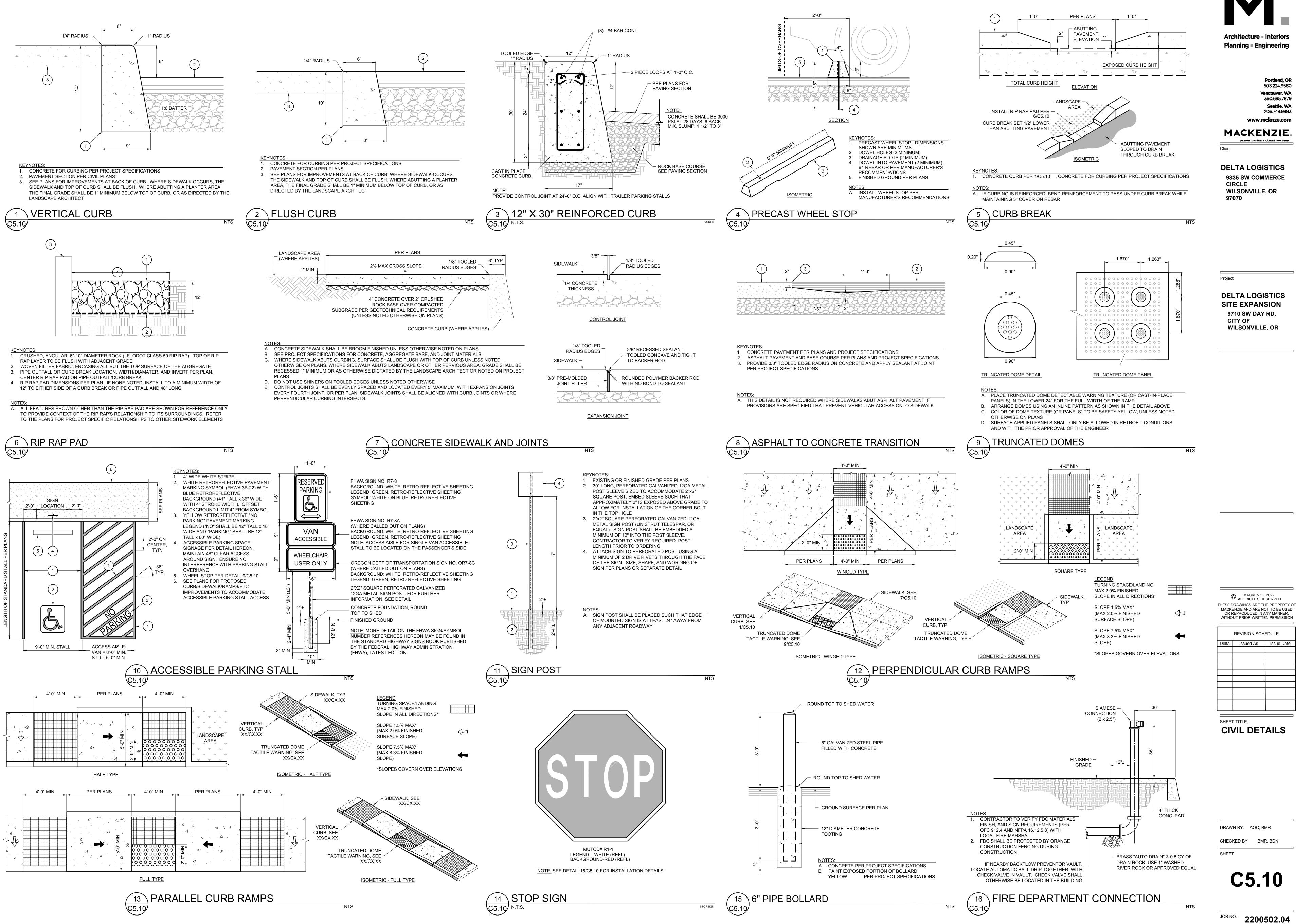
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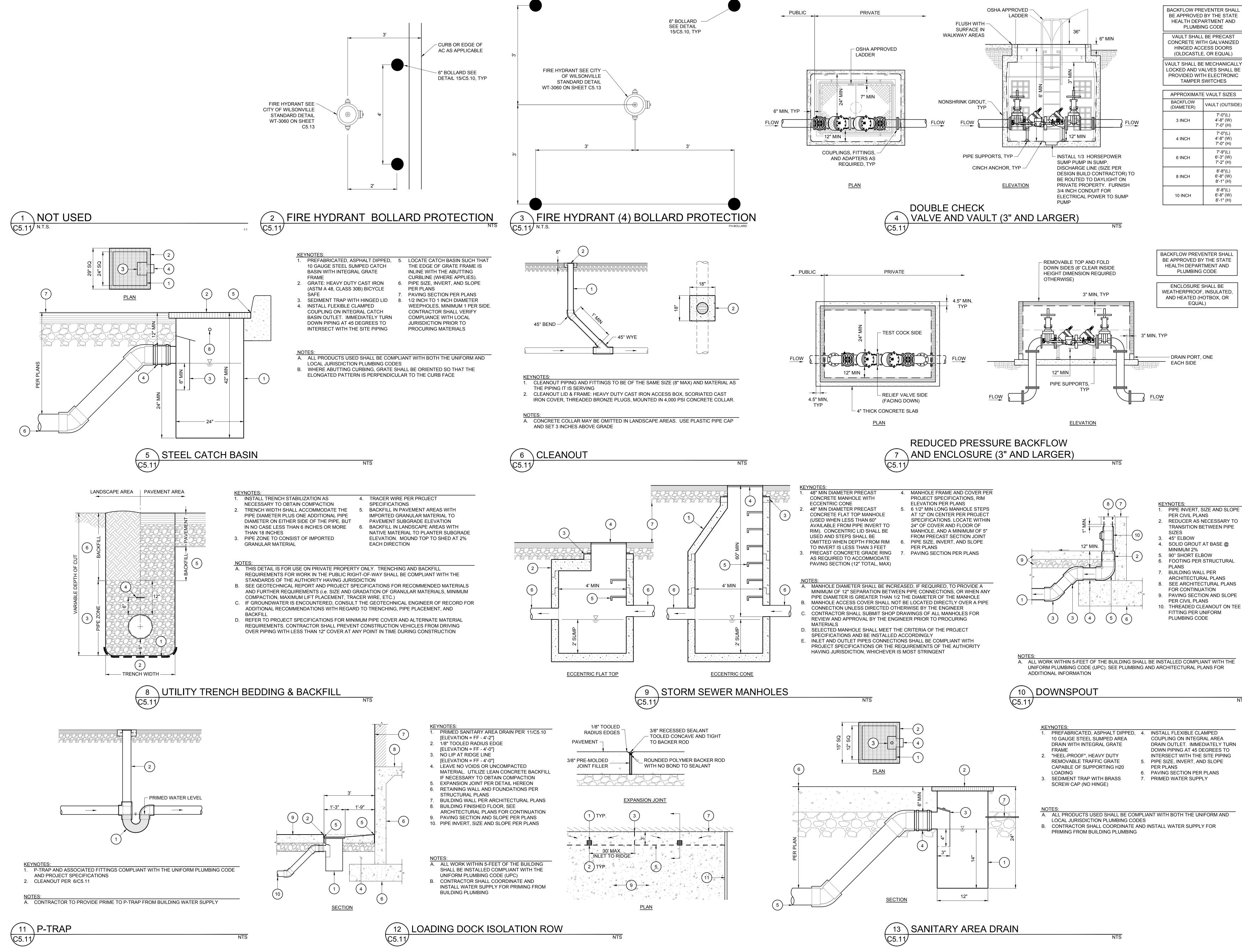


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7'-2" (H) 8'-8"(L) 6'-8" (W) 8'-1" (H) 8'-8"(L) 6'-8" (W) 8'-1" (H)

VAULT (OUTSIDE) 7'-0"(L) 4'-8" (W) 7'-0" (H) 7'-0"(L) 4'-8" (W) 7'-0" (H) 7'-9"(L) 6'-3" (W)

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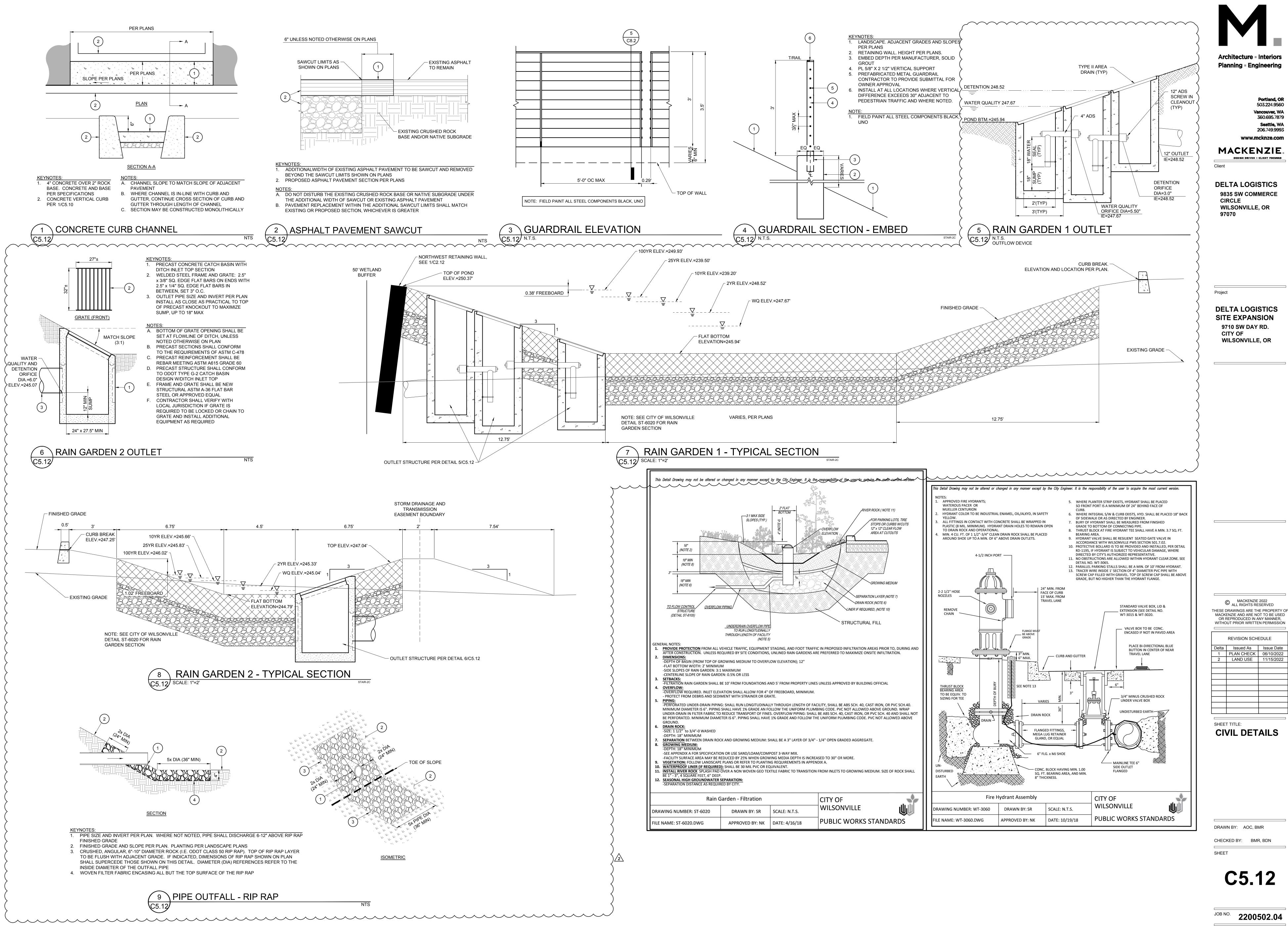
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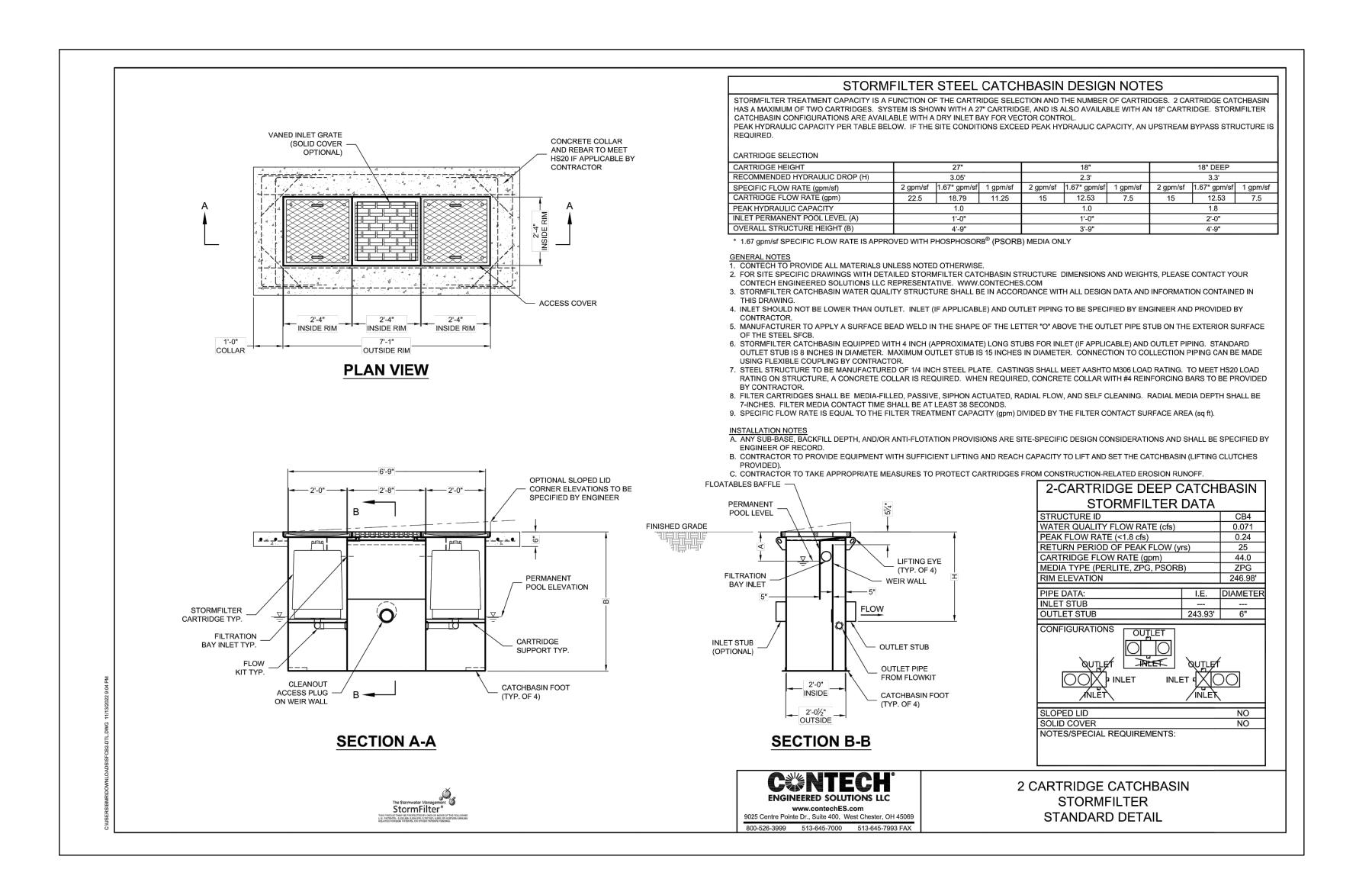






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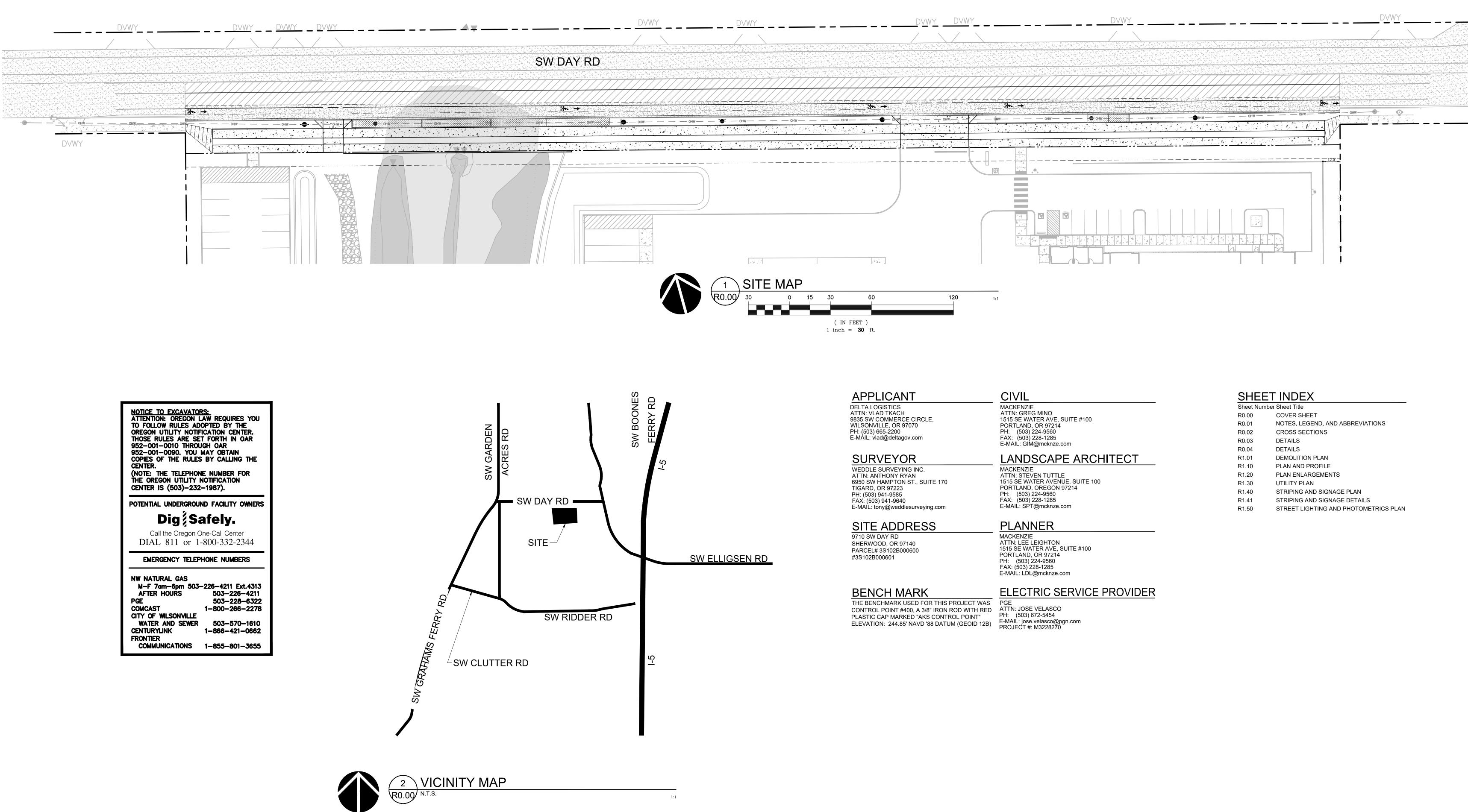
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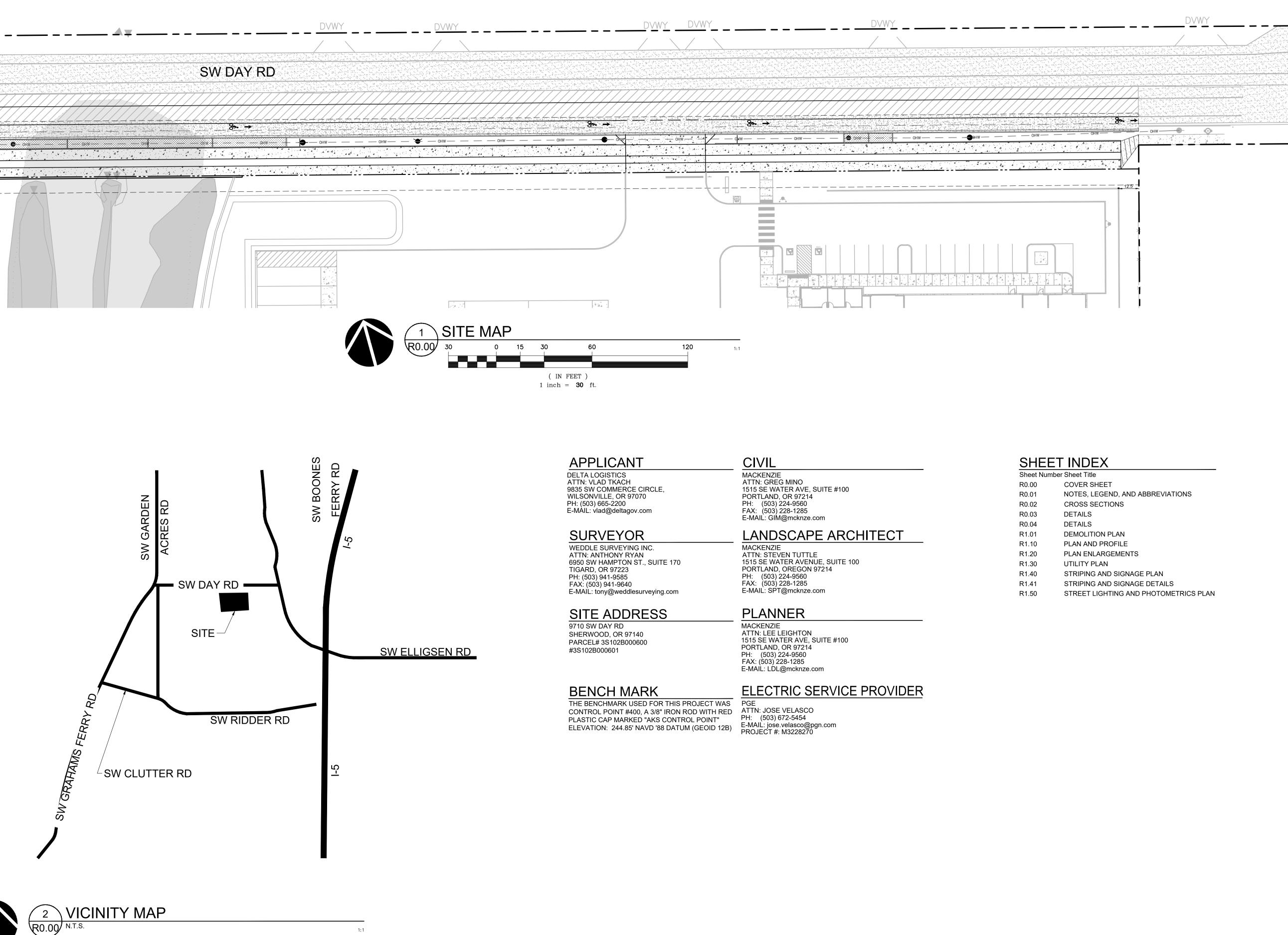
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DELTA LOGISTICS FRONTAGE IMPROVEMENTS WILSONVILLE, OR

Sheet Numb	per Sheet Title
R0.00	COVER SHEET
R0.01	NOTES, LEGEND, AND ABBREVIATIONS
R0.02	CROSS SECTIONS
R0.03	DETAILS
R0.04	DETAILS
R1.01	DEMOLITION PLAN
R1.10	PLAN AND PROFILE
R1.20	PLAN ENLARGEMENTS
R1.30	UTILITY PLAN
R1.40	STRIPING AND SIGNAGE PLAN
R1.41	STRIPING AND SIGNAGE DETAILS
R1.50	STREET LIGHTING AND PHOTOMETRICS PLAN



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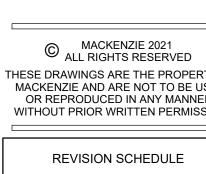
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GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF CITY OF WILSONVILLE, CITY OF WILSONVILLE PUBLIC WORKS STANDARDS-2017 AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COM JOINT OR FITTING REQUIRED TO COMPLETE THE PROJEC SHALL BE CHECKED AND COORDINATED WITH EXISTING BEFORE BEGINNING CONSTRUCTION, EXISTING UNDERG WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMIT AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING (CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY I
- 3. EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION INSTALLED AND MAINTAINED TO MEET THE CITY REQUIRE JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE AC WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- 4. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAG WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYS IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY 1 ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFEC
- 5. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTE IMPROVEMENTS TO NEW FINISH GRADES.
- 6. EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHE AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM (COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXC ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL CONTRACTOR'S EXPENSE.
- 7. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR THE CONTRACTOR SHALL EXPOSE THE END OF THE EXIS LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF

UTILITY NOTES

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CITY OF WILSONVILLE, DEPARTMENT OF ENVIRONMENTAL SERVICE, AND THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE AND THE INTERNATIONAL BUILDING CODE. ALL WORK WITHIN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION. COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- 3. PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE.
- 4. ALL STORM PIPING IS SIZED FOR A MANNING'S "N" VALUE = 0.013 ALL STORM PIPING IS DESIGNED
- 5. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
- 6. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY PREPARED BY WEDDLE SURVEYING, INC.
- 7. CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER VIA DESIGN BUILD ELECTRICAL. SEE SPECIFICATIONS AND LANDSCAPE PLANS.
- 8. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5' OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING.
- 9. CONTRACTOR TO MAINTAIN MINIMUM 3 FT OF COVER OVER ALL WATER LINE.

GRADING NOTES

- 1. ROUGH GRADING: BRING ALL FINISH GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS, AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL. FINISH GRADING: AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER CRAFTS HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES. GRADING TOLERANCES:
- ROUGH GRADE AT PAVED OR LANDSCAPED AREAS: ±0.1 FT. FINISH GRADE PRIOR TO PLACING FINAL SURFACING: ±0.03 FT.
- 2. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE CITY AND DEQ REQUIREMENTS. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- 3. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
- 4. SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING.
- 5. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY BY NORTHWEST SURVEYING INC, AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION.
- 6. CONTRACTOR TO COORDINATE GRADES AT ENTRANCE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- 7. 2% MAXIMUM CROSS SLOPE AT ALL ADA-COMPLIANT PARKING SPACES AND LOADING ZONES. 8. 5% MAX LONGITUDINAL SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK
- 9. WHERE SLOPES ARE STEEPER THAN 3:1, CONTRACTOR SHALL INSTALL JUTE MATTING. SLOPE SHALL BE PREPARED TO ENSURE COMPLETE AND DIRECT CONTACT OF MATTING WITH SOIL. FOLLOW MANUFACTURER'S RECOMMENDATIONS.

LLATION IN THE SPACE MPONENT PIECE, SECTION, CT. ALL LOCATIONS FOR WORK CONDITIONS IN THE FIELD GROUND UTILITIES LAYING AS TO CONDITION, SIZE AND TTED BY LOCAL PUBLIC CONSTRUCTION. DISCREPANCIES.	
CONTROL DEVICES MUST BE REMENTS. THE GOVERNING ACTION AND STOPPAGE OF	
GE SHALL BE CONTROLLED T ADJACENT PRIVATE STEM ARE NOT ADVERSELY Y TIME, ORDER CORRECTIVE ECTIVE DRAINAGE CONTROL.	
ED BY CONSTRUCTION	
ER IMPROVEMENTS TO SIZES CLEARANCE AND FOR PROPER XCAVATOR(S) SHALL NOTIFY Y-TWO (72) HOURS (MINIMUM) LL BE CORRECTED AT THE	
TO ORDERING MATERIALS, STING PIPE VERIFY THE ANY DISCREPANCIES.	

USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.

CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.

|--|

EXISTING

PROPOSED

CURBLINE AND GUTTER		
BRUSH LINE	······································	
BUILDING EAVE		
BUILDING FOOTPRINT		
CENTERLINE		
EASEMENT LINE		
FENCE LINE	<u> </u>	
GAS LINE	G	
OVERHEAD POWER	——————————————————————————————————————	
STORM DRAIN LINE	\$D	<u></u>
PERFORATED PIPE		
PROPERTY LINE		
R.O.W. LINE		
WATER LINE	W	
WETLANDS		
WETLANDS BUFFER		
CULVER INLET/OUTLET		
CURB INLET		
DECORATIVE SHRUB	(2°)	
DOWNSPOUT	<□	
FIRE HYDRANT	đ () t	
GAS METER	G	
GAS RISER	Ş	
GATE POST	\otimes	
GUY ANCHOR	\downarrow	
MAILBOX		
POWER METER	ĒM	
SIGN "AS NOTED"		þ
SITE BENCHMARK	•	
STORM DRAIN MANHOLE	D	
SURVEY MONUMENTS FOUND		
SURVEY MONUMENTS SET	\bigcirc	
UTILITY LID	\bigcirc	
WATER METER	VV	Q
WATER RISER	٢	
WATER VALVE		\otimes
WATER VAULT		822
WETLANDS BUFFER/ LINE STAKES		
POWER POLE	- O -	
SIDEWALK		
CONFEROUS TREE	AND ALL ALL ALL ALL ALL ALL ALL ALL ALL AL	
DECIDUOUS TREE		

ABBREVIATIONS

С	TOP OF CURB	WM	WATER METER
C	ASPHALT	ОН	OVERHEAD WIRE
н	FIRE HYDRANT	SSWR	SANITARY SEWER
G	FINISHED GRADE	MH	MANHOLE
W	SIDEWALK ELEVATION	IE	INVERT ELEVATION
S	TOP OF STAIR	СВ	CATCH BASIN
S	BOTTOM OF STAIR	STM	STORM
YP	TYPICAL	RD	ROOF DRAIN
.O.W.	RIGHT OF WAY	FF/FFE	FINISHED FLOOR ELEVATION
S	LANDSCAPE	NG	NATURAL GROUND
ROZ	SIGNIFICANT RESOURCE OVERLAY ZONE	CL	CENTERLINE
		GPM	GALLONS PER MINUTE
0	CLEAN OUT	FW	FIRE WATER
VV	INVERT	PWS	PUBLIC WORKS
RD	ROOF DRAIN		STANDARDS
WO	CITY OF WILSONVILLE	PUE	PUBLIC UTILITY EASEMENT
		ELEV	ELEVATION



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BMR, BDN

R0.01

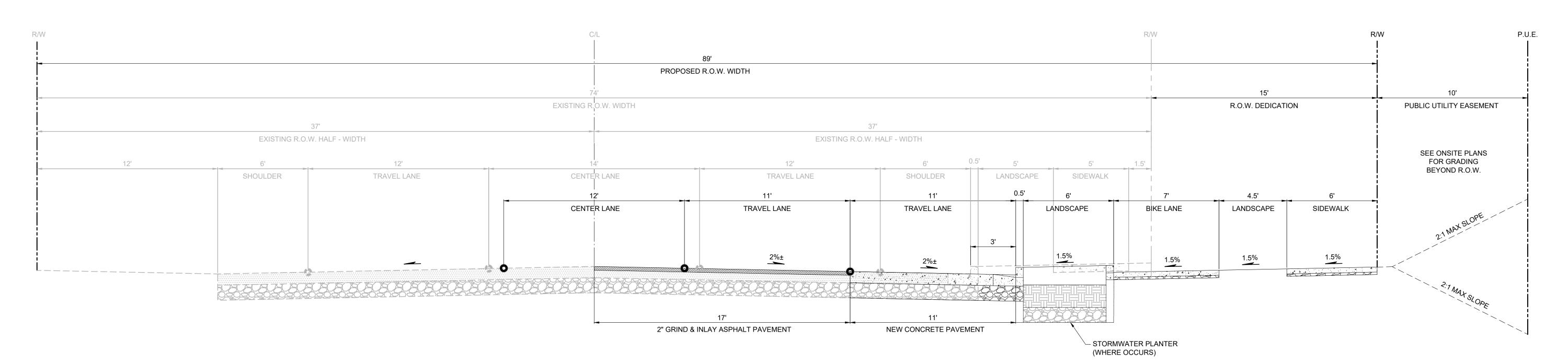
^{JOB NO.} **2200502.04**

NOTES,

LEGEND, AND

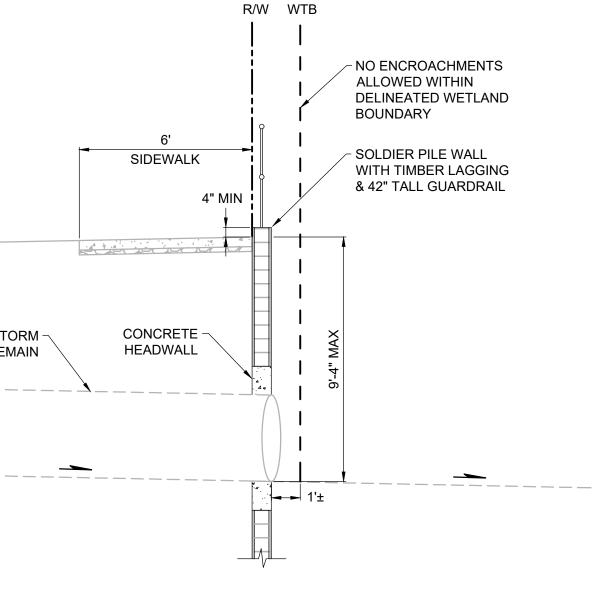
ABBREVIATIONS





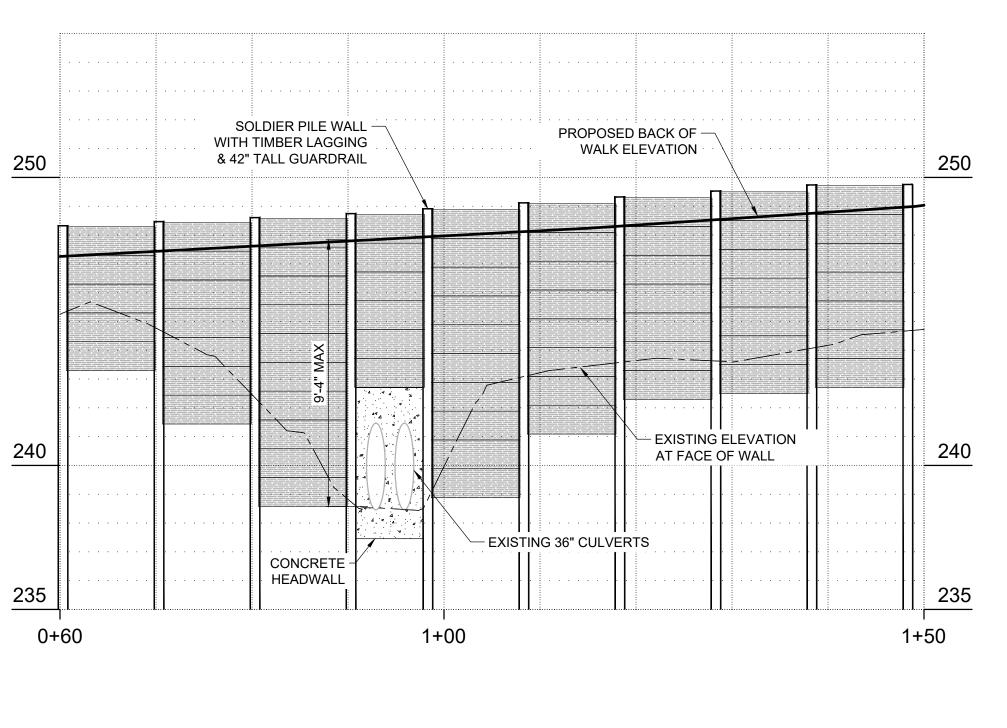
EXISTING 36" STORM -CULVERTS TO REMAIN

2 CROSS SECTION - DAY ROAD (CULVERT) R0.02 N.T.S.



1 TYPICAL SECTION - DAY ROAD R0.02 N.T.S.

1:1







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Delta

SHEET

DRAWN BY: CME

GIN

R0.02

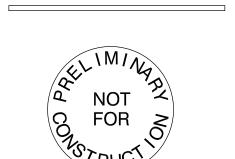
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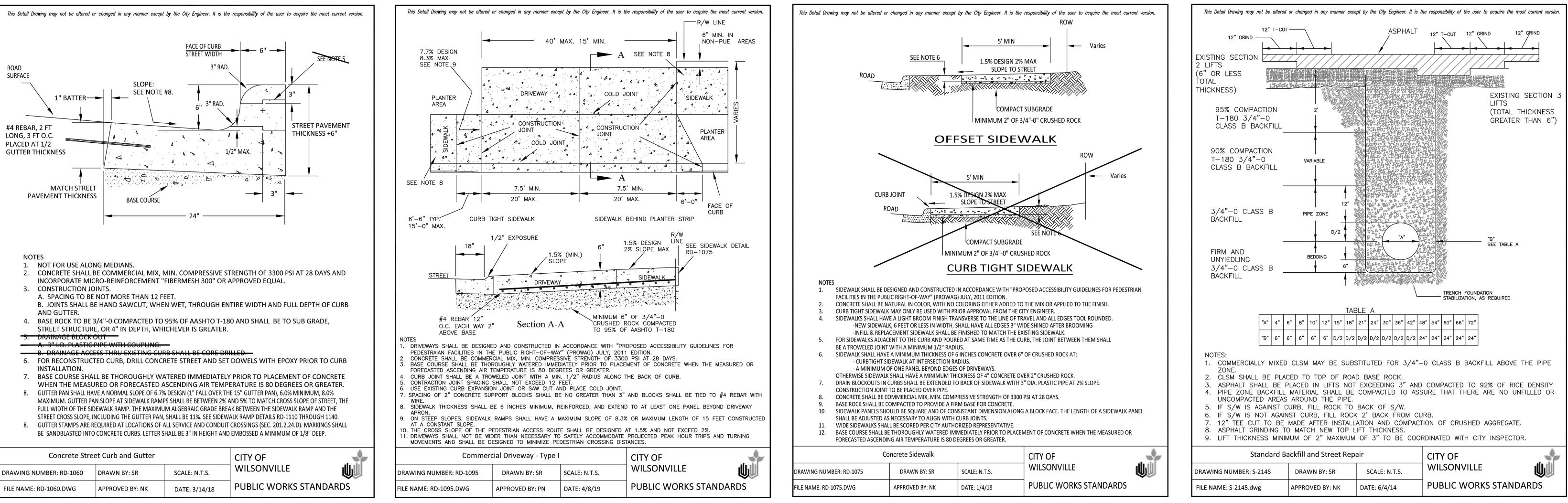
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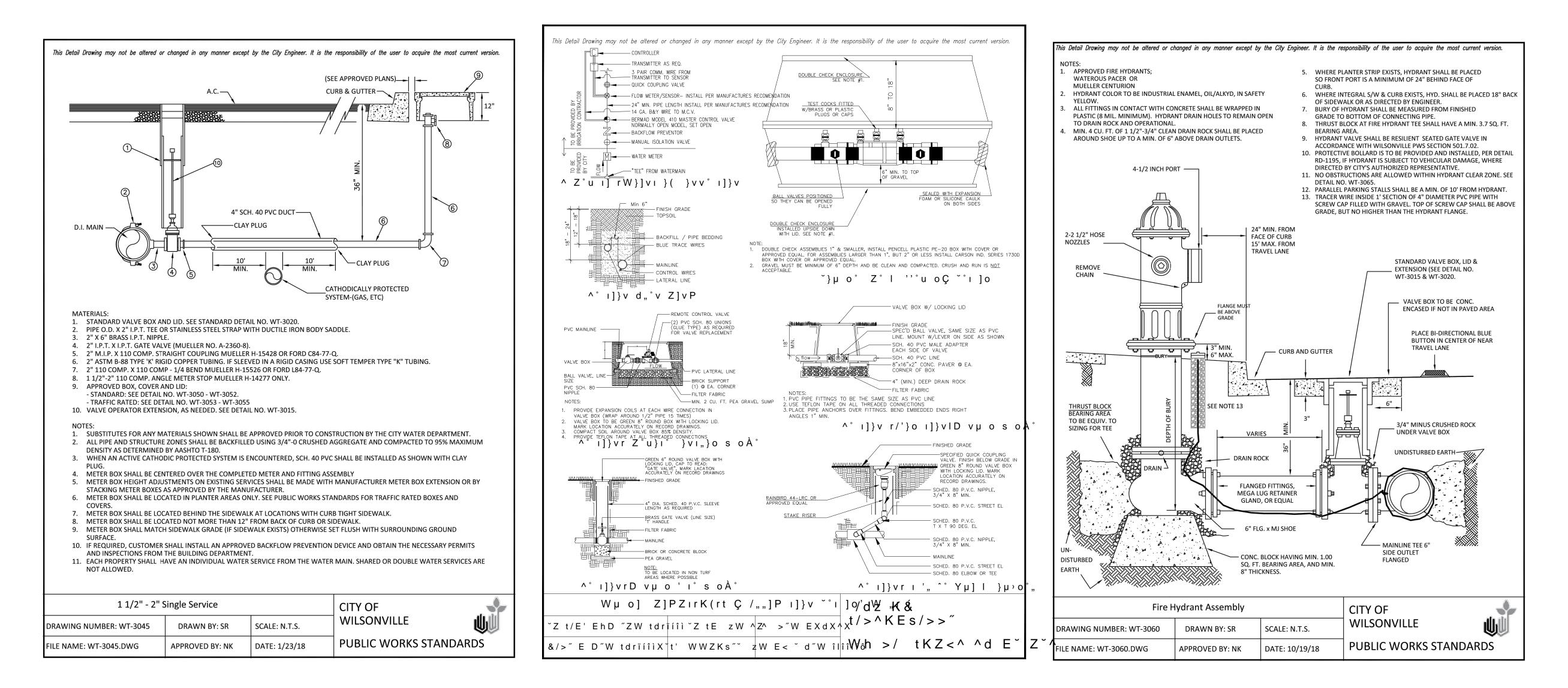
CROSS

SECTIONS









Commercial Driveway - Type I			CITY OF	
NG NUMBER: RD-1095	DRAWN BY: SR	SCALE: N.T.S.	WILSONVILLE	
ME: RD-1095.DWG	APPROVED BY: PN	DATE: 4/8/19	PUBLIC WORKS STANDARDS	

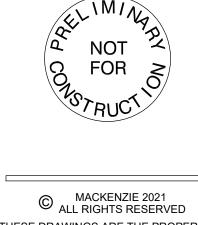


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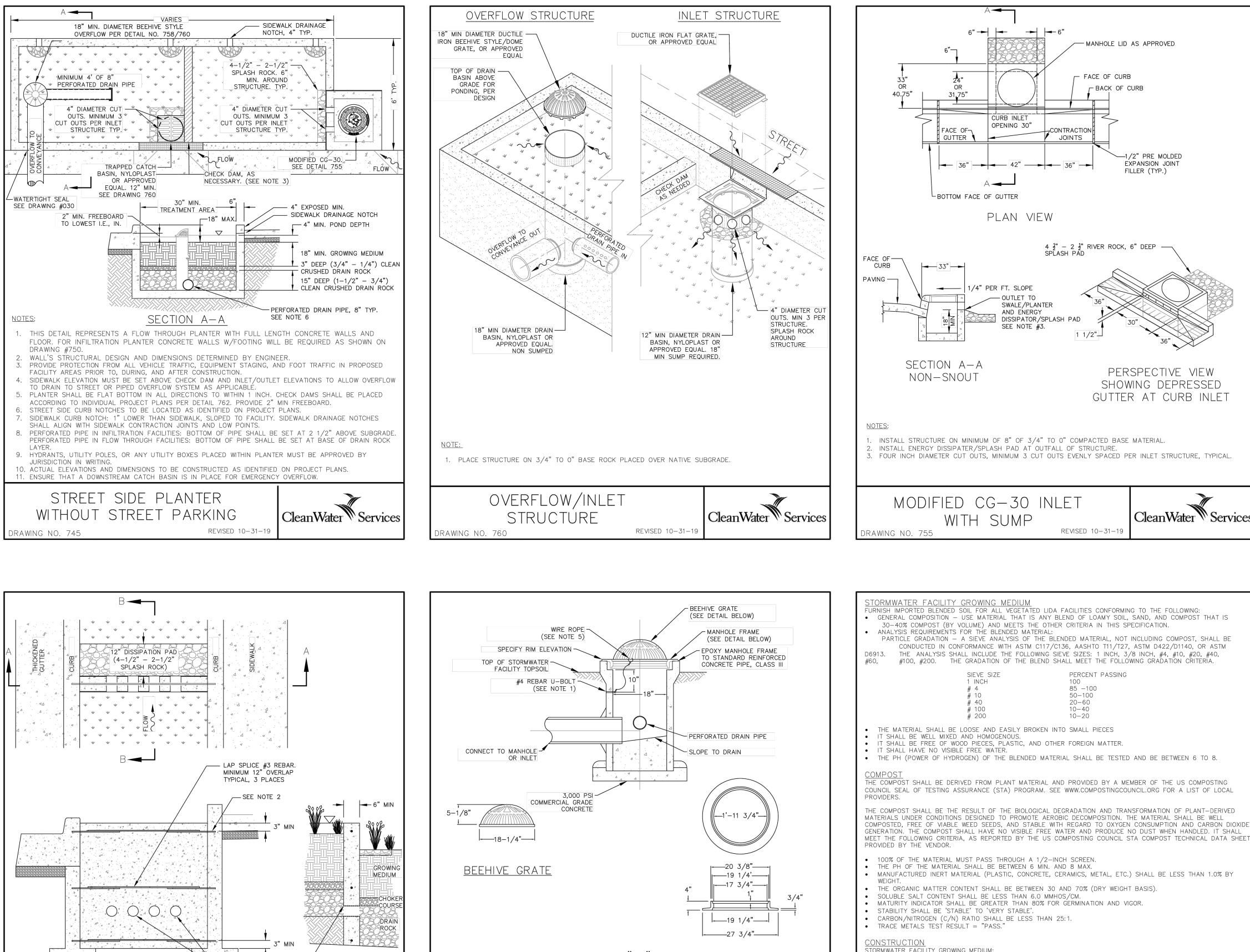
DETAILS

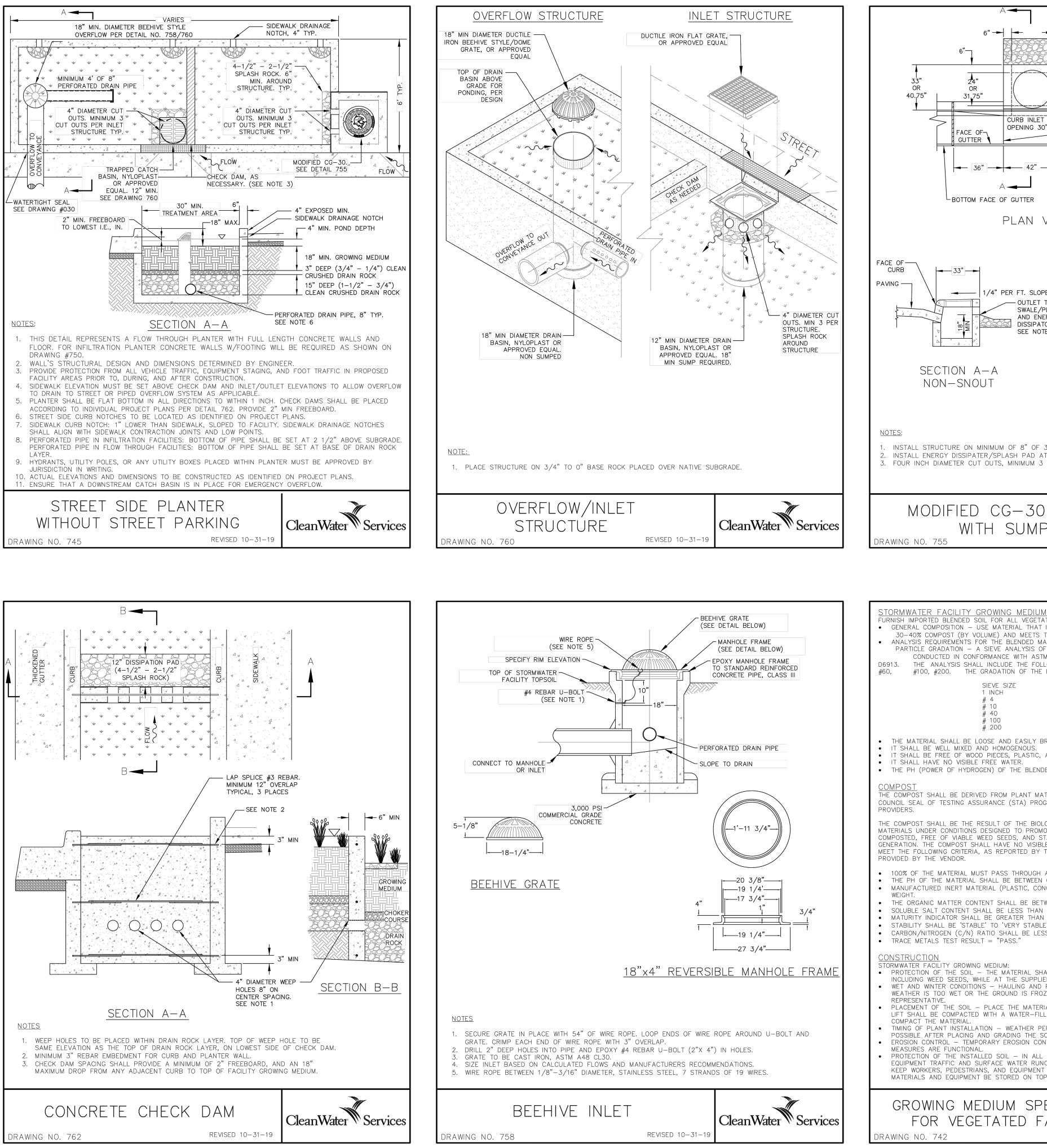




R0.03

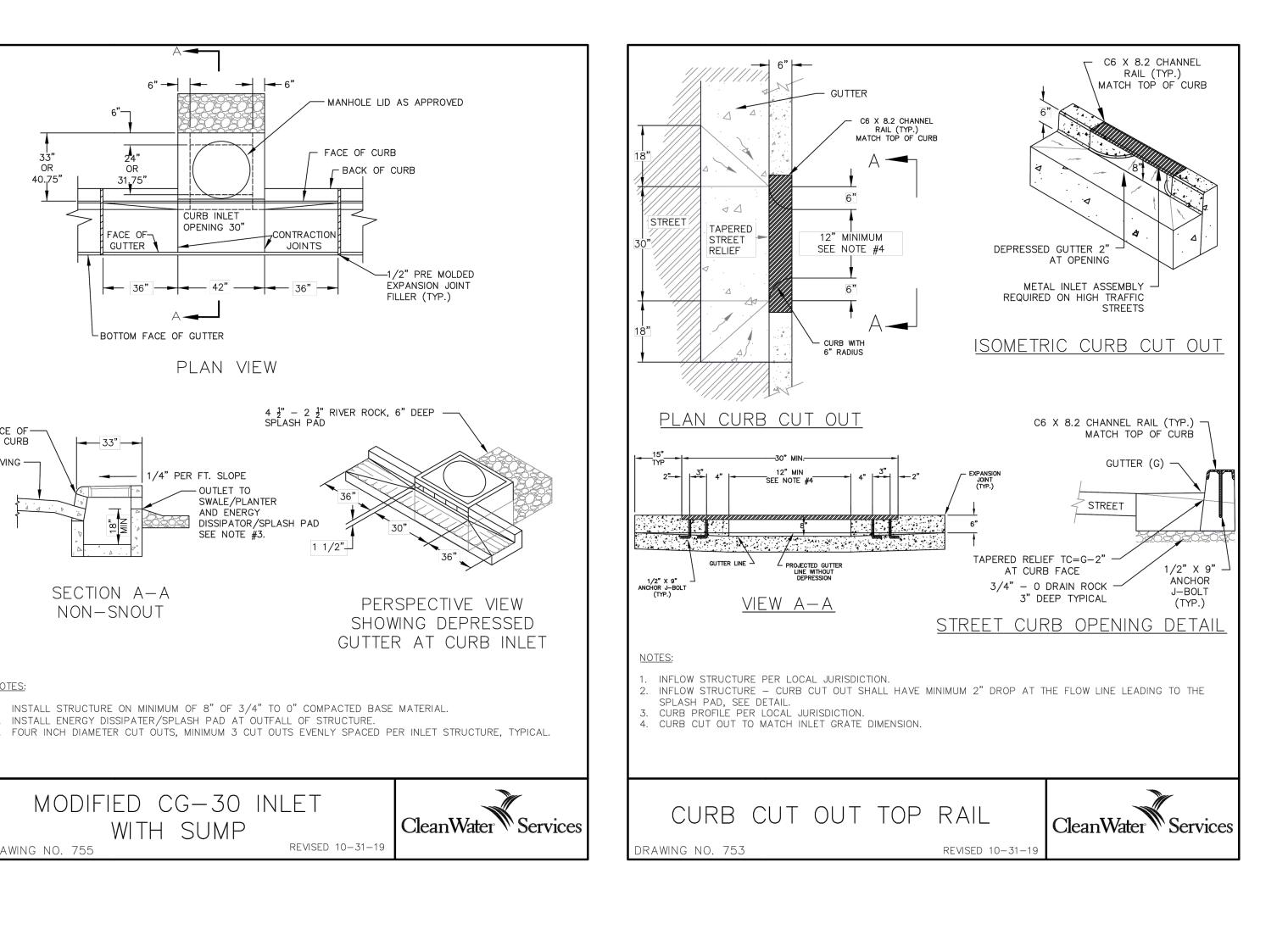
^{JOB NO.} **2200502.04**





- PROTECTION OF THE SOIL THE MATERIAL SHALL BE PROTECTED FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE. WET AND WINTER CONDÍTIONS - HAULING AND PLACEMENT OF THE MATERIAL WILL NOT BE ALLOWED WHEN THE WEATHER IS TOO WET OR THE GROUND IS FROZEN OR SATURATED AS DETERMINED BY THE OWNERS
- PLACEMENT OF THE SOIL PLACE THE MATERIAL IN LOOSE LIFTS, NOT TO EXCEED 8 INCHES EACH AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. DO NOT OTHERWISE MECHANICALLY
- TIMING OF PLANT INSTALLATION WEATHER PERMITTING AND AS APPROVED, INSTALL PLANTS AS SOON AS POSSIBLE AFTER PLACING AND GRADING THE SOIL IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.
- EROSION CONTROL TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION PROTECTION OF THE INSTALLED SOIL - IN ALL CASES, THE PROTECT INSTALLED MATERIAL FROM FOOT OR
- EQUIPMENT TRAFFIC AND SURFACE WATER RUNOFF. INSTALL TEMPORARY FENCING OR WALKWAYS AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE AREA. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED ON TOP OF THE INSTALLATION AREA.

GROWING MEDIUM SPECIFICAT FOR VEGETATED FACILITIES REVISE



CONDUCTED IN CONFORMANCE WITH ASTM C117/C136, AASHTO T11/T27, ASTM D422/D1140, OR ASTM PERCENT PASSING 85 -100 50-100

20-60 10-40 10-20

FION S 10-31-19	CleanWater Services	
S D 10-31-19	CleanWater W Services	



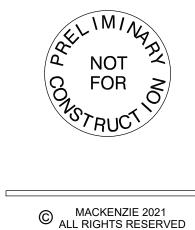
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SHEET TITLE:

DETAILS



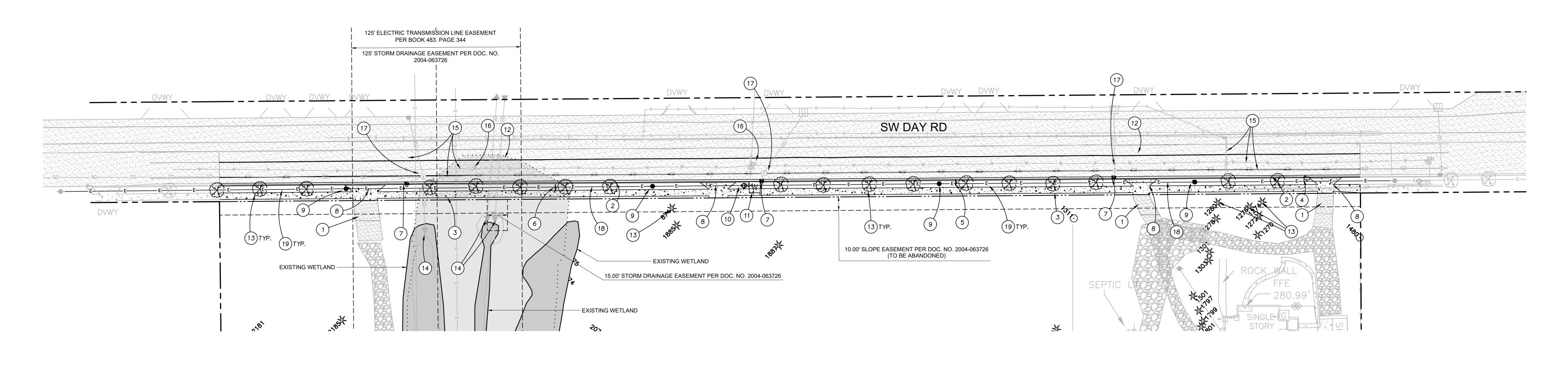
CME

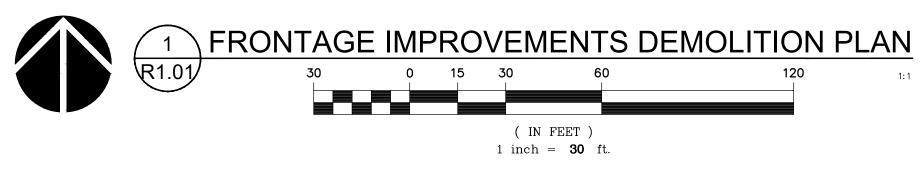
CHECKED B

DRAWN BY:



^{JOB NO.} **2200502.04**





1:1

KEY NOTES

- 1. REMOVE EXISTING ASPHALT PER SECTION 1/R0.02
- 2. REMOVE EXISTING CURB AND GUTTER
- 3. REMOVE EXISTING SIDEWALK 4. REMOVE EXISTING MAILBOX
- 5. RELOCATE EXISTING "TRUCKS ENTERING ROADWAY" SIGN
- 6. RELOCATE EXISTING "40 SPEED" SIGN
- 7. REMOVE EXISTING CATCH BASIN
- 8. REMOVE EXISTING DRIVEWAY
- 9. RELOCATE EXISTING POWER POLE 10. RELOCATE FIRE HYDRANT
- 11. REMOVE WATER METER AND SERVICE LATERAL TO MAINLINE
- 12. GRIND ASPHALT PAVEMENT PER SECTION 1/R0.02
- 13. REMOVE EXISTING TREE
- 14. PROTECT EXISTING STORM CULVERTS
- 15. PROTECT EXISTING UTILITIES AT THE SURFACE WITHIN THE GRINDING AREA

#

- 16. PROTECT VALVES AND ADJUST TO GRADE 17. PROTECT EXISTING MANHOLES IN GRINDING AREA, ADJUST TO GRADE
- 18. RELOCATE EXISTING OVERHEAD POWER LINES
- 19. REMOVE EXISTING HEDGE



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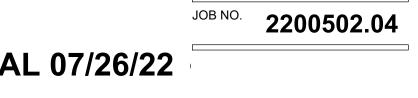
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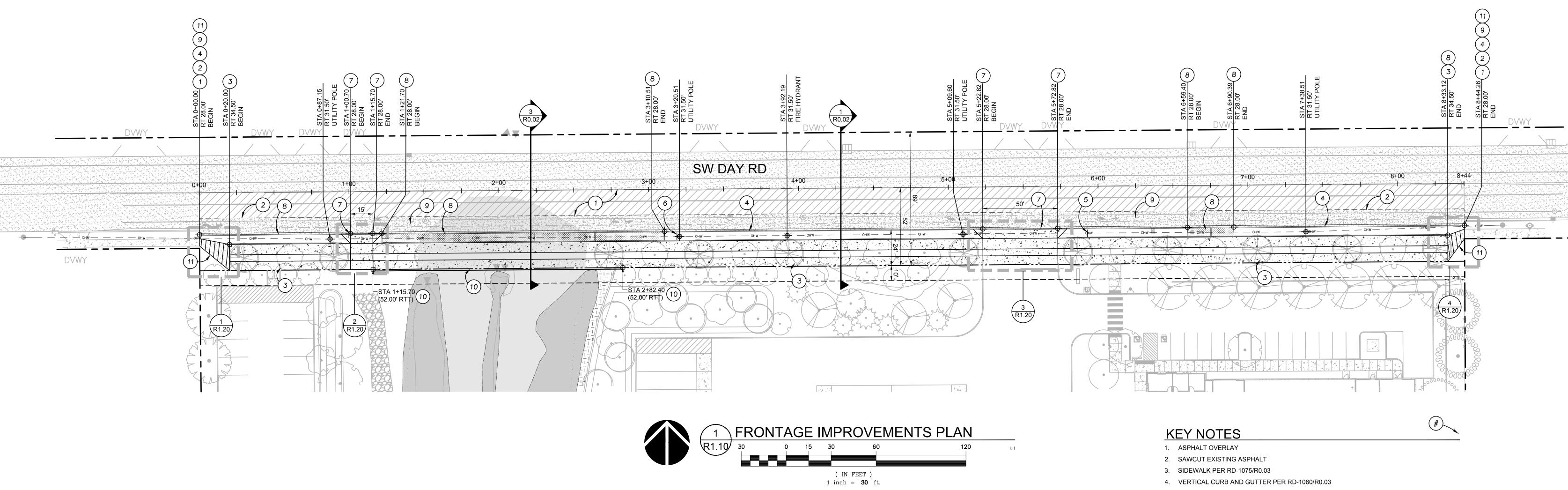
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REVISION SCHEDULE			
Delta	Issued As	Issue Date	

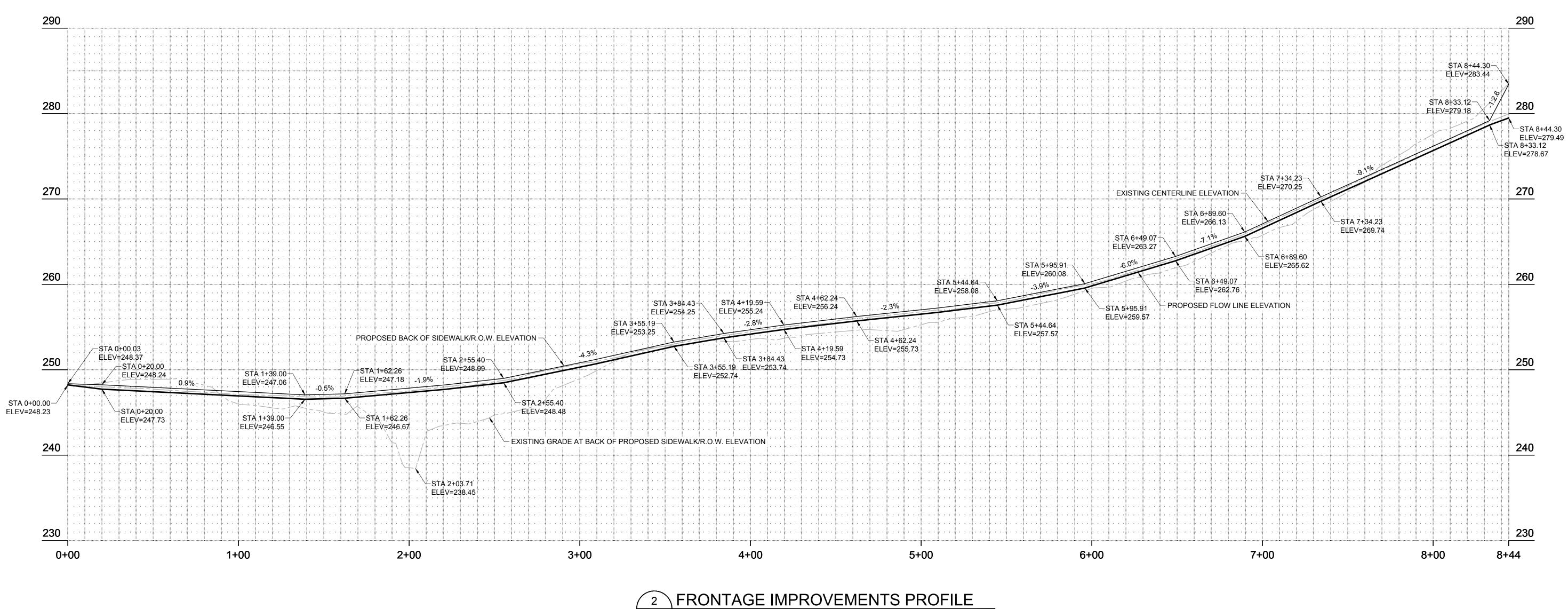
SHEET TITLE: DEMOLITION PLAN

CHECKED BY: GIM SHEET **R1.01**

DRAWN BY: CME







R1.10 HORIZONTAL SCALE: 1"=30' VERTICAL SCALE: 1"=5'

- 5. RELOCATED "TRUCKS ENTERING ROADWAY" SIGN
- 6. RELOCATED EXISTING "40 SPEED" SIGN 7. COMMERCIAL DRIVEWAY PER RD-1095/R0.03
- 8. STORMWATER PLANTER PER ST-6005/R0.03
- 9. CONCRETE PAVEMENT
- 10. RETAINING WALL
- 11. ASPHALT PAVING WITH CROSSWALK STRIPING FROM PROPOSED SIDEWALK TO EXISTING

LAND USE RESUBMITTAL 07/26/22



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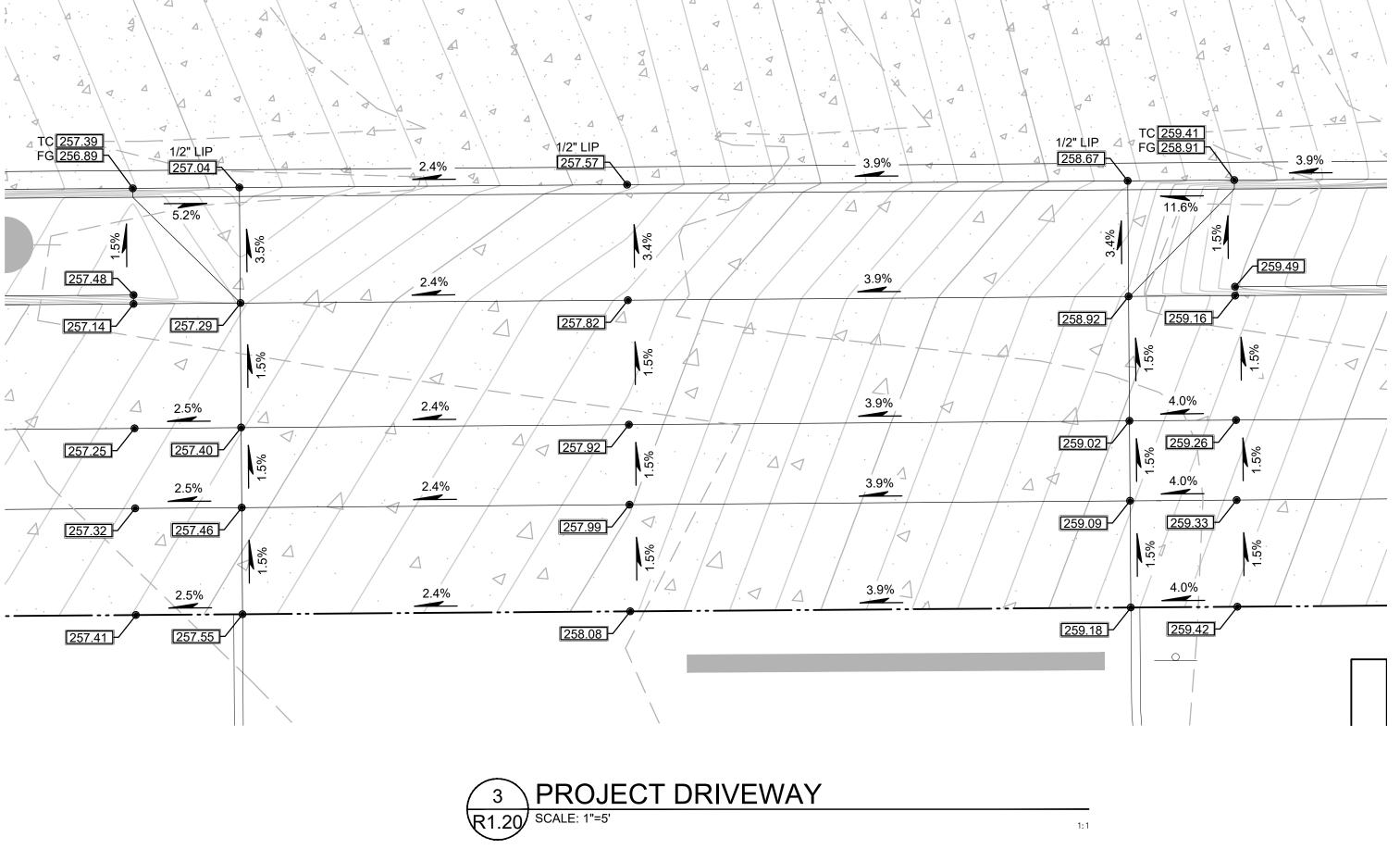
DRAWN BY: CME

SHEET TITLE: PLAN AND PROFILE



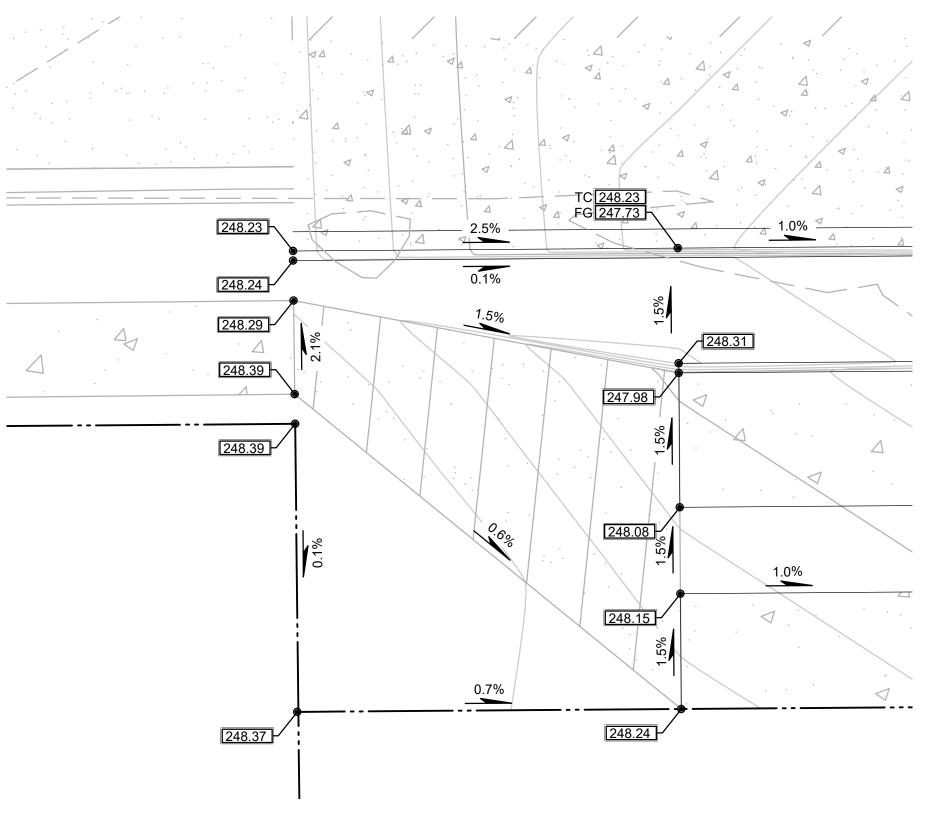


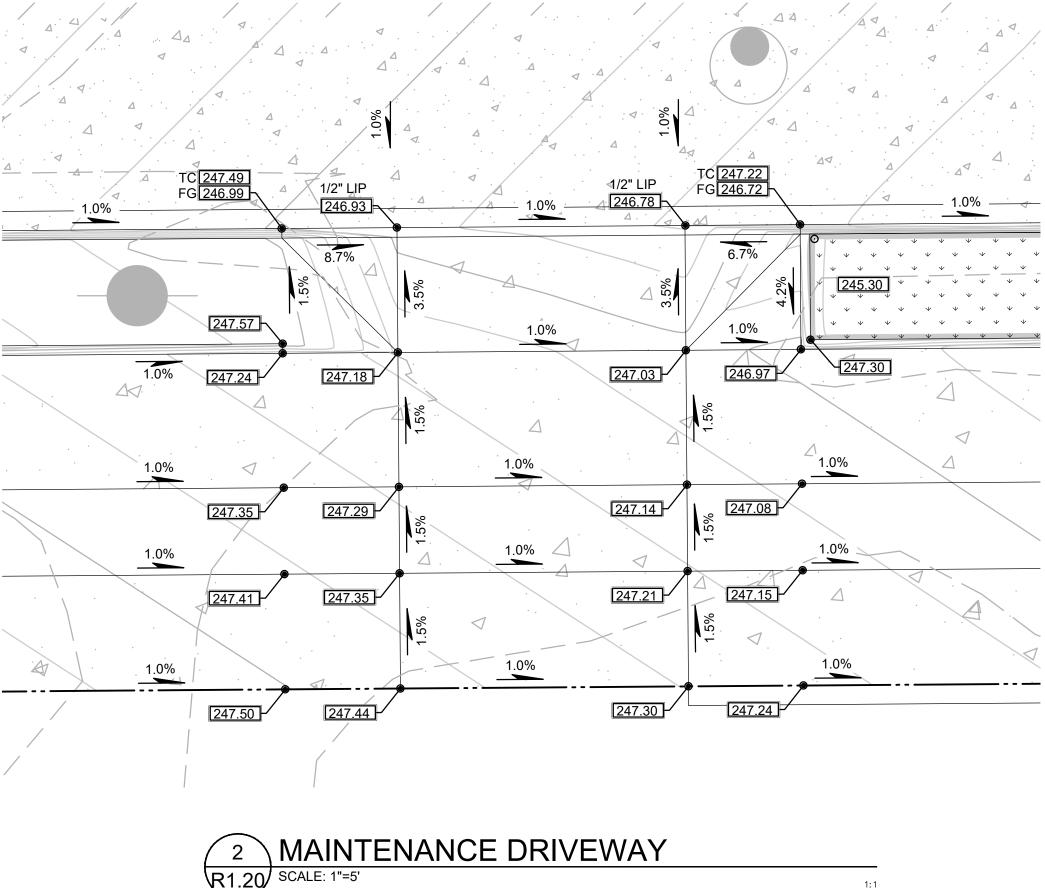
JOB NO. **2200502.04**



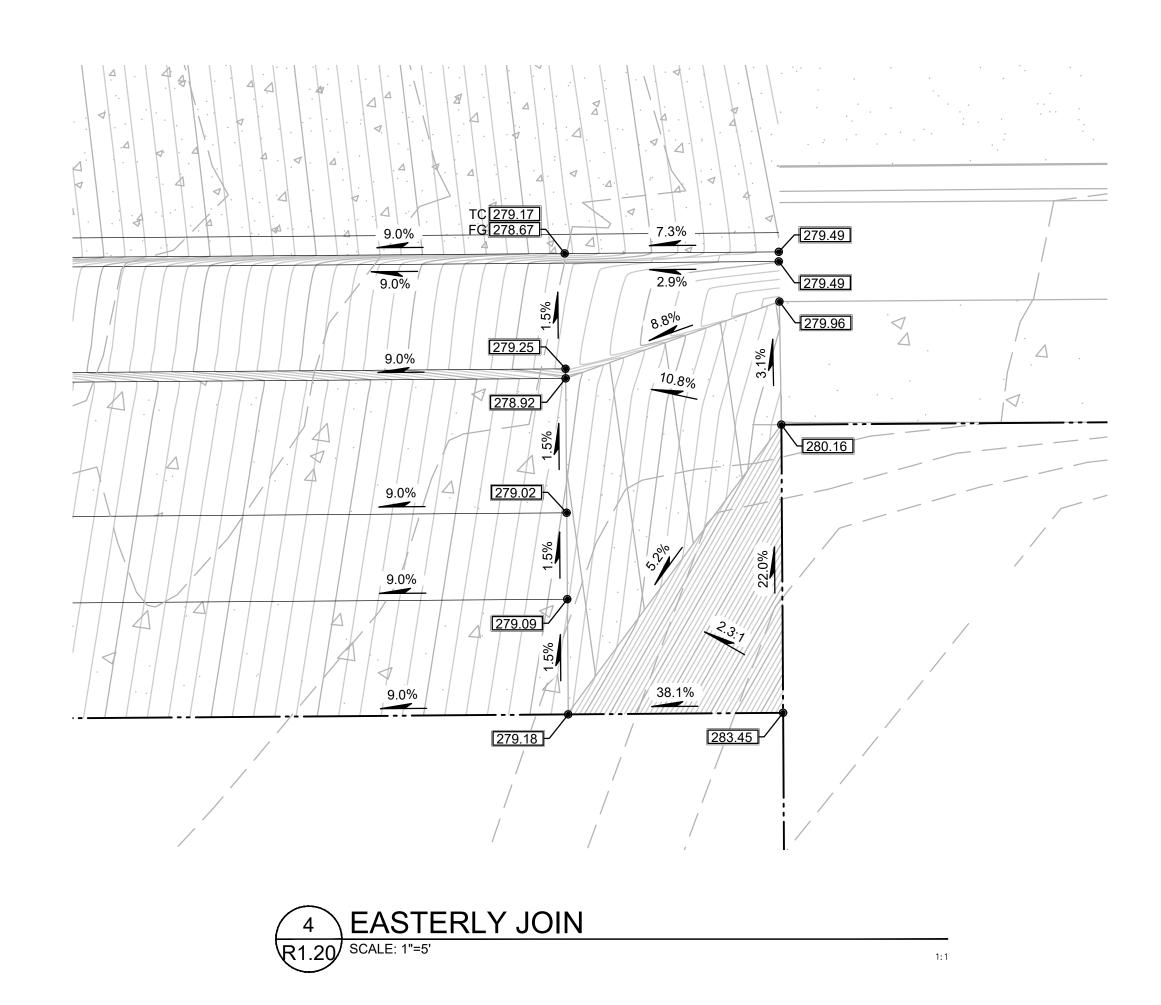


 \triangle









2 MAINTENANCE DRIVEWAY R1.20 SCALE: 1"=5'



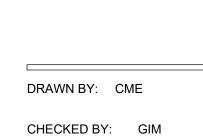
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R1.20

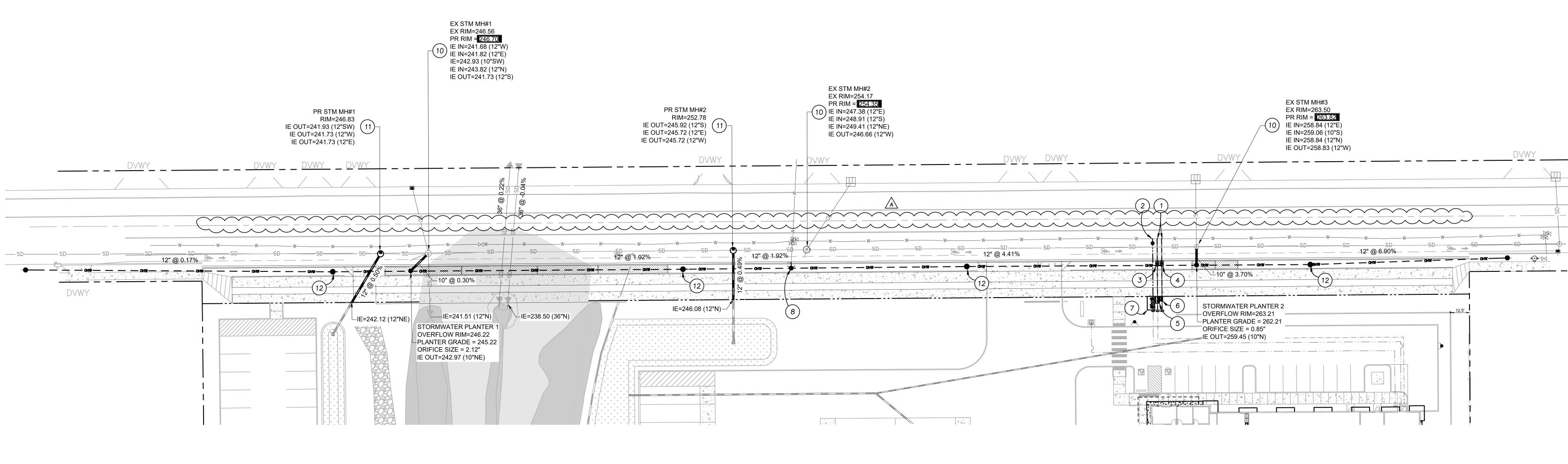
JOB NO. 2200502.04

SHEET



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0 15 30

R1.30 30

.

(IN FEET) 1 inch = **30** ft.

60

120

KEY NOTES

#

- 1. DOMESTIC/IRRIGATION WATER SERVICE CONNECTION PER DETAIL WT-3045/R0.03
- 2. FIRE WATER SERVICE CONNECTION
- 3. 3" DOMESTIC WATER METER, SEE DETAIL WT-3045/R0.03
- 4. 1.5" IRRIGATION WATER METER
- 5. 3" REDUCED PRESSURE BACKFLOW ASSEMBLY
- 6. 1.5" DOUBLE CHECK ASSEMBLY, SEE DETAIL WT-3045/R0.03
- 7. 12" DOUBLE CHECK DETECTOR ASSEMBLY
- 8. FIRE HYDRANT, SEE DETAIL WT-3060/R0.03
- A9. NOT USED 10. JOIN EXISTING STORM MANHOLE
- 11. STORM MANHOLE
- 12. RELOCATED UTILITY POLE WITH STREET LIGHT LUMINAIRE



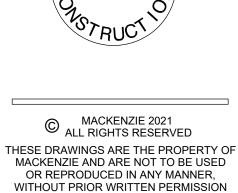
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> M/λ NOT FOR



REVISION SCHEDULE

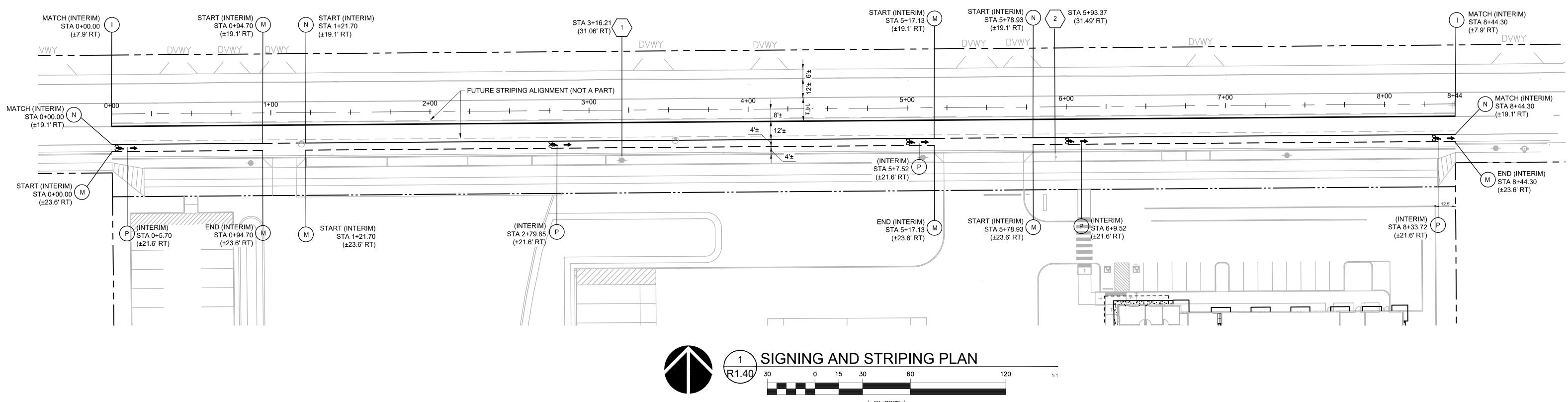
Delta Issued As Issue Date A LAND USE 06/08/2022

SHEET TITLE:

UTILITY PLAN

DRAWN BY: CME CHECKED BY: GIN SHEET

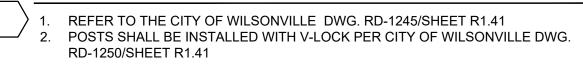




(IN FEET) 1 inch = **30** ft.

SIGN NO. (N)	QTY. USED
1	1
2	1

SIGNING NOTES





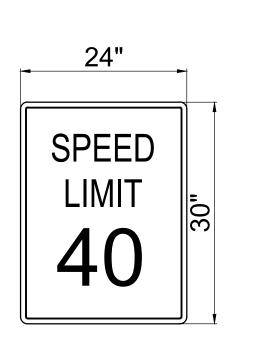
ON CITY OF WILSONVILLE STD. DWG. RD-1280/SHEET R1.41 2. DO NOT PAINT CURBS MAINTAINED BY THE CITY OF WILSONVILLE.

CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY PAINT ON CITY CURBS.

			SIG	N &	SL	JPF	POF	RT [DAT	ΤA	TABLE		
SIGN DIM	IENSION	SIGN	CODE		ΤY	PE C)F SL	JPPC	RT		F00 ⁻	TING TYPE	
						N	IOUN	١T					
WIDTH (IN)	HEIGHT (IN)	MUTCD	ОДОТ	SINGLE PIPE POST	EXISTING PIPE POST	ΠΤΙΓΙΤΥ ΡΟΓΕ	LIGHT POLE	SIGNAL POLE	MODIFIED BIKE RACK	CANTILEVER	BREAKAWAY DOME ASSEMBLY	BREAKAWAY ANCHOR ASSEMBLY	SIGN LEGEND / OTHER REMARKS
24	30	R2-1 TYPE W1				х							[SPEED LIMIT 40] MOUNTED ON POLE
36	36			х									[TRUCKS ENTERING ROADWAY]

2





R2-1 TYPE W1 SIGN

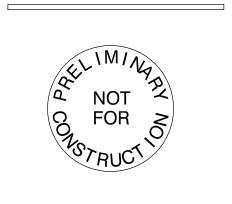


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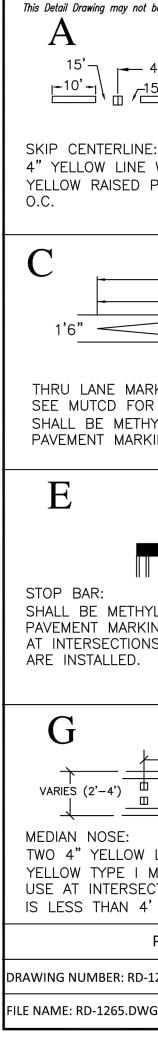
DRAWN BY: CME CHECKED BY:

STRIPING AND SIGNAGE PLAN

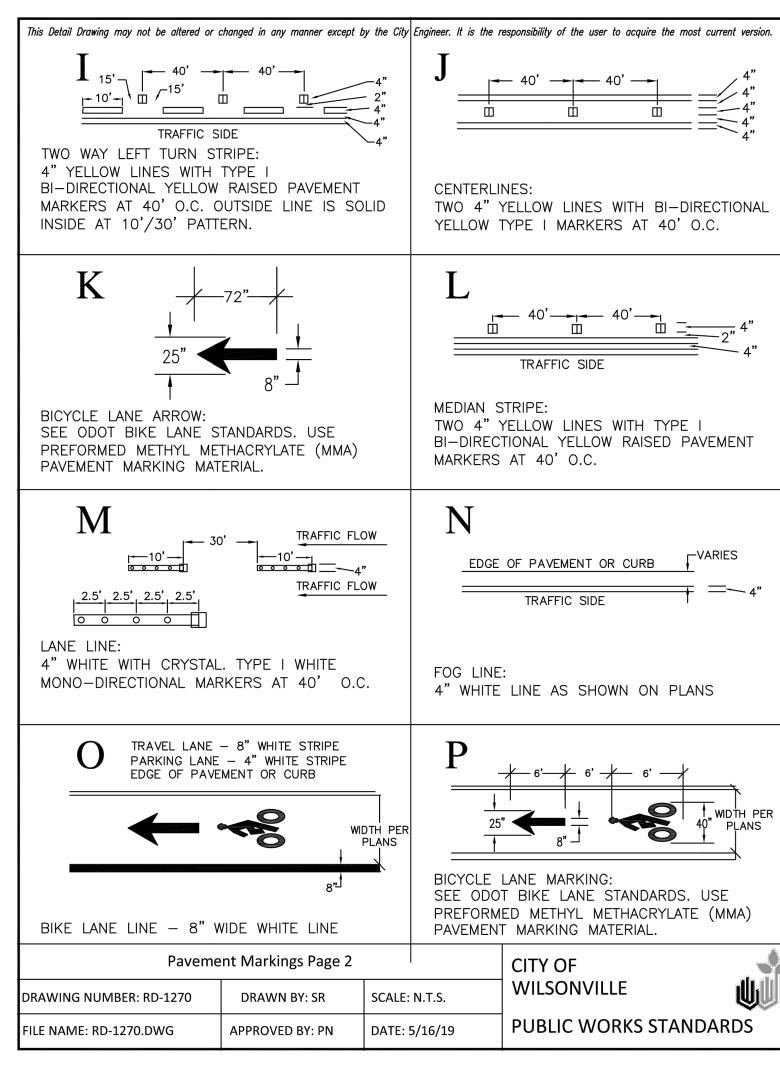
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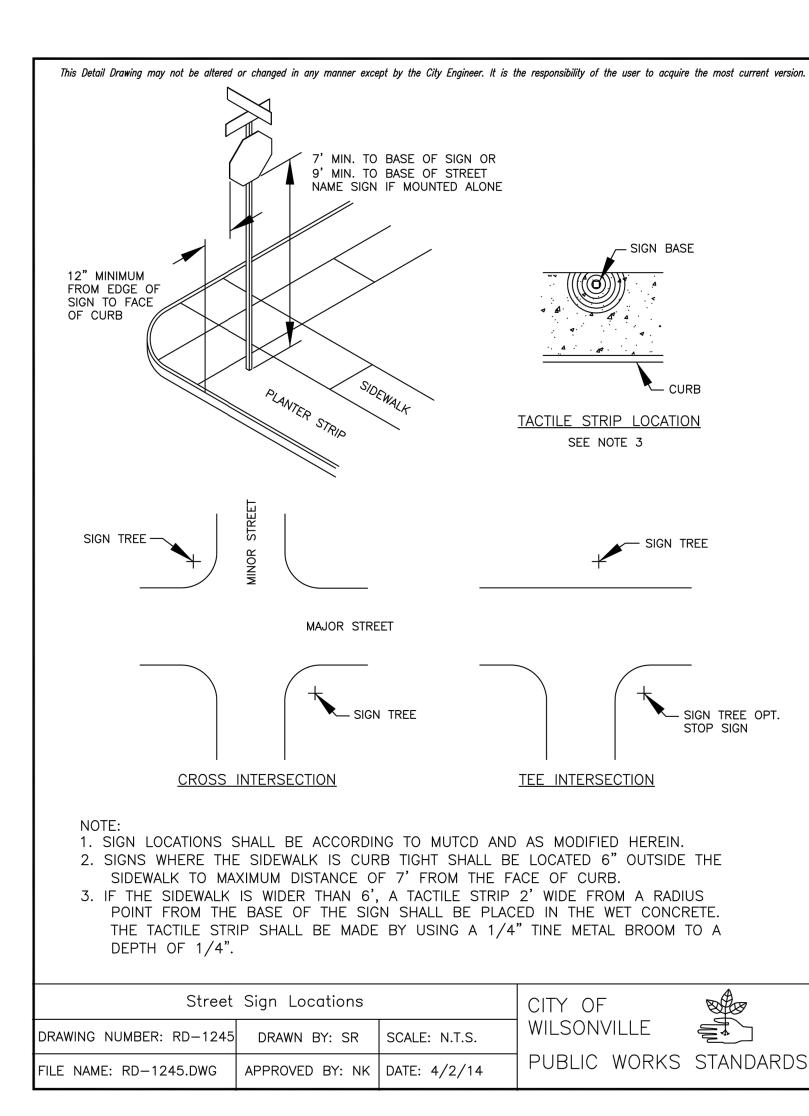
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40' — - <u>15'</u> [E: : WITH T	r changed in any manner except 40'	- 4" DNAL	TURN LAN SEE MUTO TM501 FO METHYL N	VARIES VARIES	DARD DRAV	CENTER IN TURN LANE COCATE 10' ROM BEGINNING OF FULL WIDTH OF FURN LANE.
	S. THRU ARROWS HACRYLATE (MMA) TERIAL		THRU ANI SEE MUTO ARROWS	6"w	INGS IRN AND T METHACRYL	1 <u>33"</u> 8'9"
ING MAT	MIN. MACRYLATE (MMA) ERIAL. NOT REQUIR ARKED CROSSWALKS			THRU TRAFFIC		-Y 12') L
MARKER	WITH BI- DIRECTION S AT 15' O.C. FOR WHERE MEDIAN NOS	NAL	H DIAGONAL 12" YELLO SHOWN.	TRAFFIC 20'-20'-20'- 20'-20'- 20'-20'- 20'- 20'		D AS
Paveme	nt Markings Page 1 DRAWN BY: SR	SCALE:	N.T.S.	CITY OF WILSONVILLE		
VG	APPROVED BY: PN		5/16/19	PUBLIC WORKS	STANDAR	DS





– SIGN BASE

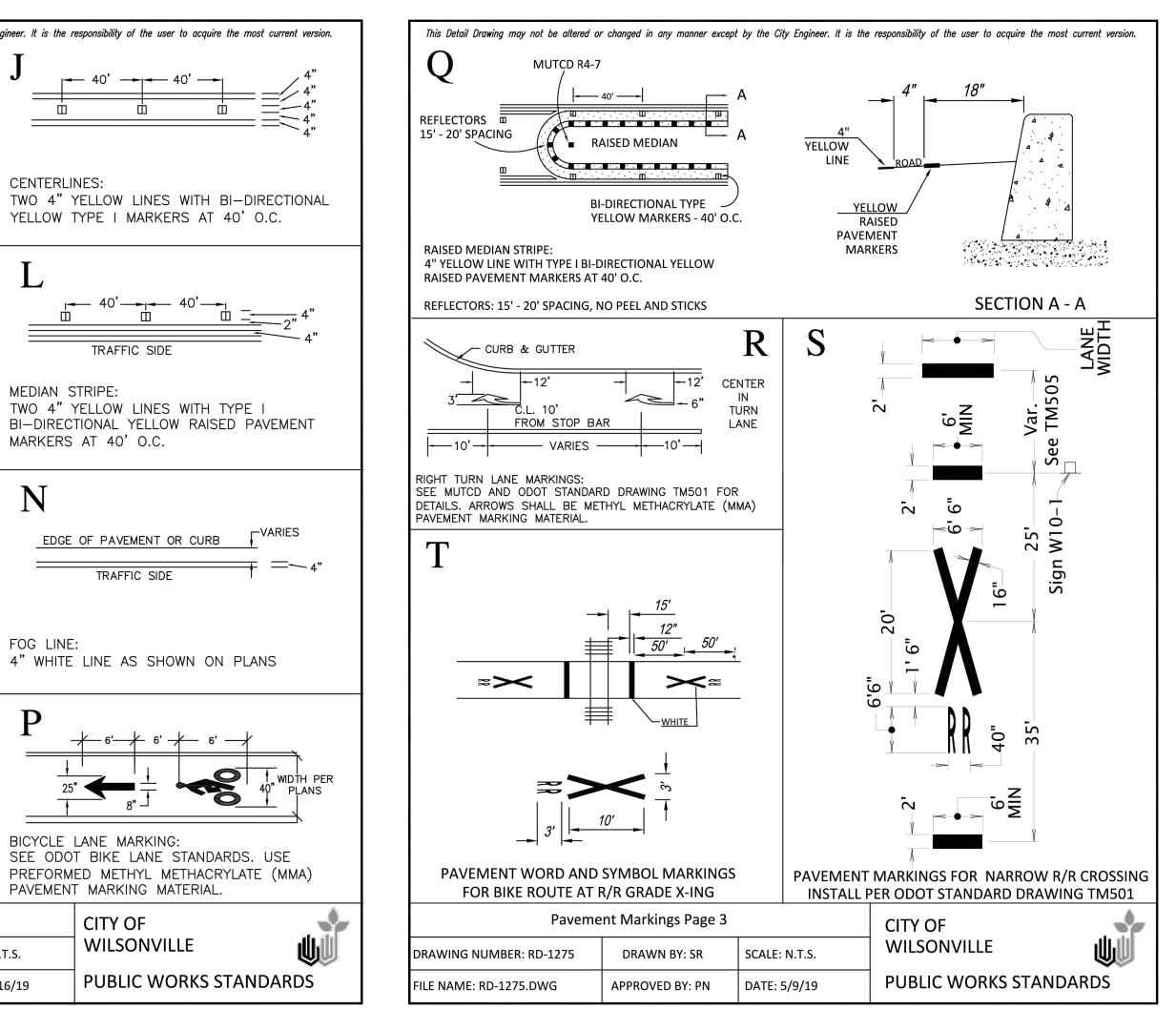
SIGN TREE

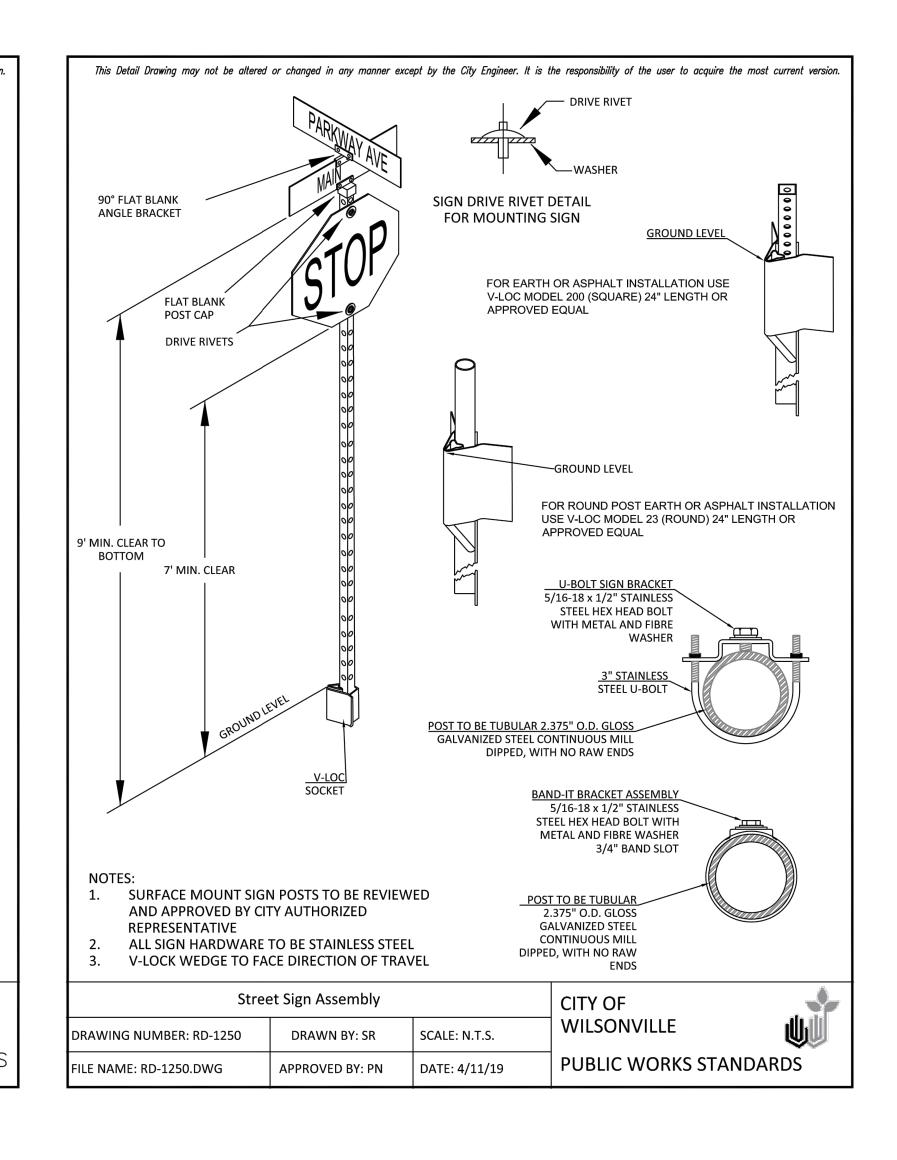
SIGN TREE OPT.

STOP SIGN

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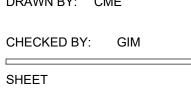
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SHEET TITLE:

SIGNAGE

DETAILS

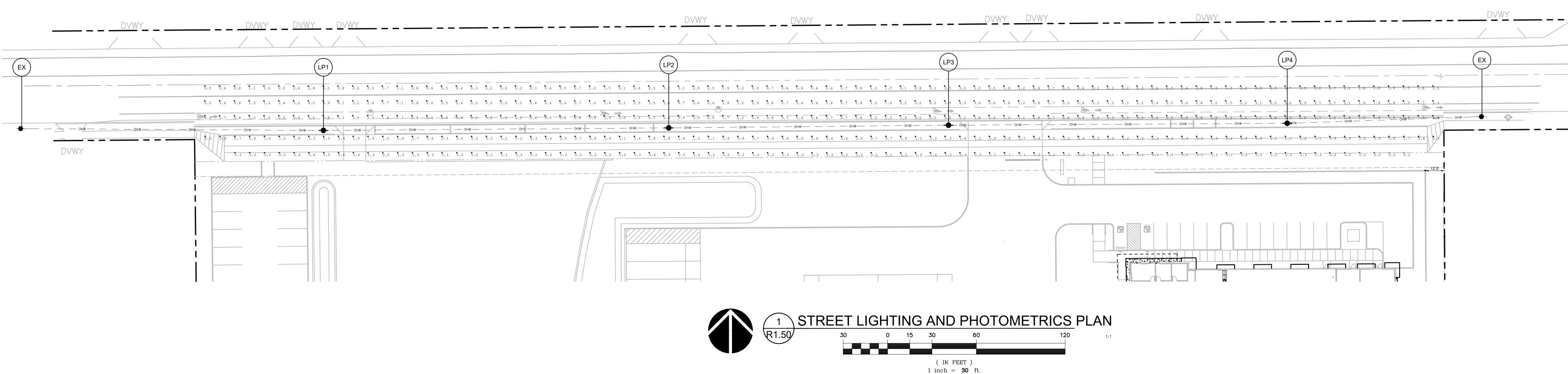
STRIPING AND





JOB NO. **2200502.04**

DRAWN BY: CME CHECKED BY:



LIGHTING NOTES

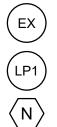
- 1. ALL MATERIALS AND WORKMANSHIP CONFORM TO CITY OF WILSONVILLE AND PGE OPTION B SPECIFICATIONS. ALL MATERIALS AND INSTALLATIONS SHALL BE APPROVED BY WILSONVILLE AND PGE
- 2. CONTRACTOR SHALL COORDINATE INSTALLATION OF STREET LIGHTS WITH PGE AND CITY FORCES. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3. CONTRACTOR SHALL SUBMIT A LIGHTING SUBMITTAL OF ALL LIGHTING EQUIPMENT TO THE CITY OF WILSONVILLE AND HAVE APPROVED PRIOR TO ORDERING. 4. CONTACT PGE AT (503) 323-6700 TO BEGIN A WORK ORDER REQUEST. VERIFY
- PROPOSED LIGHT POLE LOCATION WITH PGE AND CITY PRIOR TO ORDERING AND INSTALLATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 5. STREET LIGHTING SHALL BE PER PGE OPTION B: PGE MAINTAINS LUMINAIRES AND PROVIDES ELECTRICITY SERVICE TO LUMINAIRES THAT ARE PURCHASED AND OWNED BY THE OWNER AND INSTALLED ON UTILITY POLES.
- 6. CONTRACTOR SHALL VERIFY LUMINAIRE CHARACTERISTICS AND CATALOG NUMBER, INCLUDING BUT NOT LIMITED TO EXTERIOR HOUSING COLOR, WITH PGE AND CITY FORCES PRIOR TO ORDERING.
- 7. WIRES TO BE PROVIDED AND PULLED BY PGE
- 8. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT OPERATION OF THE STREET LIGHT SYSTEM FOR THE FIRST YEAR AFTER BEING ENERGIZED BY PGE.THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY POLES WHICH GO OUT OF PLUMB WITHIN THE FIRST YEAR. DURING THIS ACCEPTANCE PERIOD ANY REPAIRS OR POLE STRAIGHTENING PERFORMED ON THE INSTALLED SYSTEM BY PGE WILL BE BILLED TO THE DEVELOPER.

STREET LIGHTING EQUIPMENT 1. LUMINAIRES SHALL BE:

LUM 1: LEOTEK GRAY LED: GCL-80G-MV-WW-3R-GY-610-PCR7RWGWLFDCPGE

LIGHTING LEGEND

EXISTING LIGHTPOLE



INSTALL LUMINAIRE POLE (30' MOUNTING HEIGHT) SEE FOOTING DETAIL RD-1335 POLE NUMBER (N). SEE POLE INFORMATION TABLE.

ILLUMINATION DATA

DESIGNED
RECOMMENDED MINIMUM VALUE

SW DAY RD - COL	LECTOR ROAD	
AVERAGE (fc)	MINIMUM (fc)	AVERAGE/MINIMUM
1.7	.2	8.7:1
0.6	-	4.0:1
SIDEWALK ALONO	<u> SW DAY RD - CO</u>	LLECTOR ROAD
SIDEWALK ALONC	S SW DAY RD - CO MINIMUM (fc)	LLECTOR ROAD AVERAGE/MINIMUM

RECOMMENDED MINIMUM VALUE NOTES:

DESIGNED

1. A LIGHT LOSS FACTOR OF 0.85 WAS USED FOR ALL LUMINAIRES 2. STREET LIGHTING WAS DEIGNED IN ACCORDANCE WITH THE MOST CURRENT

AMERCIAN STANDARD PRACTICE FOR ROADWAY LIGHTING (RP-8-14) PER CITY OF WILSONVILLE PUBLIC WORKS STANDARD

3. DESIGN ASSUMES A LOW PEDESTRIANS TRAFFIC AREA AND A R2/R3 PAVEMENT CLASSIFICATION



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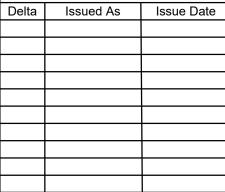
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LIGHTING AND

PHOTOMETRICS

GIN

R1.50

^{JOB NO.} **2200502.04**

SHEET TITLE:

PLAN

DRAWN BY: CME

CHECKED BY:

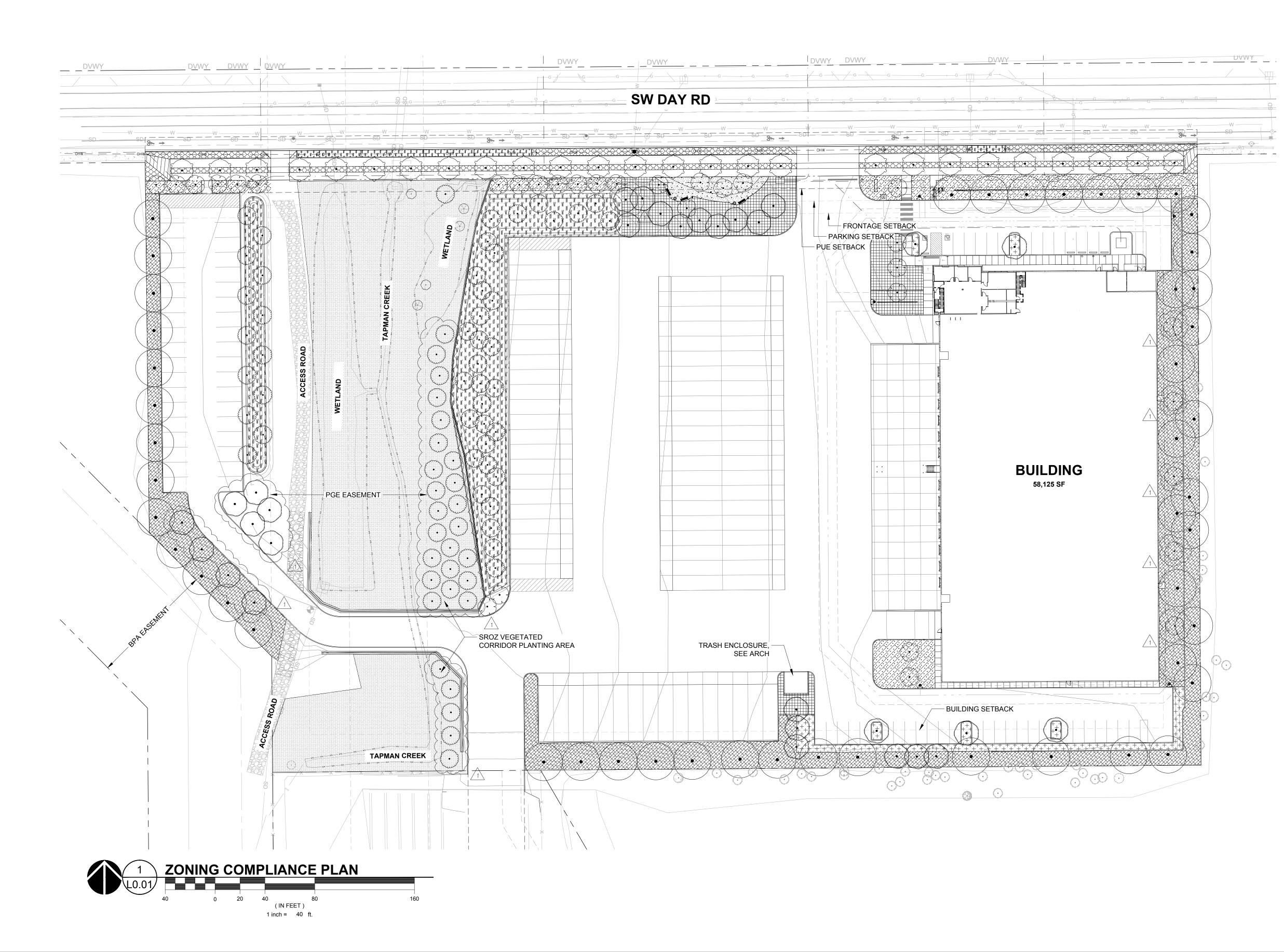
SHEET

STREET

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REVISION SCHEDULE



ZONING COMPLIANCE LEGEND

•	<u>PRIMARY TREE</u> 2" CAL MIN FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' / MARSHALL'S SEEDLESS GREEN ASH PINUS PONDEROSA / PONDEROSA PINE PSEUDOTSUGA MENZIESII / DOUGLAS FIR QUERCUS GARRYANA / OREGON WHITE OAK ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA
\cdot	<u>SECONDARY TREE</u> 1.75" – 2" CAL MIN CALOCEDRUS DECURRENS / INCENSE CEDAR TILIA TOMENTOSA 'STERLING' / STERLING SILVER LINDEN ULMUS X 'FRONTIER' / FRONTIER ELM
(\cdot)	<u>ACCENT_TREE</u> 1.75" CAL MIN ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' / SERVICEBERRY SINGLE STEM CORNUS KOUSA X NUTTALLII 'KN4–43' / STARLIGHT KOUSA DOGWOOD
·	<u>STREET_TREE</u> 3" CAL MIN. ACER GRANDIDENTATUM 'SCHMIDT' TM / ROCKY MOUNTAIN GLOW MAPLE CORNUS KOUSA 'MILKY WAY' / MILKY WAY KOUSA DOGWOOD PARROTIA PERSICA 'INGE'S RUBY VASE' TM / RUBY VASE PERSIAN PARROTIA
	<u>STORMWATER TREE</u> CORNUS X 'EDDIE'S WHITE WONDER' / EDDIE'S WHITE WONDER DOGWOOD FRAXINUS LATIFOLIA / OREGON ASH PSEUDOTSUGA MENZIESII / DOUGLAS FIR RHAMNUS PURSHIANA / CASCARA BUCKTHORN
	<u>HIGH SCREEN STANDARD</u> –
	LOW SCREEN STANDARD
+ + + + + + + + + + + + + +	PARKING LANDSCAPE
	<u>STORMWATER</u> –
	<u>GEN LANDSCAPE REQ</u> –
	<u>STREET PLANTING</u>
0.000 0.000 0.000	<u>WAYSIDE</u> -
	<u>VEGETATION PROTECTION AREA</u>

SECTION 4.155(.03)	
B. OFF-STREET PARKING LANDSCAPE REQS PARKING AREAS OVER 650 SF, EXCLUDING ACCESS A AREAS, SHALL BE LANDSCAPED TO 10% MIN. 1 TREE SHALL BE AT LEAST 8 FT WIDE.	
TOTAL PARKING AREA PARKING LANDSCAPE (10% MIN) STALLS TREES (1 PER 8 STALLS = 6 TREES) ISLANDS (8 FT WIDTH MIN)	19,884 SF 3,160 SF (15.9%) 41 STALLS 6 TREES 8 WIDTH
<u>SECTION 4.176(.02)</u> <u>C. GENERAL LANDSCAPING STANDARD</u> WHERE LANDSCAPE IS GREATER THAN 30 FT DEEP, F AND 2 HIGH SHRUBS OR 3 LOW SHRUBS PER 400 SF.	PROVIDE 1 TREE PER 800 SF
APPLIES ALONG SW DAY ROAD EAST PARKING LOT F LANDSCAPE AREA TREES (1 PER 800 SF = 6 TREES) LOW SHRUBS (3 PER 400 SF = 36 SHRUBS)	PERIMETER 4,770 SF 8 TREES 147 SHRUBS
APPLIES ALONG SW DAY ROAD PERIMETER LANDSCAPE AREA TREES (1 PER 800 SF = 3 TREES) LOW SHRUBS (3 PER 400 SF = 15 SHRUBS)	1,938 SF 13 TREES 128 SHRUBS
APPLIES ALONG SOUTH SIDE OF LOADING DOCKS LANDSCAPE AREA TREES (1 PER 800 SF = 3 TREES) LOW SHRUBS (3 PER 400 SF = 15 SHRUBS)	1,906 SF 3 TREES 21 SHRUBS
<u>D. LOW SCREEN LANDSCAPING STANDARD</u> ONE TREE PER 30 LF, 3-FT HT EVERGREEN HEDGE, A COVERAGE. A 3-FT HIGH MASONRY WALL OR BERM M	
APPLIES ALONG ADJACENT LOTS PERIMETER TREES (1 PER 30 LF = 54 TREES) SHRUBS	1,600 LF 55 TREES 3 FT EVERGREEN
E. LOW BERM LANDSCAPING STANDARD STANDARD NOT FEASIBLE ALONG SW DAY ROAD.	
F. HIGH SCREEN LANDSCAPING STANDARD WAYSIDE PERIMETER TREES (1 PER 30 LF = 5 TREES) HEDGE GROUNDCOVER	127 LF 12 TREES 6 FT EVERGREEN FULL COVERAGE
LOADING DOCKS TREES (1 PER 30 LF = 2 TREES) ARCHITECTURAL SCREEN WALL GROUNDCOVER	42 LF 3 TREES 16 FT H X 32 FT W FULL COVERAGE
TRASH ENCLOSURE TREES (1 PER 30 LF) HEDGE GROUNDCOVER	20 LF 1 TREE 6 FT EVERGREEN FULL COVERAGE
SECTION 4.176(.03) LANDSCAPE AREA TOTAL SITE AREA 15% MINIMUM	386,732 SF (8.9 AC) 138,471 SF (35.8%)
SECTION 4.176(.04) BUFFERING AND SCREENING SITE ZONING ADJACENT ZONING	INDUSTRIAL INDUSTRIAL
OUTDOOR STORAGE SITE ZONING FENCE ADDITIONAL SCREENING	NONE INDUSTRIAL NONE N/A
<u>SECTION 4.176(.06)</u> <u>A. SHRUBS AND GROUNDCOVER</u> SHRUBS (2 GAL. MINIMUM) 3 YEAR GROUND COVERAGE (80%) TURF OR LAWN (10% MAXIMUM)	2 GAL. MINIMUM 80% MINIMUM 0%
<u>B. TREES</u> DECIDUOUS (2" CAL. & 10' HEIGHT MINIMUM) EVERGREEN (12 FT HEIGHT MINIMUM)	2" CAL. & 10' HT. 12' HT.
C. LARGER PLANT MATERIAL PROPOSED DEVELOPMENT IS GREATER THAN 50,000 LARGER THAN 24-FEET IN HEIGHT. AT MATURITY TRE HEIGHT OF THE BUILDING. DECIDUOUS TREES SHALL AND 2-INCH CALIPER. EVERGREEN TREES MUST BE A	ES WILL BE AT LEAST 50% THE . BE AT LEAST 10-FEET TALL AT LEAST 12-FEET IN HEIGHT.
LARGER PLANT MATERIAL HAS BEEN PROVIDED ALOI BUILDING HEIGHT SHORTEST MATURE TREE HEIGHT (50% OF BLDG HT DECIDUOUS TREES (10FT HT, 2-INCH CAL AT INSTALL EVERGREEN TREES (12 FT HT AT INSTALL)	40 FT MIN) 40 FT (100%)
D. STREET TREES ARTERIAL TREES SHALL BE 3-INCH CALIPER. STREE ENOUGH FOR OVERHEAD ELECTRICAL WIRES AND TO	
E. PLANT SPECIES THE LANDSCAPE CONSISTS OF EXISTING LANDSCAPE VEGETATION TO BE PROTECTED AND MAINTAINED DU NATIVE AND DROUGHT TOLERANT PLANT MATERIAL. HAS BEEN CROSS-REFERENCED WITH THE CITY'S LIS MATERIALS.	URING CONSTRUCTION AND PLANT MATERIAL PROVIDED
<u>F. TREE CREDITS</u> SEE TREE PLAN SHEET L0.03. NONE REQUESTED.	
SECTION 4.176(.07) <u>INSTALLATION AND MAINTENANCE</u> SEE PLANTING NOTES THIS SHEET. PLANT MATERIAL BE CONTINUOUSLY MAINTAINED BY OWNER AND REF	
GROWN SEASON IF DEAD. IRRIGATION SEE IRRIGATION NOTES THIS SHEET. PERMANENT SY	
SECTION 4.176(.09) <u>PLANT MATERIAL LIST</u> SEE PLANT SCHEDULE ON SHEET L0.02.	
CONDITION OF EXISTING PLANTINGS ALL VEGETATION IS PROPOSED FOR REMOVAL, OTHE SIGNIFICANT RESOURCE OVERLAY ZONE. SEE ARBOI OF EXISTING TREES TO REMAIN.	
<u>WATER USAGE</u> WATER USE CATEGORY WAYSIDE AREA (8 TO 13 ACRES) COFFEE CREEK DESIGN GUIDELINES	C NATIVE/DROUGHT TOLERANT
WAYSIDE ON ADDRESSING STREET WAYSIDE AREA (8 TO 13 ACRES, 600 SF MIN.) BUFFER DEPTH ON 3 SIDES (20 FT MIN)	736 SF PROVIDED 20-30 LF PROVIDED
AMENITIES	18 LF SEATING

HEET INDEX

- 1 GENERAL LANDSCAPE NOTES 2 PLANT SCHEDULES AND STORMWATER NOTES
- 03 TREE REMOVAL PLAN 04 TREE MITIGATION PLAN
- VEGETATED CORRIDOR ENHANCEMENT PLANTING PLAN
- PLANTING PLAN WEST PLANTING PLAN - EAST
- **IRRIGATION PLAN WEST IRRIGATION PLAN - EAST**
- D PLANTING DETAILS 11 IRRIGATION DETAILS

ABLE OF ABBREVIATIONS

ANSI	AMERICAN NATIONAL	MAX	MAXI
	STANDARDS INSTITUTE	MIN	MININ
B&B	BALL AND BURLAP	MIX	MIXT
CAL	CALIPER	NTS	NOT ⁻
CONC	CONCRETE	OC	ON C
DEG	DEGREE	POC	POIN
DIA/Ø	DIAMETER	PVC	POLY
DWGS	DRAWING	SCH	SCHE
ELL	ELBOW	SF	SQUA
EQ	EQUAL	SPEC	SPEC
FT	FEET/FOOT	TYP	TYPI
GAL	GALLON	Х	TIME
GALV	GALVANIZED		
H/HT	HEIGHT		

ANDSCAPE NOTES

- IERAL
- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES
- OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE
- CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.

CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK. NTING

- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
- SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUNDCOVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
- ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
- DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
- REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
- A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
- TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
- ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES. GATION
- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDE LOOP SYSTEM FOR OPTIMUM EFFICIENCY.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE OF 1"=20'
- CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
- IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
- SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER. SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER
- NON-VEGETATED SURFACES. ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO
- APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS. PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
- VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
- REFER TO CIVIL DETAILS AND DETAILS ON L5.11 FOR POINT OF CONNECTION AND BACKFLOW PREVENTION INFORMATION.
- MAINLINE LAYOUT IS DIAGRAMMATIC ONLY.
- CONTROLLER TO BE MOUNTED WITHIN BUILDING INTERIOR. GENERAL CONTRACTOR TO COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE. ZONE THE FOLLOWING AREAS SEPARATELY: TEMPORARY AREAS, PERMANENT
- LANDSCAPE AREAS, AND TREES. QUICK COUPLERS TO BE PLACED EVERY 300 LINEAR FEET MAX.
- IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME
- AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER. THE SYSTEM SHALL BE GRAVITY DRAINED. THE CONTRACTOR SHALL PROVIDE APPROPRIATE MANUAL DRAINS AT LOW POINTS.

DESIGN REVIEW SET 07/29/2022



Architecture - Interiors Planning - Engineering

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DELTA LOGISTICS 9835 SW COMMERCE CIRCLE WILSONVILLE, OR 97070

Project

DELTA LOGISTICS SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR



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	REVISION SCH	EDULE
Delta	Issued As	Issue Date
1	PLAN CHECK	10/07/2022



DRAWN BY: SKA, JWT CHECKED BY:

SHEET

JOB NO.

L0.01

2200502.04

STORMWATER FACILITY PLANT SCHEDULES

PER CITY OF WILSONVILLE STORMWATER AND SURFACE WATER DESIGN & CONSTRUCTION STANDARDS - SECTION 3 - PUBLIC WORKS STANDARDS (2015)

LANDSCAPE PLAN FACILITY AREA CALCULATIONS INCLUDE TOP OF FREEBOARD. CIVIL PLAN FACILITY AREA CALCULATIONS REPORT TO TOP OF OVERFLOW INLET, EXCLUDING THE 4" FREEBOARD.

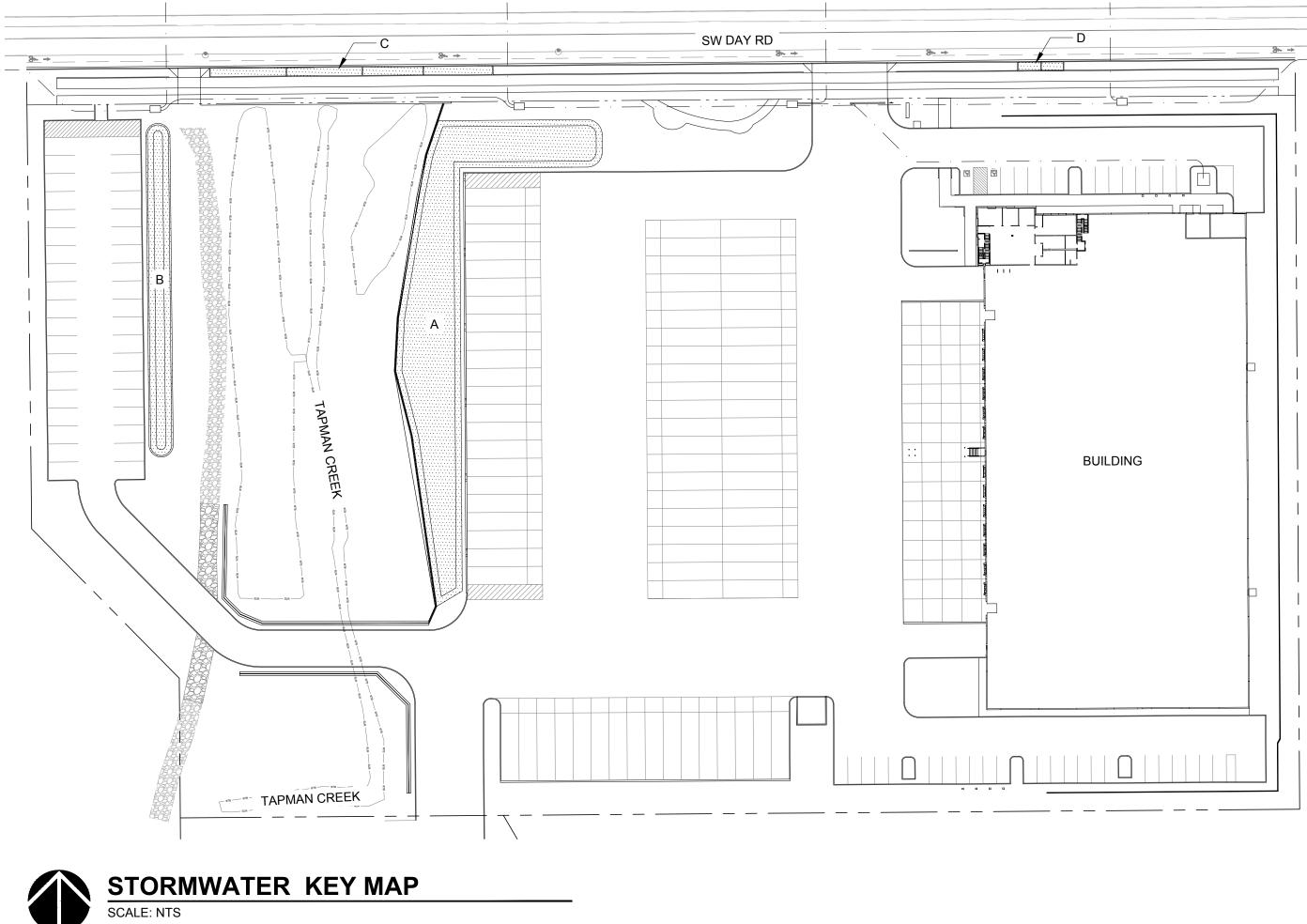
PROVIDE AT LEAST 50% EVERGREEN PLANTS AND AT LEAST 2 SPECIES OF HERBACEOUS AND SMALL SHRUBS/GROUNDCOVER PLANT COMMUNITIES.

MOIST (ZONE A) VEGETATION TYPE GROUNDCOVER PLANTS SMALL SHRUBS LARGE SHRUBS / SMALL TREES

DRY (ZONE B) VEGETATION TYPE GROUNDCOVER PLANTS SMALL SHRUBS LARGE SHRUBS / SMALL TREES TREE (DECIDUOUS) OR TREE (EVERGREEN)

QUANTITY 3/100 SF 4/100 SF 3/100 SF 1/100 SF 1/100 SF

PLANT LIST				F		ΓIES Α VATE)	
					A	E	3
PLANT NAME	SIZE	SPACING	EVER- GREEN	ZONE A	ZONE B	ZONE A	ZONE B
				9,299 SF	3,454 SF	1,264 SF	2,233 SF
REQUIRED GROUND COVER PLANTS (115 PER 100 SF)				10,693	3,972	1454	2568
ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	#1	12" OC	YES		2,000		1,000
CAREX DENSA / DENSE SEDGE	#1	12" OC	YES	3,500		840	
CAREX OBNUPTA / SLOUGH SEDGE	#1	12" OC	YES	3,500			784
JUNCUS PATENS / SPREADING RUSH	#1	12" OC	YES	3,693	1,972	614	784
REQUIRED SMALL SHRUBS (3 PER 100 SF)				279	104	38	67
CORNUS SERCIA / RED TWIG DOGWOOD	#2	AS SHOWN	NO	10		9	6
MAHONIA AQUIFOLIUM / OREGON GRAPE	#2	AS SHOWN	YES	150	2	14	20
PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	#2	AS SHOWN	NO				
ROSA PISOCARPA	#2	AS SHOWN	NO	121	14	19	20
SYMPHORICARPOS ALBUS / SNOWBERRY	#1	AS SHOWN	NO		114		110
REQUIRED LARGE SHRUBS / SMALL TREES (4 PER 100 SF)		1	1	372	138	51	89
HOLODISCUS DISCOLOR / OCEANSPRAY	30" HT	AS SHOWN	NO	66	28	8	8
RIBES SANGUINEUM / RED FLOWERING CURRANT	30" HT	AS SHOWN	NO	73	10		7
RUBUS SPECTABILIS / SALMONBERRY	30" HT	AS SHOWN	NO	10	10		
SPIREA DOUGLASII / WESTERN SPIREA	30" HT	AS SHOWN	NO	223	66	31	10
REQUIRED TREES (1 PER 100 SF)		1		0	33	0	22
CORNUS NUTTALII / EDDIE'S WHITE WONDER DOGWOOD	2" CAL	AS SHOWN	NO	12			7
FRAXINUS LATIFOLIA / OREGON ASH	2" CAL	AS SHOWN	NO				6
RHAMNUS PURSHIANA	2" CAL	AS SHOWN	NO	22			
					750		7.40
					,753		746
		AL EVERGREEN			,889 	-	.2%





SIZE 115/100 SF #1 CONTAINER QUANTITY 115/100 SF 4/100 SF

#1 CONTAINER 30" HEIGHT SIZE #1 CONTAINER #1 CONTAINER 30" HEIGHT 1' CALIPER 6' HEIGHT

PLANT LIST				С	_ITIES -D 3LIC)
				С	D
PLANT NAME	SIZE	SPACING	EVER- GREEN	ZONE A	ZONE A
				1,025 SF	162 SF
GROUND COVER PLANTS (115 PER 100 SF)					187
NSA / DENSE SEDGE	#1	12" OC	YES	786	93
ATENS / SPREADING RUSH	#1	12" OC	YES	393	94
SMALL SHRUBS (3 PER 100 SF)				31	5
TOR' / BIRCHLEAF SPIREA	#1	AS SHOWN	NO	15	2
CARPOS ALBUS / COMMON WHITE SNOWBERRY	#1	AS SHOWN	NO	20	3
SMALL SHRUB IN LIEU OF LARGE SHRUB (4 PER 10	00 SF)			41	7
TOR' / BIRCHLEAF SPIREA	#1	AS SHOWN	NO	47	7
CARPOS ALBUS / COMMON WHITE SNOWBERRY	#1	AS SHOWN	NO		
TOTAL PLANTS IN FACILITY				1,252	199
	т	OTAL EVERGREE	EN PLANTS	1,179	187
% EVERGREEN IN FACILITY			94.2%	93.9%	

STORMWATER FACILITY PLANTING NOTES

- 1. PLANTING SCHEDULE: CONTAINERIZED STOCK SHALL BE INS FROM FEBRUARY 1 THROUGH MAY 1 AND OCTOBER 1 THROU BARE ROOT STOCK SHALL BE INSTALLED ONLY FROM DECEN APRIL 15. SEEDING SHALL OCCUR ONLY BETWEEN MARCH 1 AND SEPTEMBER 1 THROUGH OCTOBER 15.
- 2. EROSION CONTROL: GRADING, SOIL PREPARATION, AND SEE PERFORMED DURING OPTIMAL WEATHER CONDITIONS AND LEVELS TO MINIMIZE SEDIMENT IMPACTS. BIODEGRADABLE I BURLAP MAY BE USED TO SECURE PLANT PLUGS IN PLACE A DISCOURAGE FLOATING UPON INUNDATION. NO PLASTIC ME ENTANGLE WILDLIFE IS PERMITTED.
- 3. GROWING MEDIUM INSTALLATION: 3.1. PROTECT GROWING MEDIUM FROM ALL SOURCES OF CO INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN C AT THE PROJECT SITE. 3.2. PLACE MEDIUM IN LOOSE LIFTS, NOT TO EXCEED 8-INCHES AND EACH LIFT
- SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. THE MATERIAL SHALL NOT OTHERWISE BE MECHANICALLY COMPACTED. 3.3. WEATHER PERMITTING, PLANTS SHALL BE INSTALLED AS SOON AS
- POSSIBLE AFTER PLACING AND GRADING THE GROWING MEDIUM IN ORDER TO MINIMIZE EROSION AND FURTHER COMPACTION.

PLANT SCHEDULE

LANT SCHED				,	LOOMMON WHITE CNOWREDDY	12 ONL.	
CCENT TREES	BOTANICAL / COMMON NAME	SIZE		\sim	COMMON WHITE SNOWBERRY VACCINIUM OVATUM		
•	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	2" CAL. B&B		<u>,)</u>	EVERGREEN HUCKLEBERRY VACCINIUM OVATUM 'SCARLET OVATION'	2 GAL.	60" o.c.
	AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' SERVICEBERRY SINGLE STEM	2" CAL. B&B	ξ	+}	SCARLET OVATION EVERGREEN HUCKLEBERRY MATURE (3' X 3') VIBURNUM DAVIDII	2 GAL.	36" o.c.
	CORNUS KOUSA X NUTTALLII 'KN4–43'	2" CAL. B&B	(i	• • • • • • • • • • • • • • • • • • •	DAVID VIBURNUM (3' H X 3' W)	2 GAL.	36" о.с
IMARY TREES	STARLIGHT KOUSA DOGWOOD BOTANICAL / COMMON NAME	SIZE		Ĩ.	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS MATURE (6'H X 4'W)	2 GAL.	48" o.c
	· · · · · · · · · · · · · · · · · · ·		PERENNIALS		BOTANICAL / COMMON NAME	SIZE	SPACIN
	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' MARSHALL'S SEEDLESS GREEN ASH	2" CAL. B&B	(+)	ACHILLEA MILLIFOLIUM 'ALABASTER' ALABASTER YARROW	1 GAL.	18" o.c.
	PINUS PONDEROSA PONDEROSA PINE	12' HT. MIN. B&B	Ę	•	ASTER SUBSPICATUS DOUGLAS ASTER	1 GAL.	24" 0.0
Solution Sector	PSEUDOTSUGA MENZIESII DOUGLAS FIR	12' HT. MIN. B&B	ــــــــــــــــــــــــــــــــــــــ		POLYSTICHUM MUNITUM WESTERN SWORD FERN	1 GAL.	24" 0.0
×~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~			(PTERIDIUM AQUILINUM WESTERN BRACKENFERN	1 GAL.	24" 0.0
E A A A A A A A A A A A A A A A A A A A	QUERCUS GARRYANA OREGON WHITE OAK	2" CAL. B&B		•	SALVIA X SUPERBA 'CARADONNA' CARADONNA SAGE	1 GAL.	24" 0.0
5 · · · ·	ZELKOVA SERRATA 'GREEN VASE'	2" CAL. B&B	STORMWATER	R SHRUBS	BOTANICAL / COMMON NAME	SIZE	SPACIN
ELLE	GREEN VASE SAWLEAF ZELKOVA			\Box	CORNUS SERICEA RED TWIG DOGWOOD	2 GAL.	48" о.с
CONDARY TREES	BOTANICAL / COMMON NAME CALOCEDRUS DECURRENS	SIZE 12' HT. MIN. B&B		0	HOLODISCUS DISCOLOR OCEAN—SPRAY	2 GAL.	48" о.с
<u> </u>	INCENSE CEDAR				MAHONIA AQUIFOLIUM OREGON GRAPE	2 GAL.	36" 0.0
	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	2" CAL. B&B	<u> </u>	•••••	RIBES SANGUINEUM RED FLOWERING CURRANT	2 GAL.	48" 0.0
	ULMUS X 'FRONTIER' FRONTIER ELM	2" CAL. B&B	Ć	\mathcal{B}	ROSA PISOCARPA CLUSTERED WILD ROSE	2 GAL.	36" о.
RMWATER TREES	BOTANICAL / COMMON NAME	SIZE	〔	•	RUBUS SPECTABILIS SALMONBERRY	2 GAL.	50" o.
•	CORNUS X 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD	2" CAL. B&B		\bigtriangleup	SPIRAEA BETULIFOLIA 'TOR' TOR BIRCHLEAF SPIREA	2 GAL.	30" о.
	FRAXINUS LATIFOLIA OREGON ASH	2" CAL. B&B	¢	•••	SPIRAEA DOUGLASII WESTERN SPIREA (3-4' H X 3' W) NATIVE	2 GAL.	48" o.
•	RHAMNUS PURSHIANA CASCARA BUCKTHORN	2" CAL., B&B	{	0	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY	2 GAL.	36" 0.
			GROUND COV	ERS	BOTANICAL / COMMON NAME	SIZE	SPACIN
EET TREES	BOTANICAL / COMMON NAME ACER GRANDIDENTATUM 'SCHMIDT' TM	SIZE	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$		ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK	1 GAL.	24" 0.
	ROCKY MOUNTAIN GLOW MAPLE	3" CAL. B&B			BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL.	24" 0.
(•)	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD	3" CAL. B&B	. ö ö ö ö ö ö ö ö	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	• CRUSHED_GRAVEL QUARTER—TEN		
(•)	PARROTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTIA	3" CAL. B&B			FESTUCA OCCIDENTALIS WESTERN FESCUE GRASS	1 GAL.	18" o.c
کریے DUBS	BOTANICAL / COMMON NAME	SIZE S	त्वित्वत्वत्वत्वत्वत्व द्वित्वत्वत्वत्वत्वत्व वित्वत्वत्वत्वत्वत्व द्वत्वत्वत्वत्वत्व		GERANIUM X CANTABRIGIENSE 'BIOKOVO' BIOKOVO CRANESBILL	1 GAL.	24" о.
\bigcirc	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE	5 GAL. 7.			MAHONIA REPENS CREEPING MAHONIA	1 GAL.	24" о.
\bigcirc	CORNUS SERICEA 'KELSEYI' KELSEYI DWARF REDTWIG DOGWOOD	2 GAL. 2	24" o.c.		PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS	1 LB / 1000 SF	
٩	DEUTZIA GRACILIS 'NIKKO' SLENDER DEUTZIA (3' H X 5' W)	2 GAL. 4	48" o.c.		SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS	1 LB / 1000 SF	
	GAULTHERIA SHALLON SALAL	2 GAL. 3	36" o.c.	1999 - 1999 -	SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS	1 LB / 1000 SF	
یکنر + ۲ کمر	MAHONIA AQUIFOLIUM OREGON GRAPE	5 GAL. 6	50" o.c.		BOTANICAL / COMMON NAME CAREX DENSA	SIZE	SPACI
± ₩	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	2 GAL. 3	36" o.c.	++++++	DENSE SEDGE	1 GAL.	
6 6 3 6 • 53 2 55	MYRICA CALIFORNICA PACIFIC WAX MYRTLE	2 GAL. 7.	72" o.c.		+ CAREX OBNUPTA + SLOUGH SEDGE # JUNCUS PATENS	1 GAL.	
(\cdot)	RIBES SANGUINEUM RED FLOWERING CURRANT	2 GAL. 4	48" o.c.		U JUNCUS PATENS CALIFORNIA GRAY RUSH	1 GAL.	
	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA	2 GAL. 3	30" o.c.				
\frown	MATURE (3' X 3') SYMPHORICARPOS ALBUS						
(\cdot)	SYMPHORICARPOS ALBUS	2 GAL. 3	36"o.c.				

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3.4. TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED UNTIL PERMANENT STABILIZATION MEASURES ARE FUNCTIONAL, INCLUDING PROTECTION OF OVERFLOW STRUCTURES.

3.5. IN ALL CASES, THE FACILITY MUST BE PROTECTED FROM FOOT AND EQUIPMENT TRAFFIC THAT IS UNRELATED TO THE CONSTRUCTION OF THE 6. FACILITY. TEMPORARY FENCING OR WALKWAYS SHOULD BE INSTALLED AS NEEDED TO KEEP WORKERS, PEDESTRIANS, AND EQUIPMENT OUT OF THE FACILITY. UNDER NO CIRCUMSTANCES SHOULD MATERIALS AND EQUIPMENT BE STORED IN THE FACILITY.

3.6. STORMWATER MANAGEMENT FACILITIES SHALL BE KEPT CLEAN AND SHALL NOT BE USED AS EROSION AND SEDIMENT CONTROL STRUCTURES DURING CONSTRUCTION.

3.7. PLACEMENT OF THE GROWING MEDIUM WILL NOT BE ALLOWED WHEN THE 8. GROUND IS FROZEN OR SATURATED OR WHEN THE WEATHER IS DETERMINED TO BE TOO WET.

MULCHING FOR STORMWATER FACILITIES SHALL BE PER SECTION A.3.7. USE OF 4. MULCH IN FREQUENTLY INUNDATED AREAS SHALL BE LIMITIED TO AVOID ANY POSSIBLE WATER QUALITY IMPACTS INCLUDING THE LEACHING OF TANNINS AND NUTRIENTS, ANFD THE MIGRATION OF MULCH INTO WATER WAYS. MULCHES SHALL BE STABLE AND INERT MATTER OF SUFFICIENT MASS AND DENSITY THAT IT WLL NOT FLOAT IN STANDARD FLOWS, MULCH COVER SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE FACILITY WITH MINIMUM THICKNESS OF 2-INCHES IN DEPTH.

- 5. PLANT PROTECTION FROM WILDLIFE: DEPENDING ON SITE CONDITIONS, APPROPRIATE MEASURES SHALL BE TAKEN TO LIMIT WILDLIFE-RELATED DAMAGE. IF BEAVERS OR NUTRIA ARE PRESENT, PROTECT THE MAIN STEM OF ALL TREES WITHIN 100' OF THE EDGE OF WATER WITH 36" OF WIRE MESH.
- FERTILIZER SHOULD GENERALLY BE AVOIDED IN STORMWATER FACILITIES. FERTILIZE ALL PLANTS DURING ESTABLISHMENT AS NEEDED WITH SLOW RELEASE, ORGANIC (LOW YIELD) MATERIAL.
- IRRIGATION: A CITY APPROVED IRRIGATION SYSTEM MAY BE USED DURING THE 2-YEAR ESTABLISHMENT PERIOD. WATERING SHALL BE AT A RATE TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION DURING ESTABLISHMENT. OTHER IRRIGATION TECHNIQUES, SUCH AS DEEP WATERING, MAY BE ALLOWED WITH PRIOR APPROVAL BY THE CITY'S AUTHORIZED REPRESENTATIVE.
- MAINTENANCE: CHECK FOR WEEDS REGULARLY. CHECK MULCH REGULARLY AND MAINTAIN EVEN COVERAGE. REPLANT BARE PATCHES AS NECESSARY TO COMPLY WITH THE FACILITY'S COVERAGE REQUIREMENTS AND MAINTENANCE PLAN. IMPLEMENT ALL OF THE REQUIRED MAINTENANCE ACTIVITIES LISTED IN THE CITY OF WILSONVILLE VEGETATED STORMWATER MANAGEMENT FACILITY DETAILS.



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Project

DELTA LOGISTICS SITE EXPANSION 9710 SW DAY RD. CITY OF WILSONVILLE, OR



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REVISION SCHEDULE						
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SHEET TITLE: PLANT SCHEDULES AND STORMWATER NOTES

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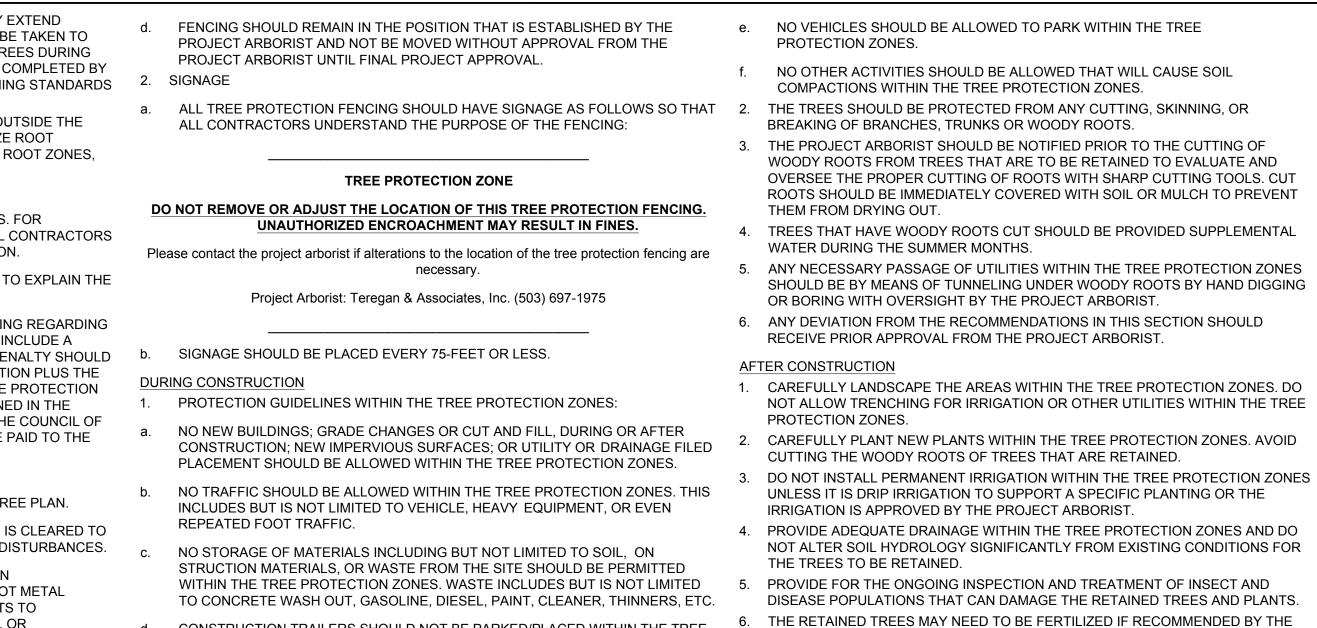
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TREE PROTECTION NOTES

- SEE G0.01 FOR PROJECT ARBORIST CONTACT INFORMATION. PROTECTION FENCING: ESTABLISH TREE PROTECTION FENCING IN THE LOCATIONS SHOWN. THE INTENT OF THE TREE PROTECTION FENCING IS TO PROTECT THE MINIMUM ROOT PROTECTION ZONES DETAILED IN FIGURE 1. NOTE THAT THE TREE PROTECTION FENCING MAY BE MOVED TO ALLOW CONSTRUCTION ACCESS TO THE SIDE OF THE PROPOSED BUILDING FOLLOWING APPROVAL BY THE PROJECT ARBORIST.
- 2. DIRECTIONAL FELLING FELL THE TREES TO BE REMOVED AWAY FROM THE TREES TO BE RETAINED SO THEY DO NOT CONTACT OR OTHERWISE DAMAGE THE TRUNKS OR BRANCHES OF THE RETAINED TREES. NO VEHICLES OR HEAVY EQUIPMENT SHOULD BE PERMITTED WITHIN THE TREE PROTECTION ZONES DURING TREE REMOVAL OPERATIONS.
- 3. STUMP REMOVAL THE STUMPS OF THE TREES TO BE REMOVED FROM WITHIN THE TREE PROTECTION ZONES SHALL BE RETAINED OR CAREFULLY STUMP GROUND SO AS NOT TO DISTURB THE ROOT SYSTEMS OF THE RETAINED TREES.
- 4. PERIODIC RISK ASSESSMENTS: CONDUCT RISK ASSESSMENTS PERIODICALLY THROUGHOUT CONSTRUCTION TO DOCUMENT WHETHER TREES ARE ADAPTING TO THE NEW SITE CONDITIONS AND RISKS ARE MITIGATED APPROPRIATELY WITH CITY APPROVAL. THE RETAINED TREES WERE PREVIOUSLY PROTECTED WITHIN A STAND OF SURROUNDING TREES. THE REMOVAL OF ADJACENT TREES WILL EXPOSE THE RETAINED TREES TO CHANGES IN WIND FORCES WHICH WILL INCREASE THEIR RISK OF WINDTHROW. THE PROJECT ARBORIST SHALL CONDUCT A TREE RISK ASSESSMENT IMMEDIATELY FOLLOWING SITE CLEARING TO IDENTIFY TREES THAT POSE SIGNIFICANT RISKS. FOR TREES THAT POSE SIGNIFICANT RISKS, CONSULT PROJECT ARBORIST FOR RETENTION STRATEGIES, SUCH AS PRUNING OR SNAG CREATION. ANY RECOMMENDED TREE REMOVAL OR SNAG CREATION REQUIRES REVIEW AND APPROVAL OF THE CITY OF WILSONVILLE.
- 5. CONSTRUCTION ACCESS: WHEN ACCESSING THE SIDES OF THE BUILDING IN THE MODIFIED TREE PROTECTION ZONE, SOIL COMPACTION PREVENTION SUCH AS THE PLACEMENT OF STEEL PLATES IS REQUIRED TO PROTECT THE ROOT ZONES b. OF THE ADJACENT TREES.
- 6. ONSITE SUPERVISION OF PROJECT ARBORIST: THE PROJECT ARBORIST SHALL BE ONSITE TO OVERSEE THE RETAINING WALL EXCAVATION AND FOUNDATION CONSTRUCTION WITHIN AND ADJACENT TO THE TREE PROTECTION ZONES OF TREES PERIMETER TREES.

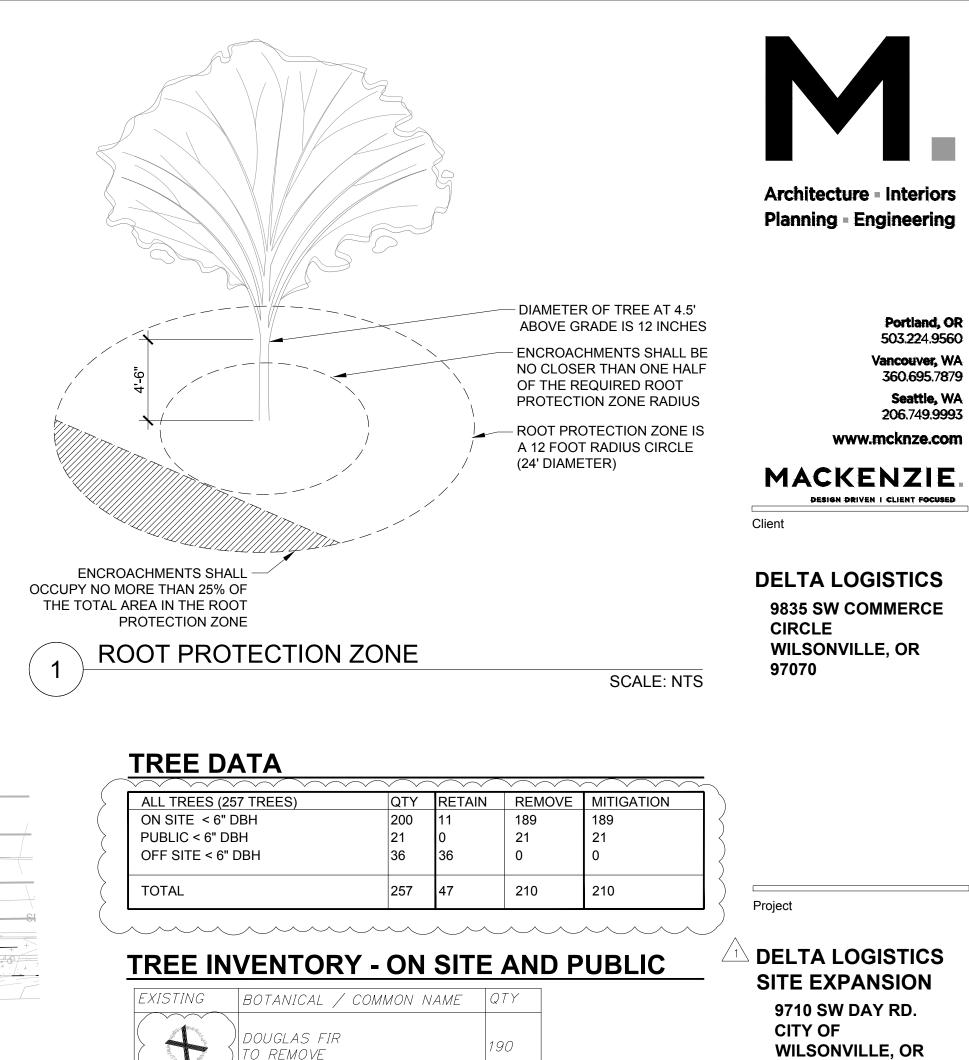
- 7. PROTECT CROWNS OF TREES: THE CROWNS OF THE TREES MAY EXTEND BEYOND THE TREE PROTECTION FENCING. CARE WILL NEED TO BE TAKEN TO NOT CONTACT OR OTHERWISE DAMAGE THE CROWNS OF THE TREES DURING CONSTRUCTION ACTIVITIES. ANY REQUIRED PRUNING SHALL BE COMPLETED BY AN ISA CERTIFIED ARBORIST CONSISTENT WITH ANSI A300 PRUNING STANDARDS 2. SIGNAGE AS DIRECTED BY THE PROJECT ARBORIST.
- SEDIMENT FENCING: SEDIMENT FENCING SHALL BE INSTALLED OUTSIDE THE PROTECTION ZONES OF THE TREES TO BE RETAINED TO MINIMIZE ROOT DISTURBANCES. IF EROSION CONTROL IS REQUIRED INSIDE THE ROOT ZONES, STRAW WATTLES SHALL BE USED ON THE SOIL SURFACE.
- BEFORE CONSTRUCTION BEGINS NOTIFY ALL CONTRACTORS OF TREE PROTECTION PROCEDURES. FOR SUCCESSFUL TREE PROTECTION ON A CONSTRUCTION SITE, ALL CONTRACTORS MUST KNOW AND UNDERSTAND THE GOALS OF TREE PROTECTION.
- HOLD A TREE PROTECTION MEETING WITH ALL CONTRACTORS TO EXPLAIN THE GOALS OF TREE PROTECTION.
- HAVE ALL CONTRACTORS SIGN MEMORANDA OF UNDERSTANDING REGARDING THE GOALS OF TREE PROTECTION. THE MEMORANDA SHOULD INCLUDE A PENALTY FOR VIOLATING THE TREE PROTECTION PLAN. THE PENALTY SHOULD EQUAL THE RESULTING FINES ISSUED BY THE LOCAL JURISDICTION PLUS THE APPRAISED VALUE OF THE TREE(S) WITHIN THE VIOLATED TREE PROTECTION ZONE PER THE CURRENT TRUNK FORMULA METHOD AS OUTLINED IN THE CURRENT EDITION OF THE 'GUILD FOR PLANT APPRAISAL' BY THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS. THE PENALTY SHOULD BE PAID TO THE OWNER OF THE PROPERTY. FENCING
- TREE PROTECTION FENCING MAY BE SET AS SHOWN ON THE TREE PLAN.
- THE FENCING SHOULD BE PUT IN PLACE BEFORE THE GROUND IS CLEARED TO PROTECT THE TREES AND THE SOIL AROUND THE TREE FROM DISTURBANCES. FENCING SHOULD CONSIST OF 4-FOOT HIGH STEEL FENCING ON
- CONCRETE BLOCKS OR OTHER ANCHORING DEVICES, OR 4-FOOT METAL FENCING SECURED TO THE GROUND WITH 6-FOOT METAL POSTS TO PREVENT IT FROM BEING MOVED BY CONTRACTORS, SAGGING, OR FALLING DOWN.





d. CONSTRUCTION TRAILERS SHOULD NOT BE PARKED/PLACED WITHIN THE TREE PROTECTION ZONES.

PROJECT ARBORIST. 7. ANY DEVIATION FROM THE RECOMMENDATIONS IN THIS SECTION SHOULD RECEIVE PRIOR APPROVAL FROM THE PROJECT ARBORIST.





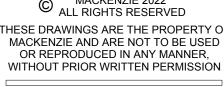
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SHEET TITLE:

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TREE REMOVAL

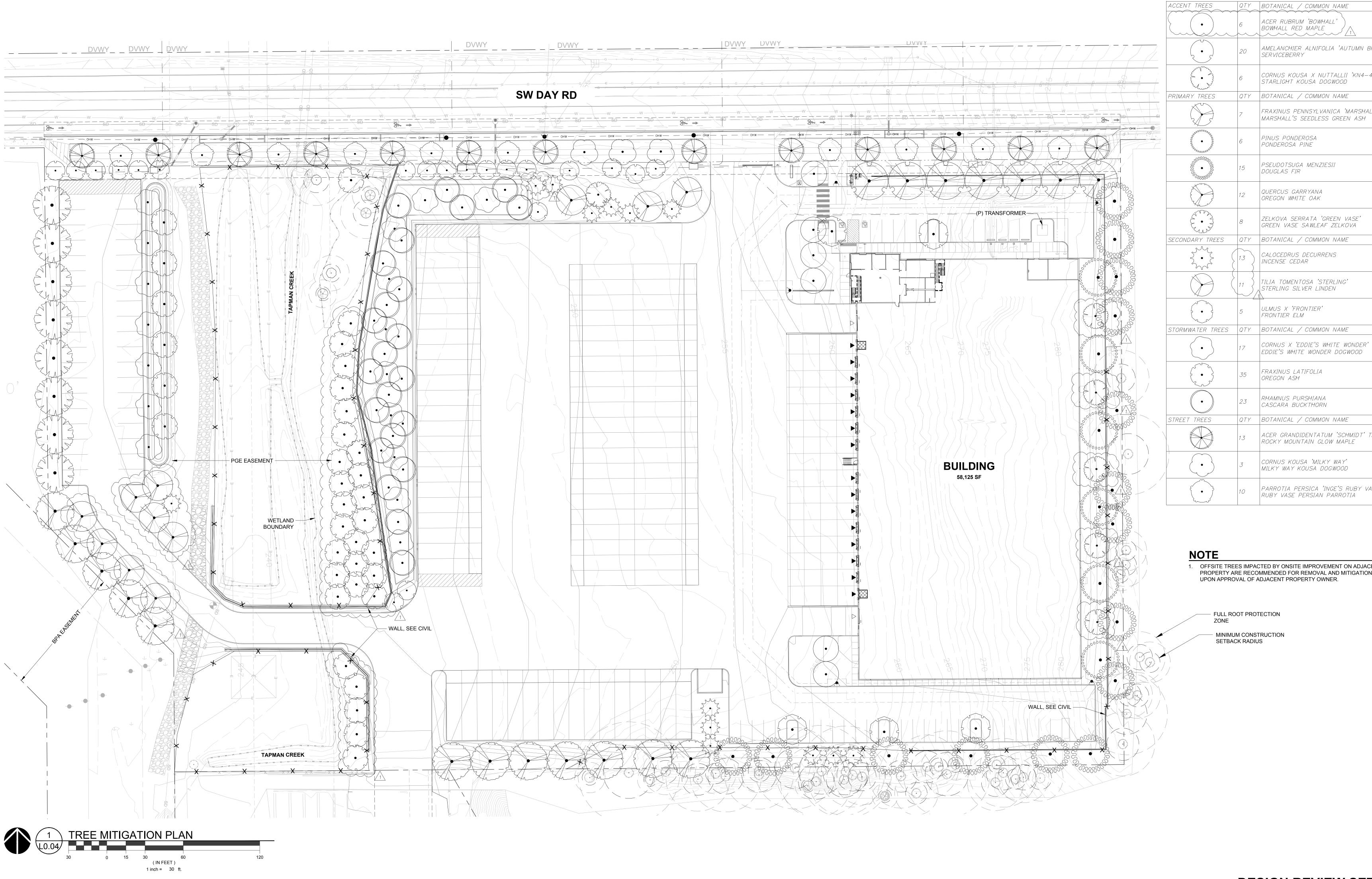
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_		CE LIVING TREES 6-INCH IN DBH OR LARGER N GER OF SIMILAR MATURE CANOPY SIZE AND			ALIPER TREE
	TOTAL	TREES REQUIRING MITIGATION 2" CAL. TREES IN PLAN TREES REQUIRING FEE IN LIEU		210 210 0	1
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	TREES	TO BE RETAINED	DBH	CREDITS	CONDITION
	549	CRATAEGUS MONOGYNA	5"	0	FAIR
	791	WILLOW / SALIX	20"	0	POOR
	1847	DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	22"	0	FAIR
	2072	OREGON ASH / FRAXINUS LATIFOLIA	11"	0	POOR
	2073	WILLOW / SALIX	14"	0	DEAD
	2074	OREGON ASH / FRAXINUS LATIFOLIA	20"	0	POOR
	2075	OREGON ASH / FRAXINUS LATIFOLIA	14"	0	FAIR
	2278	DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	14"	0	POOR
	2340	DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	22"	0	GOOD
	2366	DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	13"	0	POOR
	2374	DOUGLAS-FIR / PSEUDOTSUGA MENZIESII	12"	0	GOOD

0 TREES

TOTAL TREE CREDITS

EXISTING TREE INVENTORY

EXISTING	BOTANICAL / COMMON NAME	QTY
AN WING ST. La Constant	DOUGLAS FIR TO REMAIN	5
	ENGLISH HAWTHORN TO REMAIN	1
	OREGON ASH TO REMAIN	3
\bigcirc	WILLOW TO REMAIN	2

PROPOSED TREES



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MITIGATION PLANTING NOTES

NOTES PER EXHIBIT C NATURAL RESOURCE ASSESSMENT FOR 9710 SW DAY ROAD PREPARED BY SCHOTT AND ASSOCIATES (2022). SITE PREPARATION

PRIOR TO ANY SITE CLEARING, GRADING OR CONSTRUCTION, THE SROZ AREA SHALL BE STAKED, AND FENCED PER APPROVED PLAN. DURING CONSTRUCTION, THE SROZ AREA SHALL REMAIN FENCED AND UNDISTURBED EXCEPT AS ALLOWED BY AN APPROVED DEVELOPMENT PERMIT.

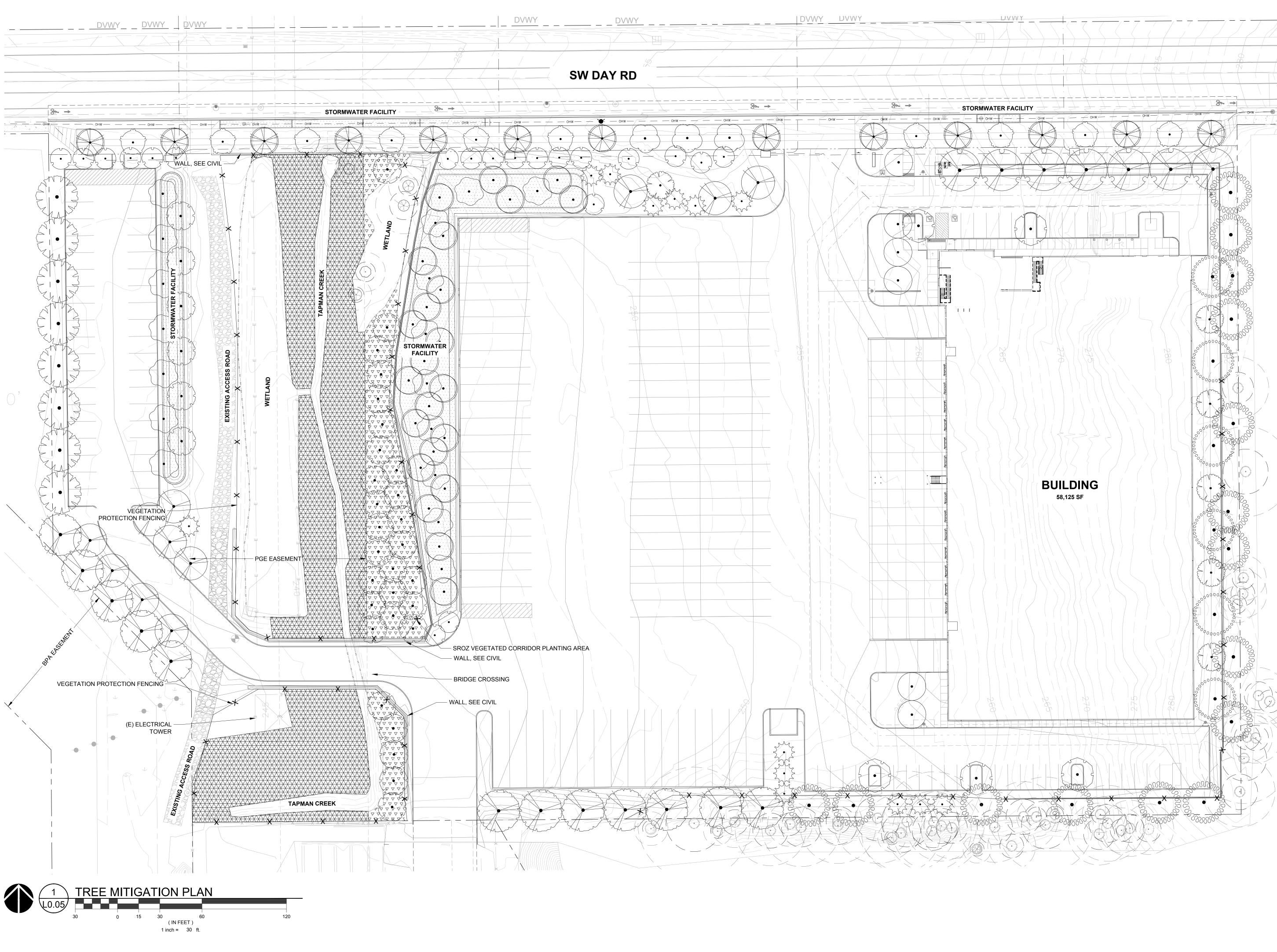
PROPOSED ENCROACHMENTS ENCROACHMENTS ARE PROPOSED TO THE VEGETATED CORRIDOR AND IMPACT AREA.

- ENCROACHMENTS WILL OCCUR IN THE NORTHERN PORTION OF THE VEGETATED CORRIDOR FOR THE CITY REQUIRED WIDENING OF SW DAY RD AND IN THE SOUTHERN PORTION FOR THE TAPMAN CREEK CROSSING. THESE AREAS ARE VEGETATED ENTIRELY BY INVASIVE SPECIES INCLUDING HIMALAYAN BLACKBERRY AND REED CANARY GRASS. NO TREES OR NATIVE SPECIES WILL BE REMOVED AS A RESULT OF CONSTRUCTION.
- ENCROACHMENTS WILL OCCUR ON BOTH SIDES OF THE CREEK FOR THE ROAD CROSSING AND ALONG THE EASTERN PORTION OF THE IMPACT AREA FOR THE ROAD WIDENING, CREEK CROSSING, AND CONSTRUCTION OF A VEGETATED WATER QUALITY AND STORMWATER DETENTION FACILITY. NO ENCROACHMENTS TO TAPMAN CREEK OR THE WETLANDS ARE PROPOSED. NO TREES WILL BE REMOVED FROM THE SROZ.
- DEVELOPMENT ACTIVITY HAS BEEN LIMITED TO THE IMPACT AREA WHERE PRACTICAL EXCEPT WHERE NECESSARY TO WIDEN SW DAY ROAD AND CROSS TAPMAN CREEK TO ACCESS THE WESTERN PORTION OF THE SITE.

MITGATION PLANTING THE MITIGATION PLANTING PLAN WAS DESIGNED ACCORDING SECTION 4.139.07(.02)(E) AND SHALL MEET THE FOLLOWING:

- ACTIVITY IS CONDUCTED.

- (12) INCHES IN HEIGHT.
- MEASUREMENTS.
- SHRUBS SHALL CONSIST OF AT LEAST TWO (2) DIFFERENT SPECIES. IF FIVE (5) TREES OR MORE GENUS.
- FOLLOWING THE DATE THAT THE MITIGATION PLANTING IS COMPLETED.



• THE PLANTING PLAN SHALL BE IMPLEMENTED PRIOR TO OR AT THE SAME TIME AS THE IMPACT

• ALL TREES, SHRUBS AND GROUND COVER SHALL BE NATIVE VEGETATION.

• TREES AND SHRUBS SHALL BE AT LEAST ONE-GALLON IN SIZE AND SHALL BE AT LEAST TWELVE

• TREES SHALL BE PLANTED BETWEEN EIGHT (8) AND TWELVE (12) FEET ON CENTER, AND SHRUBS SHALL BE PLANTED BETWEEN FOUR (4) AND FIVE (5) FEET ON CENTER. OR CLUSTERED IN SINGLE SPECIES GROUPS OF NO MORE THAN FOUR (4) PLANTS, WITH EACH CLUSTER PLANTED BETWEEN EIGHT (8) AND TEN (10) FEET ON CENTER. WHEN PLANTING NEAR EXISTING TREES, THE DRIP LINE OF THE EXISTING TREE SHALL BE THE STARTING POINT FOR PLANT SPACING

ARE PLANTED, THEN NO MORE THAN FIFTY (50) PERCENT OF THE TREES MAY BE OF THE SAME

 INVASIVE NON-NATIVE OR NOXIOUS VEGETATION SHALL BE REMOVED WITHIN THE MITIGATION AREA PRIOR TO PLANTING AND SHALL BE REMOVED OR CONTROLLED FOR FIVE (5) YEARS

MITIGATION GOALS AND PERFORMANCE STANDARDS

THE MITIGATION SITE GOAL IS AS FOLLOWS:

ENHANCE 32,890 SQ. FT. OF VEGETATED CORRIDOR TO IMPROVE RIPARIAN CORRIDOR, WATER QUALITY PROTECTION, ECOLOGICAL INTEGRITY AND WILDLIFE HABITAT FUNCTIONS BY REMOVING INVASIVE SPECIES AND MAINTAINING A NATIVE, WOODY-DOMINATED PLANT COMMUNITY.

PERFORMANCE STANDARDS ARE BASED ON METRO'S TITLE 3 WATER QUALITY PERFORMANCE STANDARDS TO PROTECT AND IMPROVE WATER QUALITY AND PROTECT THE FUNCTIONS AND VALUES OF WATER QUALITY RESOURCE AREAS (METRO 2018). THIS PLAN'S PERFORMANCE STANDARDS FOR FOREST AND/OR SHRUB DOMINATED AREAS AND SHALL CONSIST OF THE FOLLOWING:

- 1. ESTABLISHMENT OF PERMANENT MONITORING LOCATIONS DURING THE FIRST ANNUAL MONITORING.
- 2. COVER OF NATIVE HERBACEOUS SPECIES IS AT LEAST 60% 3. COVER OF INVASIVE SPECIES IS NO MORE THAN 10%. AFTER THE SITE HAS MATURED TO THE STAGE WHEN DESIRABLE CANOPY SPECIES REACH 50% COVER, THE COVER OF INVASIVE SPECIES MAY INCREASE BUT MAY NOT EXCEED 30%.
- 4. BARE SUBSTRATE REPRESENTS NO MORE THAN 20% COVER 5. DENSITY OF WOODY VEGETATION IS AT LEAST 1,600 LIVE TREES OR SHRUBS PER ACRE OR THE COVER OF NATIVE WOODY VEGETATION ON SITE IS AT LEAST 50%. NATIVE VOLUNTEER SPECIES MAY BE INCLUDED IN THE COVER OR DENSITY ESTIMATE.
- 6. BY YEAR 3 AND THEREAFTER, AT LEAST 6 DIFFERENT NATIVE SPECIES MUST BE PRESENT. TO QUALIFY, A SPECIES MUST HAVE AT LEAST 5% AVERAGE COVER IN THE HABITAT CLASS AND OCCUR IN AT LEAST 10% OF THE PLOTS SAMPLED.
- 7. BY YEAR 5, A MINIMUM OF EIGHTY (80) PERCENT OF THE TREES AND SHRUBS INITIALLY REQUIRED SHALL REMAIN ALIVE.

MAINTENANCE AND MONITORING

MONITORING WILL OCCUR ANNUALLY OVER A 5-YEAR MONITORING PERIOD TO ASSESS CONDITION OF PLANTINGS, IRRIGATION, MULCH ETC. MONITORING WILL BE CONDUCTED BY QUALIFIED PERSONNEL DURING PEAK GROWING SEASON (JULY-AUGUST). ANNUAL MONITORING REPORTS WILL BE PROVIDED TO THE PLANNING DIRECTOR FOR REVIEW BY DECEMBER OF EACH MONITORING YEAR. THE REPORT SHALL CONTAIN, AT A MINIMUM, PHOTOGRAPHS FROM ESTABLISHED PHOTO POINTS, QUANTITATIVE MEASURE OF SUCCESS CRITERIA, INCLUDING PLANT SURVIVAL AND VIGOR. THE YEAR 1 ANNUAL REPORT SHALL BE SUBMITTED ONE YEAR FOLLOWING MITIGATION ACTION IMPLEMENTATION. THE FINAL ANNUAL REPORT (YEAR 5 REPORT) SHALL DOCUMENT SUCCESSFUL SATISFACTION OF MITIGATION GOALS, AS PER THE STATED PERFORMANCE STANDARDS.

THE APPLICANT WILL BE RESPONSIBLE FOR COORDINATING ONGOING MAINTENANCE AND MANAGEMENT. IF THE OWNERSHIP OF THE MITIGATION SITE PROPERTY CHANGES, THE NEW OWNERS WILL HAVE THE CONTINUED RESPONSIBILITIES MAINTENANCE ACTIVITIES INCLUDING MULCHING, WEED REMOVAL, HERBIVORY CONTROL, AND SUPPLEMENTAL PLANTING WILL BE CONDUCTED BY A QUALIFIED CONTRACTOR AT LEAST TWICE PER GROWING SEASON AND ONCE PRIOR TO THE GROWING SEASON OR MORE FREQUENTLY AS INDICATED BY MONITORING RESULTS ANY FAILED PLANTS WILL BE REPLACED IN-KIND WITH THE CAUSE OF LOSS (WILDLIFE DAMAGE, POOR PLANT STOCK, DROUGHT, WEED OVERGROWTH, ETC.) DOCUMENTED AND ADDITIONAL MAINTENANCE DONE TO ADDRESS THE CAUSE OF LOSS AND ENSURE FUTURE PLANT SURVIVAL

MITIGATION PLANT SCHEDULE PER SRIR

	RIPARIAN FOREST COMMUNIT	Y: 8,600 S	Q. FT.			
∇ ∇ ∇ ∇	SPECIES	TYPE	MIN SIZE*	SPACING	QTY	TOTAL
\bigtriangledown \bigtriangledown \bigtriangledown	OREGON ASH		2-GAL.	~8'0C	9	
$\bigtriangledown \lor \lor \lor \lor$	FRAXINUS LATIFOLIA	(2 "CAL	15' OC	28	
	SCOULER'S WILLOW	TREE	2-GAL. OR	-8'00^	37	
	SALIX SCOULERIANA		BARE ROOT			1
$\bigtriangledown \lor \lor \lor$	WESTERN REDCEDAR	TREE	2 GAL OR	8'OC	60	134
$\nabla \nabla \nabla$	THUJA PLICATA		BARE ROOT			TREES
	REDOSIER DOGWOOD	SHRUB	1 GAL. OR	5'OC	86	
\bigtriangledown \bigtriangledown \lor \lor	CORNUS STOLONIFERA		BARE ROOT	CLUSTER		
$\neg \neg \neg \neg$	RED ELDERBERRY	SHRUB	1 GAL. OR	5'OC	86	
$\begin{array}{c} \nabla \ \nabla \ \nabla \\ \nabla \ \nabla \ \nabla \end{array}$	SAMBUCUS RACEMOSA		BARE ROOT	CLUSTER		
$\bigtriangledown \lor \lor$	SNOWBERRY	SHRUB	1 GAL. OR	5'OC	86	
∇ ∇ ∇ ∇	SYMPHORICARPOS ALBUS		BARE ROOT	CLUSTER		
\bigtriangledown \lor \lor \checkmark	SALMONBERRY	SHRUB	1 GAL. OR	5'OC	86	
$\bigtriangledown \lor \lor \lor$	RUBUS SPECTABILIS		BARE ROOT	CLUSTER		
$\nabla \nabla \nabla$	SWAMP ROSE	SHRUB	1 GAL. OR	5'OC	86	
$\bigtriangledown \lor \lor \lor \lor$	ROSA PISOCARPA		BARE ROOT	CLUSTER		
	RIPARIAN SHRUB COMMUNITY	,				
	SPECIES	TYPE	MIN SIZE*	SPACING	QTY	
	REDOSIER DOGWOOD	SHRUB	1 GAL. OR	5'OC	200	
	CORNUS STOLONIFERA		BARE ROOT	CLUSTER		
	RED ELDERBERRY	SHRUB	1 GAL. OR	5'OC	200	
	SAMBUCUS RACEMOSA		BARE ROOT	CLUSTER		
	SNOWBERRY	SHRUB	1 GAL. OR	5'OC	213	
	SYMPHORICARPOS ALBUS		BARE ROOT	CLUSTER		
	SALMONBERRY	SHRUB	1 GAL. OR	5'OC	200	
	RUBUS SPECTABILIS		BARE ROOT	CLUSTER		
	SWAMP ROSE	SHRUB	1 GAL. OR	5'OC	200	
	ROSA PISOCARPA		BARE ROOT	CLUSTER		
	INDIAN PLUM	SHRUB	1 GAL. OR	5'OC	200	1,643
	OEMLERIA CERASIFORMIS		BARE ROOT	CLUSTER		SHRUBS
	PROTIME 402*	HERB	25 LBS PER AC	RE	17.5 LB	S

*NATIVE RIPARIAN MIX INCLUDES BLUE WILDRYE (ELYMUS GLAUCUS), MEADOW BARLEY (HORDEUM BRACHYANTHERUM), AND TUFTED HAIRGRASS (DESCHAMPSIA CESPITOSA)

PROPOSED PLANT LIST (REMAINDER OF SITE)

PLANT NAME	NATIVE STA
<u>ACCENT TREES</u> ACER RUBRUM 'BOWHALL'	
AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE'	NATIVE CUL
CORNUS KOUSA X NUTTALLII 'KN4-43'	NATIVE CUL
DDIMADY TOFFC	
<u>PRIMARY TREES</u> FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS'	
PINUS PONDEROSA	NATIVE
PSEUDOTSUGA MENZIESII	NATIVE
QUERCUS GARRYANA	NATIVE
ZELKOVA SERRATA 'GREEN VASE'	
SECONDARY TREES	
CALOCEDRUS DECURRENS	NATIVE
TILIA TOMENTOSA 'STERLING' ULMUS X 'FRONTIER'	
	I
STORMWATER TREES	
CORNUS X 'EDDIE'S WHITE WONDER' FRAXINUS LATIFOLIA	NATIVE CUL
RHAMNUS LATIFULIA RHAMNUS PURSHIANA	NATIVE
<u>STREET_TREES</u> ACER_GRANDIDENTATUM 'SCHMIDT'_TM	
CORNUS KOUSA 'MILKY WAY'	
PARROTIA PERSICA 'INGE'S RUBY VASE' TM	
SHRUBS	
ARBUTUS UNEDO 'COMPACTA'	NATIVE CUL
CORNUS SERICEA 'KELSEYI'	
DEUTZIA GRACILIS 'NIKKO'	NATIVE
GAULTHERIA SHALLON MAHONIA AQUIFOLIUM	NATIVE NATIVE CUL
MAHONIA AQUIFOLIUM 'COMPACTA'	NATIVE
MYRICA CALIFORNICA	NATIVE
RIBES SANGUINEUM	NATIVE CUL
SPIRAEA BETULIFOLIA 'TOR' SYMPHORICARPOS ALBUS	NATIVE NATIVE
VACCINIUM OVATUM	NATIVE CUL
VACCINIUM OVATUM 'SCARLET OVATION'	
VIBURNUM DAVIDII	
VIBURNUM TINUS 'SPRING BOUQUET'	
PERENNIALS	
ACHILLEA MILLIFOLIUM 'ALABASTER' ASTER SUBSPICATUS	
POLYSTICHUM MUNITUM	NATIVE
PTERIDIUM AQUILINUM	NATIVE
SALVIA X SUPERBA 'CARADONNA'	
STORMWATER SHRUBS	
CORNUS SERICEA	NATIVE
HOLODISCUS DISCOLOR MAHONIA AQUIFOLIUM	NATIVE NATIVE
RIBES SANGUINEUM	NATIVE
ROSA PISOCARPA	NATIVE
RUBUS SPECTABILIS	NATIVE CUL
SPIRAEA BETULIFOLIA 'TOR' SPIRAEA DOUGLASII	NATIVE
SYMPHORICARPOS ALBUS	NATIVE NATIVE
<u>GROUND COVERS</u> ARCTOSTAPHYLOS UVA–URSI	
BOUTELOUA GRACILIS 'BLONDE AMBITION'	NATIVE
CRUSHED GRAVEL	
FESTUCA OCCIDENTALIS	NATIVE
GERANIUM X CANTABRIGIENSE 'BIOKOVO'	
MAHONIA REPENS PROTIME 402 NATIVE RIPARIAN MIX	
SEED MIX NATIVE POLLINATOR MEADOW MIX	NATIVE
SEED MIX NATIVE UPLANDS MEADOW MIX	
STORMWATER PLANTING	
CAREX DENSA	NATIVE
CAREX OBNUPTA	I NATIVE



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	REVISION SCH	EDULE
Delta	Issued As	Issue Date
1	PLAN CHECK	10/06/2022

SHEET TITLE: VEGETATED CORRIDOR **ENHANCEMENT** PLANTING PLAN

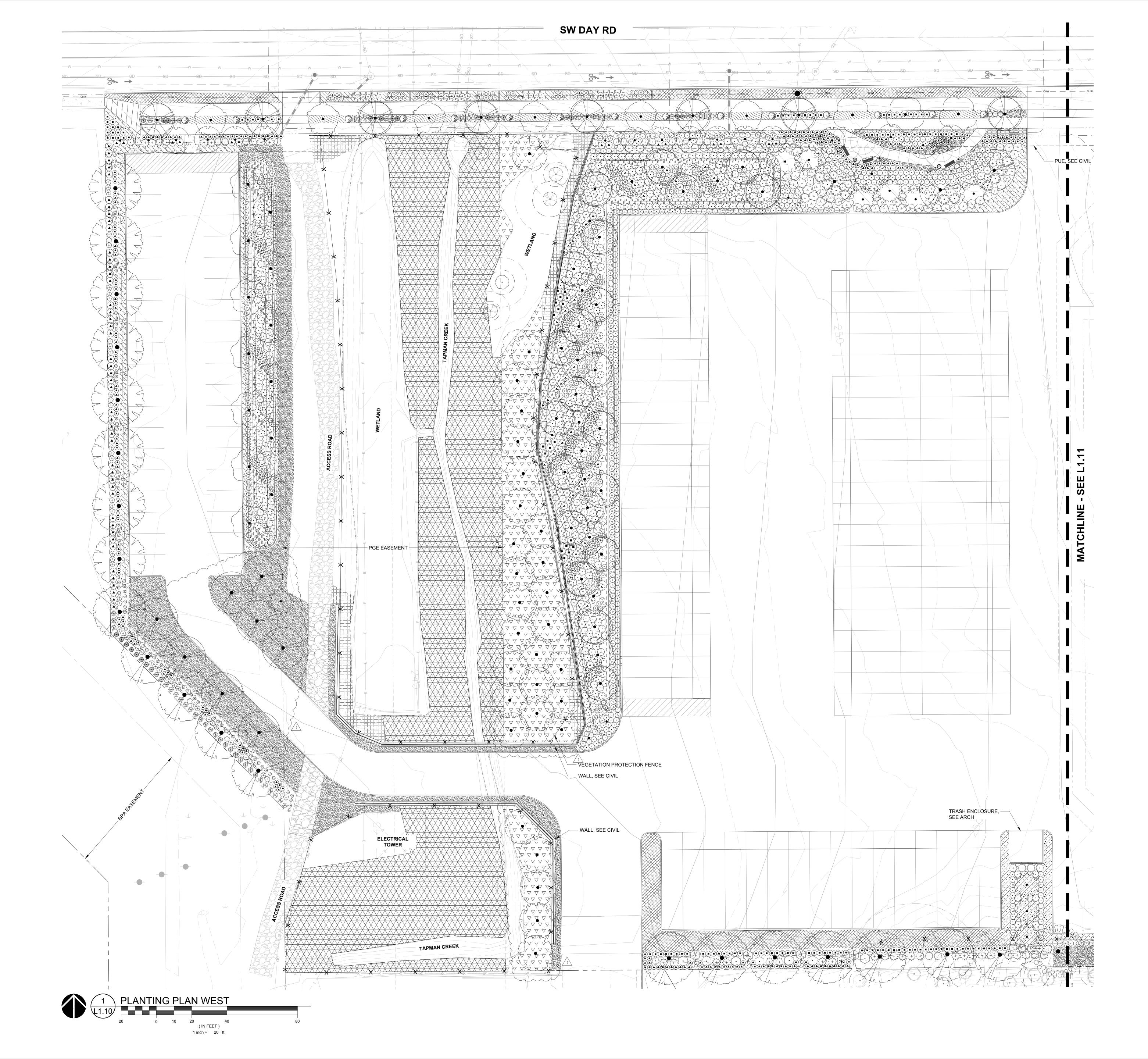
DRAWN BY: AEZ, LJM, JWT CHECKED BY: NRF

SHEET

L0.05

JOB NO. 2200502.04

L0.05 JWT 10/06/22 11:54 1:0.08

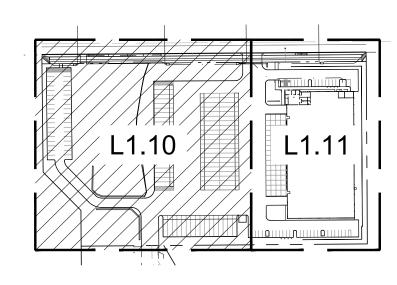


PLANT KEY LEGEND

ACCENT TREES	BOTANICAL / COMMON NAME
	AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE'
	SER VICEBERR Y
E. A.	CORNUS KOUSA X NUTTALLII 'KN4–43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	BOTANICAL / COMMON NAME
BANKAN S	PSEUDOTSUGA MENZIESII DOUGLAS FIR
	QUERCUS GARRYANA OREGON WHITE OAK
500m	ZELKOVA SERRATA 'GREEN VASE'
	GREEN VASE SAWLEAF ZELKOVA
SECONDARY TREES	BOTANICAL / COMMON NAME
<u> </u>	INCENSE CEDAR
$\langle \rangle$	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN
STORMWATER TREES	BOTANICAL / COMMON NAME
•	CORNUS X 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	FRAXINUS LATIFOLIA
	OREGON ASH
$(\cdot)$	RHAMNUS PURSHIANA CASCARA BUCKTHORN
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
•	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD
	PARROTIA PERSICA 'INGE'S RUBY VASE' TM
	RUBY VASE PERSIAN PARROTIA
SHRUBS	BOTANICAL / COMMON NAME ARBUTUS UNEDO 'COMPACTA'
 (i)	DWARF STRAWBERRY TREE
	KELSEYI DWARF REDTWIG DOGWOOD DEUTZIA GRACILIS 'NIKKO'
	SLENDER DEUTZIA GAULTHERIA SHALLON
( <b>•</b> )	SALAL
<u>{</u> +}	MAHONIA AQUIFOLIUM OREGON GRAPE
₩	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
5 6 3 5 6 - 5 2 - 5 5	MYRICA CALIFORNICA PACIFIC WAX MYRTLE
$\bigcirc$	RIBES SANGUINEUM RED FLOWERING CURRANT
	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA
$\odot$	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
ζ <del>΄</del> -}	VACCINIUM OVATUM 'SCARLET OVATION' SCARLET OVATION EVERGREEN HUCKLEBERRY
 	VIBURNUM DAVIDII
	DAVID VIBURNUM VIBURNUM TINUS 'SPRING BOUQUET'
PERENNIALS	SPRING BOUQUET LAURUSTINUS BOTANICAL / COMMON NAME
+	ACHILLEA MILLIFOLIUM 'ALABASTER' ALABASTER YARROW
۲	ASTER SUBSPICATUS DOUGLAS ASTER
÷	POLYSTICHUM MUNITUM WESTERN SWORD FERN
	PTERIDIUM AQUILINUM WESTERN BRACKENFERN
STORMWATER SHRUBS	BOTANICAL / COMMON NAME
$\bigcirc$	CORNUS SERICEA RED TWIG DOGWOOD
$\langle \circ \rangle$	HOLODISCUS DISCOLOR OCEAN-SPRAY
<u>}</u>	MAHONIA AQUIFOLIUM OREGON GRAPE
	RIBES SANGUINEUM RED FLOWERING CURRANT
$\bigotimes$	ROSA PISOCARPA CLUSTERED WILD ROSE
	RUBUS SPECTABILIS SALMONBERRY
	SPIRAEA BETULIFOLIA 'TOR'
$\sim$	TOR BIRCHLEAF SPIREA SPIRAEA DOUGLASII
$\sim$	WESTERN SPIREA SYMPHORICARPOS ALBUS
GROUND COVERS	BOTANICAL / COMMON NAME
1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	ARCTOSTAPHYLOS UVA–URSI KINNIKINNICK
ALTING CONTRACTORIES AND	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	FESTUCA OCCIDENTALIS
£\$\$\$))((£\$\$))((£	WESTERN FESCUE GRASS
	CREEPING MAHONIA PROTIME 402 NATIVE RIPARIAN MIX
	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS
	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS
	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEED
STORMWATER PLANTING	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS BOTANICAL / COMMON NAME CAREX DENSA
Image: state	PROTIME 402 NATIVE RIPARIAN MIX PROTIME SEEDS SEED MIX NATIVE POLLINATOR MEADOW MIX SUNMARK SEEDS SEED MIX NATIVE UPLANDS MEADOW MIX SUNMARK SEEDS BOTANICAL / COMMON NAME

### **REFERENCE NOTES**

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.02 2. PROPOSED UTILITY BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE. 3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES, REPORT CONFLICTS TO LANDSCAPE ARCHITECT.





### KEY MAP SCALE: NTS

# DESIGN REVIEW SET 07/29/2022



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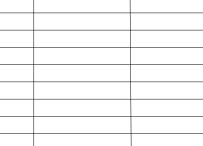
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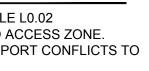
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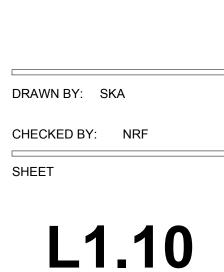
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REVISION SCHEDULE				
Delta	Issued As	Issue Date		
1	PLANCHECK	10/06/2022		



SHEET TITLE: PLANTING PLAN - WEST

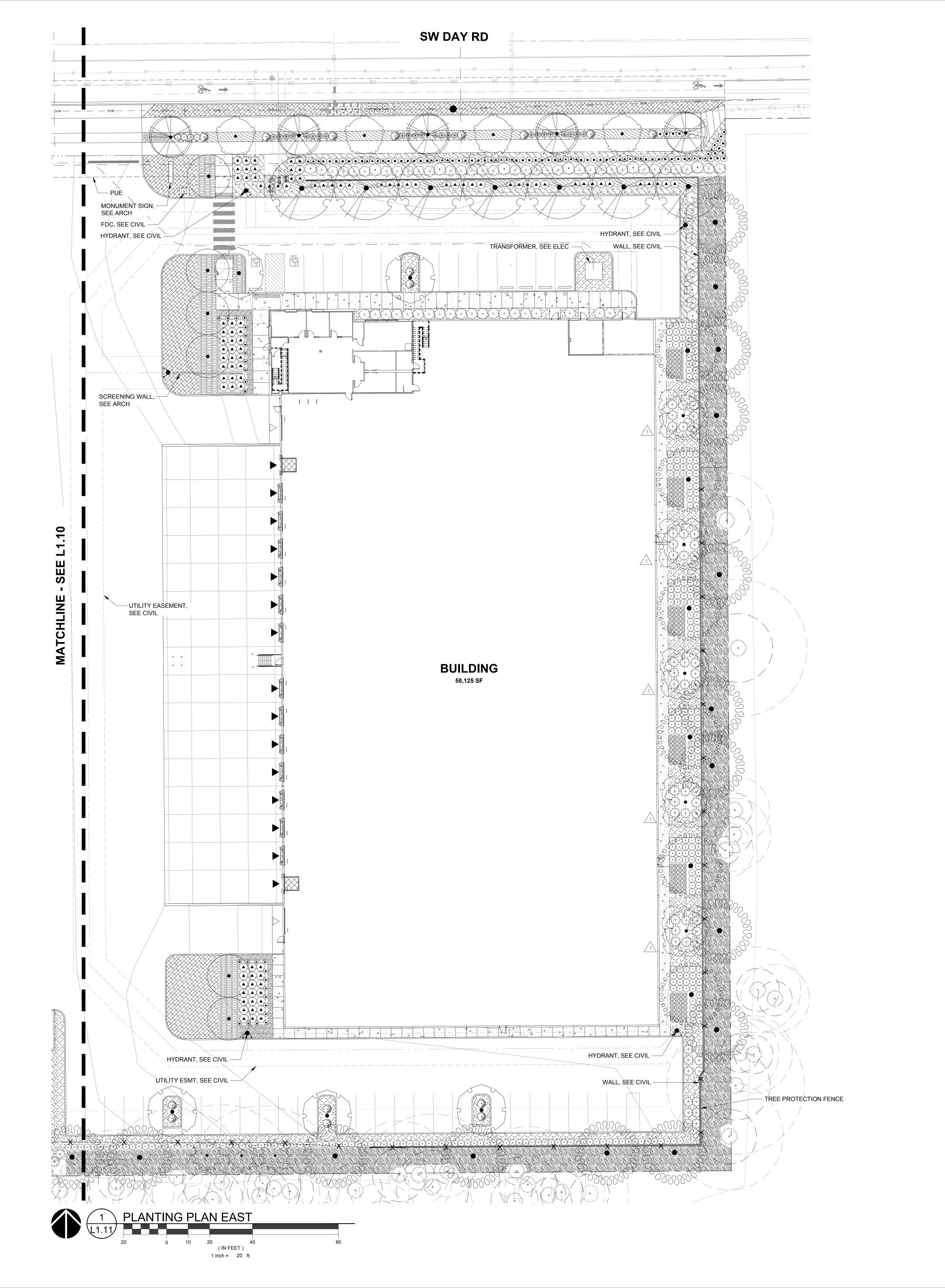




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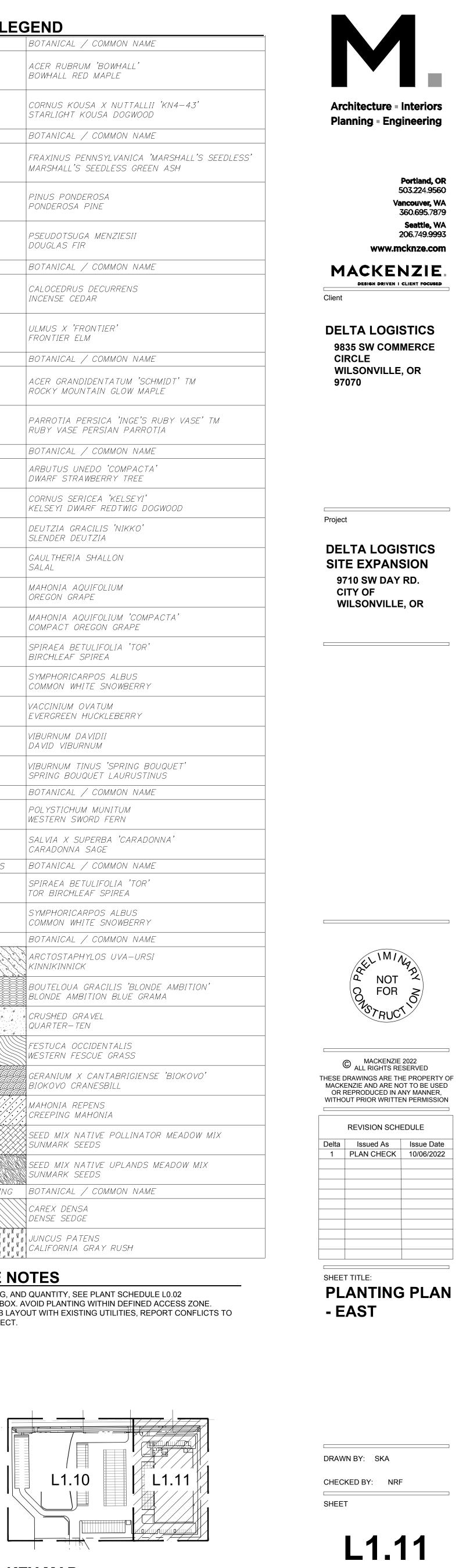


### PLANT KEY LEGEND

ACCENT TREES	BOTANICAL / COMMON NAME
	, ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
	CORNUS KOUSA X NUTTALLII 'KN4–43'
	STARLIGHT KOUSA X NOTTALLII KN4-43
X	BOTANICAL / COMMON NAME
2 5	FRAXINUS PENNSYLVANICA 'MARSHALL'S S MARSHALL'S SEEDLESS GREEN ASH
ã 🌢 à	PINUS PONDEROSA PONDEROSA PINE
SUNNO2	PSEUDOTSUGA MENZIESII
MARINN S	DOUGLAS FIR
. M.	BOTANICAL / COMMON NAME
	INCENSE CEDAR
	ULMUS X 'FRONTIER' FRONTIER ELM
STREET TREES	BOTANICAL / COMMON NAME
	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
	PARROTIA PERSICA 'INGE'S RUBY VASE' TA RUBY VASE PERSIAN PARROTIA
کرر	BOTANICAL / COMMON NAME
•	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
	CORNUS SERICEA 'KELSEYI' KELSEYI DWARF REDTWIG DOGWOOD
• 3	DEUTZIA GRACILIS 'NIKKO' SLENDER DEUTZIA
	GAULTHERIA SHALLON SALAL
< + >	MAHONIA AQUIFOLIUM OREGON GRAPE
<del>&lt; x→</del>	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
	SPIRAEA BETULIFOLIA 'TOR' BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
£ • 3	VIBURNUM DAVIDII DAVID VIBURNUM
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS
	BOTANICAL / COMMON NAME POLYSTICHUM MUNITUM
کړي	WESTERN SWORD FERN
	SALVIA X SUPERBA 'CARADONNA' CARADONNA SAGE BOTANICAL / COMMON NAME
$\bigcirc$	SPIRAEA BETULIFOLIA 'TOR' TOR BIRCHLEAF SPIREA
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
	BOTANICAL / COMMON NAME
X Val Ma X Val Ma X Val Mar X Val	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK
	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA
	CRUSHED GRAVEL QUARTER—TEN
	FESTUCA OCCIDENTALIS WESTERN FESCUE GRASS
lalalalalalalalalalalalalalalalalala	GERANIUM X CANTABRIGIENSE 'BIOKOVO' BIOKOVO CRANESBILL
	MAHONIA REPENS CREEPING MAHONIA
* / * * * / * * * / * * * / * * * / * * / * * / * * / * *	SEED MIX NATIVE POLLINATOR MEADOW M SUNMARK SEEDS
	SEED MIX NATIVE UPLANDS MEADOW MIX
2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-0 2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02 2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02-2010-02	SUNMARK SEEDS
SOWINGSOWINGSOWINGSOWING STORMWATER PLANTING	BOTANICAL / COMMON NAME
SOWING	

### **REFERENCE NOTES**

1. PLANT SIZE, SPACING, AND QUANTITY, SEE PLANT SCHEDULE L0.02 2. PROPOSED UTILITY BOX. AVOID PLANTING WITHIN DEFINED ACCESS ZONE. 3. COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES, REPORT CONFLICTS TO LANDSCAPE ARCHITECT.



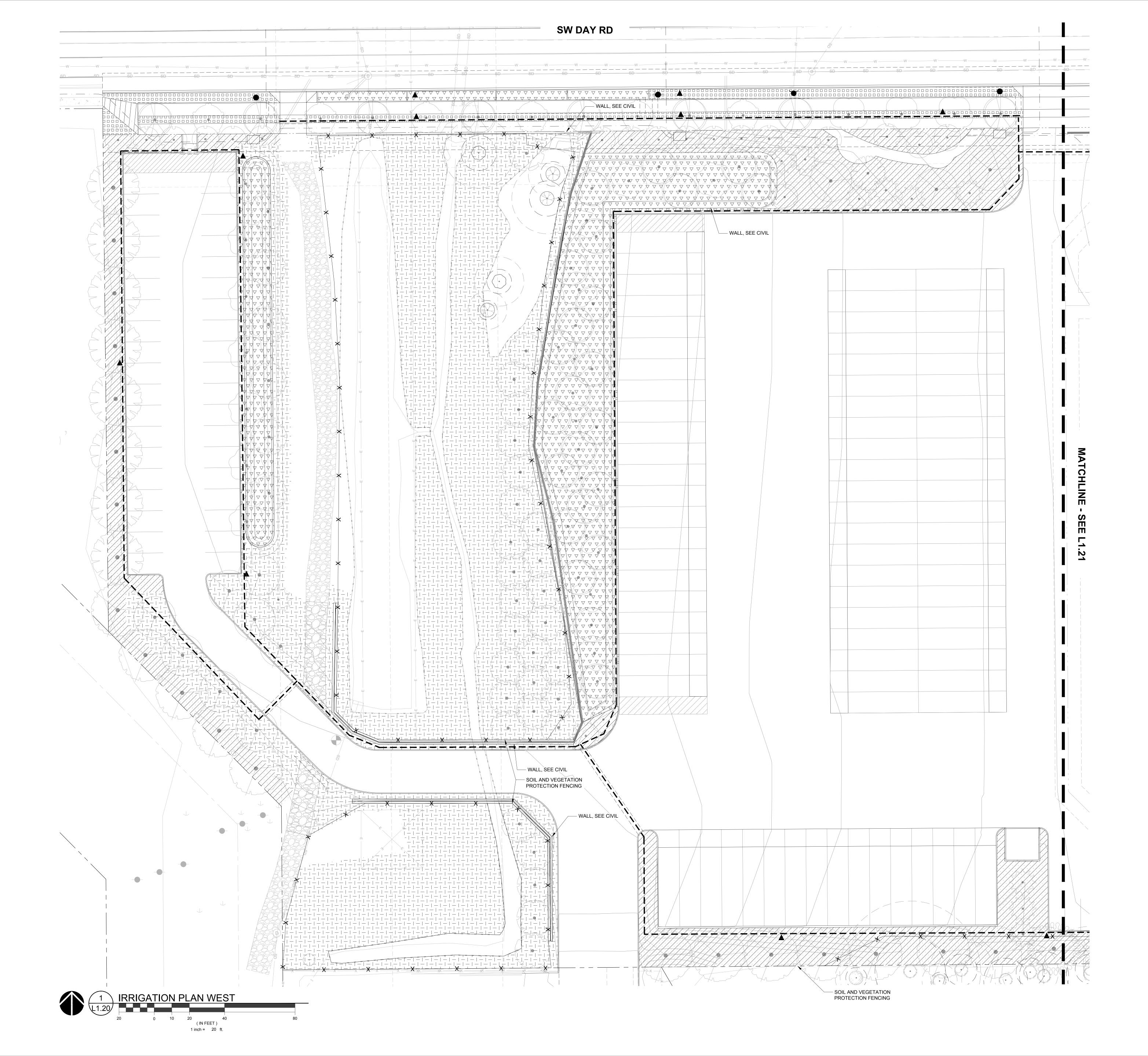




# DESIGN REVIEW SET 07/29/2022

^{JOB NO.} **2200502.04** 

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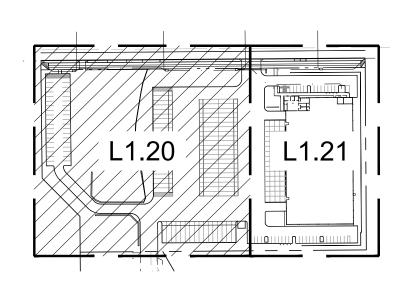


### **IRRIGATION LEGEND**

IRRIGATI	
POC	POINT OF CONNECTION, INCLUDE DOU BACKFLOW PREVENTOR, MASTER VAL SENSOR - SEE DETAIL ON L5.11
C	IRRIGATION CONTROLLER
	GATE VALVE
	QUICK COUPLER AT 150' (INTERVALS M
	MAINLINE SLEEVE- DIAMETER AT LEAS DIAMETER OF PIPE BEING SLEEVED
	MAINLINE-SCHEDULE 40 PVC
	SHRUB AND GROUNDCOVER DRIP ARE
	SHRUB AND GROUNDCOVER SPRAY A
$ \begin{array}{c}                                     $	STORMWATER AREA - ZONE SEPARAT
	LAWN AREA - ZONE SEPARATELY
	TEMPORARY IRRIGATED AREA - ZONE
	RIGHT-OF-WAY - ZONE SEPARATELY
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	MEADOW AREA - ZONE SEPARATELY

### **REFERENCE NOTES**

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.





# SCALE: NTS

# **DESIGN REVIEW SET 07/29/2022**

### JBLE CHECK LVE AND FLOW

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SEPARATELY

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REVISION SCHEDULE			
Delta	Issued As	Issue Date	

SHEET TITLE: IRRIGATION PLAN - WEST

JOB NO.

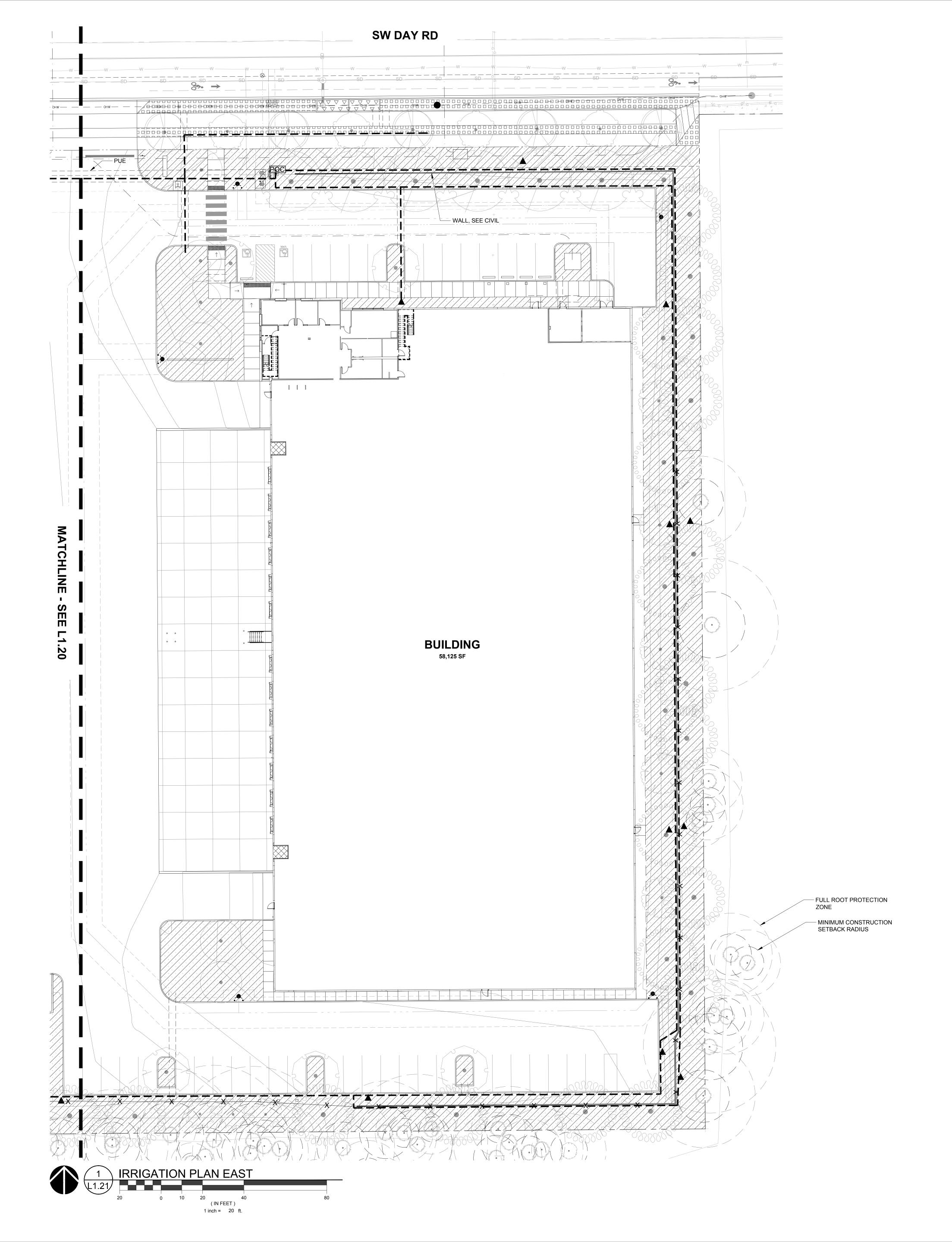
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CHECKED BY:



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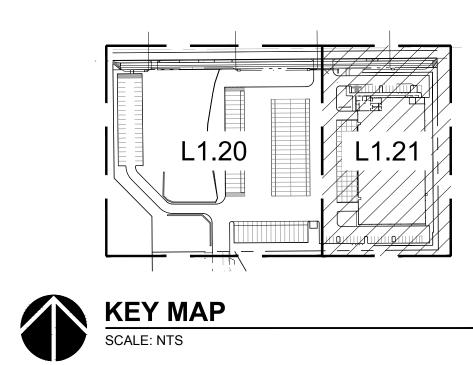


### IRRIGATIONLEGEND

<u>IRRIGATI</u>	ONLEGEND
POC	POINT OF CONNECTION, INCLUDE DOU BACKFLOW PREVENTOR, MASTER VAL SENSOR - SEE DETAIL ON L5.11
C	IRRIGATION CONTROLLER
	GATE VALVE
	QUICK COUPLER AT 150' (INTERVALS M
	MAINLINE SLEEVE- DIAMETER AT LEAS DIAMETER OF PIPE BEING SLEEVED
	MAINLINE-SCHEDULE 40 PVC
	SHRUB AND GROUNDCOVER DRIP ARE
	SHRUB AND GROUNDCOVER SPRAY A
$\begin{array}{c} \nabla & \nabla & \nabla & \nabla & \nabla \\ \nabla & \nabla & \nabla & \nabla & \nabla \\ \nabla & \nabla &$	STORMWATER AREA - ZONE SEPARAT
	LAWN AREA - ZONE SEPARATELY
	TEMPORARY IRRIGATED AREA - ZONE
	RIGHT-OF-WAY - ZONE SEPARATELY
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	MEADOW AREA - ZONE SEPARATELY

### **REFERENCE NOTES**

1. CAREFULLY EXCAVATE IRRIGATION TRENCHES IN VICINITY OF EXISTING TREES. SEE TREE PROTECTION NOTES L0.03 AND IN EXHIBIT D ARBORIST REPORT.





### OUBLE CHECK ALVE AND FLOW

S MAX) AST TWICE

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REVISION SCHEDULE						
Delta	Delta Issued As Issue Date					

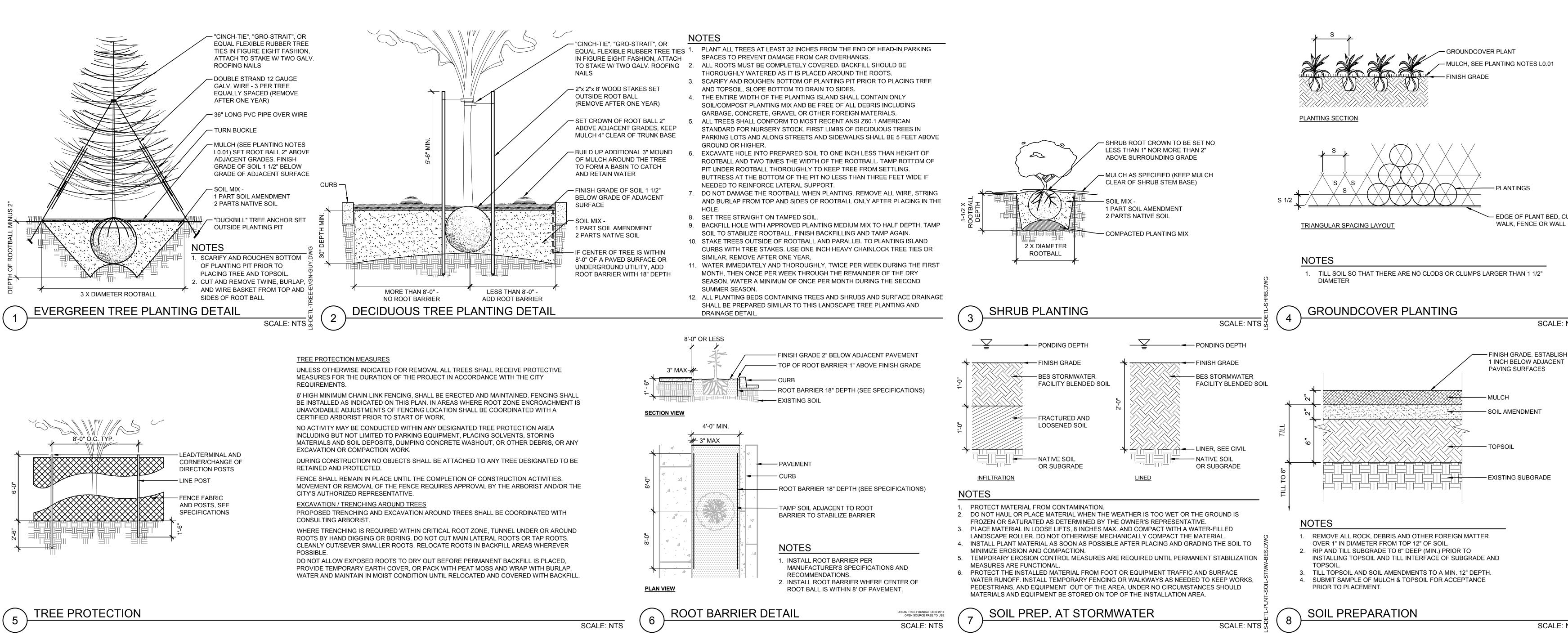
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SHEET TITLE: IRRIGATION PLAN - EAST

DRAWN BY: SKA

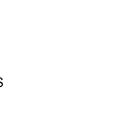


JOB NO. **2200502.04** 









EDGE OF PLANT BED, CURB WALK, FENCE OR WALL

SCALE: NTS

- FINISH GRADE. ESTABLISH AT

SCALE: NTS 🖟



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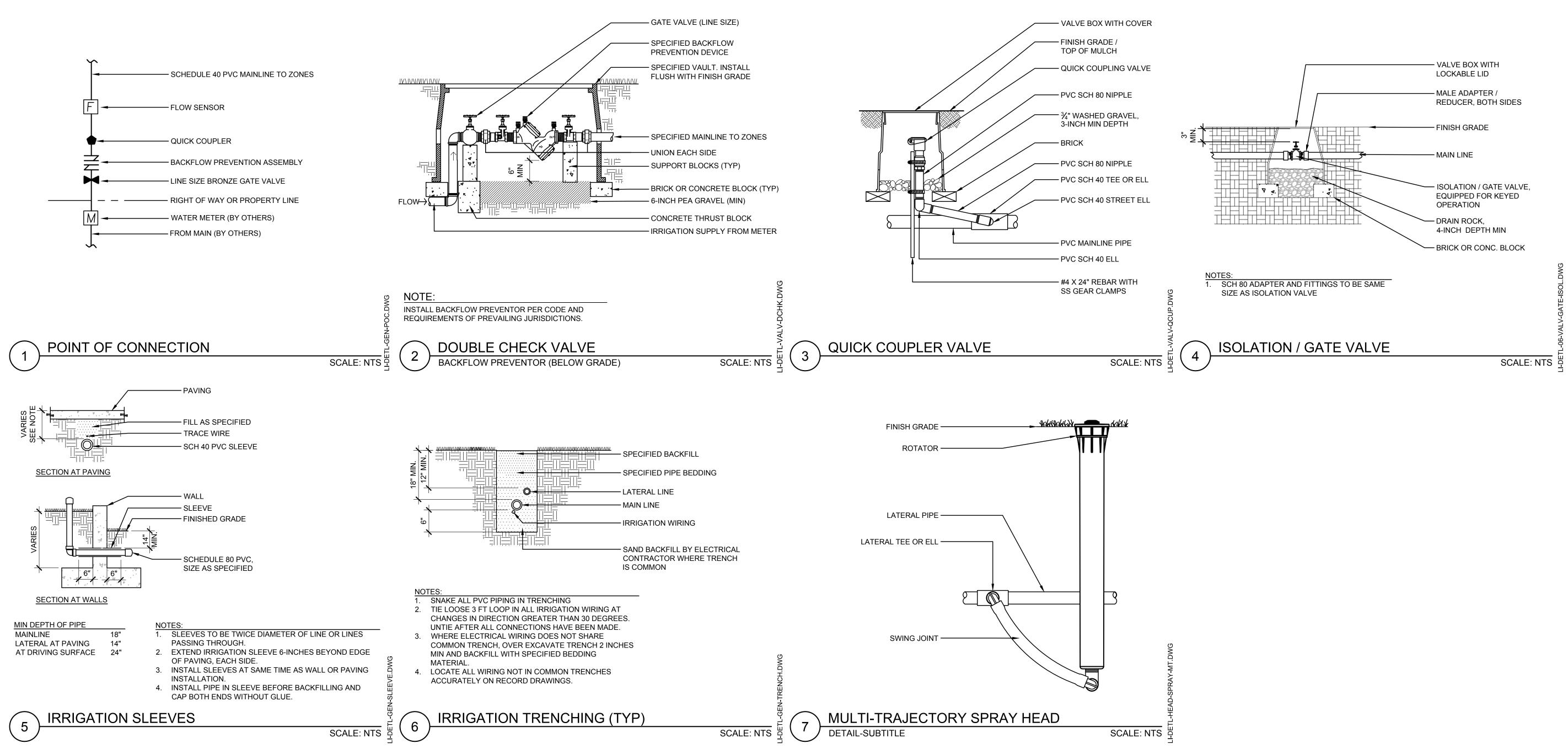
PLANTING

		]
SHEE	ET TITLE:	
PLANTING		

DETAILS

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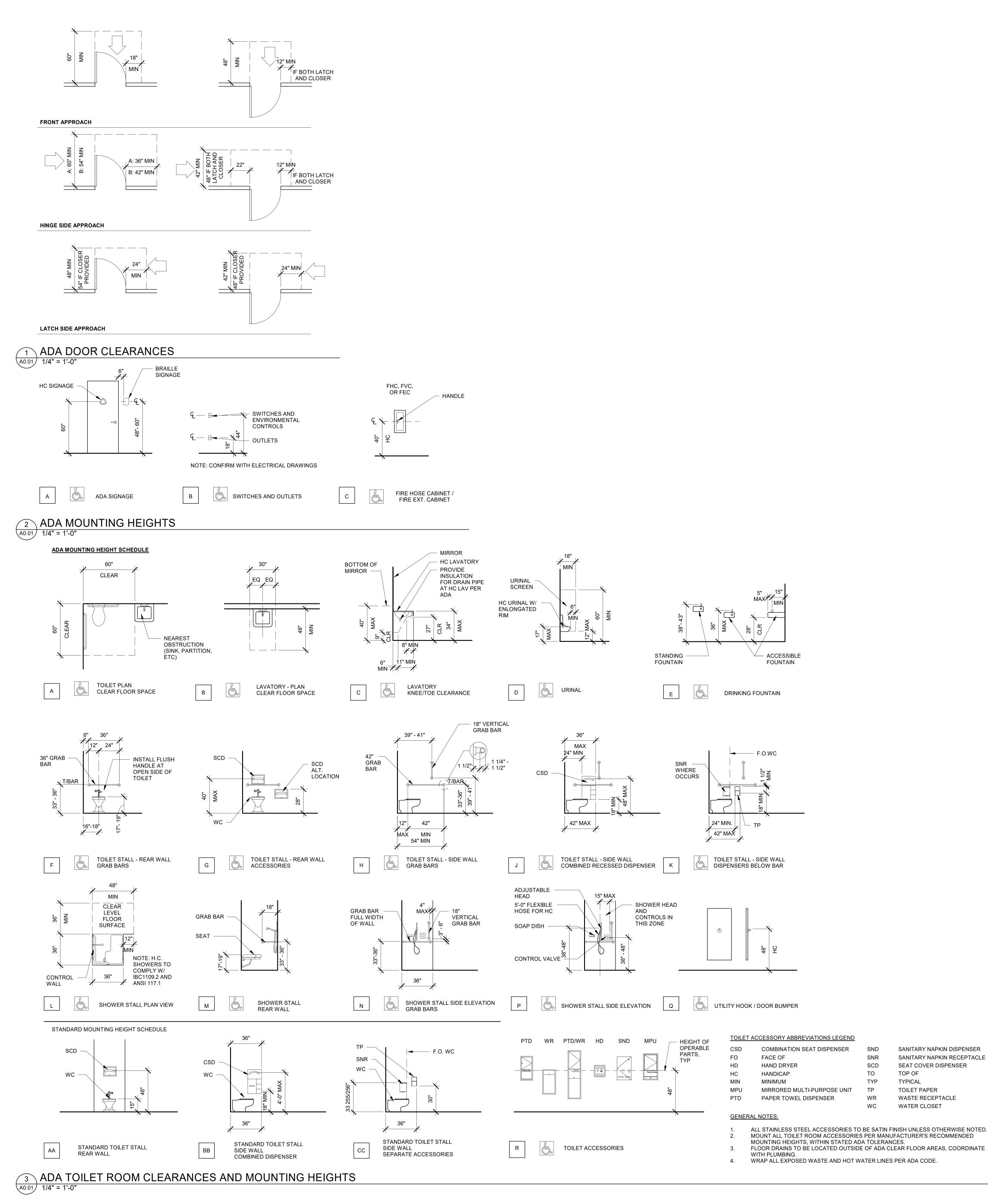
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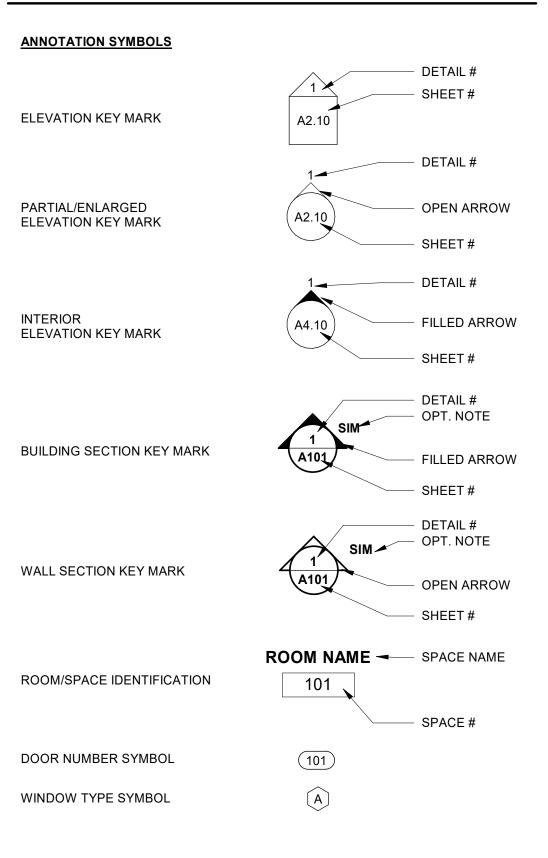
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IRRIGATION



### ARCHITECTURAL LEGEND



### ARCHITECTURAL GENERAL NOTES

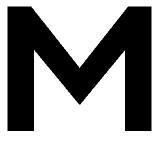
А.	OVERALE FLOOR FLANS ARE INTENDED TO DEINTIFFENTINE FLOOR AND AREA. SEE INDIVIDUO AND AREA
_	PLANS FOR SPECIFIC DIMENSIONS, DETAILING, PARTITION TYPES, AND ADDITIONAL INFORMATION.
В.	PROVIDE 30' - 0" CLEAR MINIMUM TO BOTTOM OF STRUCTURE, MECHANICAL DUCTS, LIGHTING,
~	SPRINKLERS, ETC.
C.	ALL WALLS ARE TO 6" ABOVE CEILING GRID UNLESS OTHERWISE NOTED.
D.	WHERE TOP OF WALL MEETS UNDERSIDE OF ROOF DECK, PROVIDE DEFLECTION HEAD AS
_	REQUIRED.
E.	REFERENCE BUILDING ELEVATIONS FOR EXTERIOR WINDOW TYPE DESIGNATION.
F.	REFERENCE DOOR SCHEDULE FOR DOOR TYPE DESIGNATION AND ADD'L INFORMATION.
G.	SEE CODE ANALYSIS PLANS FOR FIRE EXTINGUISHER LOCATIONS.
Н.	PROVIDE BLOCKING AS REQUIRED ADJACENT TO FIRE EXTINGUISHERS FOR OWNER INSTALLED
	AED STATIONS
l.	COORDINATE ALL EXTERIOR WALL PENETRATIONS AMONG AFFECTED DISCIPLINES.
J.	WATERPROOFING SYSTEMS AND THEIR INSTALLATIONS SHALL BE SUITABLE FOR THEIR INTENDED
IZ.	PURPOSES.
K.	PROVIDE APPROPRIATE AND COMPLETE SEALANT OF ALL PENETRATIONS THROUGH EXTERIOR
	ASSEMBLIES. SEAL VOIDS BETWEEN SLEEVES, CONDUITS, AND OTHER PENETRATIONS WITH
	APPROPRIATE JOINT SEALANT. CONTRACTOR TO ASSURE PROPER SEALANT OF ALL VOIDS AT OPENINGS AND PENETRATIONS.
L.	FURNITURE AND EQUIPMENT BY OTHERS, SHOWN FOR REFERENCE ONLY. CONTRACTOR TO
L.	COORDINATE WALL MOUNTED FURNITURE, INCLUDING BUT NOT LIMITED TO, CABINETRY,
	PROJECTION SCREENS, WHITE BOARDS, TELEVISIONS, ETC. AND PROVIDE NECESSARY BLOCKING
	AS REQUIRED.
М.	CONTRACTOR SHALL COORDINATE DELIVERY AND INSTALLATION OF OWNER FURNISHED
101.	EQUIPMENT WITH THE OWNER.
	NSIONING
A.	ALL DIMENSIONS TO FACE OF GYP, CENTERLINE OF COLUMN OR EXTERIOR FACE OF WALL,
	UNLESS OTHERWISE NOTED. ALIGN FINISHES WHERE INDICATED.
В.	WALL THICKNESSES ARE ACTUAL UNLESS OTHERWISE NOTED.
C.	DIMENSIONS MARKED "CLR" ARE FROM FINISH SURFACE TO FINISH SURFACE. DIMENSIONS WITH
	THIS MARK TAKE PRIORITY OVER ADJACENT DIMENSIONS. DIMENSIONS ADJACENT TO LATCH SIDE
	OF DOORS INDICATE REQUIRED CLEARANCES BETWEEN CLEAR DOOR OPENING AND ADJACENT
	FINISH.
D.	ALL DIMENSIONS SHOWN AS PLUS/MINUS (+/-) ARE FOR GENERAL LAYOUT AND REFERENCE ONLY.
E.	DOORS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM FACE OF WALL TO OUTSIDE EDGE OF
	JAMB.
MEP	
Α.	ALL MEP TO BE DESIGN-BUILD.
В.	COORDINATE AND REFER TO MECHANICAL AND ELECTRICAL DISCIPLINES FOR SPECIFIC
	INFORMATION, LOCATIONS, DIMENSIONS, CONNECTIONS, AND PENETRATIONS.
C.	SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
-	RATED WALLS
Α.	ALL RATED CONSTRUCTION ASSEMBLIES EXTEND FROM FLOOR STRUCTURE TO UNDERSIDE OF
_	STRUCTURE AND DECKING ABOVE UNLESS OTHERWISE NOTED.
В.	PROVIDE TYPE 'X' GYPSUM BOARD AT ALL FIRE RATED WALLS AND PARTITIONS. SEE CODE
0	SUMMARY DRAWINGS AND FLOOR PLANS FOR SCOPE OF FIRE RATED WALLS.
C.	ALL PENETRATIONS AND VOIDS THROUGH FIRE-RATED ASSEMBLIES TO BE FIRE STOPPED WITH
_	APPROVED MATERIALS.
D.	PROVIDE FIRE BLOCKING AS REQUIRED.
MISC	
Α.	STAIRS ARE DESIGN-BUILD BY CONTRACTOR. SEE VERTICAL CIRCULATION DRAWINGS FOR
	TREADS, RISERS, RAILING, AND DIMENSIONAL REQUIREMENTS. SEE SPECIFICATIONS FOR DESIGN
	REQUIREMENTS. PROVIDE SHOP DRAWINGS WITH CALCULATIONS PREPARED AND STAMPED BY A
	ERTEEPSITINAL ENGINEER REGISTERED IN OREGON FOR REVIEW RV ARCHITECT

SEE STRUCTURAL DRAWINGS FOR PANEL/WALL THICKNESS.

ALL EXPOSED EXTERIOR STEEL TO BE GALVANIZED.

PAINT ALL EXPOSED STEEL.

FURR ALL EXTERIOR WALLS WITHIN THE OFFICE AND UTILITY ROOMS.



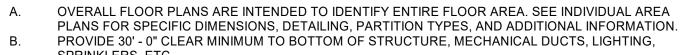
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DRAWINGS FOR ICATIONS FOR DESIGN PROFESSIONAL ENGINEER REGISTERED IN OREGON FOR REVIEW BY ARCHITECT. SEE STRUCTURAL DRAWINGS FOR FRAMING, SLAB EDGE, ROOF OPENINGS INFORMATION.



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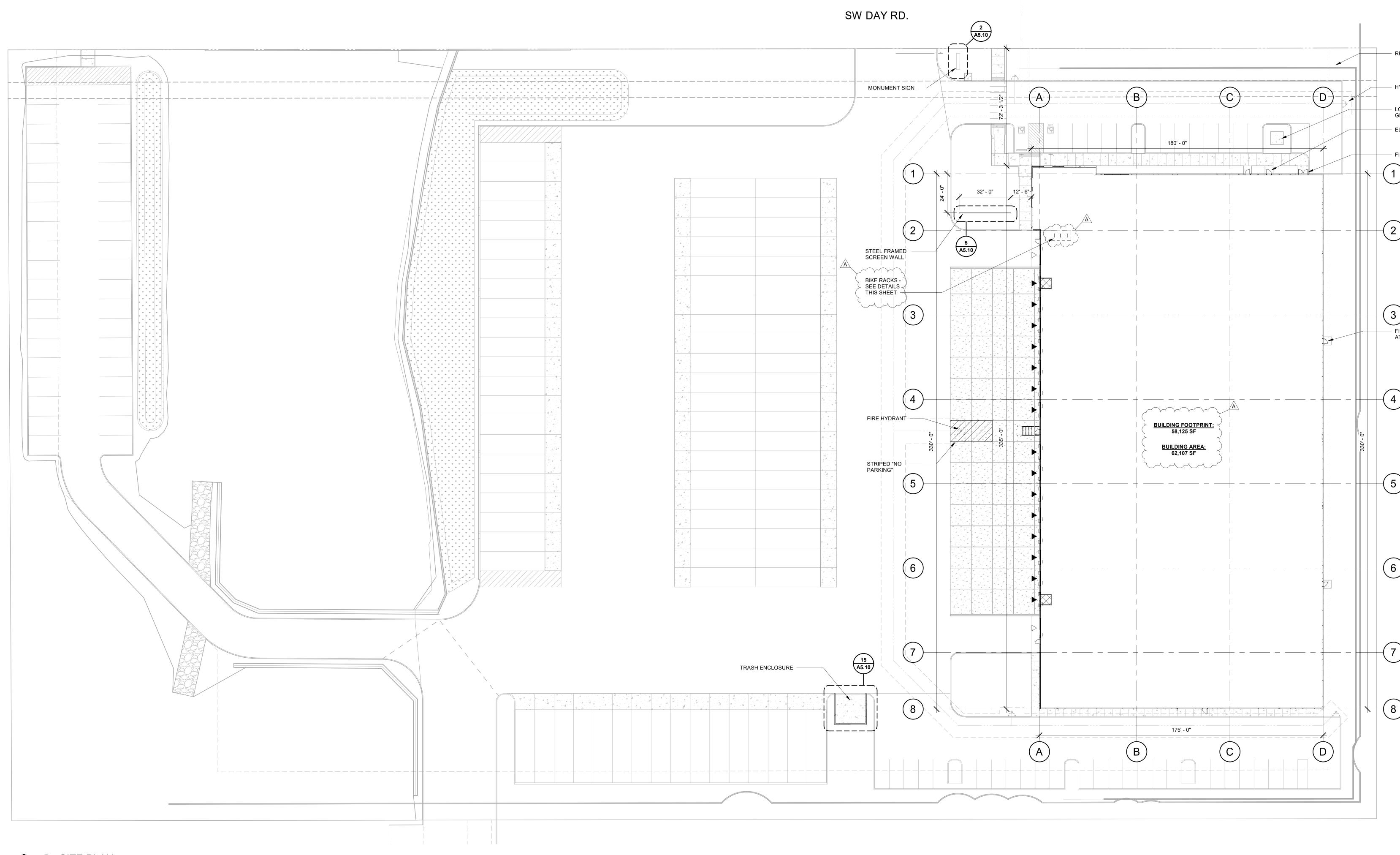
SHEET TITLE: ARCHITECTURAL GENERAL **NOTES AND** SYMBOLS

DRAWN BY: ADG

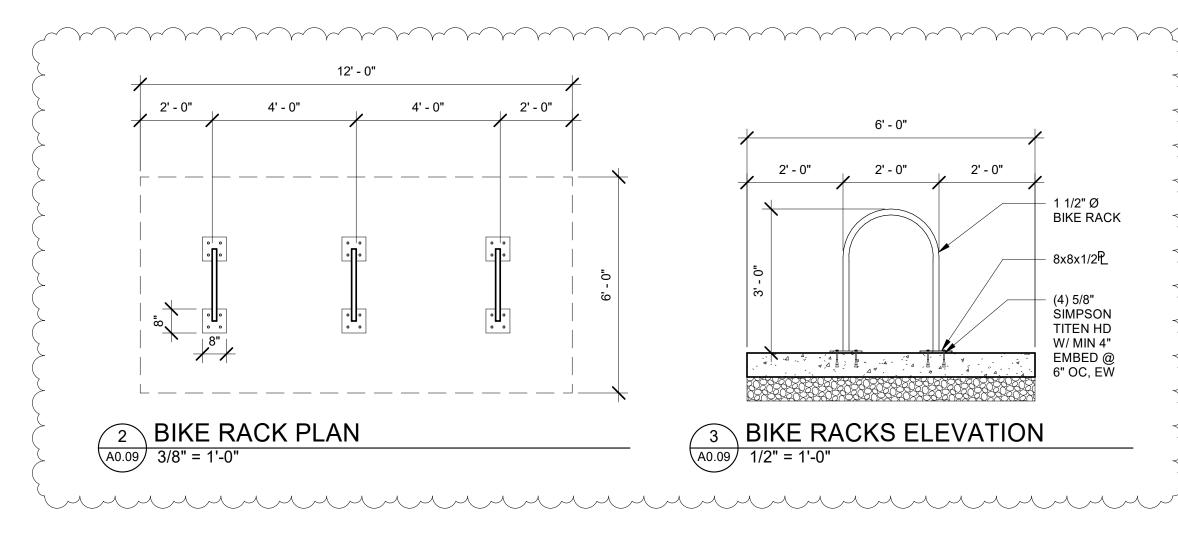
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SHEET





# 1 SITE PLAN A0.09 1 : 300



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- RETAINING WALL, SEE CIIVL

HYDRANT, TYP.

- LOCATION OF FUTURE GENERATOR - ELECTRICAL ROOM ACCESS MACKENZIE.

- FIRE PUMP ROOM ACCESS

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FIRE ACCESS DOORS AT 150' O.C., TYP.

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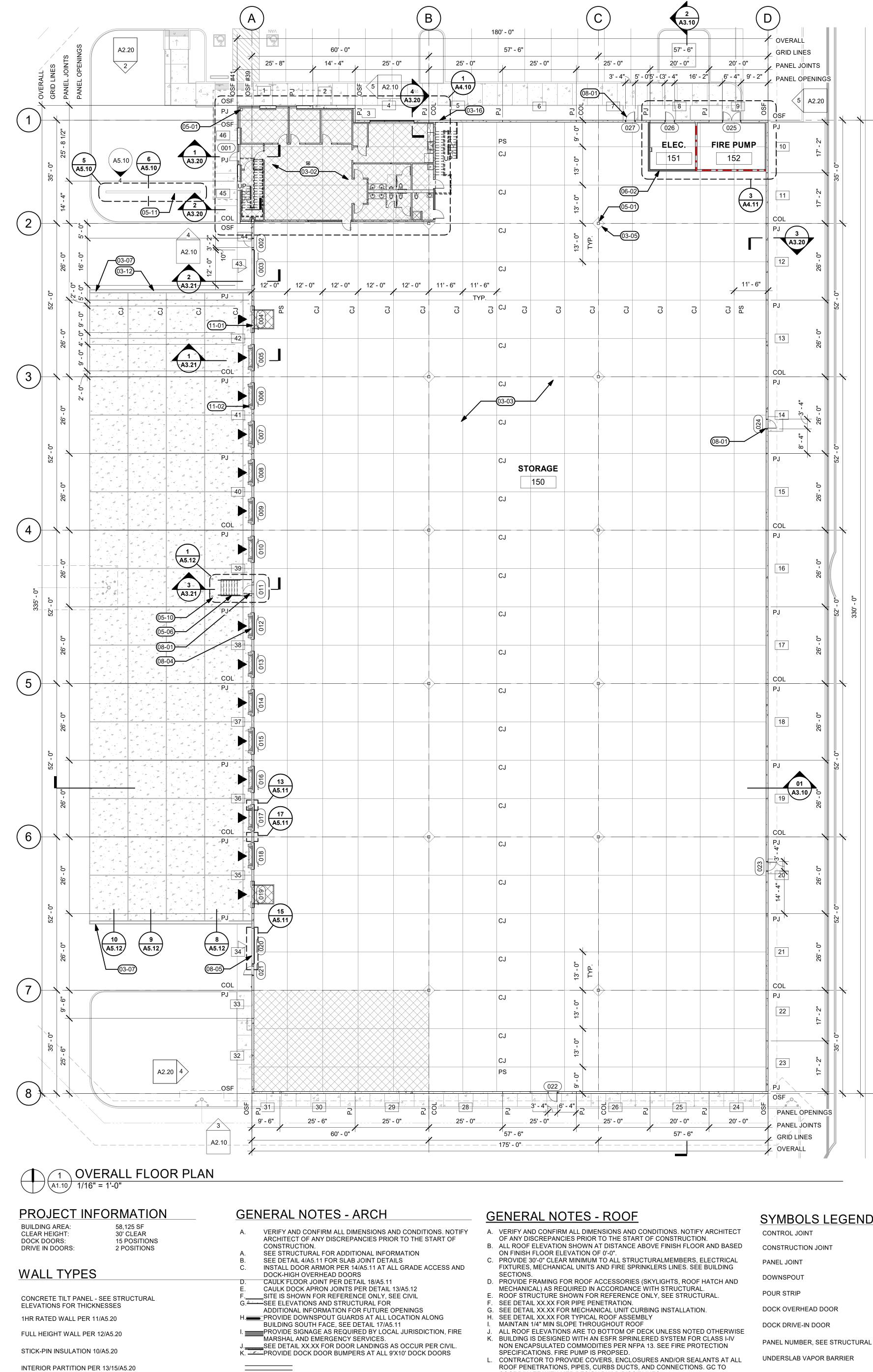
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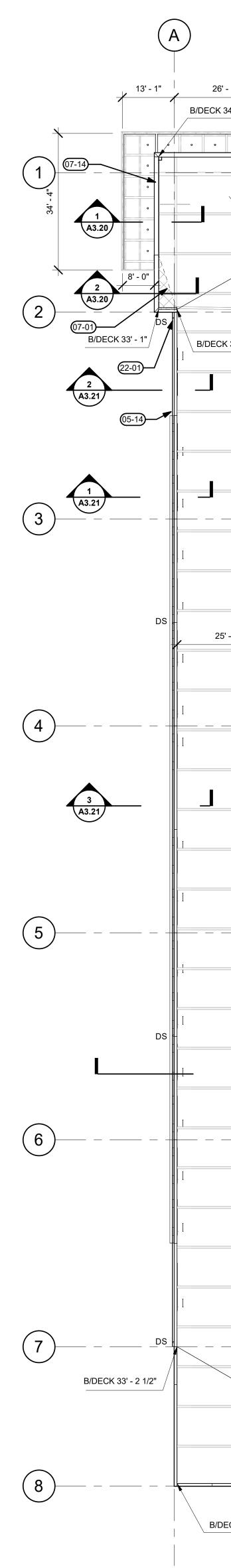
SHEET



^{JOB NO.} **2200502.00** 



STRUCTURES.



# 2 OVERALL ROOF PLAN (A1.10) 1/16" = 1'-0"

##

<u>ROOF</u>	SYMBOLS LEGEND	
SIONS AND CONDITIONS. NOTIFY ARCHITECT	CONTROL JOINT	CJ
DISTANCE ABOVE FINISH FLOOR AND BASED 0'-0".	CONSTRUCTION JOINT	CONST JT
D ALL STRUCTURALMEMBERS, ELECTRICAL ID FIRE SPRINKLERS LINES. SEE BUILDING	PANEL JOINT	PJ
CESSORIES (SKYLIGHTS, ROOF HATCH AND	DOWNSPOUT	DS
CORDANCE WITH STRUCTURAL. EFERENCE ONLY, SEE STRUCTURAL. TRATION.	POUR STRIP	PS
AL UNIT CURBING INSTALLATION. OOF ASSEMBLY	DOCK OVERHEAD DOOR	
GHOUT ROOF OTTOM OF DECK UNLESS NOTED OTHERWISE	DOCK DRIVE-IN DOOR	$\bigtriangleup$

KEY	NOTES
03-02	UNDERSLAB VAPOR BARRIER, EXTENTS PER HATCHED AREA, SEE SPECIFICATIONS
03-03	6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL
03-05	CONCRETE COLUMN BLOCKOUT, SEE STRUCTURAL
03-07	MOUNTABLE CONCRETE CURB AT FINAL 5'-0" OF RETAINING WALL
03-12	CONCRETE RETAINING WALL WITH MOUNTABLE CURB, SEE DETAILS 7-11/A5.12
03-16	TILT-UP CONCRETE PANEL, SEE STRUCTURAL
05-01	HSS COLUMN, SEE STRUCTURAL
05-03	STEEL GIRDER, SEE STRUCTURAL
05-06	STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12
05-10	STEEL BOLLARD, SEE DETAIL 6/A5.12
05-11	PERFORATED ARCHITECTURAL METAL PANEL SCREENING WALL FASTENED TO HSS FRAME PER STRUCT, SEE DETAILS 4-6/A5.10
05-14	SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL 11/A5.13
06-01	FRAMING AT ALL ROOF HATCHES, SKYLIGHTS AND ACCESSORIES PER DETAILS, SEE STRUCTURAL

ROOF PENETRATIONS, PIPES, CURBS DUCTS, AND CONNECTIONS. GC TO COORDINATE WITH MEP DESIGN BUILD DISCIPLINES. M. PROVIDE SPLASH BLOCKS AT DOWNSPOUTS OF ALL ROOF ACCESSORY

E	3		
- 10" 34' - 1" B/DECK 33' - 8" 4 A3.20	B/DECK 34' - 8"	B/DECK 35' - 11"	B/DECK 37' - 2"
и В/DECK 33' - 4"			
< 33' - 2 1/2" 	05-01		3 A3.20
07-01 08-11 06-01	05-03		
'- 8" 25' - 8"	24' - 9" 8' - 0" 24' - 9"	24' - 5" 8' - 0" 24' - 5"	
			  01  A3.10
1/4" / 1'-0" SLOPE	1/4" / 1'-0" SLOPE	1/4" / 1'-0" SLOPE	
ECK 34' - 1"	B/DECK 34' - 8"	B/DECK 35' - 11"	B/DECK 37' - 2"
ριανι			

R BARRIER, EXTENTS PER HATCHED AREA, SEE	
B ON GRADE, SEE STRUCTURAL IN BLOCKOUT, SEE STRUCTURAL CRETE CURB AT FINAL 5'-0" OF RETAINING WALL NING WALL WITH MOUNTABLE CURB, SEE	
E PANEL, SEE STRUCTURAL STRUCTURAL E STRUCTURAL AIRS, SEE DETAILS 1-4/A5.12 SEE DETAIL 6/A5.12 HITECTURAL METAL PANEL SCREENING WALL FRAME PER STRUCT, SEE DETAILS 4-6/A5.10 TER TO MATCH PARAPET COPING, SEE DETAIL	

06-02 RATED WALL - SEE WALL TYPE LEGEND. EXTENDED TO UNDERSIDE OF ROOF DECK ABOVE. WOOD ROOF DECK PER STRUCT.

CRICKET AS REQUIRED FOR MIN 1/4 PER FOOT SLOPE, SEE DETAIL 8/A5.13 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10. ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10 SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13

INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS. SEE DOOR SCHEDULE 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1. SEE DOOR SCHEDULE 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM

WINDOW ABOVE. SEE DOOR SCHEDULE 08-08 ROOF ACCESS, SEE DETAILS 14-15/A5.13

06-04

07-01

07-03

07-07

07-14

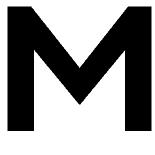
08-01

08-04

08-05

08-11 4'X8' SKYLIGHT WITH BURGLAR BAR. PROVIDE CRICKET AT HIGH SIDE W/ 1/2" MIN SLOPE. SEE DETAIL 3/A5.13. COORDINATE LAYOUT WITH SPRINKLER CONTRACTOR. 11-01 DOCK PIT LEVELER, SEE SPECIFICATION & 8/A5.20 FOR PIT DETAIL 11-02 EDGE OF DOCK LEVELER, SEE SPECIFICATIONS 22-01 6" DIAMETER DOWNSPOUT, SEE DETAIL XX.XX. PAINT TO MATCH BACKGROUND COLOR, SEE ELEVATIONS

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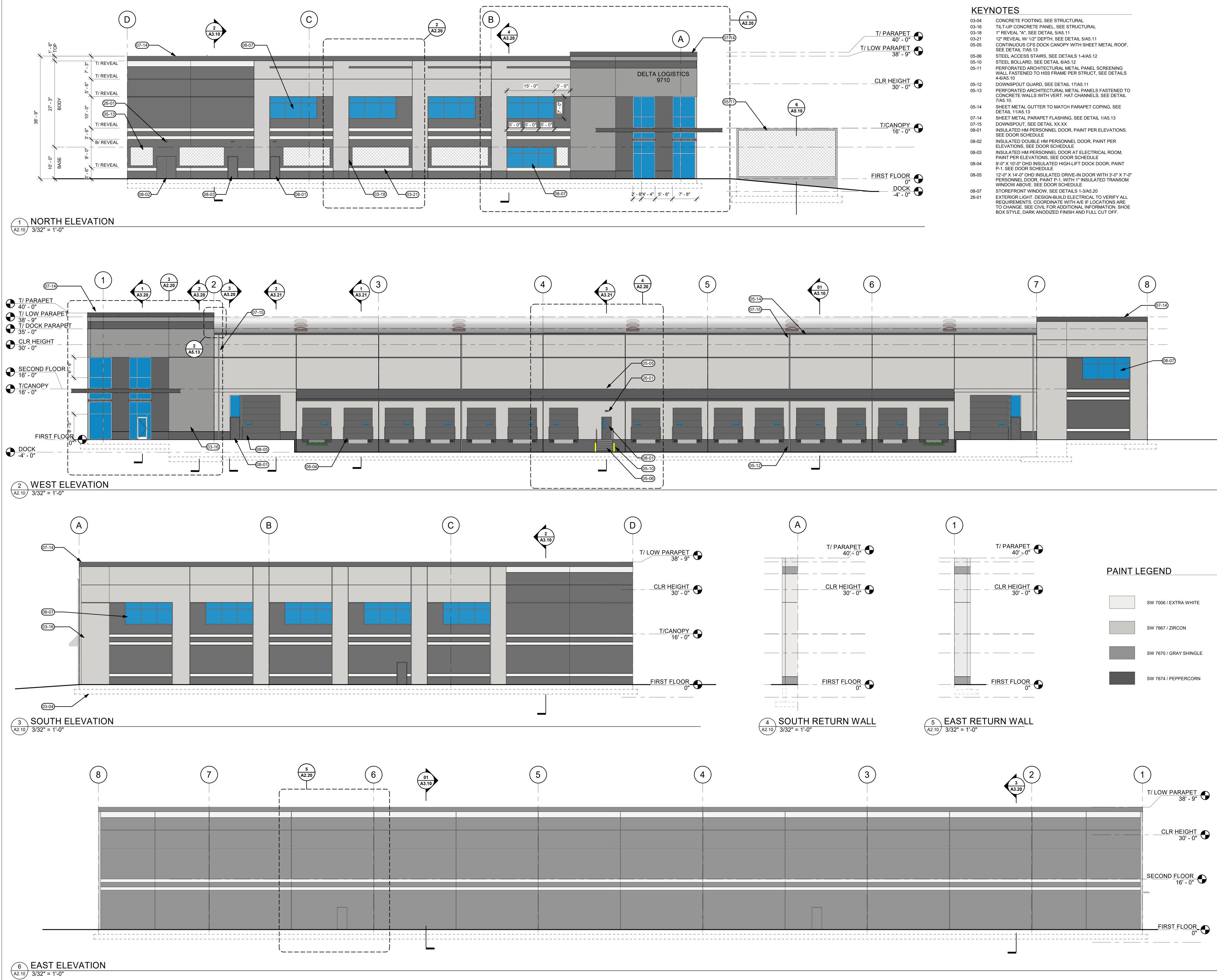
SHEET TITLE: OVERALL FLOOR & **ROOF PLANS** 

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BUILDING

**ELEVATIONS** 

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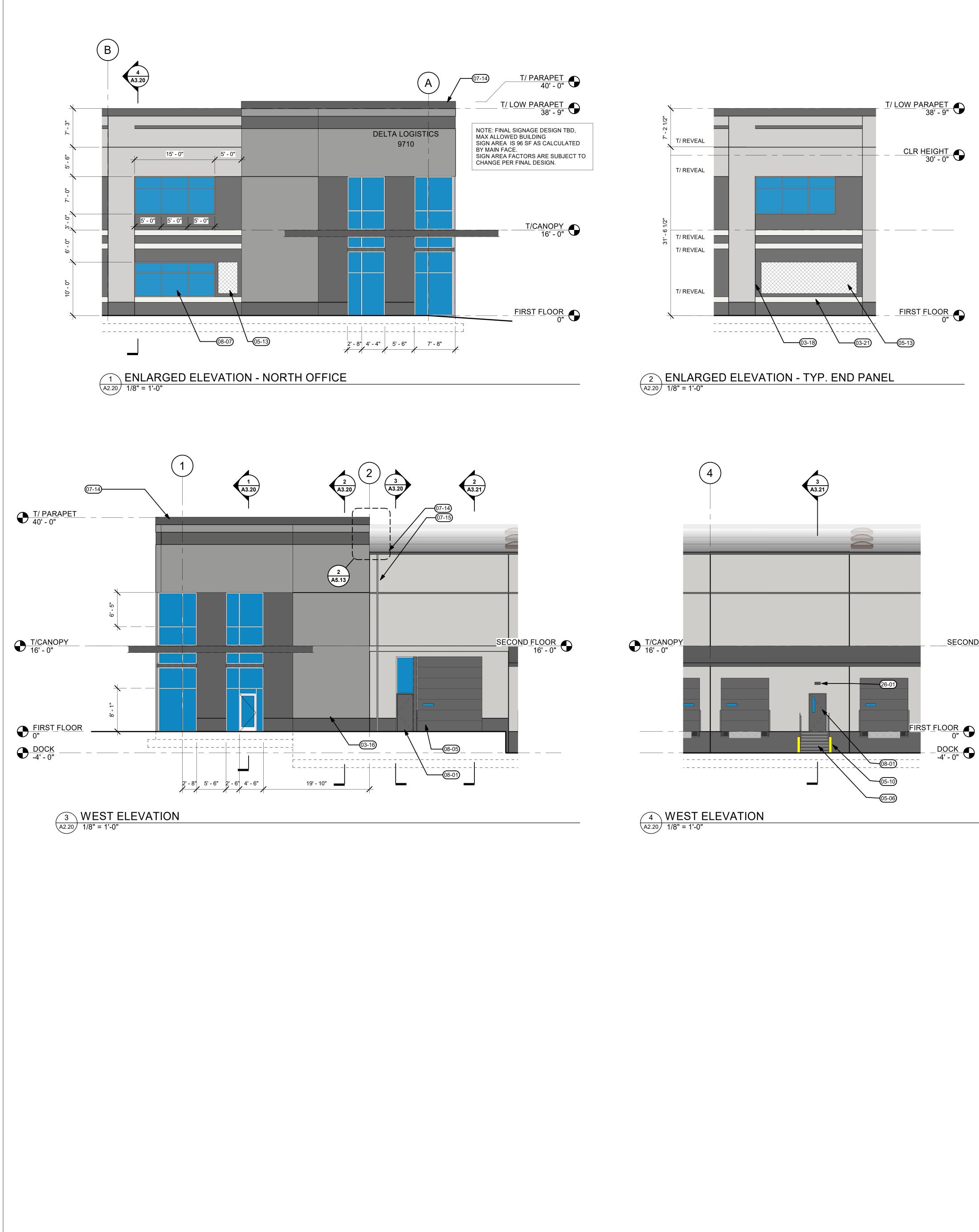
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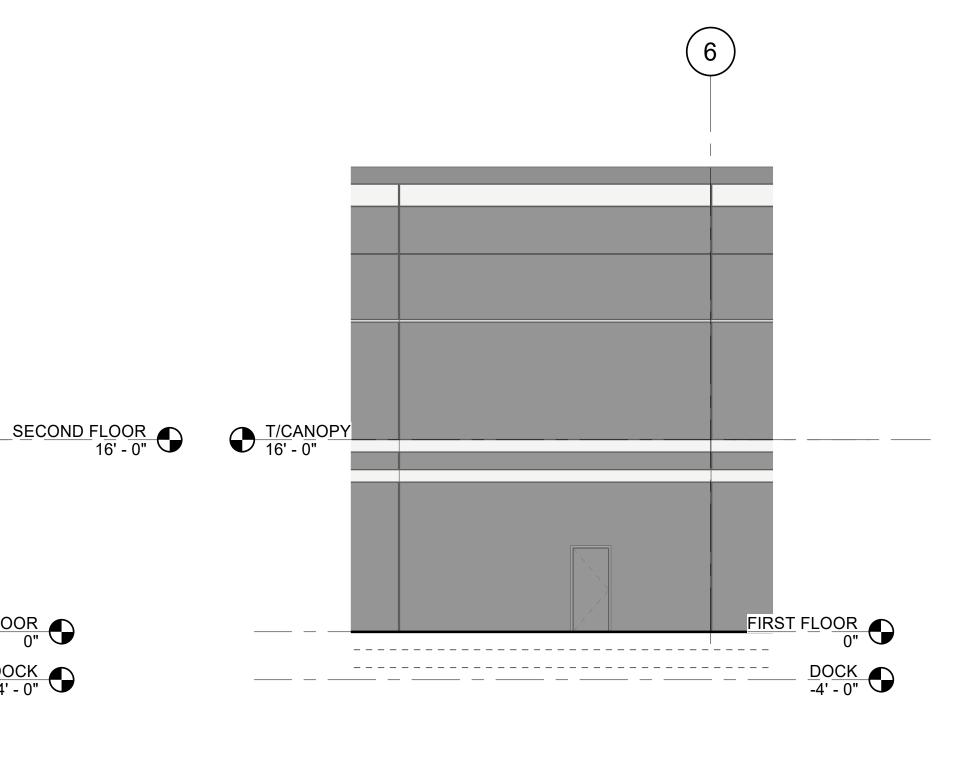


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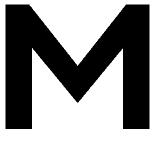
<u>KEY</u>	NOTES
03-16	TILT-UP CONCRETE PANEL, SEE STRUCTURAL
03-18	1" REVEAL "A", SEE DETAIL 5/A5.11
03-21	12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
05-06	STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12
05-10	STEEL BOLLARD, SEE DETAIL 6/A5.12
05-13	PERFORATED ARCHITECTURAL METAL PANELS FASTENED TO CONCRETE WALLS WITH VERT. HAT CHANNELS, SEE DETAIL 7/A5.10.
07-14	SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13

07-15 DOWNSPOUT, SEE DETAIL XX.XX INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS. 08-01 SEE DOOR SCHEDULE

- 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE. SEE DOOR SCHEDULE 08-05
- 08-07 STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20
- EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL 26-01 REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.



5 EAST ELEVATION A2.20 1/8" = 1'-0"



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SHEET TITLE: ENLARGED BUILDING ELEVATIONS

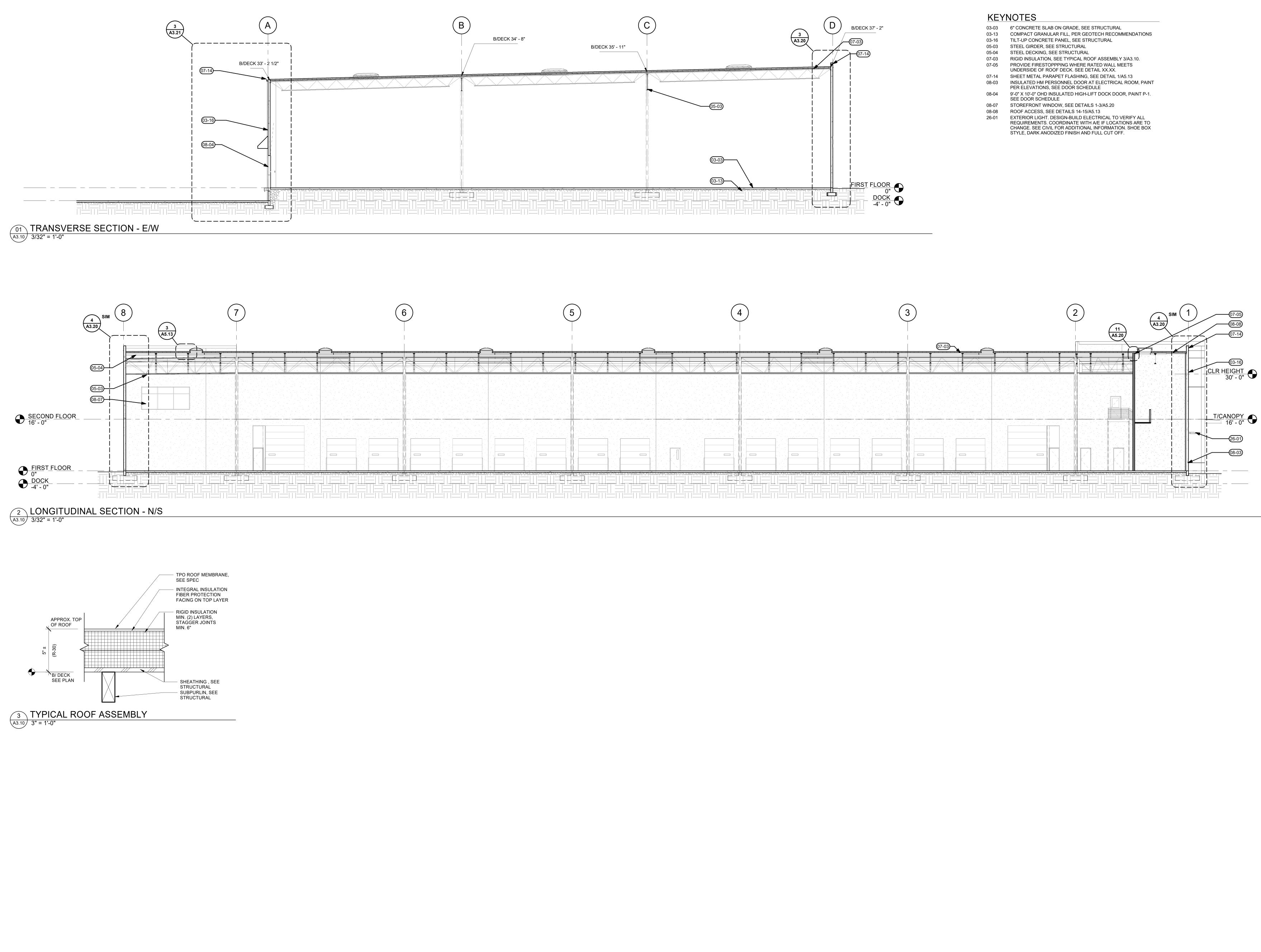
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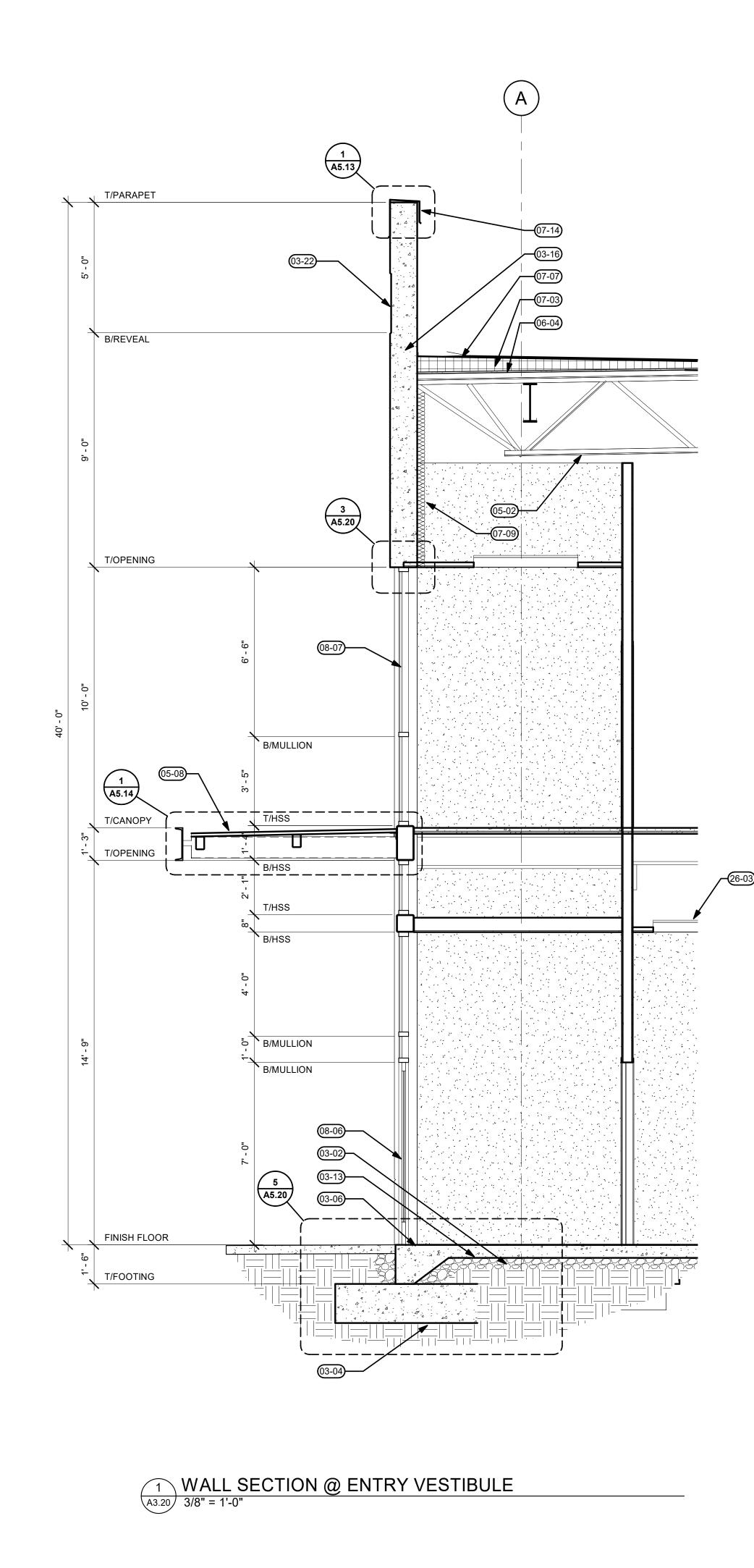
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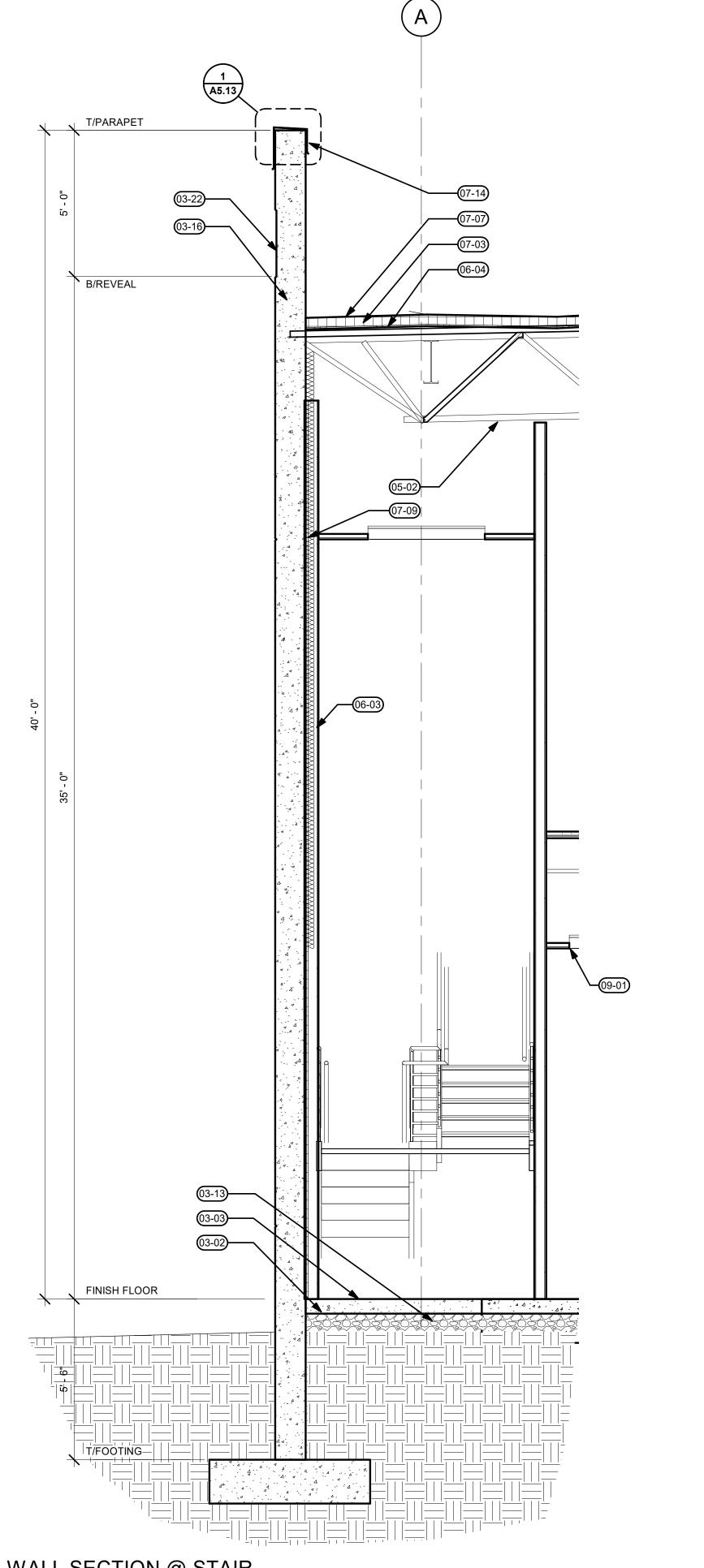
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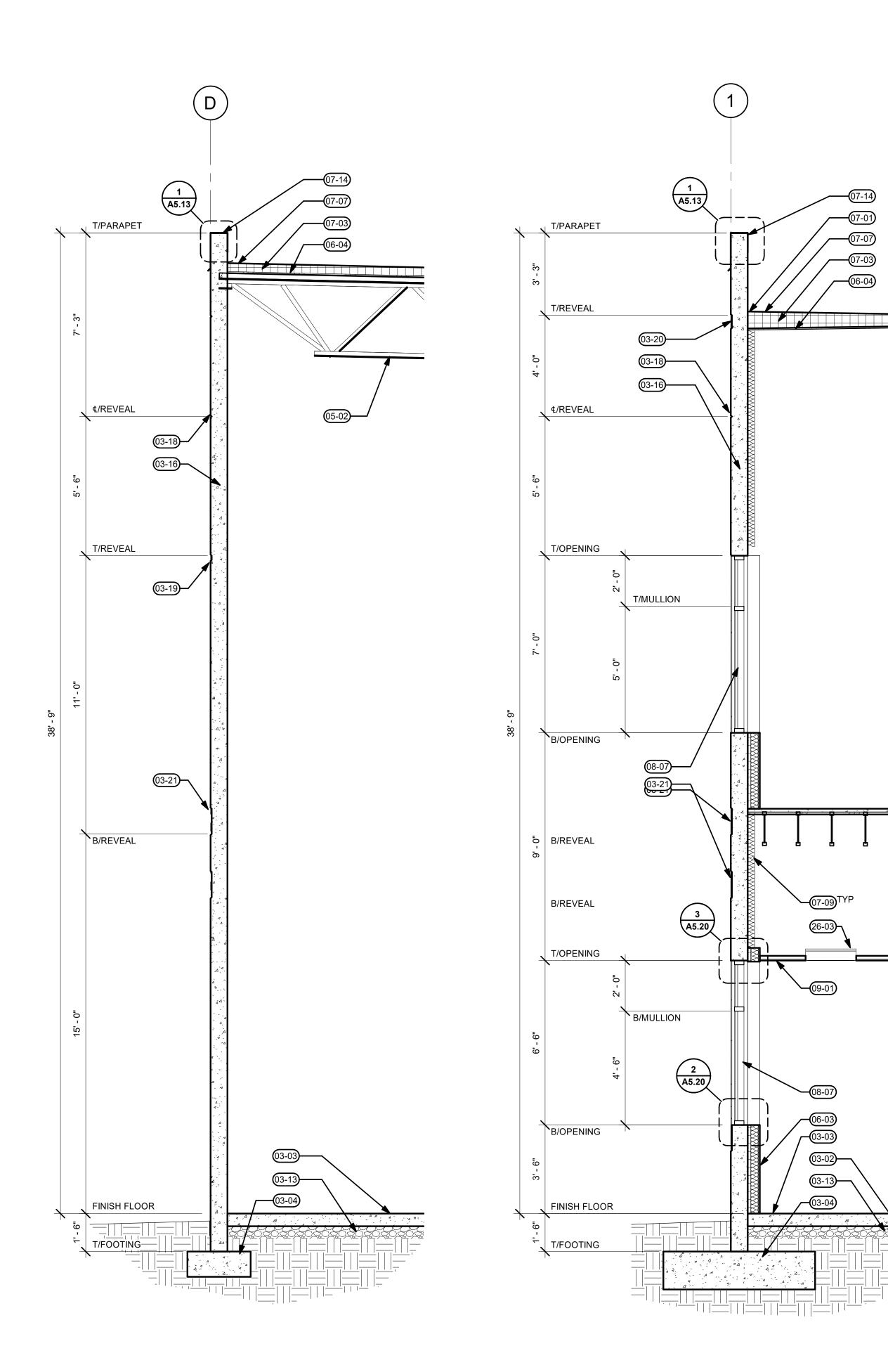


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2 WALL SECTION @ STAIR A3.20 3/8" = 1'-0"

### **GENERAL NOTES**

A. SEE ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATION B. SEE A1.10 FOR WALL TYPES

### **KEYNOTES**

- 03-02 UNDERSLAB VAPOR BARRIER, EXTENTS PER HATCHED AREA, SEE SPECIFICATIONS
- 03-03 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL
- 03-04 CONCRETE FOOTING, SEE STRUCTURAL CONCRETE THICKENED SLAB, SEE STRUCTURAL 03-06
- 03-13 COMPACT GRANULAR FILL, PER GEOTECH RECOMMENDATIONS
- 03-16 TILT-UP CONCRETE PANEL, SEE STRUCTURAL 03-18 1" REVEAL "A", SEE DETAIL 5/A5.11
- 03-19 2" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
- 03-20 6" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 03-21
- 03-22 2'-3" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11
- 05-02 STEEL JOIST FRAMING, SEE STRUCTURAL 05-08 STEEL FRAMED CANOPY, SEE DETAILS 9-10/A5.13
- 06-03 FURRED OUT EXTERIOR WALL AT OFFICE PER PLANS. SEE WALL TYPES, SHEET A1.10.
- WOOD ROOF DECK PER STRUCT. 06-04
- 07-01 CRICKET AS REQUIRED FOR MIN 1/4 PER FOOT SLOPE, SEE DETAIL 8/A5.13 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10. 07-03
- 07-07 ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10 STICK-PIN INSULATION AT EXTERIOR WALL, SEE WALL TYPES, SHEET A1.10 07-09
- 07-14 SHEET METAL PARAPET FLASHING, SEE DETAIL 1/A5.13 08-06 STOREFRONT ENTRY, SEE XX.XX ENLARGED PLANS
- STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20 08-07
- ACT CEILING PER PLANS. SEE DETAILS FOR SEISMIC REQUIREMENTS. 09-01 LIGHT FIXTURE PER PLAN. REFER TO SPECS AND DETAILS FOR SEISMIC 26-03 RESTRAINT REQUIREMENTS. FINAL DESIGN PER DESIGN/BUILD ELECTRICAL.

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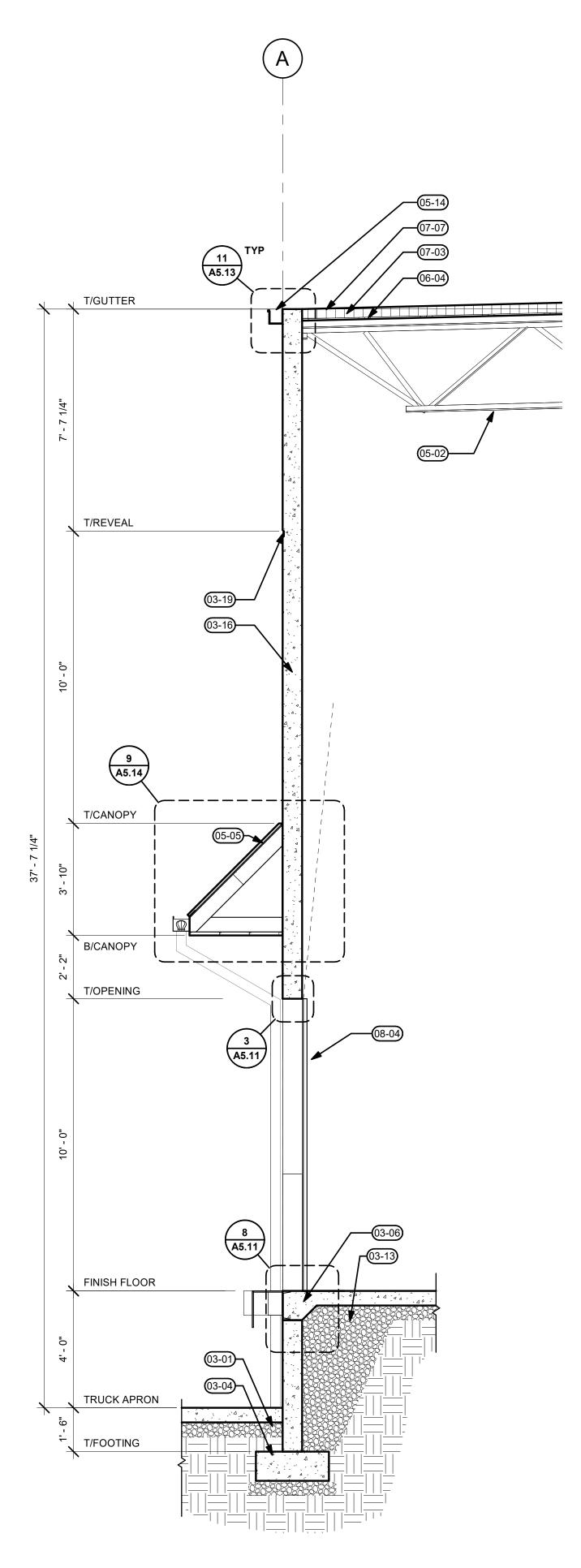
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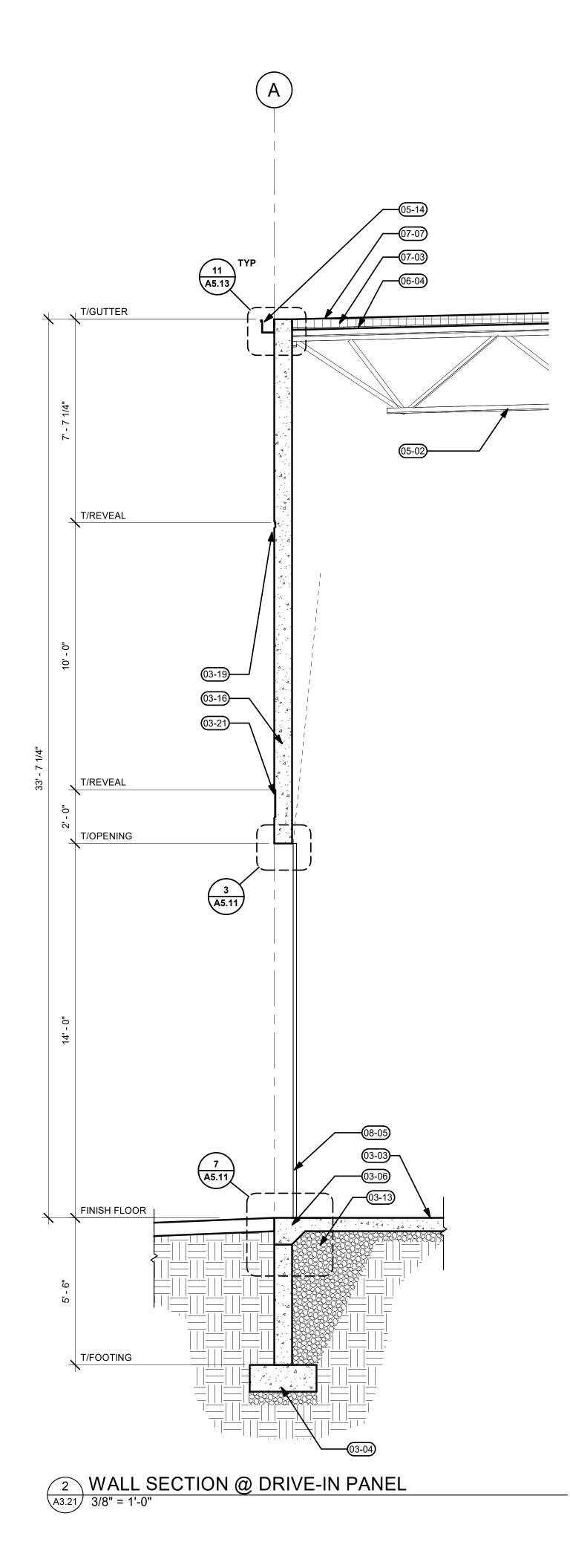


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1 WALL SECTION @ DOCK DOOR (A3.21) 3/8" = 1'-0"



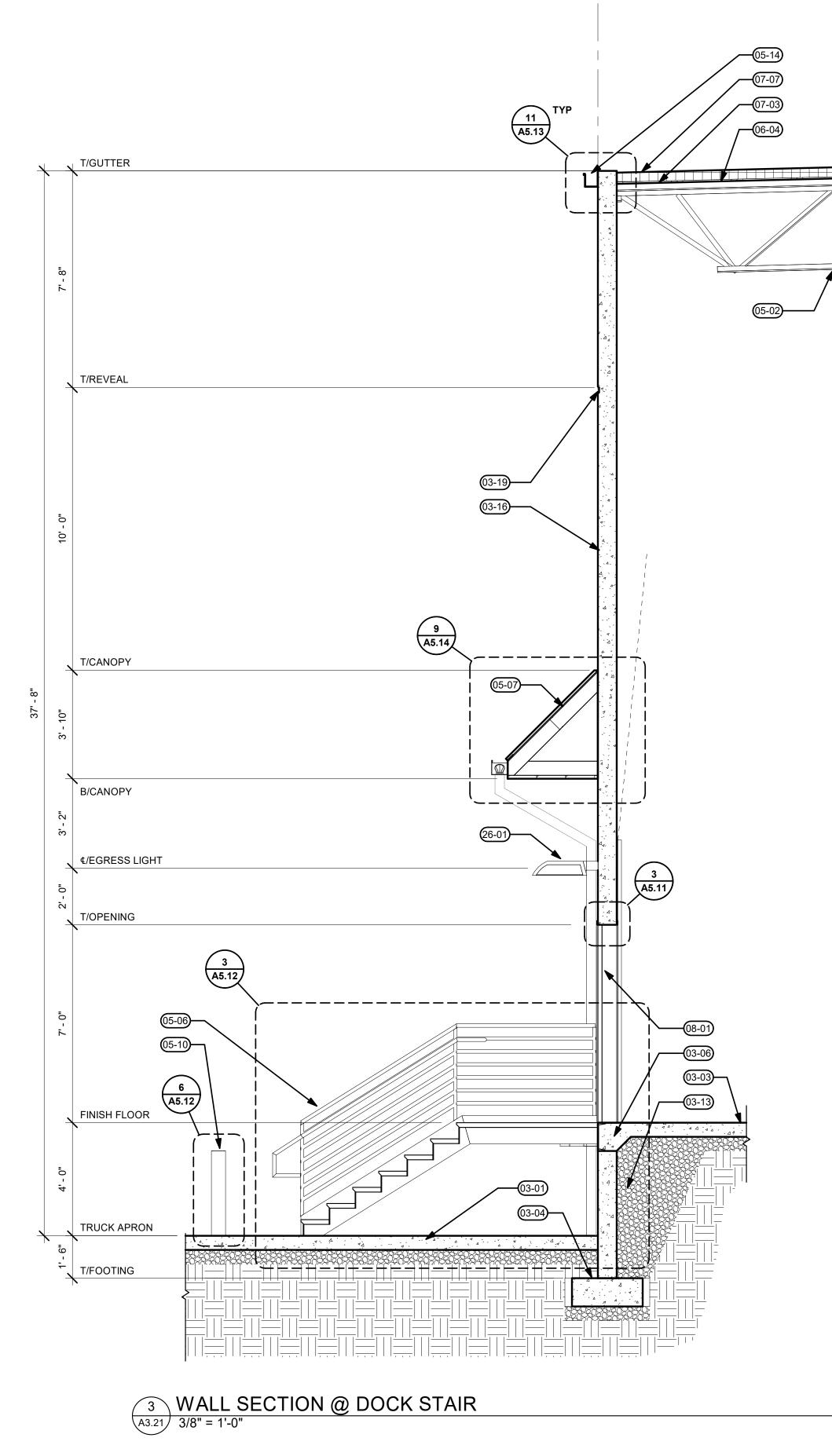
### **GENERAL NOTES**

A. SEE ARCHITECTURAL GENERAL NOTES ON A0.01 FOR ADDITIONAL INFORMATIONB. SEE A1.10 FOR WALL TYPES

### <u>KEYNOTES</u>

- 03-01 6" CONCRETE TRUCK APRON, SEE CIVIL
- 03-03 6" CONCRETE SLAB ON GRADE, SEE STRUCTURAL 03-04 CONCRETE FOOTING, SEE STRUCTURAL
- CONCRETE THICKENED SLAB, SEE STRUCTURAL 03-06
- COMPACT GRANULAR FILL, PER GEOTECH RECOMMENDATIONS 03-13 TILT-UP CONCRETE PANEL, SEE STRUCTURAL 03-16
- 03-19 2" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/A5.11 03-21
- 05-02 STEEL JOIST FRAMING, SEE STRUCTURAL 05-05 CONTINUOUS CFS DOCK CANOPY WITH SHEET METAL ROOF, SEE
- DETAIL 7/A5.13 05-06 STEEL ACCESS STAIRS, SEE DETAILS 1-4/A5.12
- 05-07 STEEL FRAMED DOCK CANOPY, SEE DETAIL 7/A5.13
- 05-10 STEEL BOLLARD, SEE DETAIL 6/A5.12 05-14 SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL 11/A5.13
- 06-04 WOOD ROOF DECK PER STRUCT. 07-03 RIGID INSULATION, SEE TYPICAL ROOF ASSEMBLY 3/A3.10.
- ROOF MEMBRANE, SEE TYPICAL ROOF ASSEMBLY 3/A3.10 07-07
- INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS. SEE 08-01 DOOR SCHEDULE
- 08-04 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1. SEE DOOR SCHEDULE 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" 08-05
- PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE. SEE DOOR SCHEDULE EXTERIOR LIGHT. DESIGN-BUILD ELECTRICAL TO VERIFY ALL 26-01
- REQUIREMENTS. COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE. SEE CIVIL FOR ADDITIONAL INFORMATION. SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.

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SECTIONS

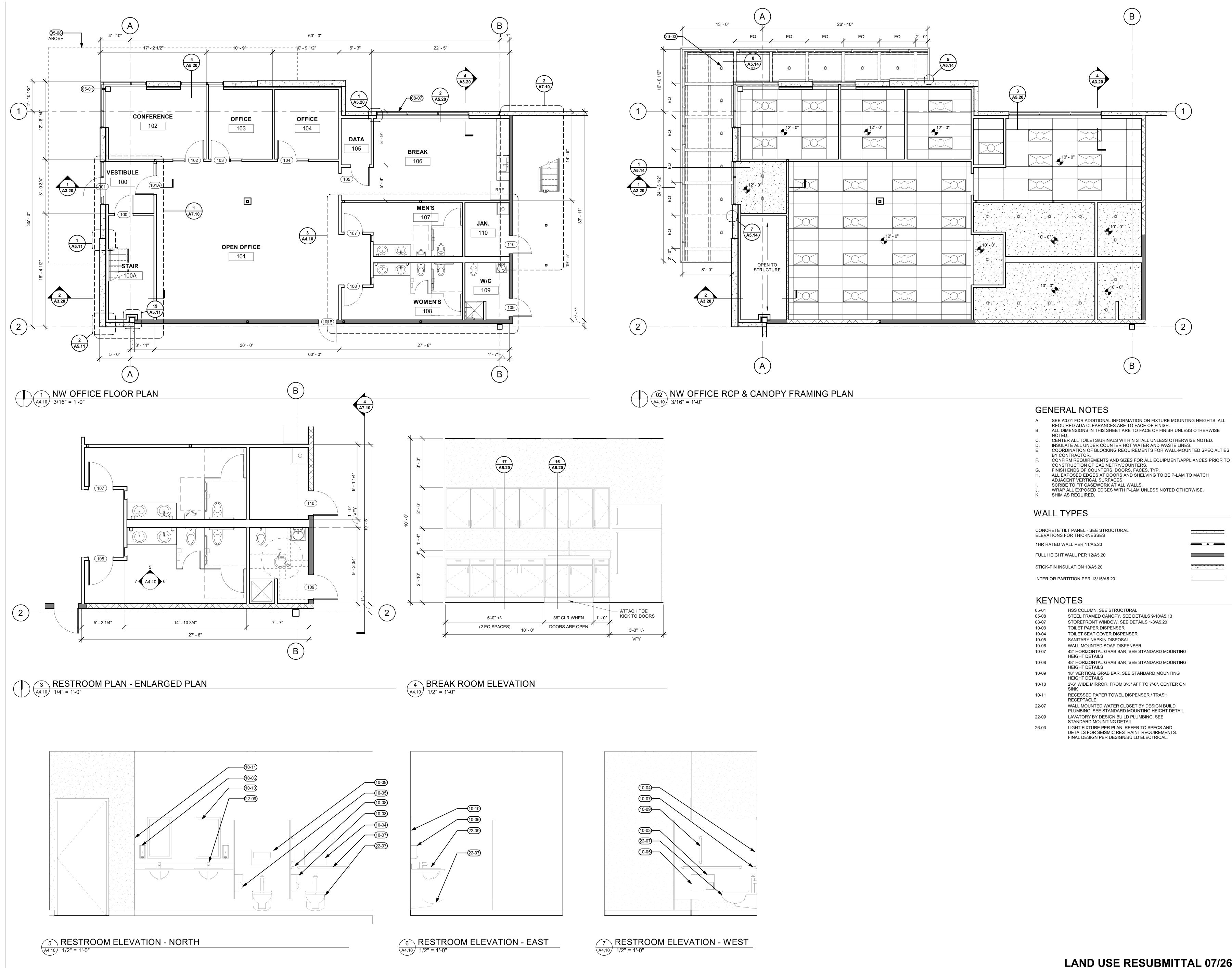
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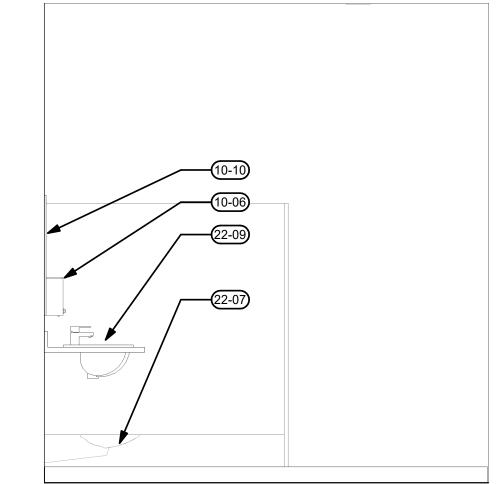
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05-01	HSS COLUMN, SEE STRUCTURAL
05-08	STEEL FRAMED CANOPY, SEE DETAILS 9-10/A5.13
08-07	STOREFRONT WINDOW, SEE DETAILS 1-3/A5.20
10-03	TOILET PAPER DISPENSER
10-04	TOILET SEAT COVER DISPENSER
10-05	SANITARY NAPKIN DISPOSAL
10-06	WALL MOUNTED SOAP DISPENSER
10-07	42" HORIZONTAL GRAB BAR, SEE STANDARD MOUNTING HEIGHT DETAILS
10-08	48" HORIZONTAL GRAB BAR, SEE STANDARD MOUNTING HEIGHT DETAILS
10-09	18" VERTICAL GRAB BAR, SEE STANDARD MOUNTING HEIGHT DETAILS
10-10	2'-6" WIDE MIRROR, FROM 3'-3" AFF TO 7'-0", CENTER ON SINK
10-11	RECESSED PAPER TOWEL DISPENSER / TRASH RECEPTACLE
22-07	WALL MOUNTED WATER CLOSET BY DESIGN BUILD PLUMBING. SEE STANDARD MOUNTING HEIGHT DETAIL
22-09	LAVATORY BY DESIGN BUILD PLUMBING. SEE STANDARD MOUNTING DETAIL
26-03	LIGHT FIXTURE PER PLAN. REFER TO SPECS AND DETAILS FOR SEISMIC RESTRAINT REQUIREMENTS.



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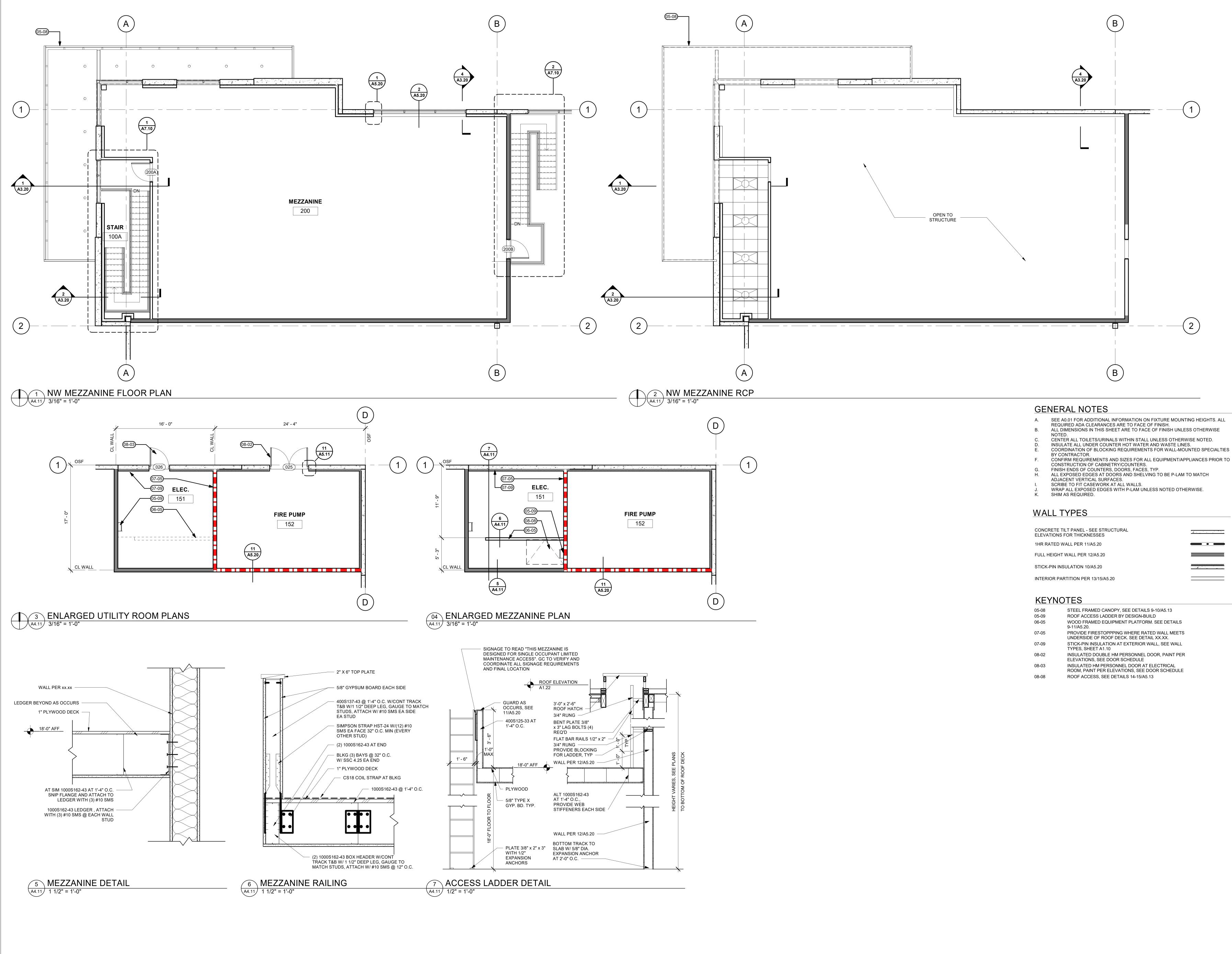
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05-08	STEEL FRAMED CANOPY, SEE DETAILS 9-10/A5.13
05-09	ROOF ACCESS LADDER BY DESIGN-BUILD
06-05	WOOD FRAMED EQUIPMENT PLATFORM. SEE DETAILS 9-11/A5.20.
07-05	PROVIDE FIRESTOPPPING WHERE RATED WALL MEETS UNDERSIDE OF ROOF DECK. SEE DETAIL XX.XX.
07-09	STICK-PIN INSULATION AT EXTERIOR WALL, SEE WALL TYPES, SHEET A1.10
08-02	INSULATED DOUBLE HM PERSONNEL DOOR, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
08-03	INSULATED HM PERSONNEL DOOR AT ELECTRICAL ROOM, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
08-08	ROOF ACCESS, SEE DETAILS 14-15/A5.13



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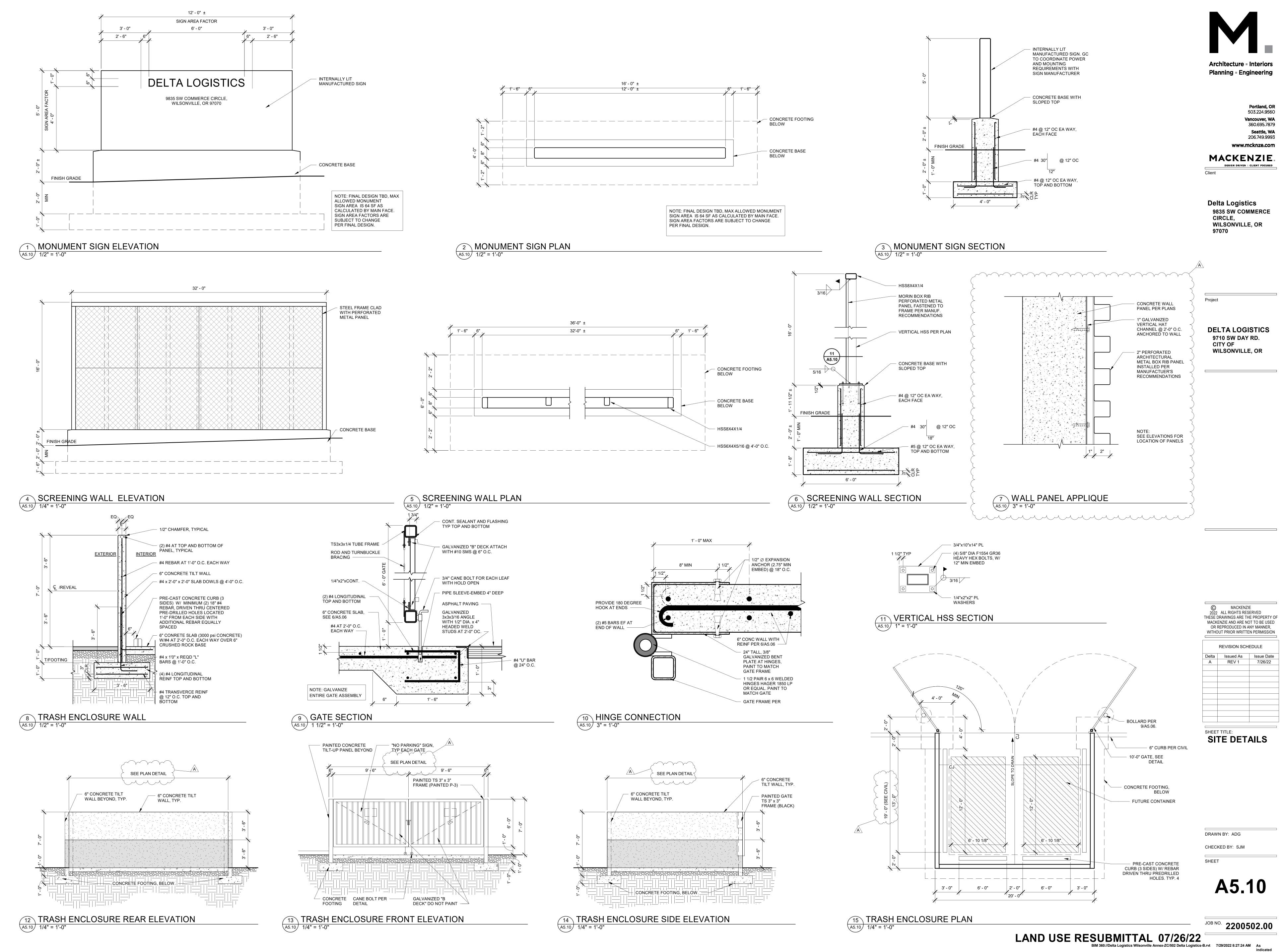
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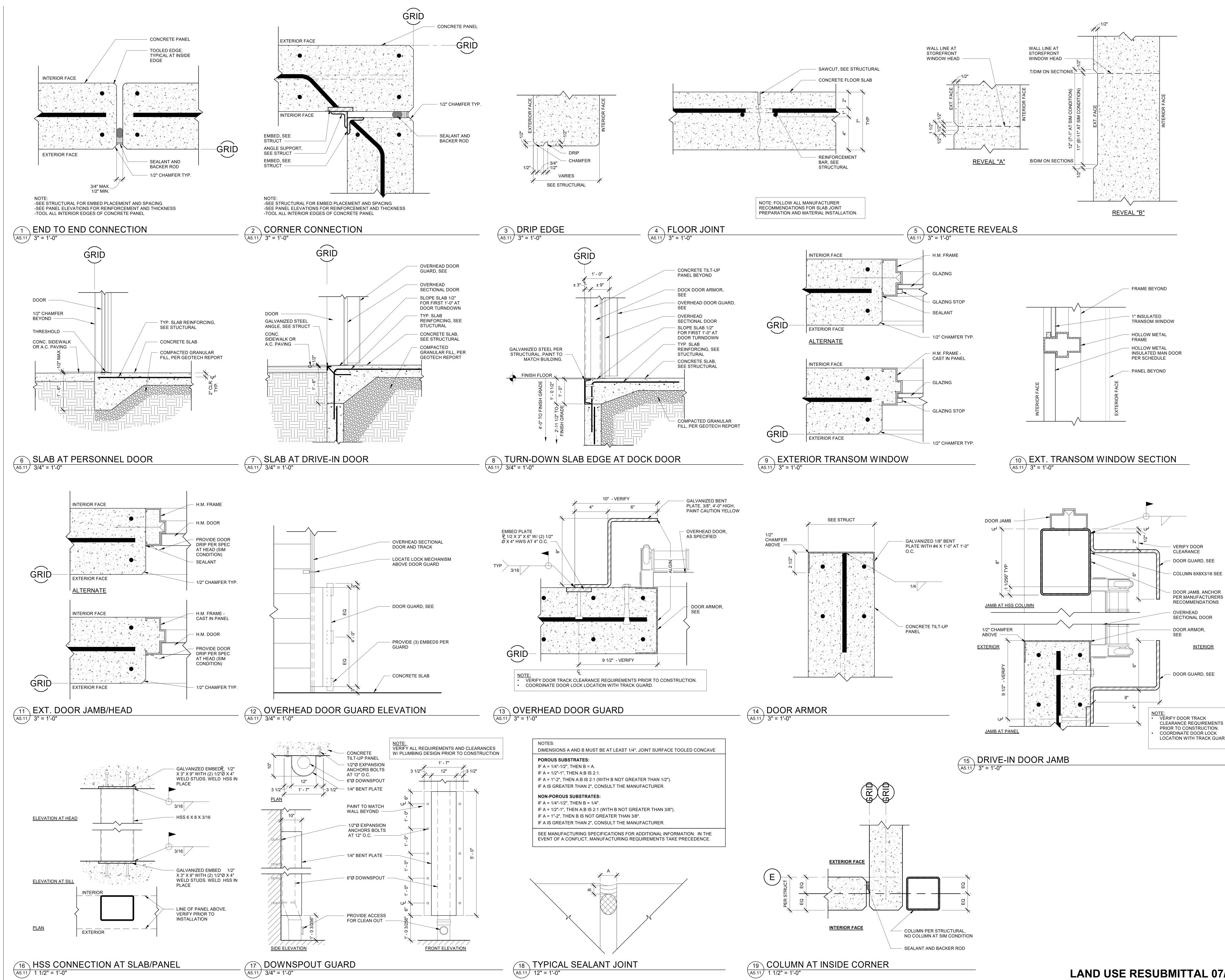
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DOOR GUARD, SEE

- DOOR JAMB, ANCHOR PER MANUFACTURERS RECOMMENDATIONS OVERHEAD

**INTERIOR** 

- DOOR GUARD, SEE

LOCATION WITH TRACK GUARD.



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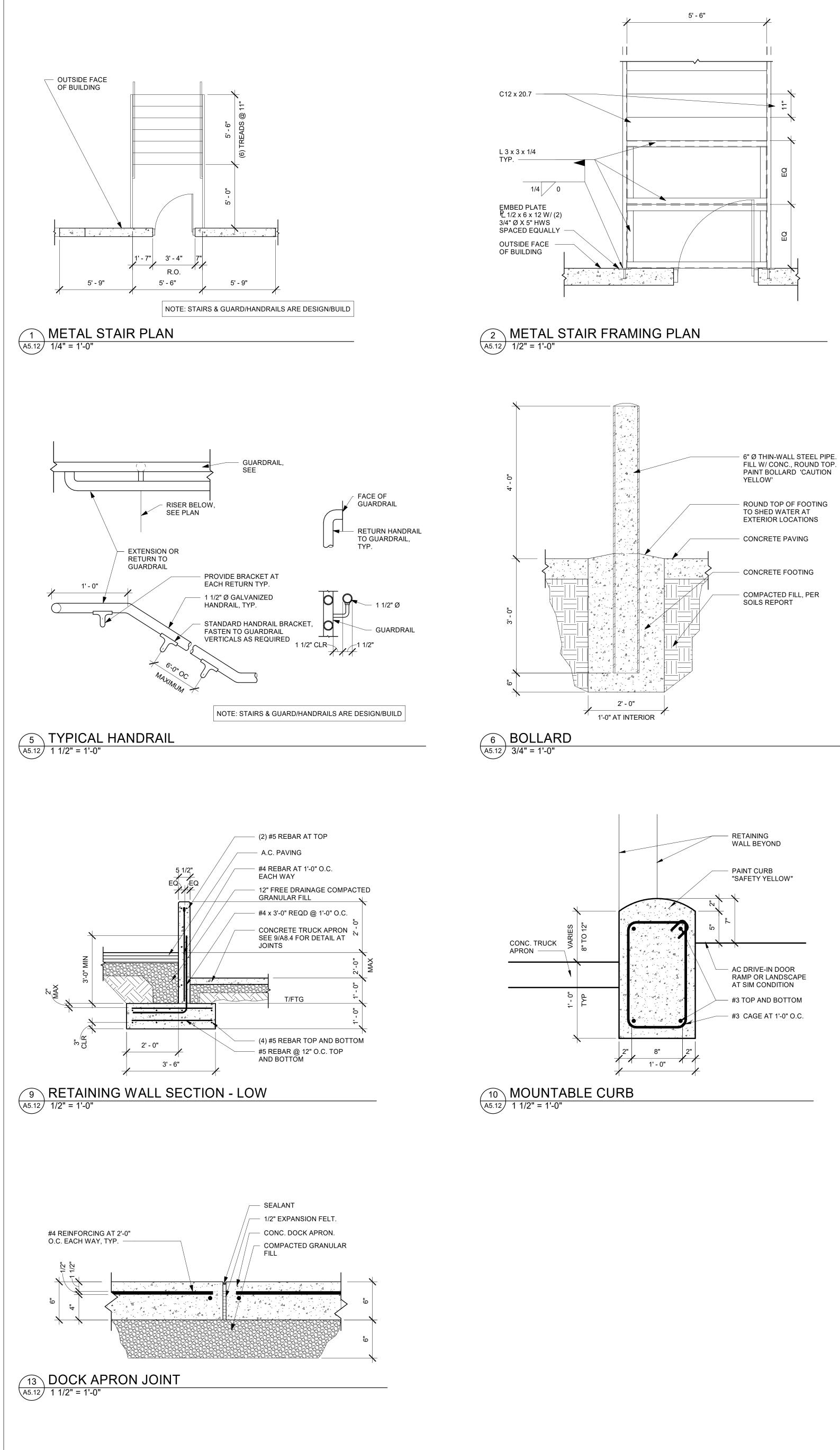
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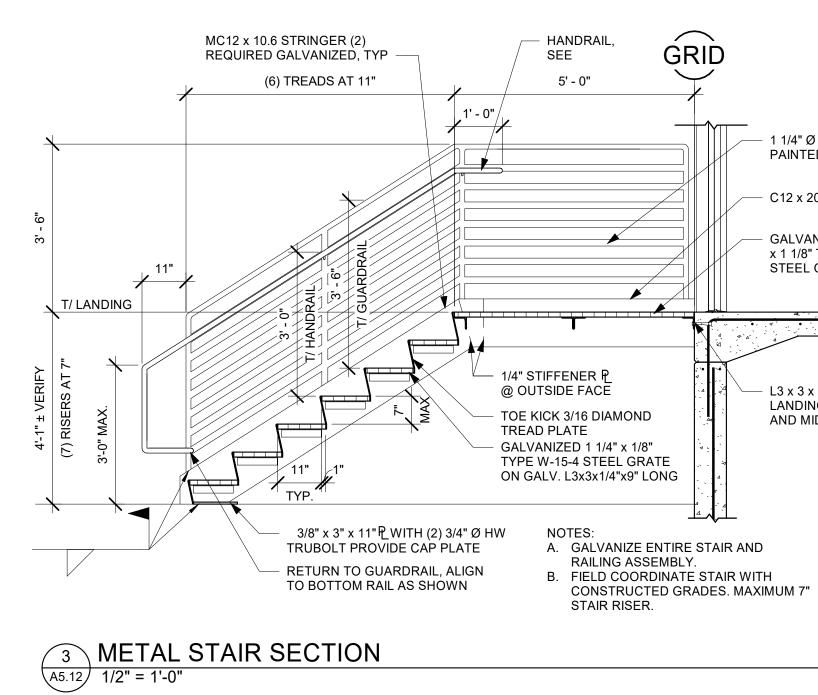
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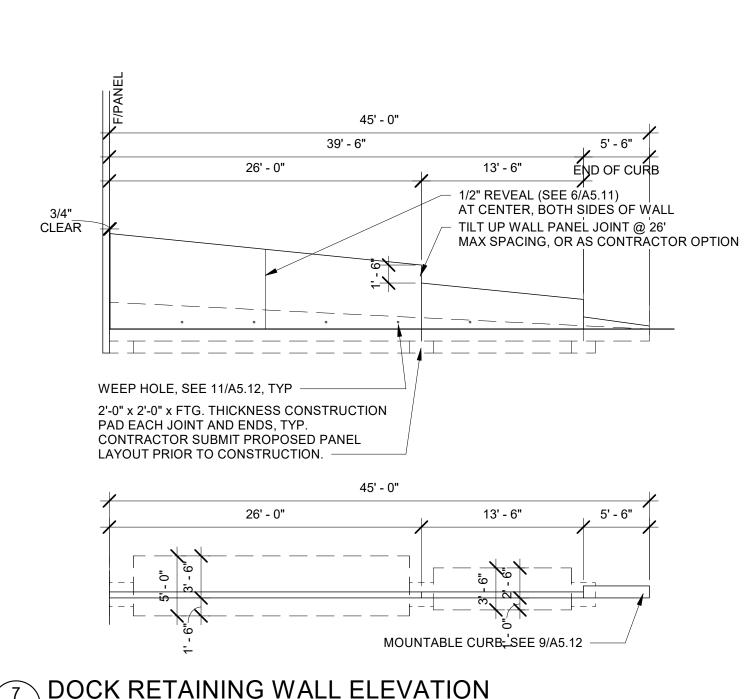
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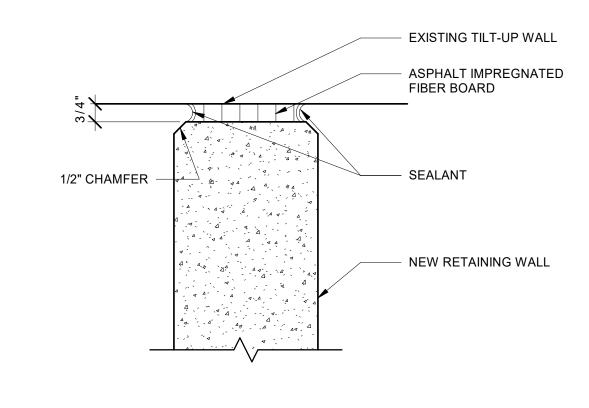




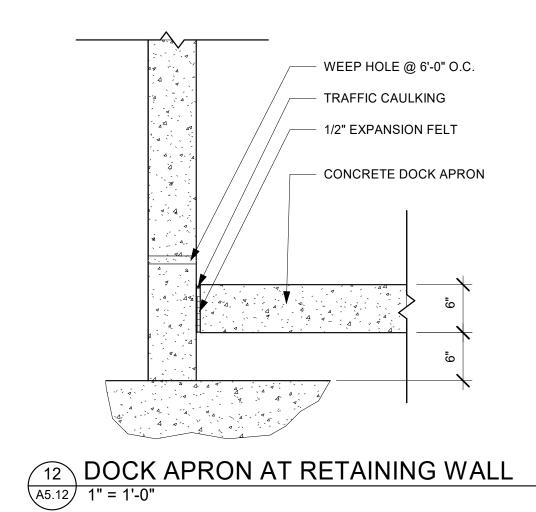


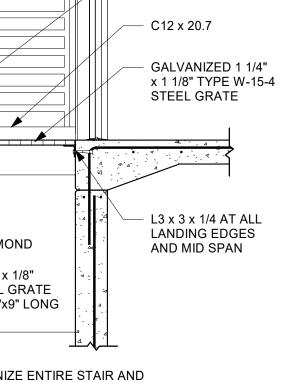


7 DOCK RETAINING WALL ELEVATION A5.12 1/8" = 1'-0"



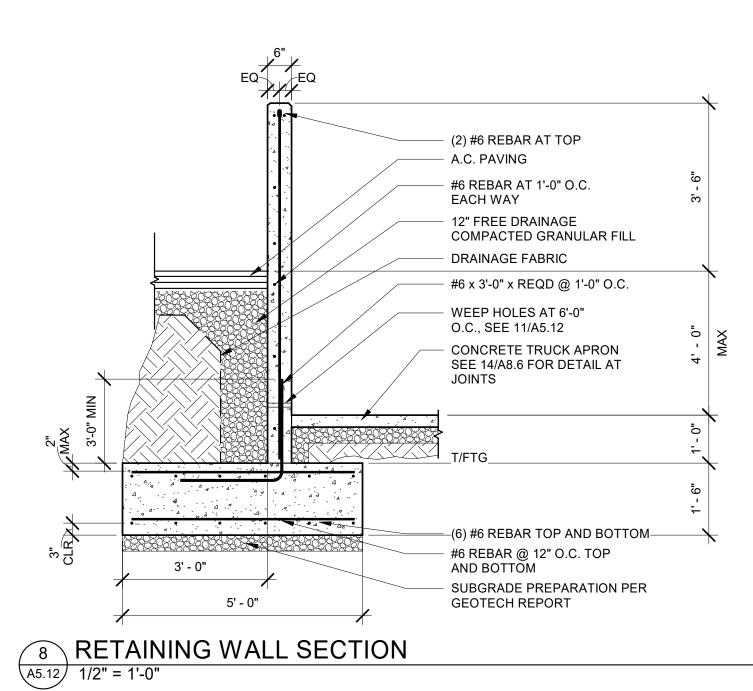
11 RETAINING WALL JOINT A5.12 3" = 1'-0"



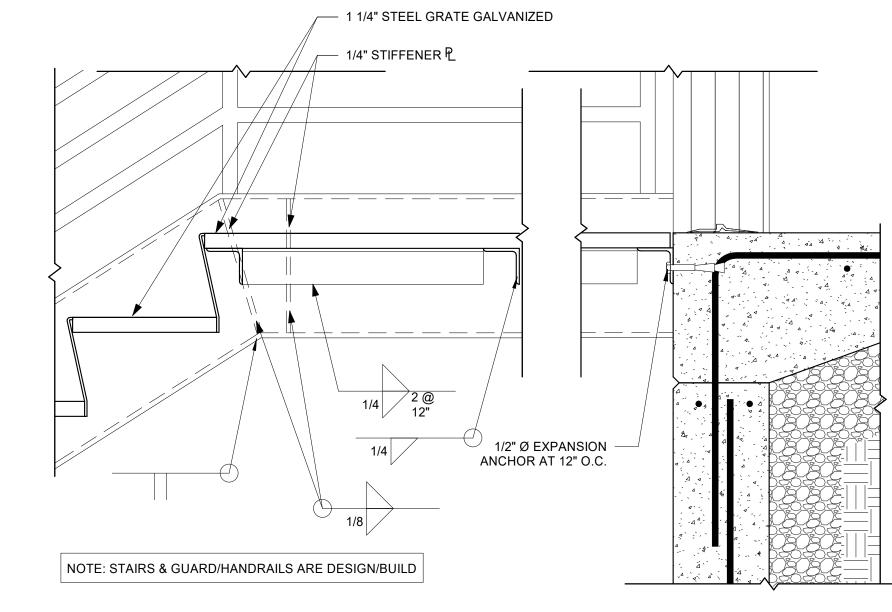


1 1/4" Ø STD. PIPE, PAINTED, TYPICAL

*G***RID** 



# 4 STAIR LANDING SECTION A5.12 1 1/2" = 1'-0"





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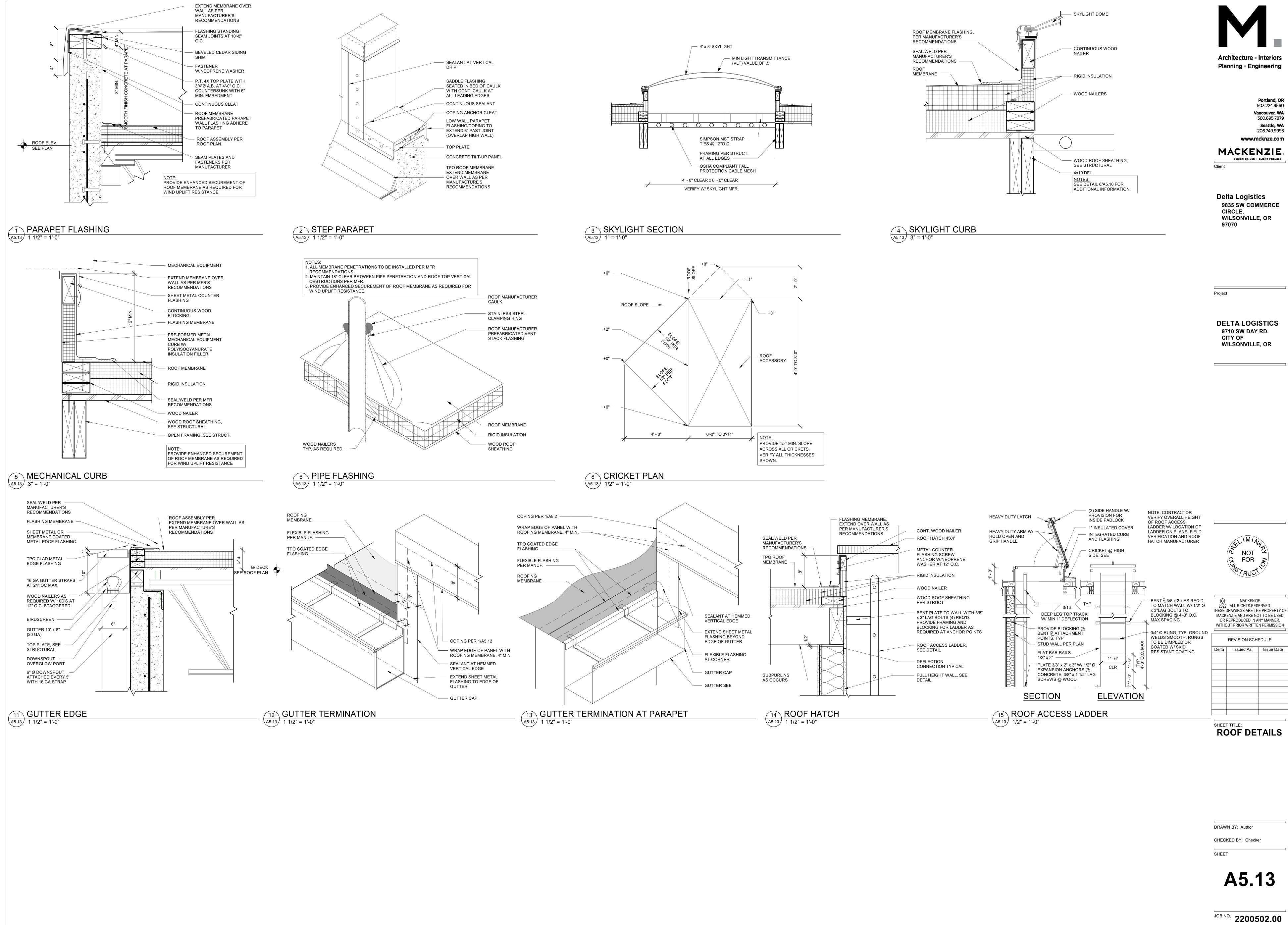
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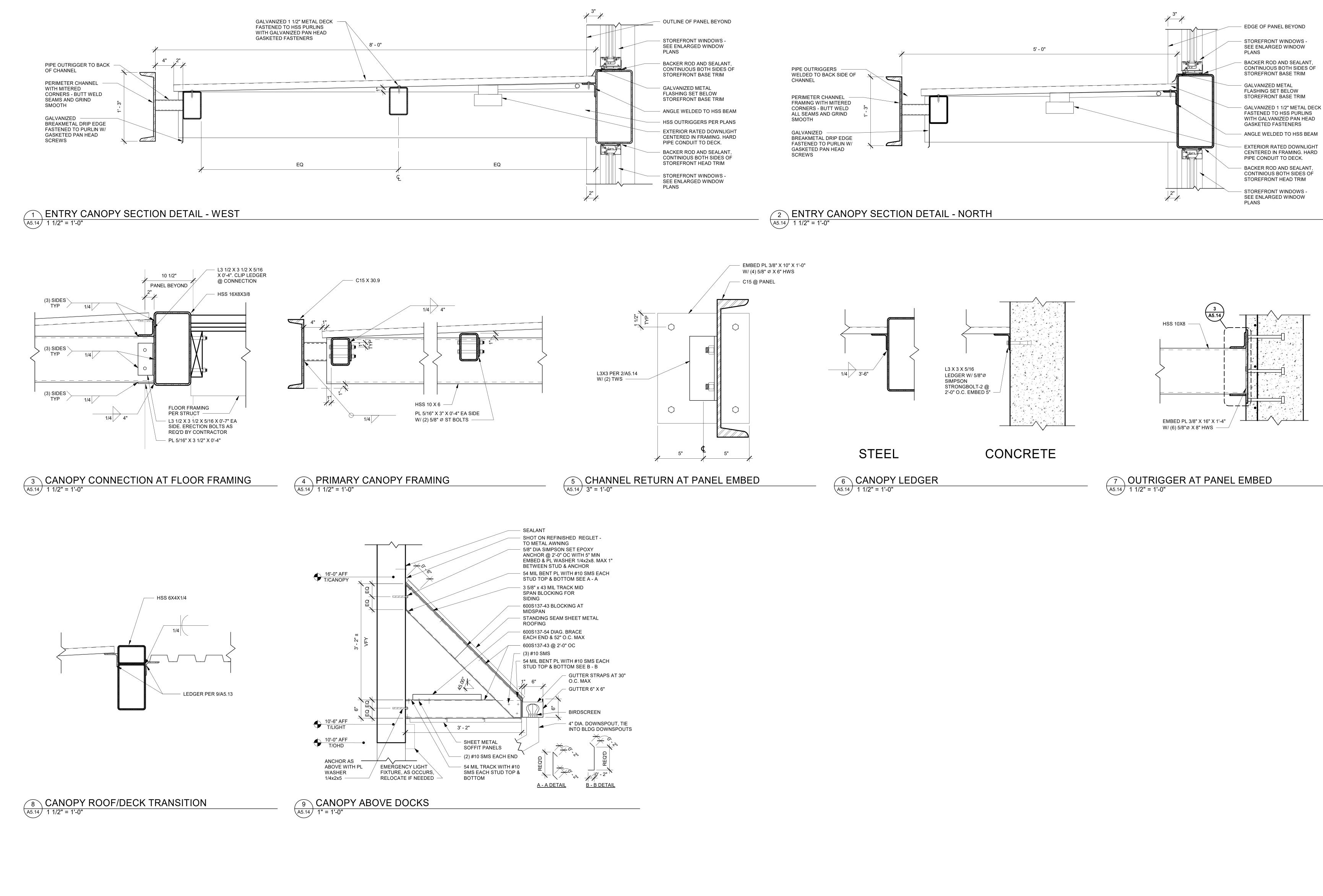


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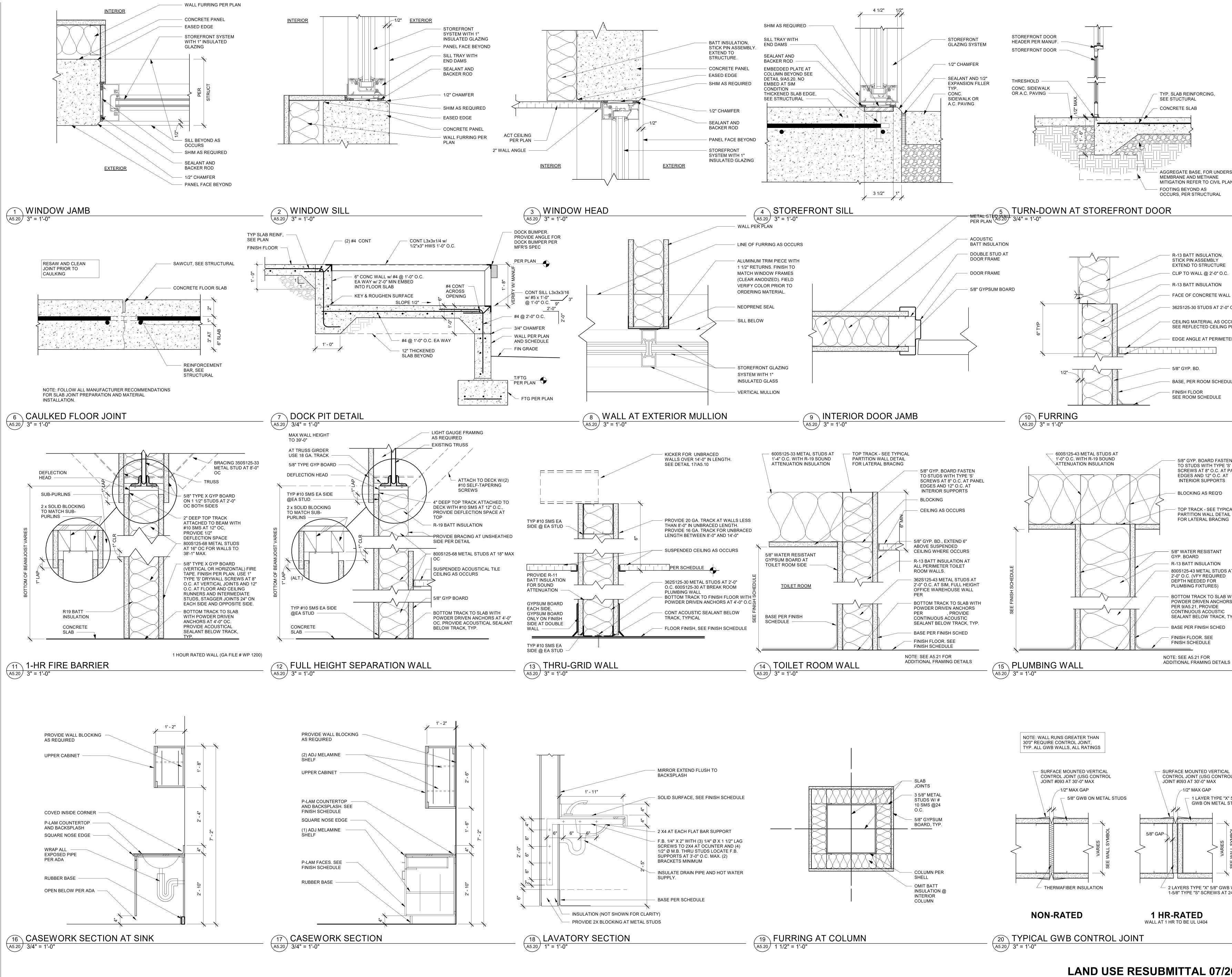


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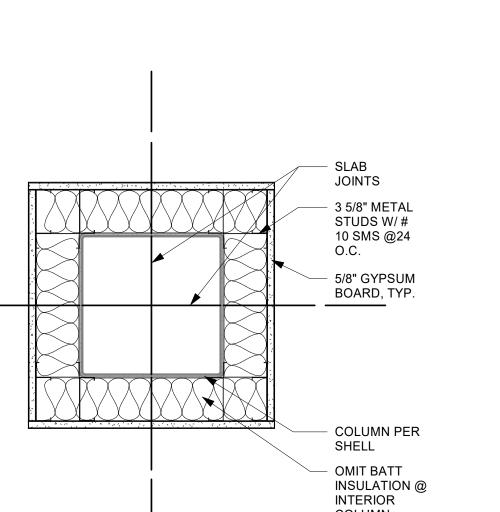


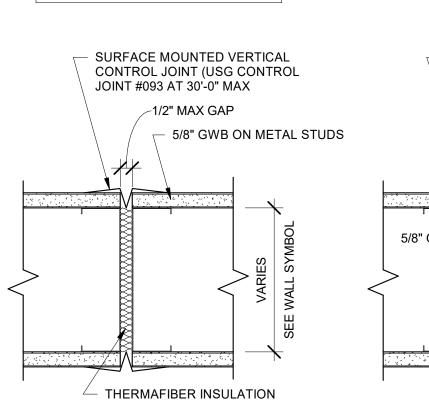


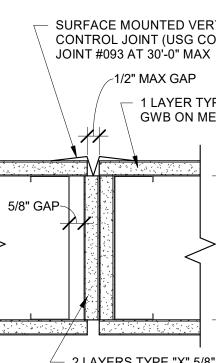
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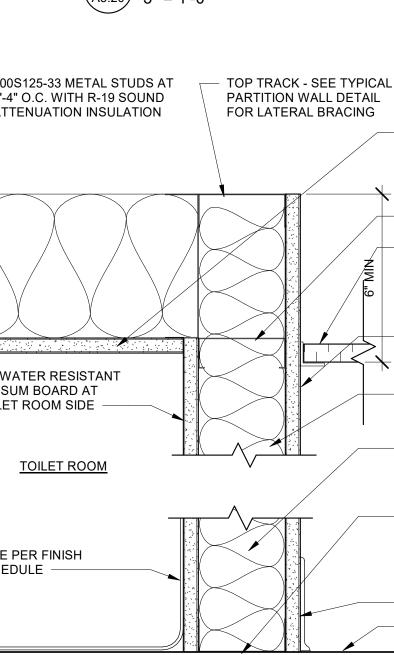


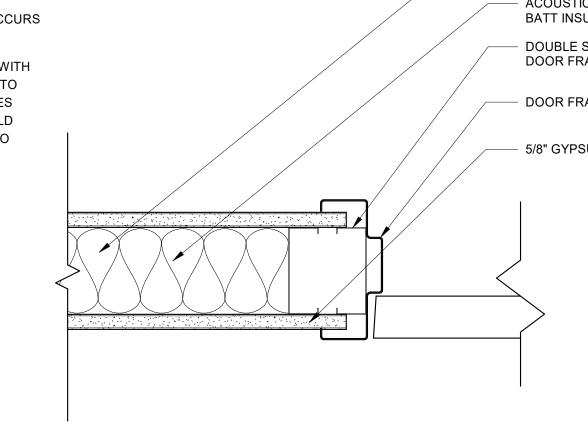


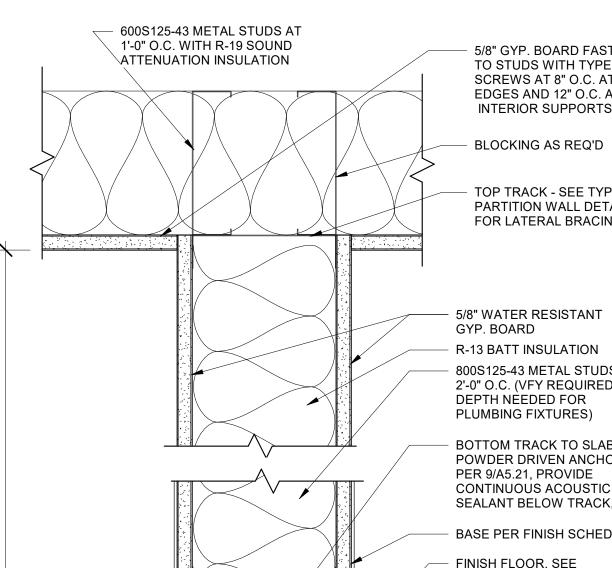


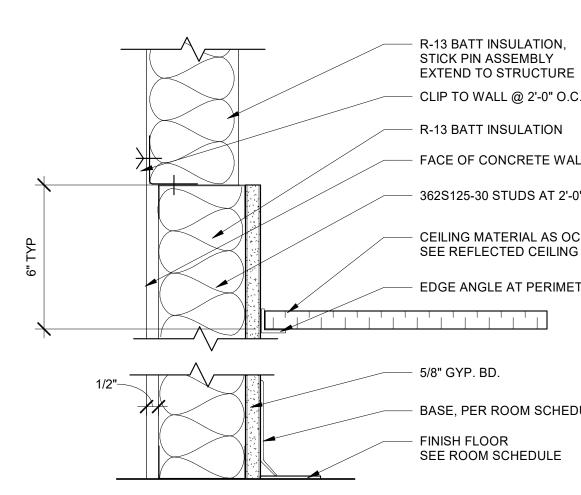














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AGGREGATE BASE, FOR UNDERSLAB MEMBRANE AND METHANE MITIGATION REFER TO CIVIL PLANS

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R-13 BATT INSULATION, STICK PIN ASSEMBLY EXTEND TO STRUCTURE

- R-13 BATT INSULATION FACE OF CONCRETE WALL - 362S125-30 STUDS AT 2'-0" O.C.

- CEILING MATERIAL AS OCCURS. SEE REFLECTED CEILING PLAN.

EDGE ANGLE AT PERIMETER

BASE, PER ROOM SCHEDULE

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5/8" GYP. BOARD FASTEN TO STUDS WITH TYPE 'S' SCREWS AT 8" O.C. AT PANEL EDGES AND 12" O.C. AT INTERIOR SUPPORTS

**TOP TRACK - SEE TYPICAL** PARTITION WALL DETAIL FOR LATERAL BRACING

5/8" WATER RESISTANT R-13 BATT INSULATION 800S125-43 METAL STUDS AT 2'-0" O.C. (VFY REQUIRED DEPTH NEEDED FOR

BOTTOM TRACK TO SLAB WITH POWDER DRIVEN ANCHORS PER 9/A5.21, PROVIDE CONTINUOUS ACOUSTIC SEALANT BELOW TRACK, TYP. BASE PER FINISH SCHED

FINISH SCHEDULE

- SURFACE MOUNTED VERTICAL CONTROL JOINT (USG CONTROL

√1/2" MAX GAP - 1 LAYER TYPE "X" 5/8" GWB ON METAL STUDS

- 2 LAYERS TYPE "X" 5/8" GWB WITH 1-5/8" TYPE "S" SCREWS AT 24" OC





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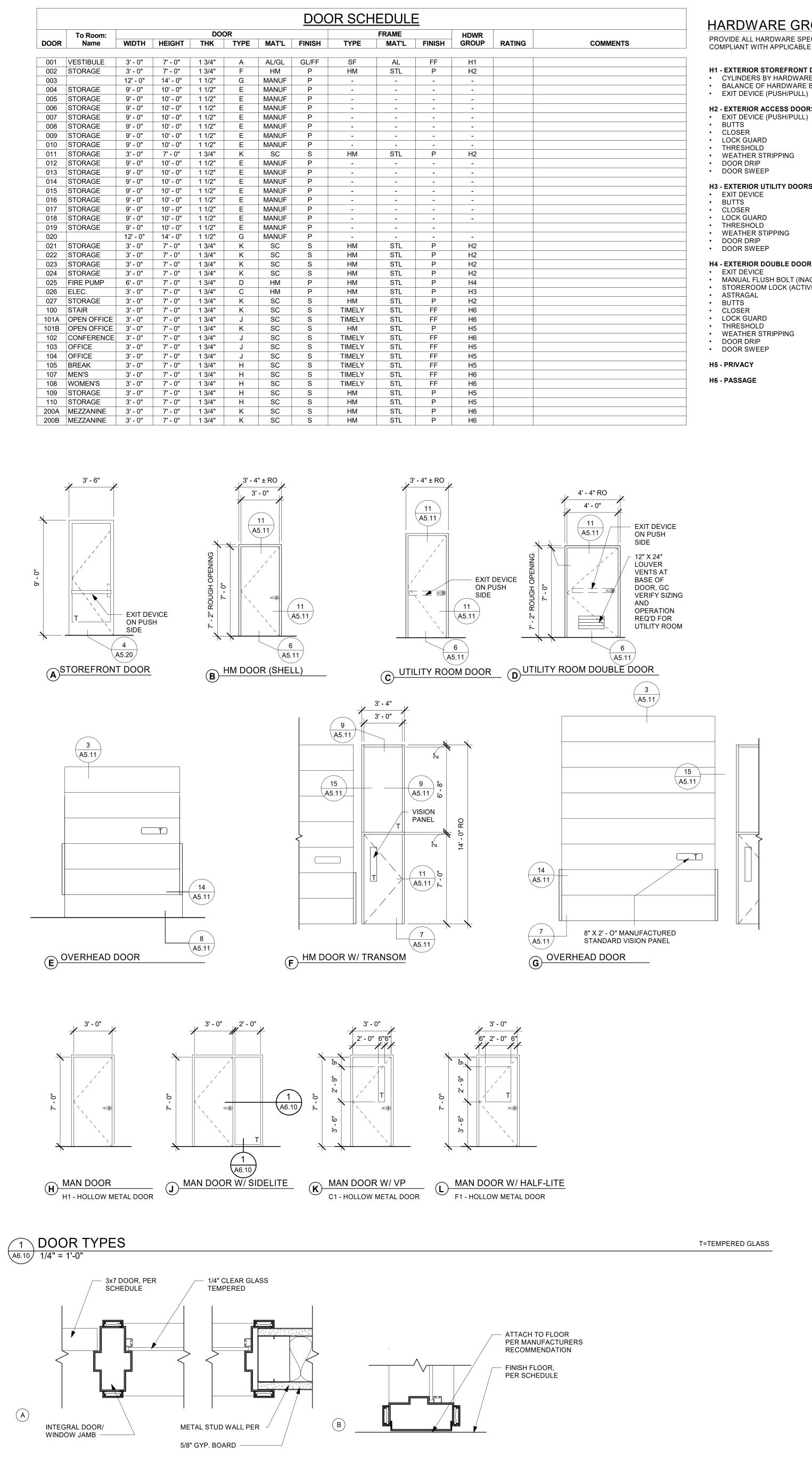
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2 RELITE DETAIL A6.10 3" = 1'-0"

COMMENTS
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### HARDWARE GROUPS

PROVIDE ALL HARDWARE SPECIFICED/REQUIRED TO MAKE DOORS FULLY FUNCTIONAL. COMPLIANT WITH APPLICABLE CODES, AND SECURE TO THE EXTENT SPECIFICED.

### H1 - EXTERIOR STOREFRONT DOOR CYLINDERS BY HARDWARE SUPPLIER

• BALANCE OF HARDWARE BY STOREFRONT SUPPLIER, SEE SPECIFICATIONS. EXIT DEVICE (PUSH/PULL)

- H2 EXTERIOR ACCESS DOORS
- BUTTS CLOSER
- THRESHOLD
- DOOR DRIP DOOR SWEEP
- H3 EXTERIOR UTILITY DOORS EXIT DEVICE
- CLOSER
- THRESHOLD WEATHER STIPPING
- DOOR DRIP DOOR SWEEP
- H4 EXTERIOR DOUBLE DOOR (FIRE PUMP ROOM)
- MANUAL FLUSH BOLT (INACTIVE LEAF) STOREROOM LOCK (ACTIVE LEAF)
- LOCK GUARD
- WEATHER STRIPPING
- DOOR SWEEP

**ROOM NO** VESTIBULE STAIR OFFICE OFFICE DATA BREAK MEN'S WOMEN'S W/C JAN. STORAGE ELEC. FIRE PUMP

### **SECTION 033500 - CONCRETE FINISHES** 1. SEALED CONCRETE SECTION 06400 -WOOD AND PLASTICS 1. PLASTICS COUNTERTOPS: PL-1 TBD VERTICAL FACES: PL-2 TBD SOLID SURFACE COUNTERTOPS: SS-1 TBD SECTION 09650 - RESILIENT FLOORING SHEET VINYL FLOORING SV-1 TBD 2. LUXURY VINYL TILE LVT-1 TBD

RUBBER BASE RB-1 TBD FIBER REINFORCED PANELS WAINSCOT: TBD 3. WOOD DOORS WD-1 SPECIES: TBD, FINISH: TBD

### FINISH SCHEDULE FLOOR MAT'LBASE MAT'LN. WALL MAT'LFINISHFINISHFINISH S. WALL MAT'L FINISH W. WALL MAT'L FINISH CEILING MAT'L FINISH ROOM NAME E. WALL MAT'L FINISH CPT-1 GYP BD RB-CPT-2 ACT-1 RB-CPT-2 ACT-1 OPEN OFFICE RB-CPT-2 ACT-1 CONFERENCE RB-1 CPT-2 ACT-1 RB-CPT-2 ACT-1 RB-LVT-1 ACT-1 RB-LVT-1 ACT-1 RB-GYP BD SV-1 SV-SV-1 SV-1 GYP BD GYP BD SV-1 SV-1 GYP BD RB-OTS OTS OTS MEZZANINE TBD OTS TΒΓ

### **INTERIOR FINISH SCHEDULE**

SC ASHFORD FORMULA, SEE SPECIFICATIONS

# INTERIOR PAINT

NOTE: PROVIDE COVED BASE AT ALL RESILIENT FLOORING AREAS, STRAIGHT

BASE AT ALL CUT-PILE CARPET AND CONCRETE AREAS. 4" BASE IN ALL AREAS EXCEPT TOILET ROOMS AND JANITOR CLOSETS, TO RECEIVE 6" COVE BASE.

P-1 TBD P-2 TBD P-3 TBD P-4 TBD

SECTION 09942 - PAINT

SECTION 095100 - ACOUSTIC CEILING

1. SUSPENDED ACOUTICAL CEILING TILE ACT-1 TBD

P-5 TBD (HM DOORS)

2. EXTERIOR PAINT SEE ELEVATIONS

NOTE: USE SATIN/EGGSHELL WASHABLE FINISH AT ALL WALLS, CEILINGS AND SOFFITS TYPICAL. USE SEMI GLOSS FINISH AT ALL TOILET ROOM WALLS AND CEILINGS, TYPICAL.

SECTION 122100 – BLINDS 1. PER SPECIFICATIONS

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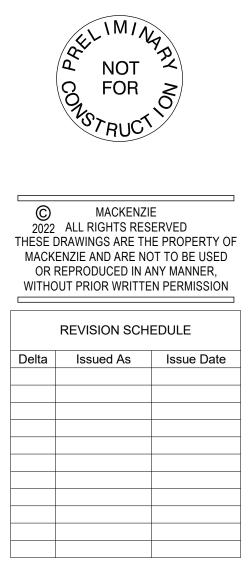
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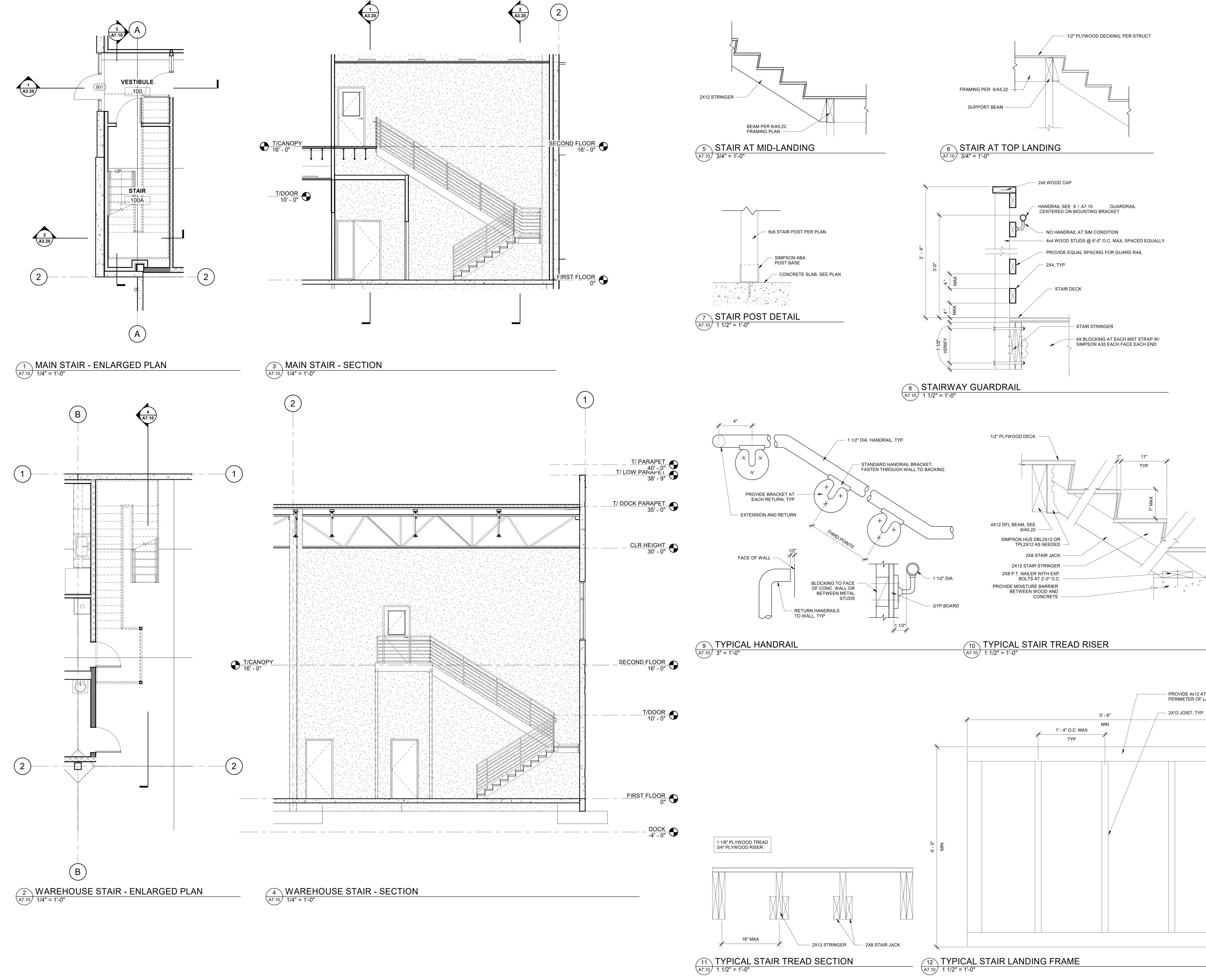
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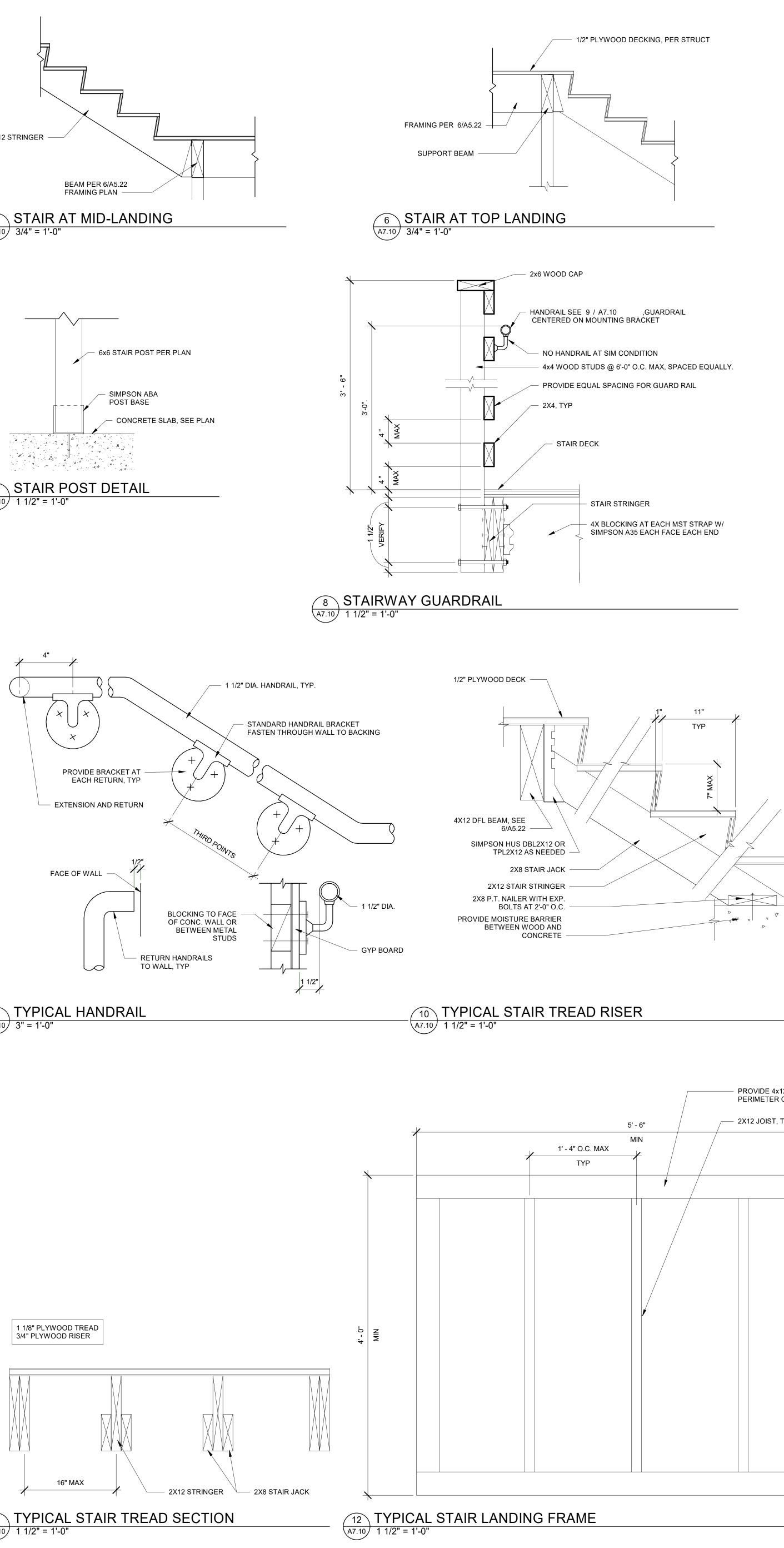


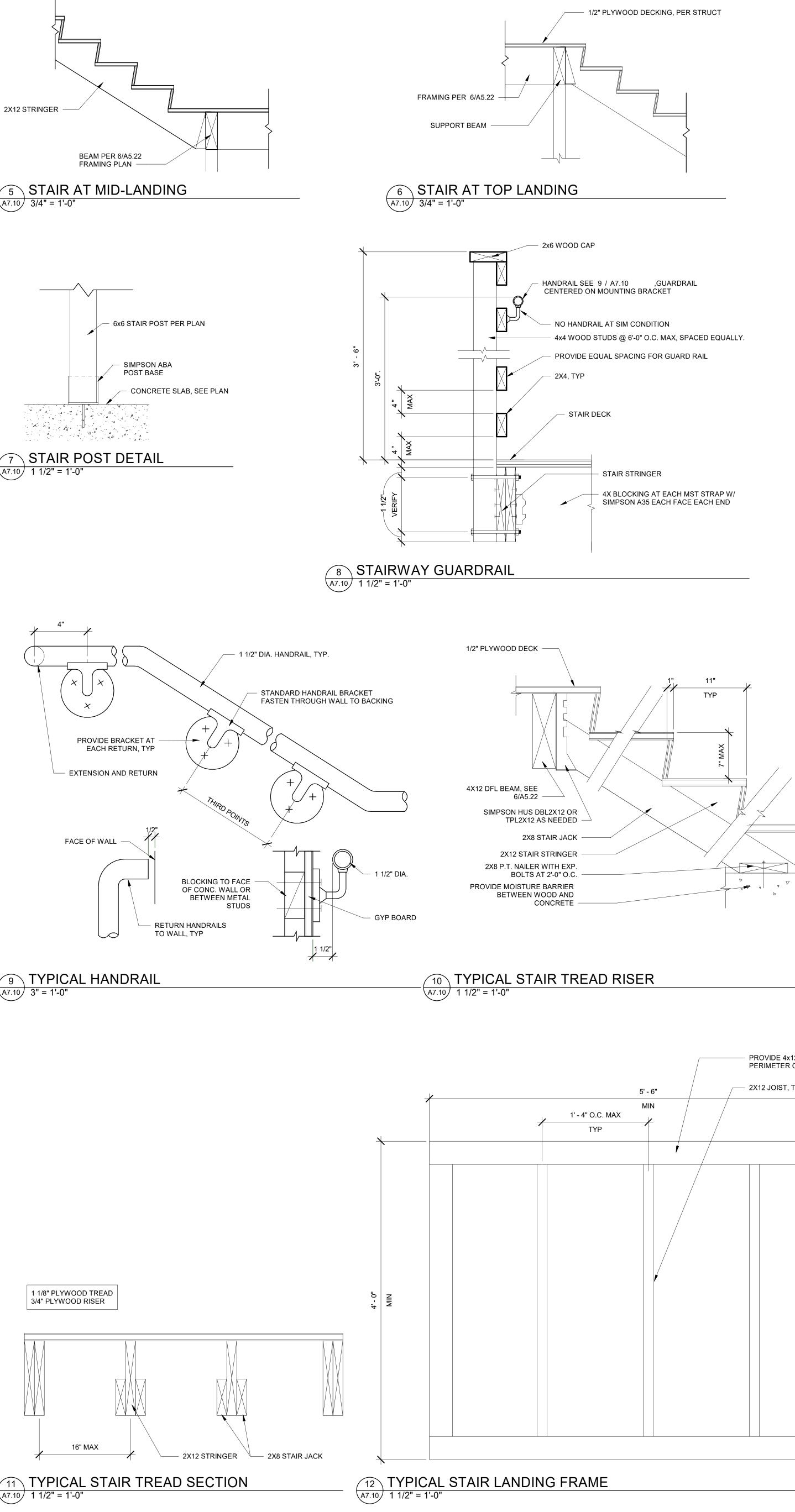
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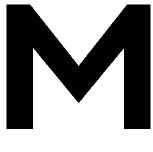
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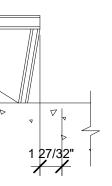
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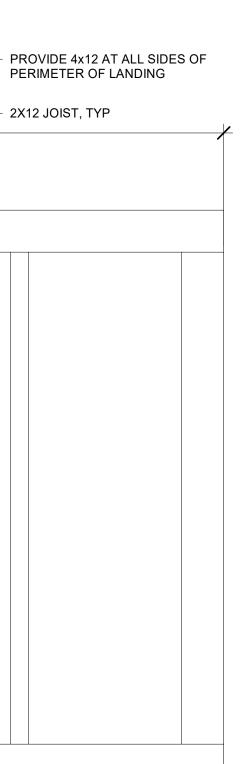
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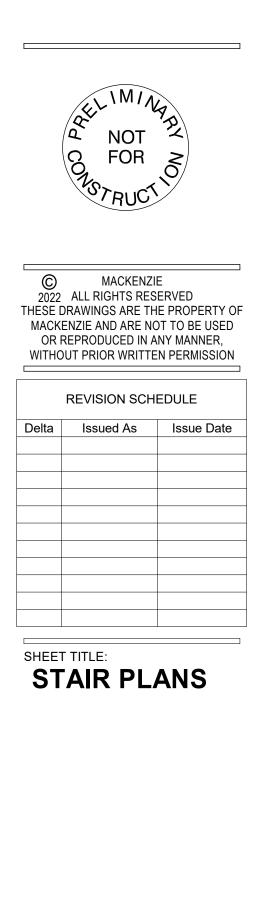
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