



TWIST BIOSCIENCE

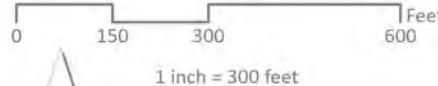
Wilsonville, Oregon

LEGEND

-  Site
-  Tax Lots
-  Wetlands
-  Stream Line



City of Wilsonville
Exhibit B2 DB25-0008



SOURCE DATA: Metro RLIS Lite Base Data, June 2025
GEOGRAPHIC PROJECTION: NAD 83 HARN, Oregon North Lambert Conformal Conic

Date: 6/19/2025 Map Created By: AAF
File: Twist Bioscience Project No: 2250173.00



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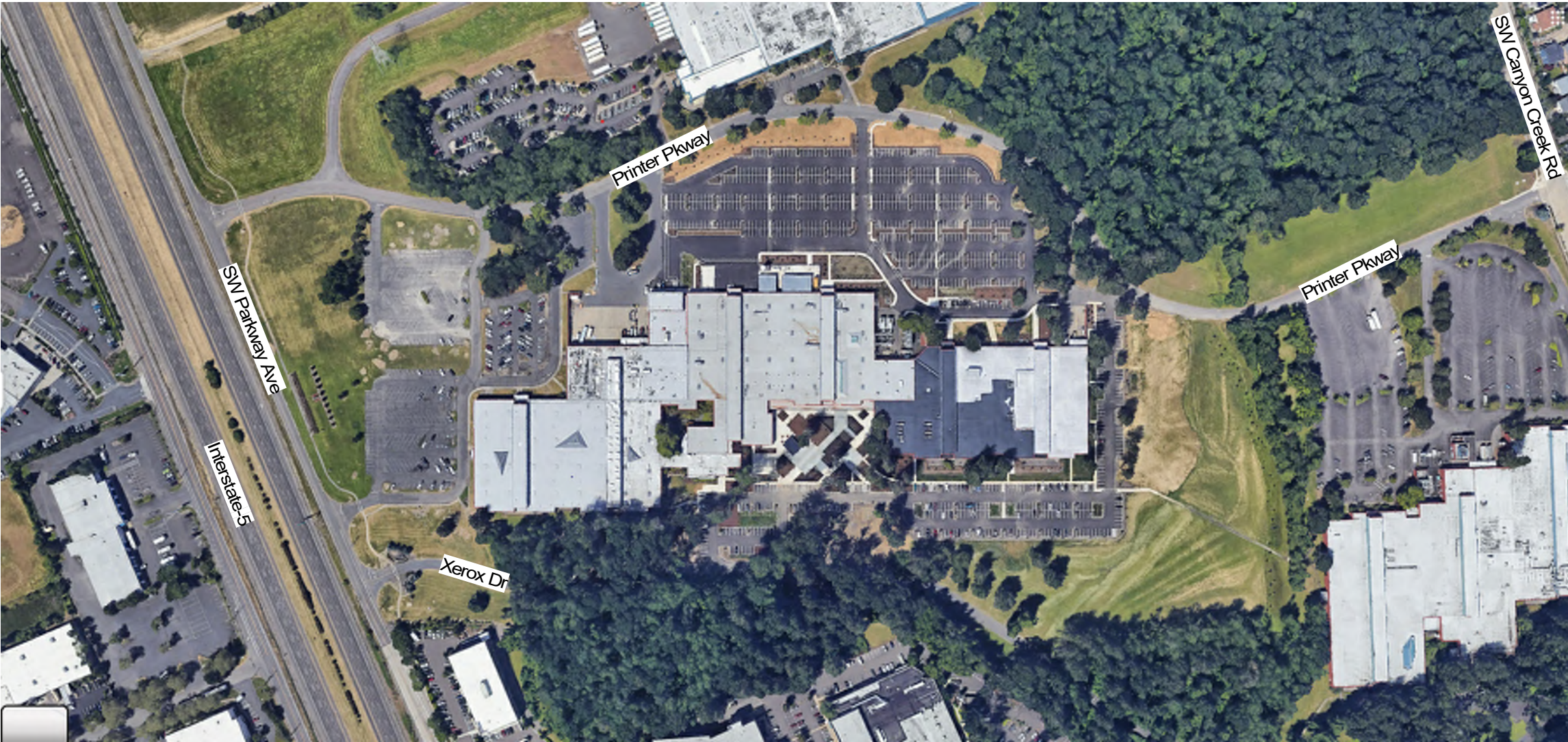
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RivierEast Center, 1515 SE Water Avenue, #100, Portland, OR 97214

Portland, Oregon • Vancouver, Washington • Seattle, Washington

BIOWASTE STORAGE

BIOWASTE AND HAZARDOUS MATERIAL STORAGE BUILDINGS LAND USE SUBMITTAL: 09/8/2025

26600 SW PARKWAY AVE
WILSONVILLE, OR 97070



VICINITY MAP (NTS)

MAP IS VALID AS OF 06/10/2025

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PROJECT INFORMATION

PROJECT ADDRESS: 26600 SW PARKWAY AVE,
WILSONVILLE, OR 97070
LEGAL DESCRIPTION: PARCEL NUMBER: 05030367 DOCUMENT NUMBER:
2020-026807 IN THE CITY OF WILSONVILLE, COUNTY OF
CLATSOP, STATE OF OREGON

SCOPE OF WORK

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF TWO NEW STORAGE BUILDINGS TO THE NORTH OF AN EXISTING BUILDING. ONE OF THE STORAGE BUILDINGS WILL BE FOR H-3 HAZARDOUS MATERIALS STORAGE. BOTH BUILDINGS WILL BE CONSIDERED PART OF THE ORIGINAL BUILDING IN TERMS OF CONSTRUCTION TYPE, ALLOWABLE AREA, AND REQUIRED SEPARATION.

OREGON GOVERNING CODES

2025 OREGON STRUCTURAL SPECIALTY CODE (OSSC) (BASED ON THE 2024 INTERNATIONAL BUILDING CODE (IBC))

2024 OREGON EXISTING BUILDING CODE (BASED ON THE INTERNATIONAL EXISTING BUILDING CODE 2024 (IEBC 2024) WITH AMENDMENTS AND ADDITIONS)

2025 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) (BASED ON THE ASHRAE 90.1, 2019 WITH AMENDMENTS AND ADDITIONS)

2025 OREGON MECHANICAL SPECIALTY CODE (OMSC) (BASED ON THE 2021 INTERNATIONAL MECHANICAL CODE AND INTERNATIONAL FUEL GAS CODE)

2023 OREGON ELECTRICAL SPECIALTY CODE (OESC) (BASED ON THE 2023 NATIONAL ELECTRICAL CODE (NEC))

2023 OREGON PLUMBING SPECIALTY CODE (OPSC) (BASED ON THE 2021 OPSC AND 2021 UNIFORM PLUMBING CODE (UPC))

2017 OREGON ACCESSIBILITY CODE (BASED ON THE A117.1, 2017 WITH AMENDMENTS AND ADDITIONS)

2022 OREGON FIRE CODE (OFC) (BASED ON 2021 INTERNATIONAL FIRE CODE)

OREGON DEFERRED SUBMITTALS

2025 OSSC 107.3.4.1 & ASCE 7-16

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL.

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. SEE ORS 455-467(3).

THE FOLLOWING IS A LIST OF DEFERRED SUBMITTALS FOR REVIEW BY THE DESIGN PROFESSIONAL IN CHARGE WHO SHALL REVIEW AND PROVIDE ANY REQUIRED NOTATION INDICATING THEY HAVE BEEN REVIEWED AND ARE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

CONTRACTOR TO SUBMIT DRAWINGS & CALCULATIONS BEARING THE SEAL OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF OREGON TO ARCHITECT/ENGINEER BEFORE SUBMITTING TO JURISDICTION FOR REVIEW & PERMITTING.

THE GENERAL CONTRACTOR SHALL PAY FOR ANY PROCESSING, REVIEW AND PERMIT RELATED FEES.

ARCHITECTURAL DEFERRED SUBMITTALS

1. RAISED METAL FLOOR
2. SPRINKLERS AND FIRE PROTECTION



MACKENZIE

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T W I S T
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Project

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Mechanical/Electrical

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OR REPRODUCED IN ANY MANNER
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**TITLE SHEET &
PROJECT
INFORMATION**

SHEET

G0.01

JOB NO. **2250173.00**

LAND USE REVIEW 04/22/2026

Autodesk Docs/Twist Bioscience/173-Twist-v24-A.rvt 4/29/2026 9:52:07 AM 12" = 1'-0"

REVISION SCHEDULE		
Delta	Issued As	Issue Date



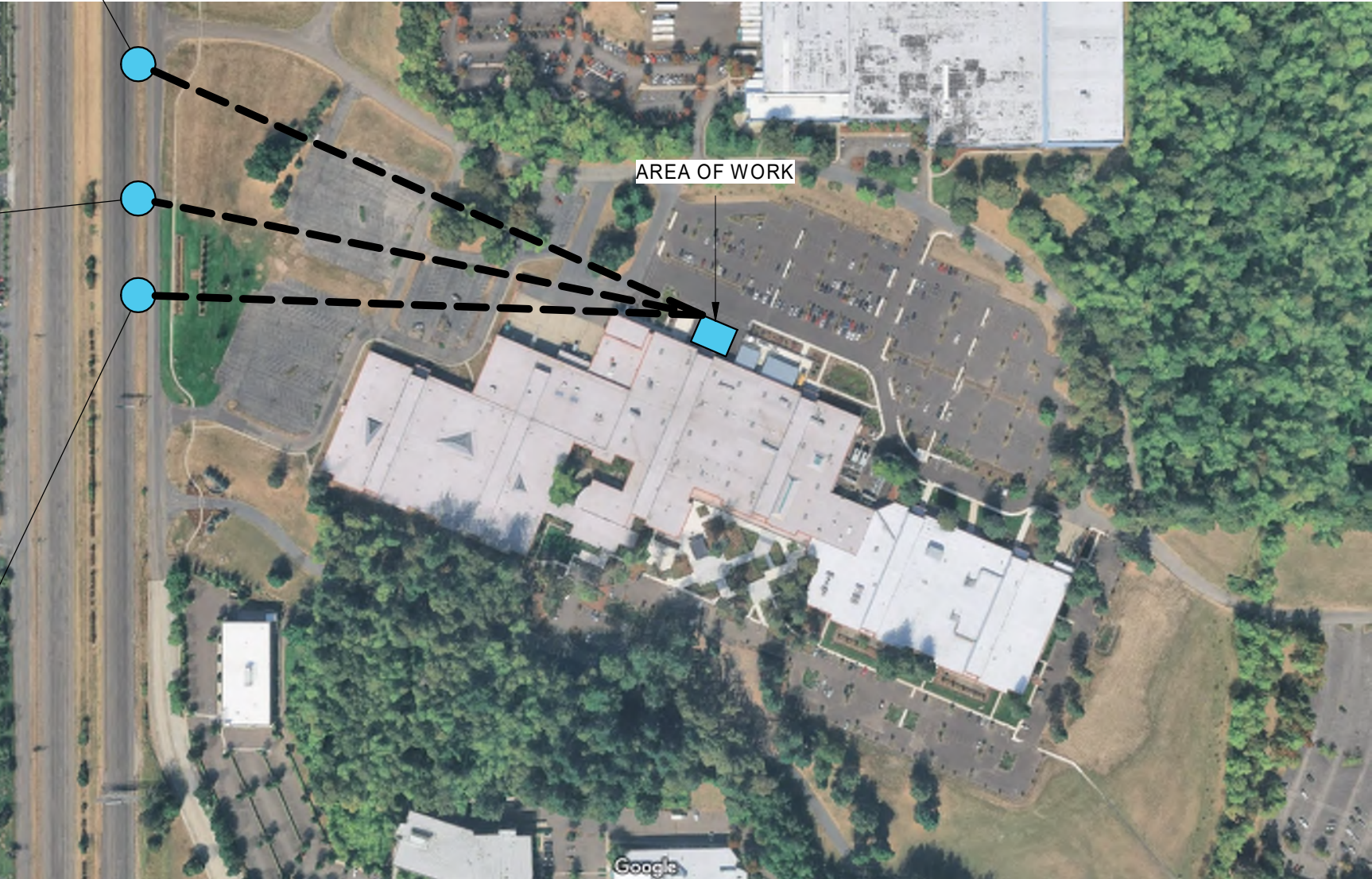
VIEW FROM STREET - 3
AREA OF WORK IS OBSCURED BY TREES



VIEW FROM STREET - 2
AREA OF WORK IS OBSCURED BY TREES.



VIEW FROM STREET - 1
AREA OF WORK IS OBSCURED BY BERM AND TREES



1. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
3. CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER
6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT
7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
2. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES
3. MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
4. PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE
5. DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM AHEAD OF PRIOR TO BID, ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
7. DEMOLISH AND REMOVE ALL, NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE. DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE
8. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES)
9. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

1. **ROUGH GRADING:** ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING CLASSES, PAVEMENTS, BENCH GRADES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
2. **FINISH GRADING:** BRING ALL FINISH GRADES TO LEVELS INDICATED, WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. TOPSOFTCAE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ADJACENT SIDEWALKS OR CURBS, OR MATCHING OTHER TOPSOFTCAE GRADES. GRADE TO UNIFORM WELLS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN, ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
3. **EXCAVATION:** EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
4. **EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL** IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
5. **DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED.** THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
6. **SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT**
7. **CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION**
8. **ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS**
9. **PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS)**

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
4. ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED
5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
6. IF APPLICABLE, PROVIDE 2 INCH VCP DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/32 HPV SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH VCP DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
7. PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&P PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE
8. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER, SEE LANDSCAPE PLANS AND SPECIFICATIONS
9. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING

1. HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY REMOVED FOR ANY PROJECT DISTURBED AREAS ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPLICABLE NON-STORMWATER POLLUTION CONTROLS
3. THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (A/H). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE A/H. THE PLANS, AND THE PROJECT SPECIFICATIONS
4. CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
5. METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE LIMITED TO SUBMINIMUM AND SHALL NOT BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
6. ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
7. HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURISDICTION
8. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
9. INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
10. STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

1. ALL CURB RADI TO BE 3 FEET UNLESS NOTED OTHERWISE
2. GRADES AT BUILDING ENTRIES SHALL BE LESS THAN 2% IN ALL DIRECTIONS FOR A MINIMUM DISTANCE OF 5 FEET FROM THE BUILDING
3. STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
4. WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE ESTABLISHED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)
5. PAVEMENTS WITH DEPRESSIONS OR BIRD BATHS, UNCONTROLLED CRACKS WHICH ARE VISIBLE WITHOUT MAGNIFICATION, AND/OR BONY OR OPEN GRADED SURFACES (EXCEPTING POROUS PAVEMENTS) WILL BE CONSIDERED UNACCEPTABLE. CONTRACTOR SHALL REVIEW PAVEMENT REPAIR OR REPLACEMENT ALTERNATIVES WITH THE OWNER AND ENGINEER PRIOR TO CONDUCTING THE REPAIR WORK AT NO COST TO THE OWNER.

1. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
3. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
4. LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
5. DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.
6. CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.

PLANTING

1. ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
2. SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUNDCOVER ON OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
3. ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WOOD ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
4. DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
5. IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
6. REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
7. EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
8. A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIC SOIL AMENDMENTS.
9. TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
10. ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.

1. ALL NEW PLANTING AREAS AND STORMWATER AREAS TO BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM. IRRIGATION ZONES TO BE VALVED ACCORDING TO PLANT TYPES, EXPOSURE, AND MICROCLIMATIC CONDITIONS.
2. ASSESS EXISTING IRRIGATION SYSTEM FOR FUNCTIONALITY AND ABILITY TO ACCOMMODATE ALL NEW LANDSCAPE AREAS.
3. VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
4. PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
5. IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
6. ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
7. SYSTEM SHALL SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER.
8. IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
9. CONTRACTOR SHALL DIG WITH CARE AND REPAIR OR REPLACE ANY DAMAGE TO PRE CONSTRUCTION CONDITIONS USING MATERIALS MATCHING EXISTING SYSTEM.
10. MINIMIZE IMPACTS TO EXISTING TREES TO THE GREATEST EXTENT POSSIBLE. TRENCH UNDER ROOTS GREATER THAN 2-INCHES IN DIAMETER. ARBORIST SHALL BE PRESENT FOR ANY TREETHING WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
11. CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
12. CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
13. CONTRACTOR TO LOCATE AND VERIFY LOCATION AND CONDITION OF POINT OF CONNECTION, CONTROLLER AND VALVES ONSITE. CONTRACTOR SHALL UTILIZE EXISTING POINT OF CONNECTION AND CONTROLLER.

BOUNDARY LINE		
PROPERTY LINE		
CENTERLINE		
CURB		
WETLAND BOUNDARY		
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE		
OVERHEAD WIRE		
TRAFFIC SIGNAL WIRE		
TELEPHONE LINE		
TELEVISION LINE		
GAS LINE		
STORM SEWER LINE		
SANITARY SEWER LINE		
WATER LINE		
TREE		
CONTROL MANHOLE		
DRYWELL		
FIRE DEPARTMENT CONNECTION		
FIRE HYDRANT		
WATER BLOWOFF/AIR RELEASE		
WATER METER		
WATER VALVE		
BACKFLOW PREVENTOR		
WATER VAULT		
MONITORING WELL		
STORM/SANITARY MANHOLE		
STORM SEWER CATCH BASIN		
SANITARY CLEAN OUT		
GAS VALVE		
GAS METER		
SIGN		
MAIL BOX		
FOUND SURVEY MONUMENT		
GUY WIRE ANCHOR		
UTILITY POLE		
HVAC UNIT		
POWER VAULT		
ELECTRICAL METER		
POWER JUNCTION BOX		
POWER TRANSFORMER		
LIGHT POLE		
TELEPHONE/TELEVISION VAULT		
TELEPHONE/TELEVISION JUNCTION BOX		
TELEPHONE/TELEVISION RISER		
SIGNAL JUNCTION BOX		
BOLLARD		
ADA COMPLIANT CURB RAMP SLOPE ARROW		
SLOPE ARROW		
DOCK DOOR		
DRIVE-IN DOOR		

AC	PROPERTY LINE
AC	ASPHALT CONCRETE
AHJ	AUTHORITY HAVING JURISDICTION
AWWA	AMERICAN WATER WORKS ASSOCIATION
BCR	BOTTOM OF CURB
BCR	BEGIN CURB RETURN
BMP	BEST MANAGEMENT PRACTICE
BS	BOTTOM OF STEP
BW	BACK OF WALK
C	COMPACT
CB	CATCH BASIN
CI	CAST IRON
CI	CAST IN PLACE
CO	CLEANOUT
CONC	CONCRETE
CLR	CLEAR
CVR	COVER
DI	DUCTILE IRON
DW	DOMESTIC WATER
E	END CURB RETURN
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESC	EROSION/SEDIMENT CONTROL
EW	EACH WAY
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOWLINE
FW	GUTTER SURFACE OF WALL
G/GUT	GUTTER LINE
GB	GRADE BREAK
H	ACCESSIBLE STALL
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
IN	INVERT ELEVATION
LT	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NTS	NOT TO SCALE
OC	ON CENTER
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
OSHA	OREGON STATE HEALTH AUTHORITY
ORASC	OREGON STATE SPECIFICATIONS FOR CONSTRUCTION
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PMP	PORTLAND CEMENT CONCRETE PAVING
PR	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	ROOF DRAIN
ROW	RIGHT OF WAY
RS&V	RESILIENT SEAT GATE VALVE
R	RIGHT
S	STANDARD
SAN	SANITARY SEWER
STA	STATION
STM	STORM
SW	SIDEWALK
TC	TOP OF CURB
TH	THRESHOLD
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
WC	WHEELCHAIR

MACKENZIE.

Client

**TWIST
BIOSCIENCE**
SOUTH SAN
FRANCISCO, CA
94080

T W I S T
BIOSCIENCE

Proje

**TWIST
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26600 SW PARKWAY
AVE
WILSONVILLE, OR
97070

SHEET TITLE:
CIVIL GENERAL
NOTES,
SYMBOLS AND
ABBREVIATIONS

SHEE

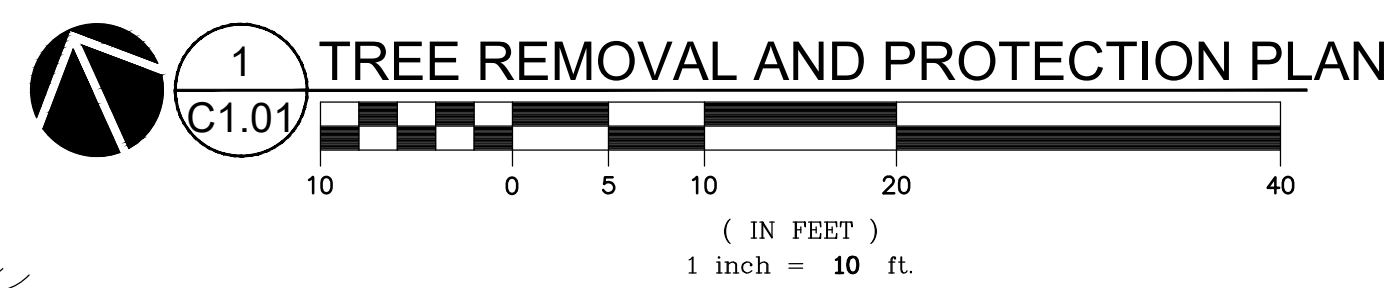
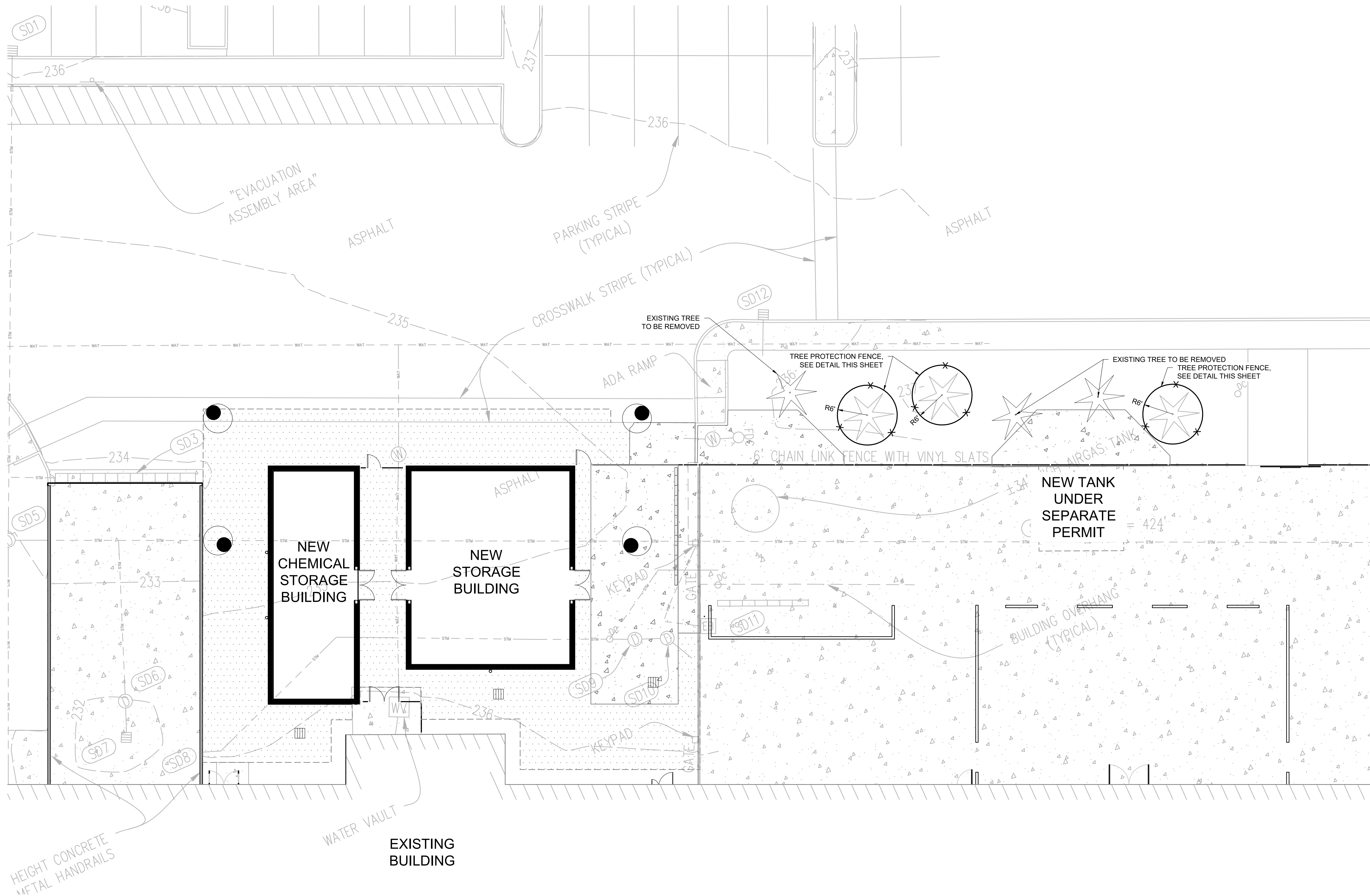
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LAND USE REVIEW 04/22/2026

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NOTES

- PROPOSED IMPROVEMENTS SHOWN FOR REFERENCE ONLY. SEE SITE PLAN FOR MORE INFORMATION
- ALL TREES ARE DOUGLAS FIR AND 3.5" DBH OR LESS.



TREE PROTECTION MEASURES:

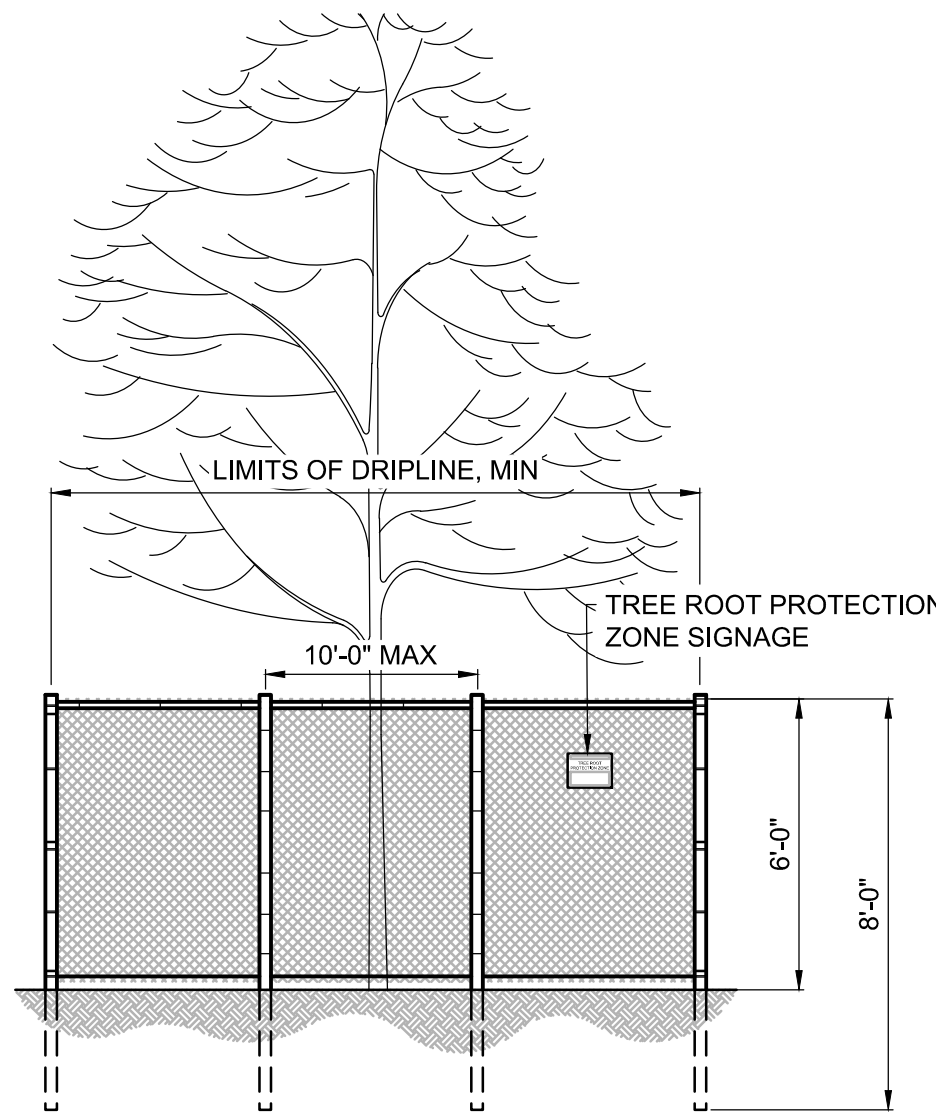
- UNLESS OTHERWISE INDICATED FOR REMOVAL ALL TREES SHALL RECEIVE PROTECTIVE MEASURES FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH LOCAL AGENCY REQUIREMENTS.
- 6" HIGH MINIMUM METAL CHAIN LINK FENCING SHALL BE ERECTED AND MAINTAINED. FENCING SHALL COMPLETELY SURROUND AT MINIMUM THE TREE DRIP LINE FOR EACH TREE OR GROUP OF EXISTING TREES. THE TREE DRIP LINE SHALL BE DEFINED AS A CLEARANCE ZONE OF 1 FOOT PER 1 INCH DBH (DIAMETER AT BREAST HEIGHT + 4.5 FEET ABOVE GRADE) FROM THE TREE BEING PROTECTED.
- IN AREAS WHERE ROOT ZONE ENCROACHMENT IS UNAVOIDABLE, A CERTIFIED ARBORIST SHALL DESIGNATE THE FENCING LOCATION PRIOR TO START OF WORK.
- NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA, INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK.
- DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND PROTECTED.
- PROVIDE MULCH COVER TO A MINIMUM DEPTH OF 6", PLYWOOD, OR OTHER SIMILAR MATERIAL AT AREAS ADJOINING DESIGNATED TREE PROTECTION AREAS TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT. COORDINATE PLACEMENTS AND LOCATION WITH THE LANDSCAPE ARCHITECT OR A CERTIFIED ARBORIST.
- PROTECTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE AUTHORITY HAVING JURISDICTION OR UNTIL A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

EXCAVATION/TRENCHING AROUND TREES:

- PROPOSED TRENCHING AND EXCAVATION IN CLOSE PROXIMITY TO TREE PROTECTION ZONES MAY REQUIRE COORDINATION WITH A CERTIFIED ARBORIST. IF MAIN LATERAL OR TAP ROOTS OR ARE FOUND, STOP WORK IN THE AREA IMMEDIATELY AND CONSULT A CERTIFIED ARBORIST.
- WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, AND HAS BEEN REVIEWED AND APPROVED BY A CERTIFIED ARBORIST, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT/SEVER SMALLER ROOTS.
- RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. PROVIDE TEMPORARY EARTH COVER OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN IN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.

FENCING NOTES:

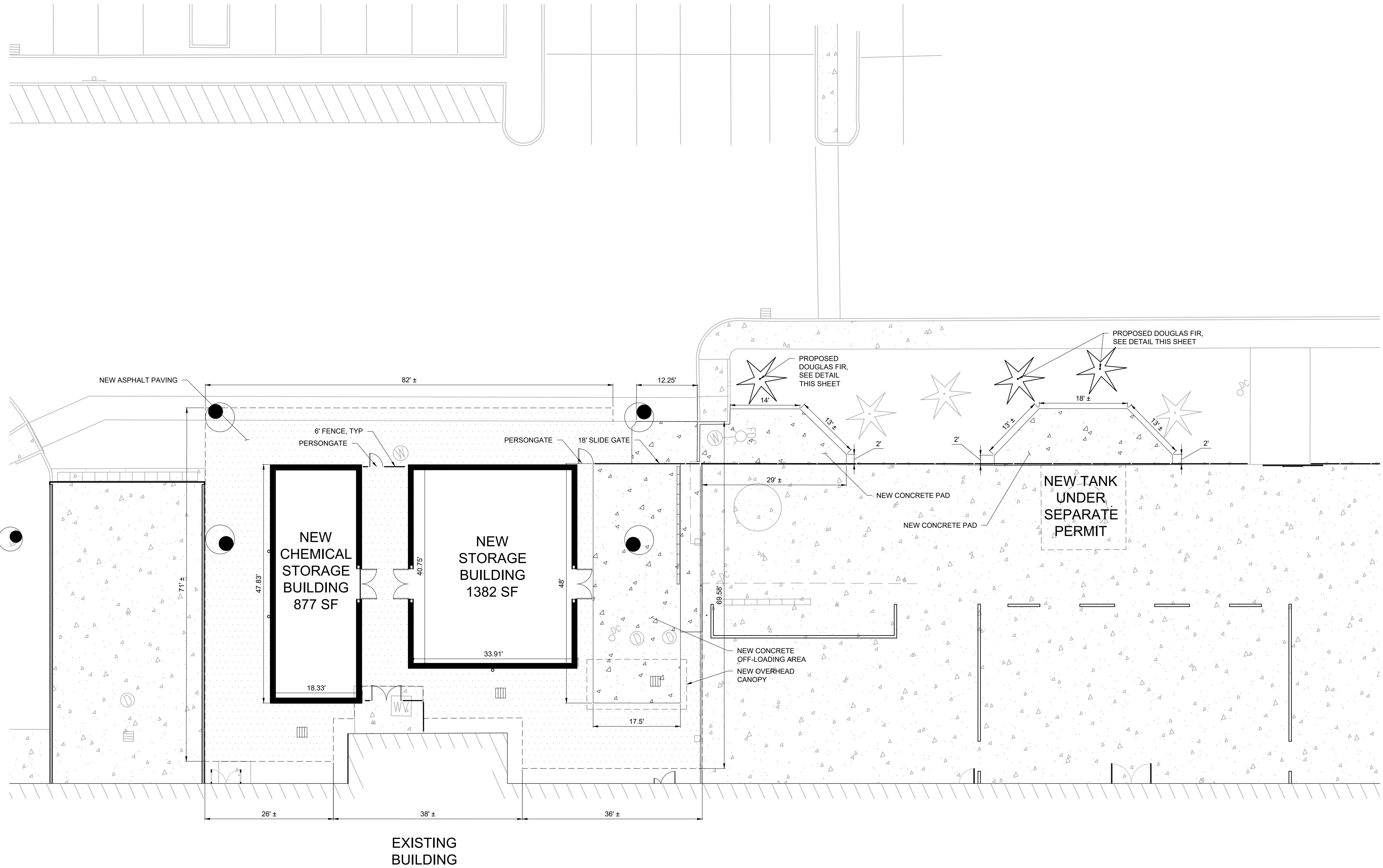
- TEMPORARY FENCE SHALL BE 6" IN HEIGHT AND SET AS SHOWN ON PLANS.
- SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.
- THE AUTHORITY HAVING JURISDICTION SHALL APPROVE THE INSTALLED TREE PROTECTION FENCING PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- FENCE MATERIALS SHALL CONSIST OF 2" MESH METAL CHAIN LINK SECURED WITH 8" LONG WITH 1 1/2" DIA (MIN) METAL POSTS.
- MOVEMENT OR REMOVAL OF FENCING REQUIRES APPROVAL BY THE AUTHORITY HAVING JURISDICTION.



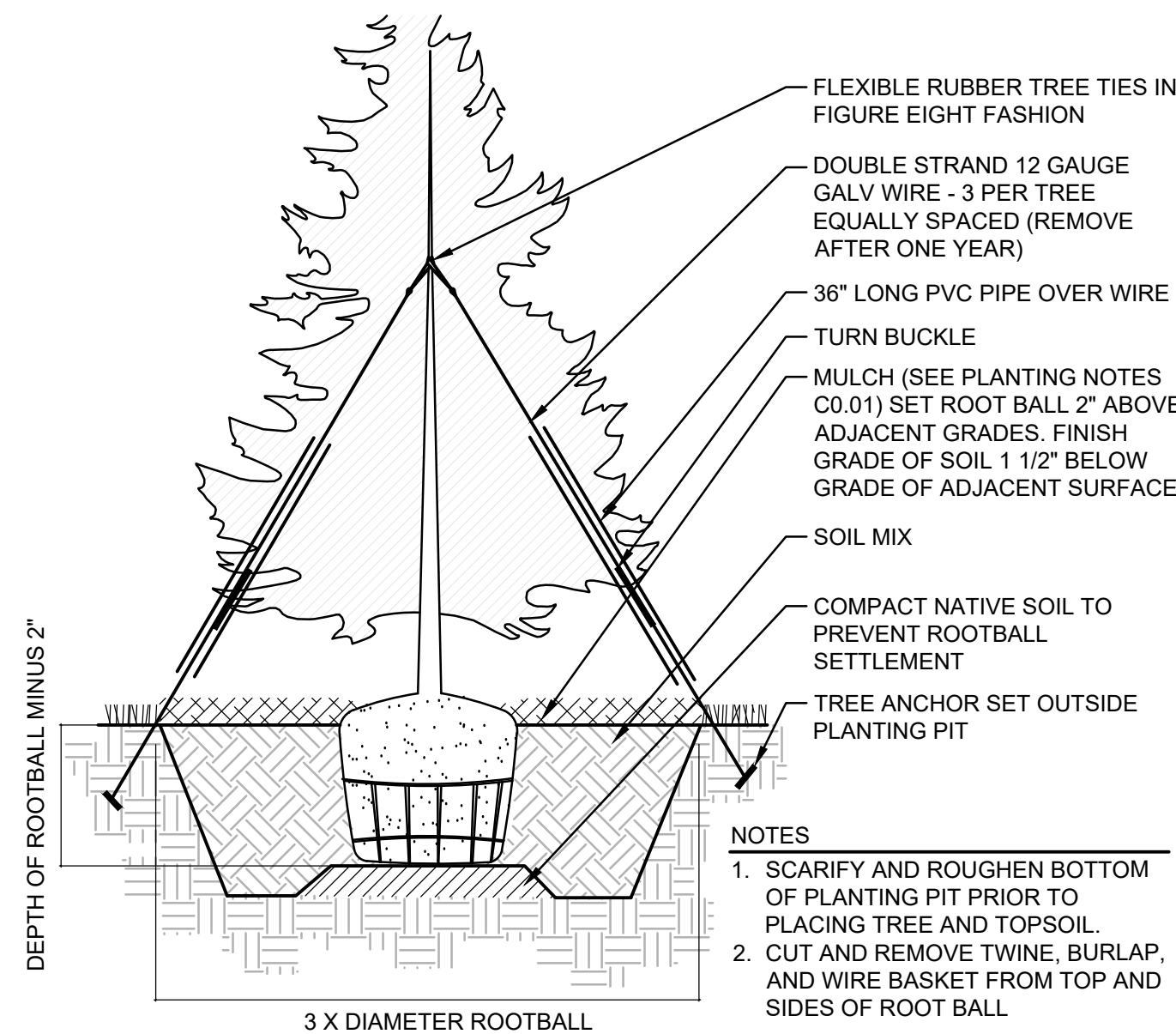
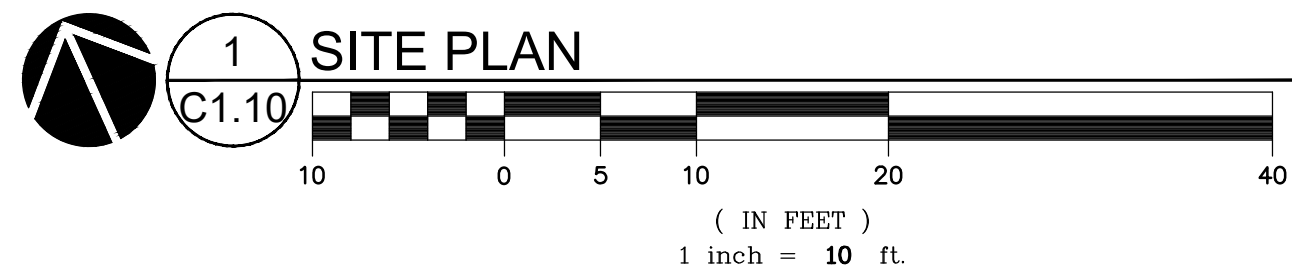
2 TREE PROTECTION FENCING

REVISION SCHEDULE		
Delta	Issued As	Issue Date

TREE REMOVAL AND PROTECTION PLAN



SITE DATA		
	AREA (SF)	AREA (AC)
AREA OF DISTURBANCE	7,235	0.17
LANDSCAPE AREA REDUCTION	585	0.01



REVISION SCHEDULE		
Delta	Issued As	Issue Date

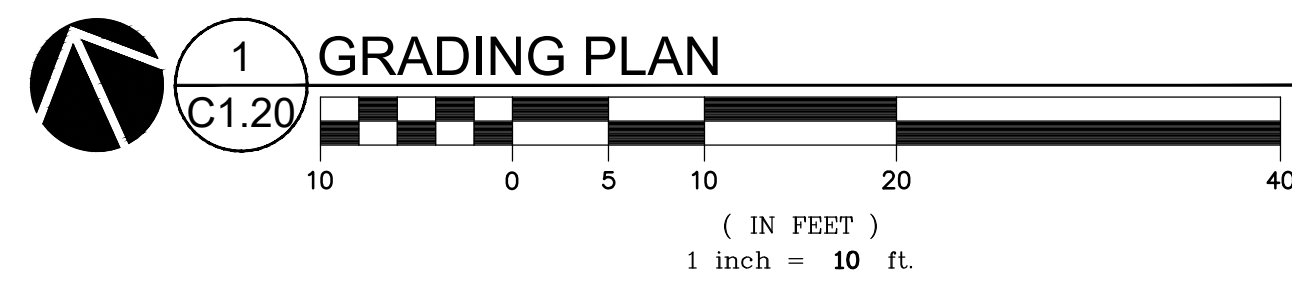
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SITE PLAN

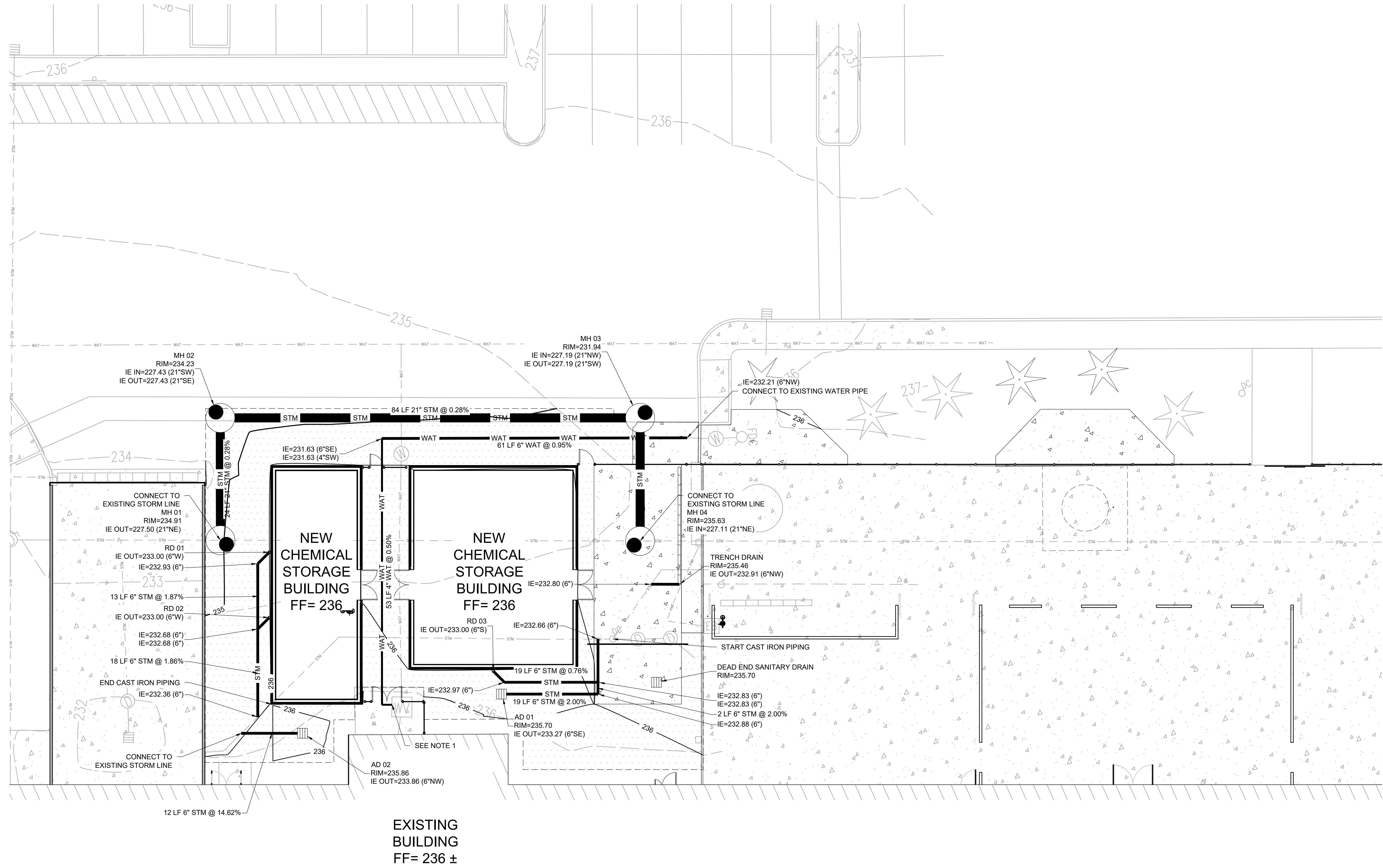
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C1.10

JOB NO. 2250173.00

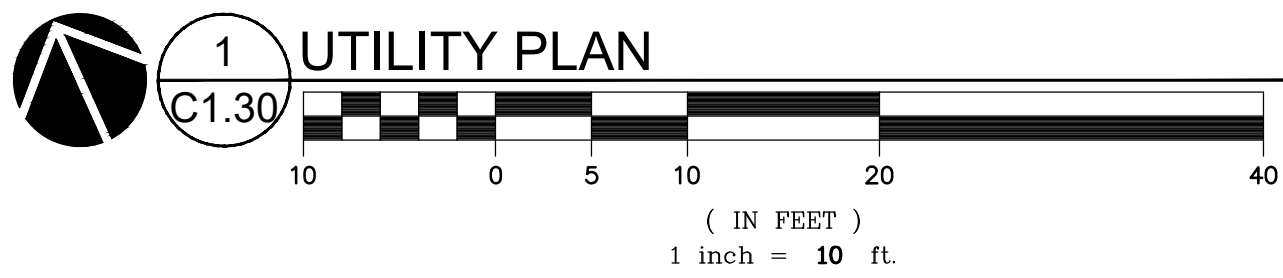
LAND USE REVIEW 4/22/2026

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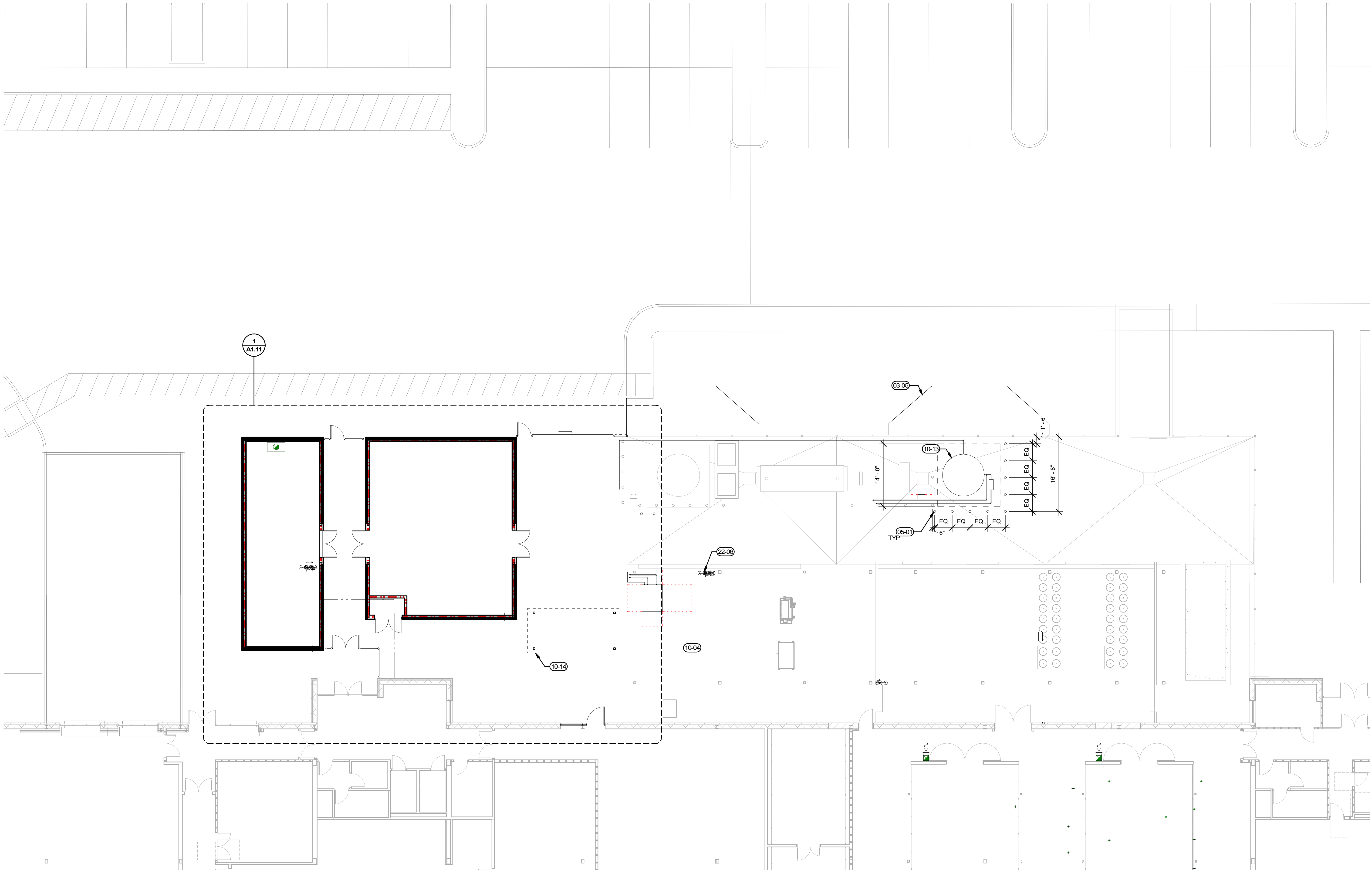
NOTES

1. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY IF EXISTING WATER VAULT AND APPEARANCES INSIDE CAN ACCOMMODATE NEW ENTERING LOCATION OF FDC LINE AND NOTIFY ENGINEER IMMEDIATELY



REVISION SCHEDULE		
Delta	Issued As	Issue Date

REVISION SCHEDULE		
Delta	Issued As	Issue Date



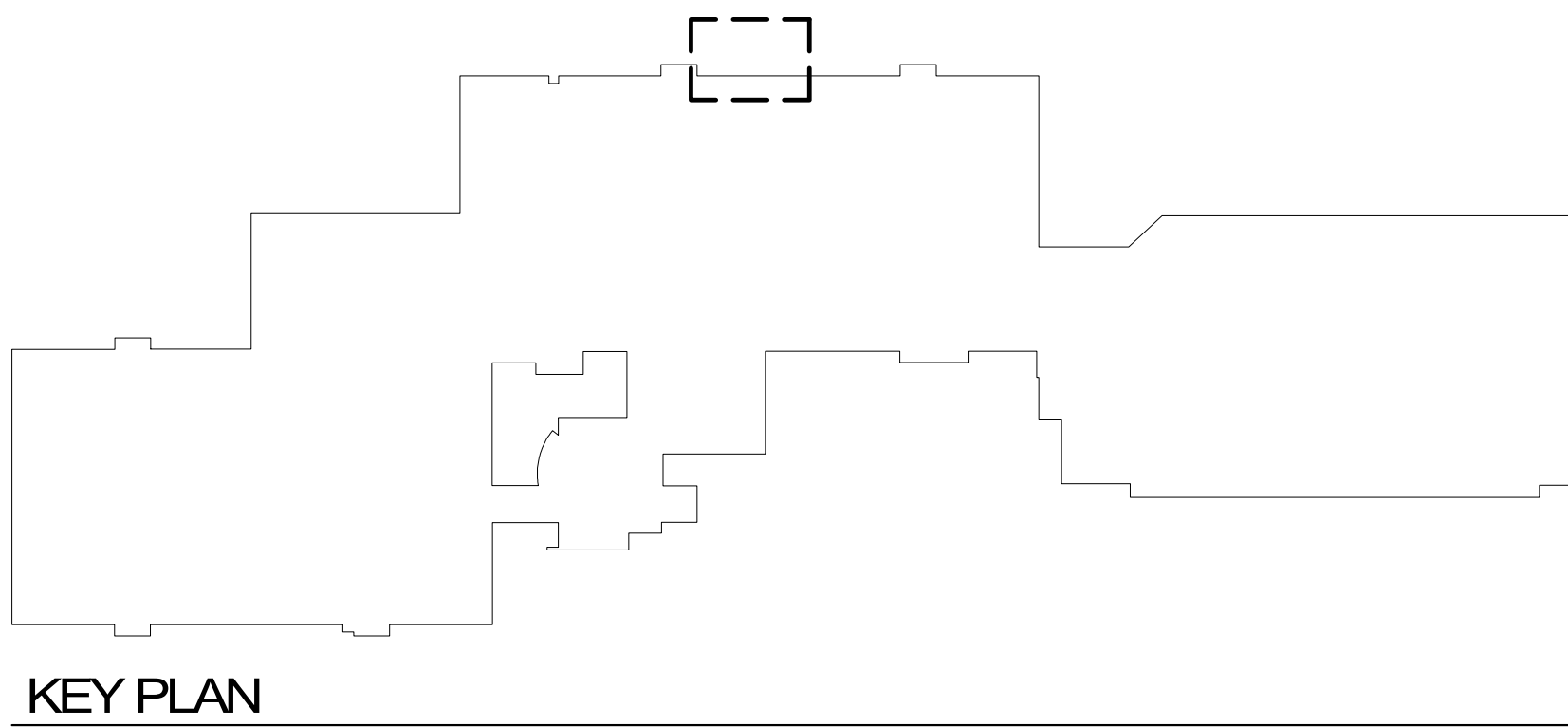
1 ENLARGED SITE PLAN
A1.10/ 1" = 10'-0"

SITE PLAN GENERAL NOTES

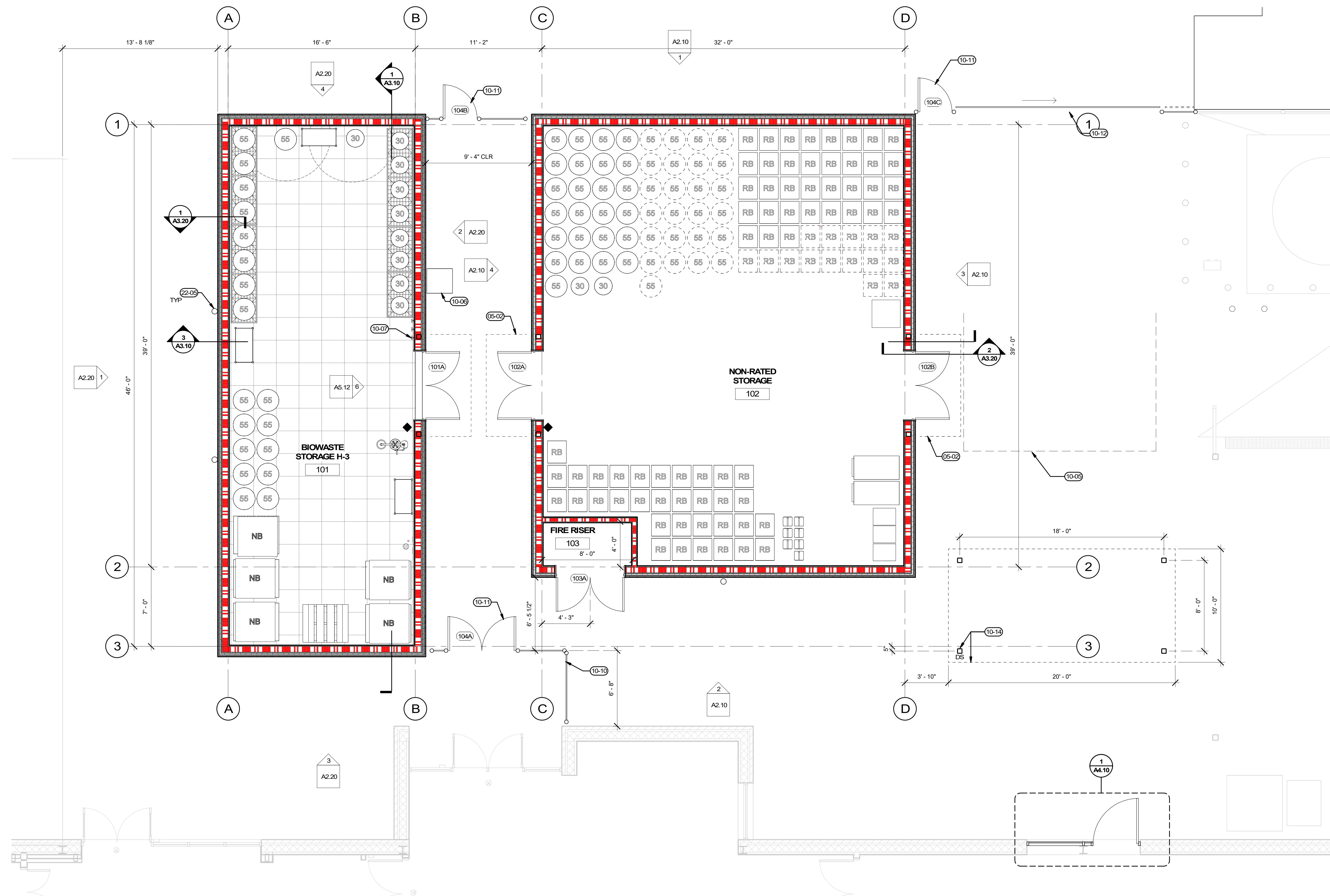
- A. ALL EXISTING CONDITIONS TO BE FIELD VERIFIED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- B. ENSURE SITE GRADING MEETS ACCESSIBILITY STANDARDS.
- C. PAVED AND HARDSCAPE AREAS TO BE SLOPED 1/4" INCH PER FOOT MINIMUM TO DRAIN WITH A MAXIMUM CROSS SLOPE OF 2%.
- D. FOR ADDITIONAL INFORMATION, REFER TO CIVIL, ELECTRICAL, AND MECHANICAL.

KEYNOTES

- 03-05 CONCRETE SLAB ON GRADE. SEE CIVIL
- 05-01 CONCRETE FILLED BOLLARD. SEE CIVIL FOR ADDITIONAL INFORMATION
- 10-04 DRY ICE PALLETIZER
- 10-13 CO2 TANK. SEE PROCESS FOR ADDITIONAL INFORMATION
- 10-14 DESIGN-BUILD METAL CANOPY. PROVIDE POWDER COATED GALVANIZED STEEL FRAMING (COLOR: BLACK) AND STRUCTURAL METAL DECK ROOF WITH 1/2"-1" MIN. SLOPE TO GUTTER AND DOWNSPOUT. CLEAR HEIGHT OF 14' AT LEADING EDGE MEASURED TO BOTTOM OF STEEL. NFPA AUTOMATIC SPRINKLER COVERAGE THROUGH DRY PIPE SYSTEM UNDER CANOPY.
- 22-06 EMERGENCY SHOWER AND EYEWASH



KEY PLAN



 1 HAZMAT AND BIOWASTE PLAN
A1.11 1/4" = 1'-0"

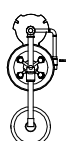
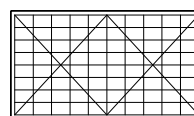
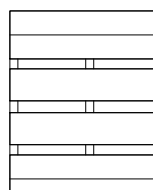
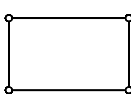
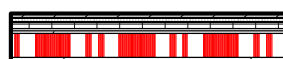
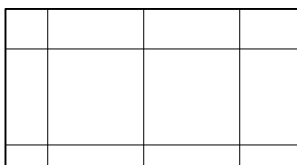
KEYNOTES

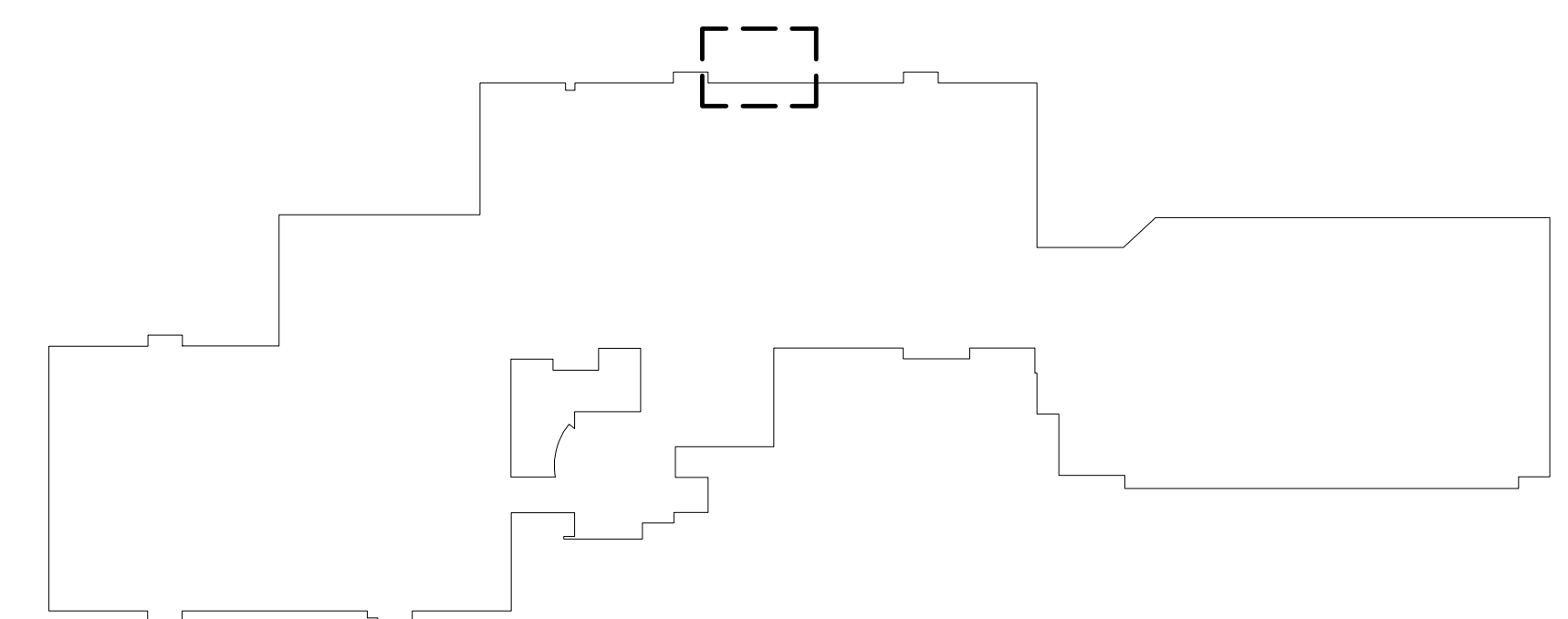
- | | |
|-------|--|
| 05-02 | ENTRY CANOPY |
| 10-05 | SECONDARY CONTAINMENT AREA. SEE CIVIL FOR ADDITIONAL INFORMATION |
| 10-06 | EMERGENCY SPILL KIT |
| 10-07 | WALL MOUNTED COAT HOOKS. SEE 11A.12 |
| 10-10 | CHAIN LINK FENCE. SEE CIVIL DRAWINGS |
| 10-11 | SWING GATE. SEE CIVIL DRAWINGS |
| 10-12 | SLIDING GATE. SEE CIVIL DRAWINGS |
| 10-14 | DESIGN-BUILD METAL CANOPY. PROVIDE POWDER COATED GALVANNEZED STEEL FRAMING (COLOR BLACK) AND STRUCTURAL METAL DECK ROOF WITH 1/2" 1" MIN. SLOPE. SLOPE TO GUTTER AND DOWNSPOUT. CLEAR HEIGHT OF 14' AT LEADING EDGE MEASURED FROM BOTTOM OF STEEL. NEARBY AUTOMATIC SPRINKLER COVERAGE THROUGH DRY PIPE SYSTEM UNDER CANOPY. |
| 22-05 | DOWNSPOUT AND SCUPPER. PAINT TO MATCH ADJACENT SURFACES |

PROPOSED FENCE TO MATCH EXISTING
6' HIGH WITH PRIVACY SLATS



STORAGE LEGEND

- | | | | |
|---|--|---|-------------------------------|
|  | RED BIN, FUTURE DEMAND SHOWN DASHED |  | EMERGENCY SHOWER AND EYE WASH |
|  | 55 GALLON DRUM, FUTURE DEMAND SHOWN DASHED |  | 5 GALLON CARBOY |
|  | 30 GALLON DRUM, FUTURE DEMAND SHOWN DASHED |  | DRUM SPILL, CONTAINMENT |
|  | WALL MOUNTED FIRE EXTINGUISHER |  | PALLET STORAGE |
|  | NOVA WASTE CONTAINER |  | FLAT BED CART |
|  | METRO SHELVING |  | 2-HOUR RATED EXTERIOR WALL |
|  | RAISED FLOOR, SEE 1 / A5.13 FOR ALTERNATIVES | | |



KEY PLAN

[illegible]

ENLARGED FLOOR PLAN

EET

A1.11

B NO. **2250173.00**

LAND USE REVIEW 04/22/2026



A. CONTRACTOR TO PROVIDE COVERS, ENCLOSURES, AND/OR SEALANTS AT ALL ROOF PENETRATIONS, PIPES, CURBS, DUCTS, AND CONNECTIONS; COORDINATE AND REFER TO MECHANICAL/ELECTRICAL DISCIPLINES FOR ADDITIONAL INFORMATION.

B. MECHANICAL EQUIPMENT IS SHOWN FOR REFERENCE ONLY; SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

C. SEE DETAIL 2 / A530 FOR ELECTRICAL CONDUIT SUPPORT

D. SEE DETAIL 1 / A530 FOR PIPE AND CONDUIT PENETRATIONS

E. SEE DETAIL 3 / A530 FOR MECHANICAL UNIT CURBS

F. SEE DETAIL 5 / A530 FOR ROOF PATCH BACK

05-02	ENTRY CANOPY
08-04	ROOF HATCH
10-14	DESIGN-BUILD METAL CANOPY. PROVIDE POWDER COATED GALVANIZED STEEL FRAMING (COLOR: BLACK) AND STRUCTURAL METAL DECK ROOF WITH 1/2" x 1" MIN. SLIPS TO GUTTER AND DOWNSPOUT. CLEAR HEIGHT OF 14' AT LEADING EDGE MEASURED TO BOTTOM OF STEEL. NFPA AUTOMATIC SPRINKLER COVERAGE THROUGH DRY PIPE SYSTEM UNDER CANOPY.
22-05	DOWNSPOUT AND SCUPPER, PAINT TO MATCH ADJACENT SURFACES
23-03	EXHAUST FAN. SEE MECHANICAL FOR ADDITIONAL INFORMATION
23-06	INTAKE VENTILATOR. SEE MECHANICAL FOR ADDITIONAL INFORMATION
23-07	SPLIT UNIT AIR CONDITIONER. SEE MECHANICAL FOR ADDITIONAL INFORMATION

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SHEET TITLE:
**ENLARGED
ROOF PLAN**

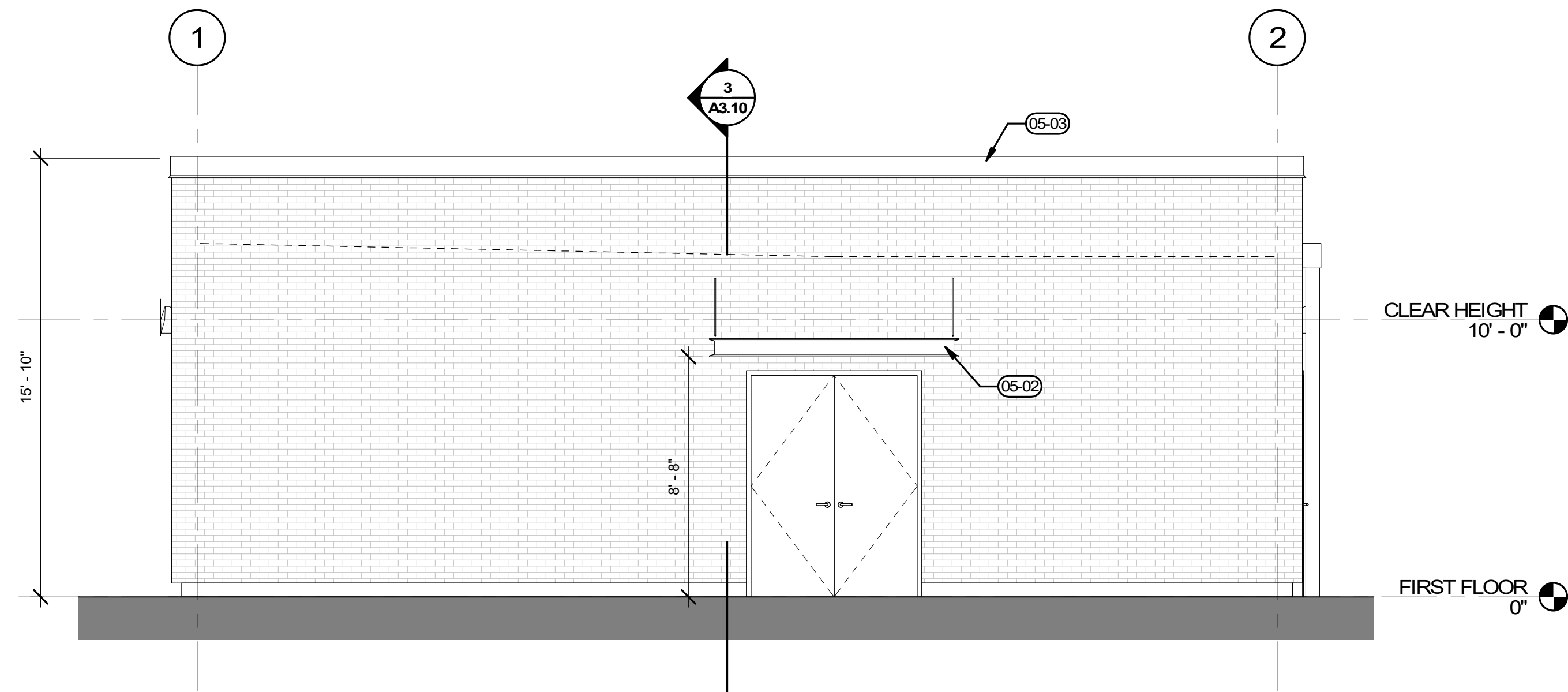
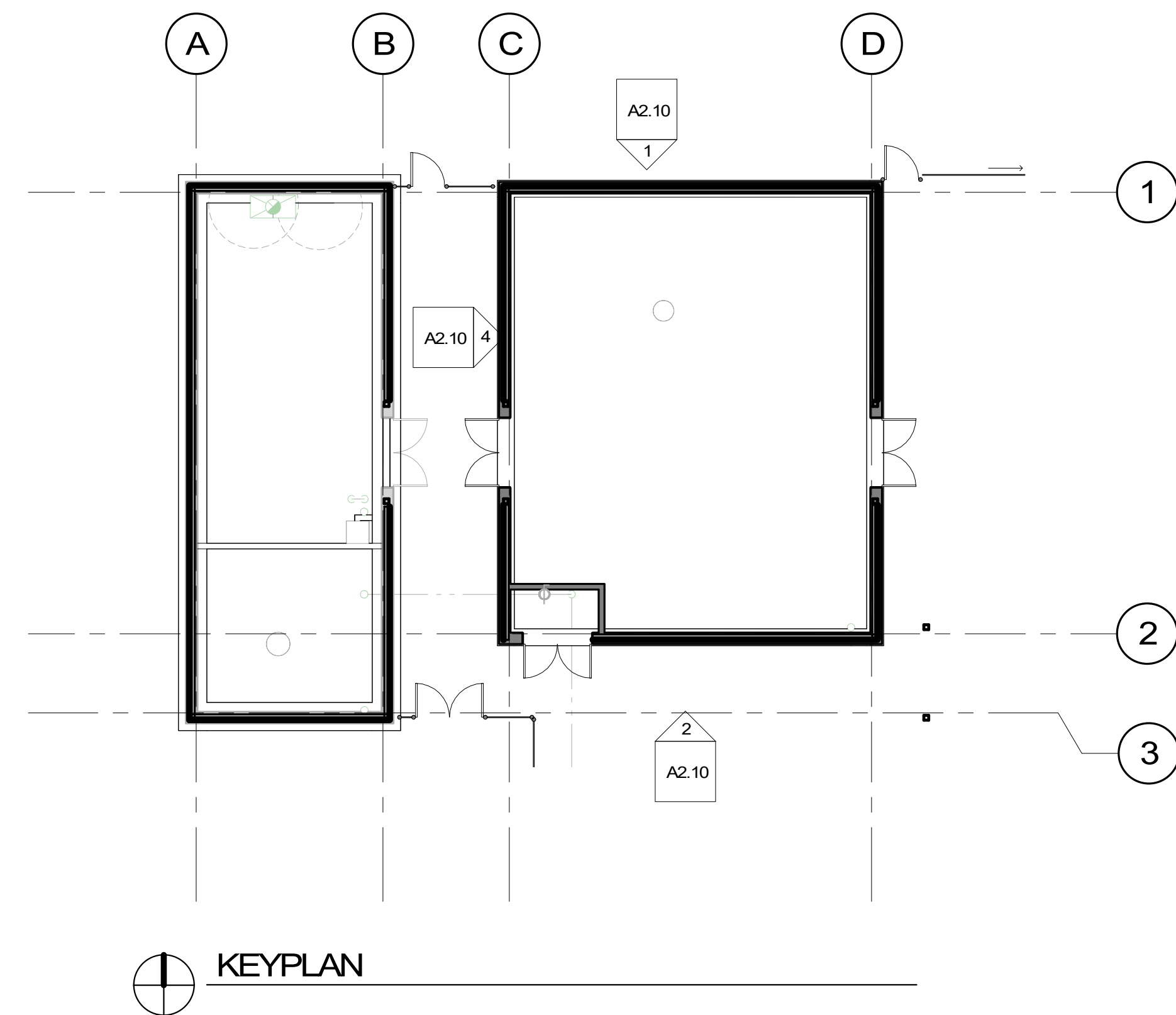
EET

A1.20

B NO. **2250173.00**

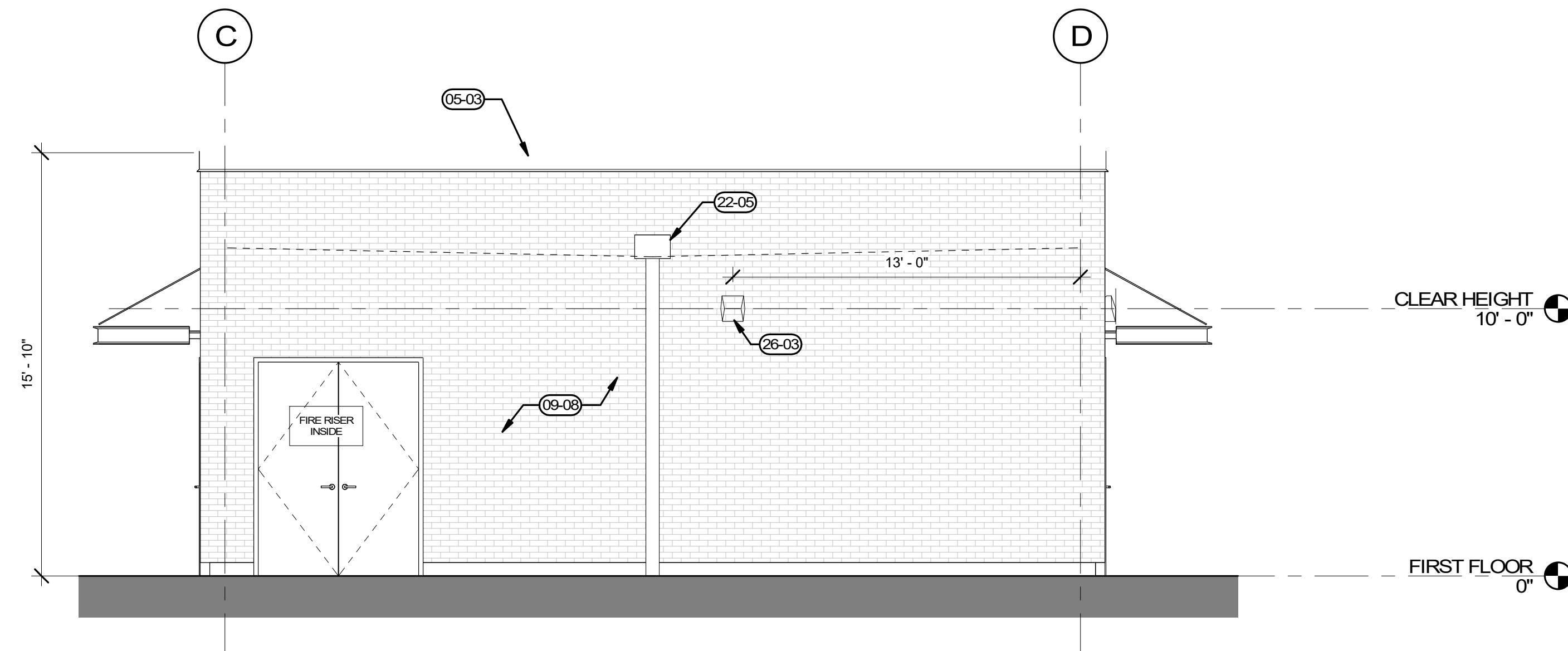
KEYNOTES

- 05-02 ENTRY CANOPY
05-03 PARAPET COPING, PAINT TO MATCH EXISTING COPING CAP
09-08 THIN BRICK VENEER, MATCH EXISTING BUILDING
10-14 DESIGN-BUILD METAL CANOPY, PROVIDE POWDER COATED GALVANIZED STEEL FRAMING (COLOR: BLACK) AND STRUCTURAL METAL DECK ROOF WITH 1/2" MIN. SLOPE TO GUTTER AND DOWNSPOUT. CLEAR HEIGHT OF 14' AT LEADING EDGE MEASURED TO BOTTOM OF STEEL NFPA AUTOMATIC SPRINKLER COVERAGE THROUGH DRY PIPE SYSTEM UNDER CANOPY.
22-05 DOWNSPOUT AND SCUPPER, PAINT TO MATCH ADJACENT SURFACES
26-03 EXTERIOR WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL FOR ADDITIONAL INFORMATION



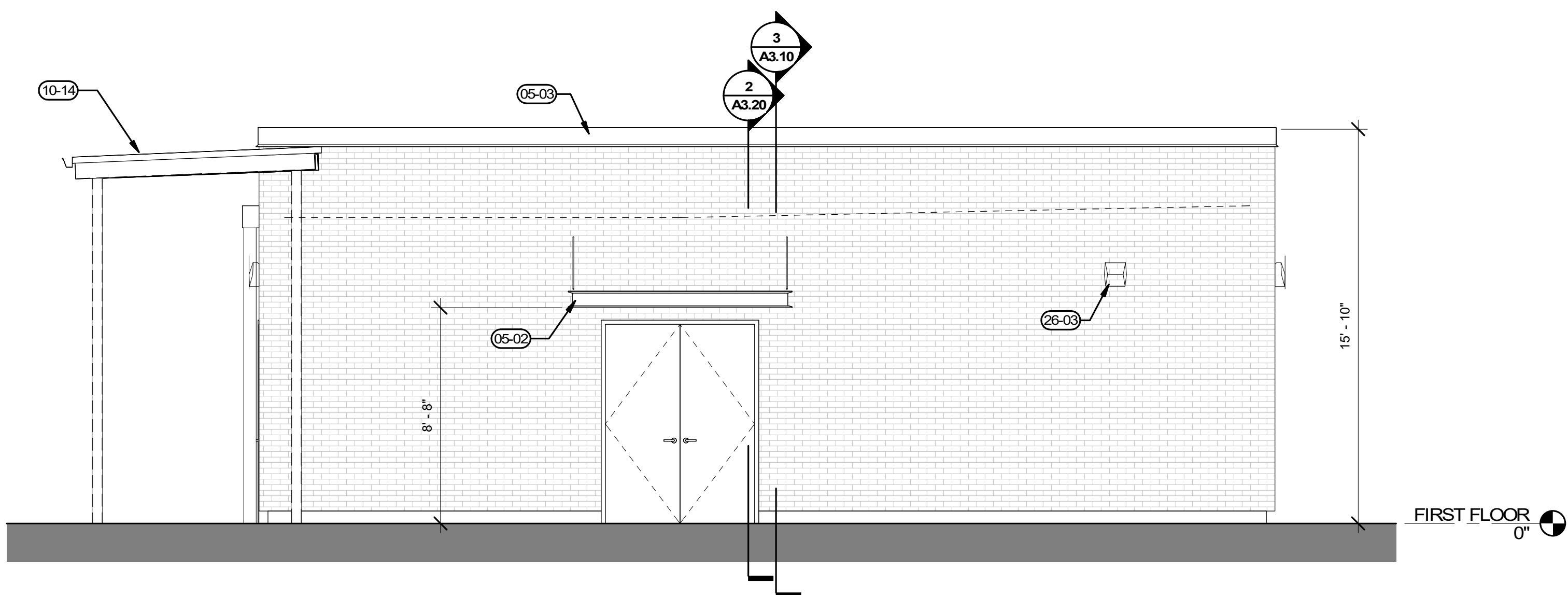
4 STORAGE WEST ELEVATION

A2.10 1/4" = 1'-0"



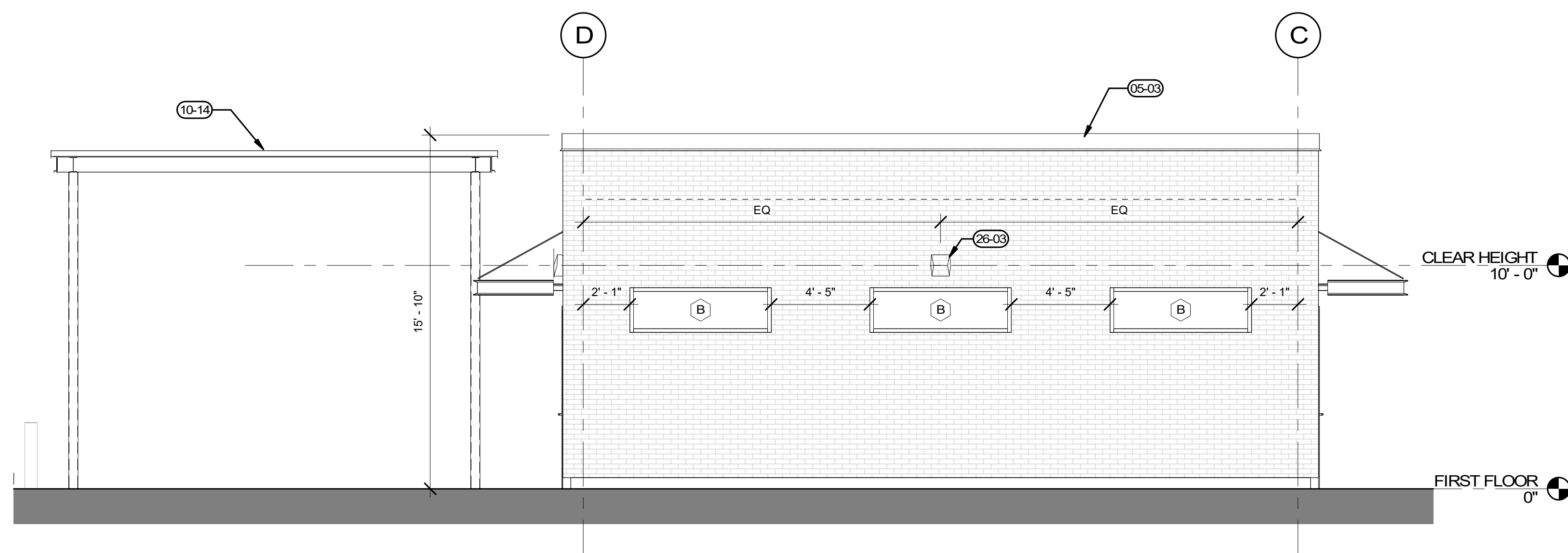
2 STORAGE SOUTH ELEVATION

A2.10 1/4" = 1'-0"



3 STORAGE EAST ELEVATION

A2.10 1/4" = 1'-0"



1 STORAGE NORTH ELEVATION

A2.10 1/4" = 1'-0"

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

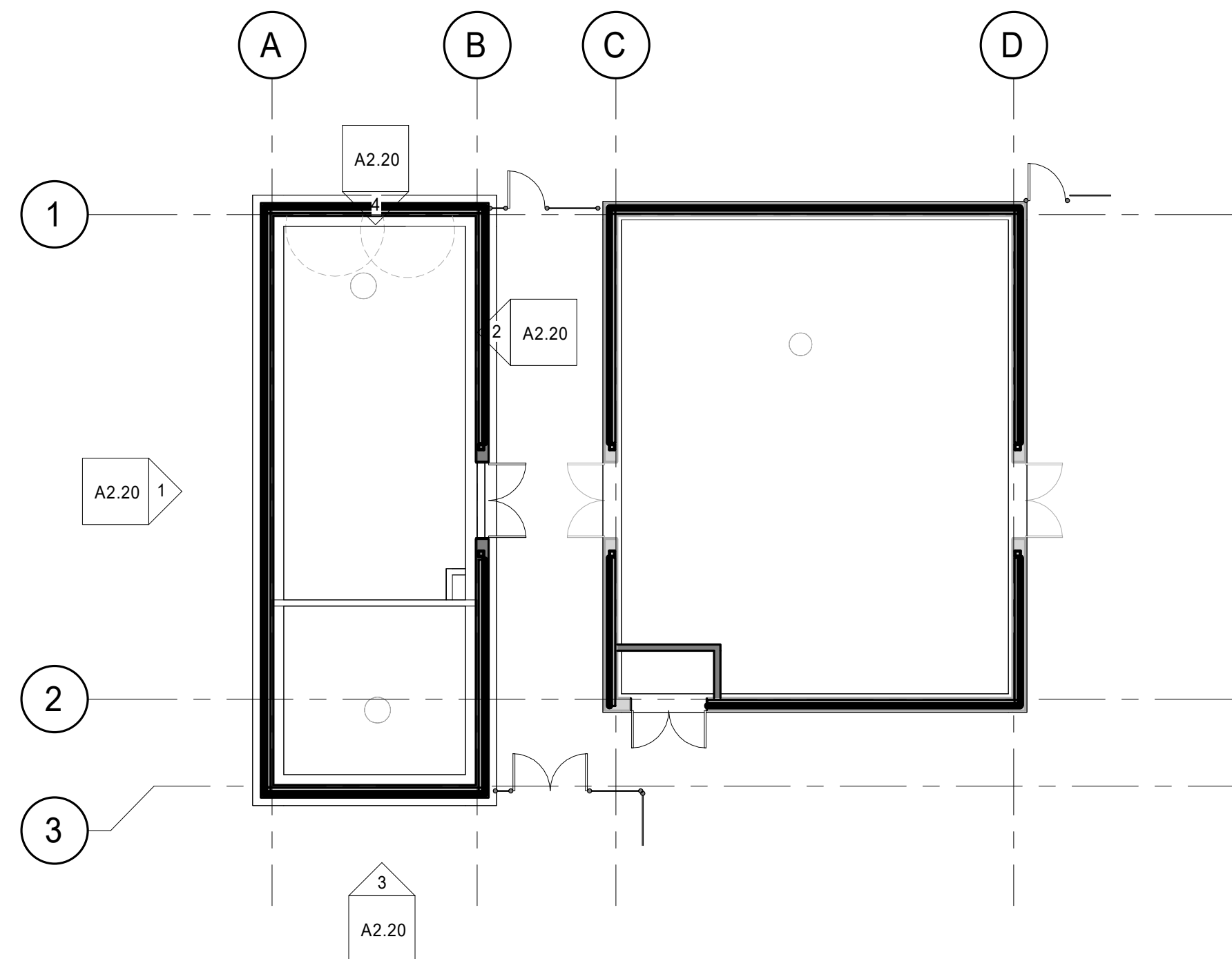
SHEET TITLE:
STORAGE
EXTERIOR
ELEVATIONS

REVISION SCHEDULE		
Delta	Issued As	Issue Date

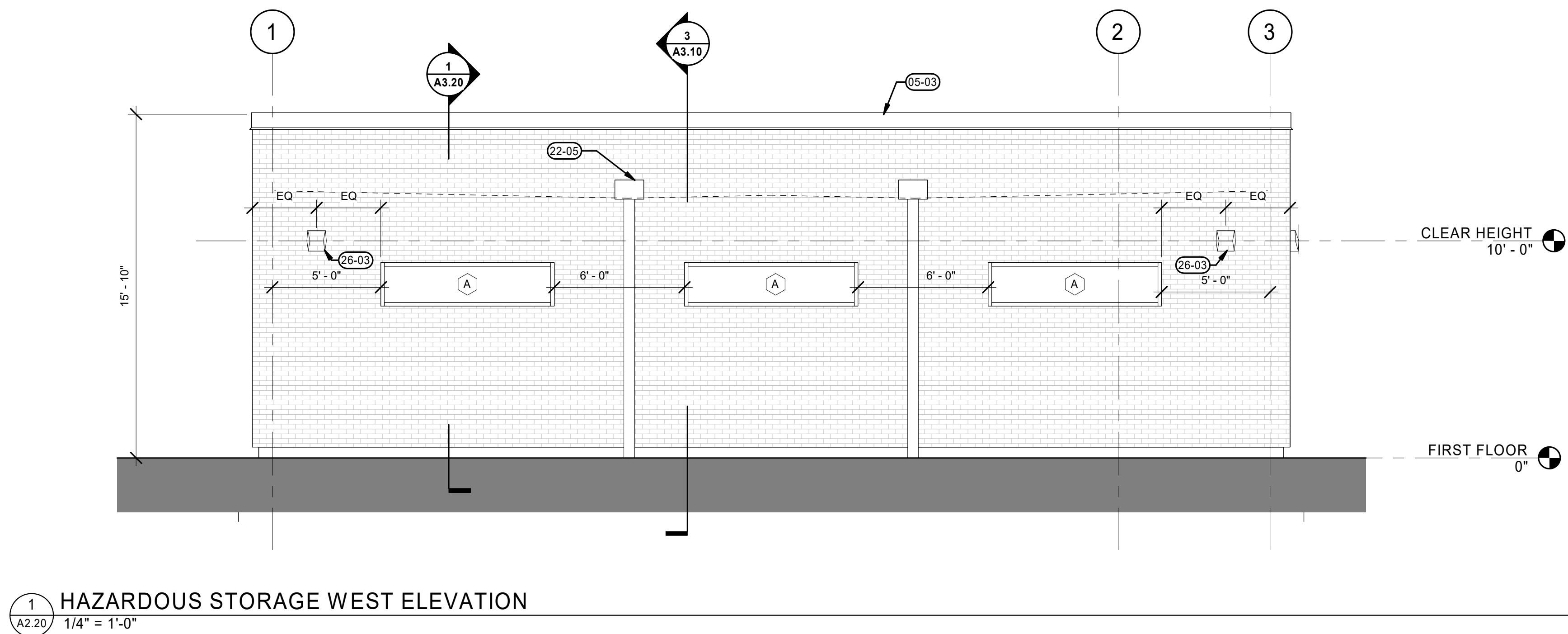
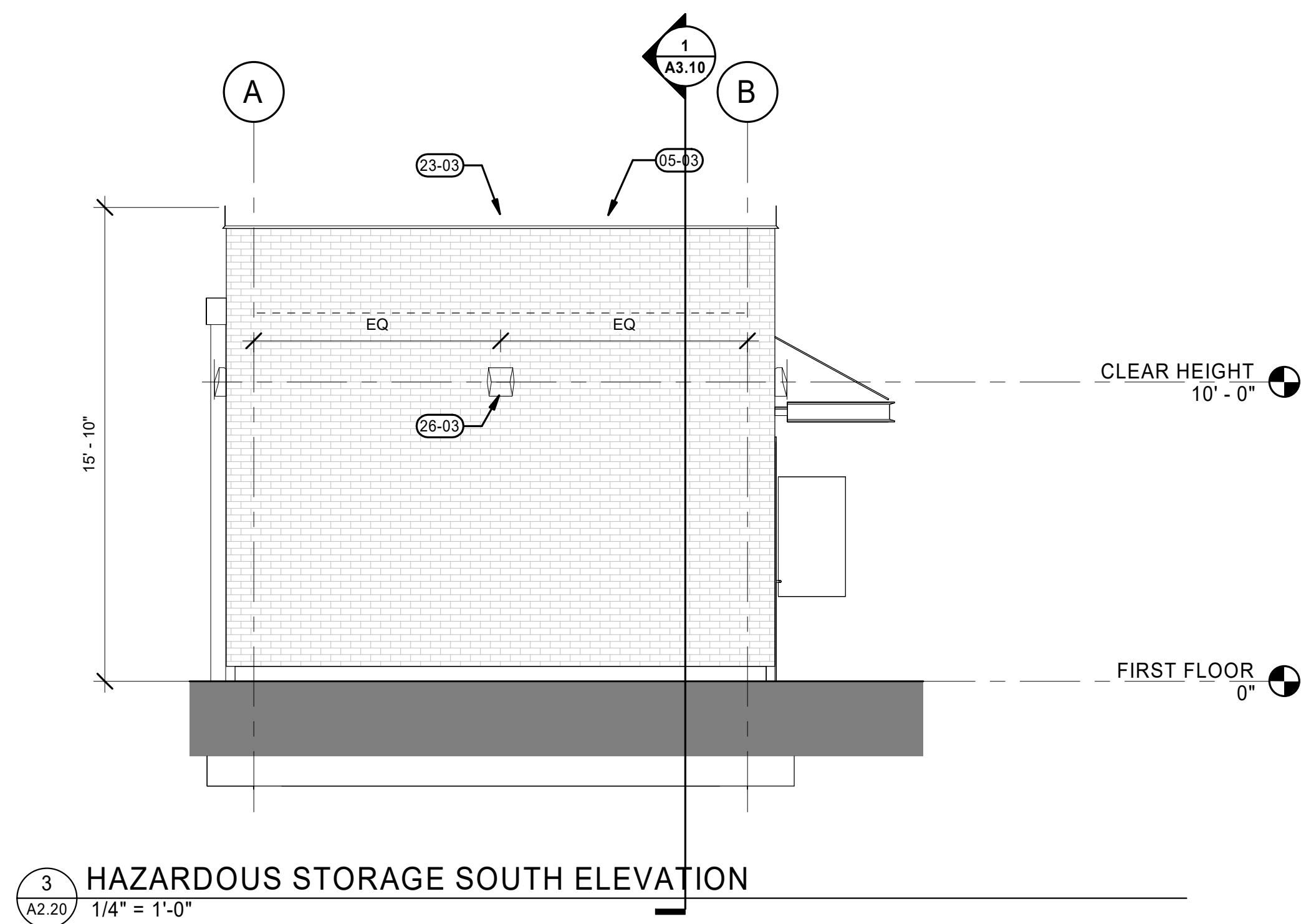
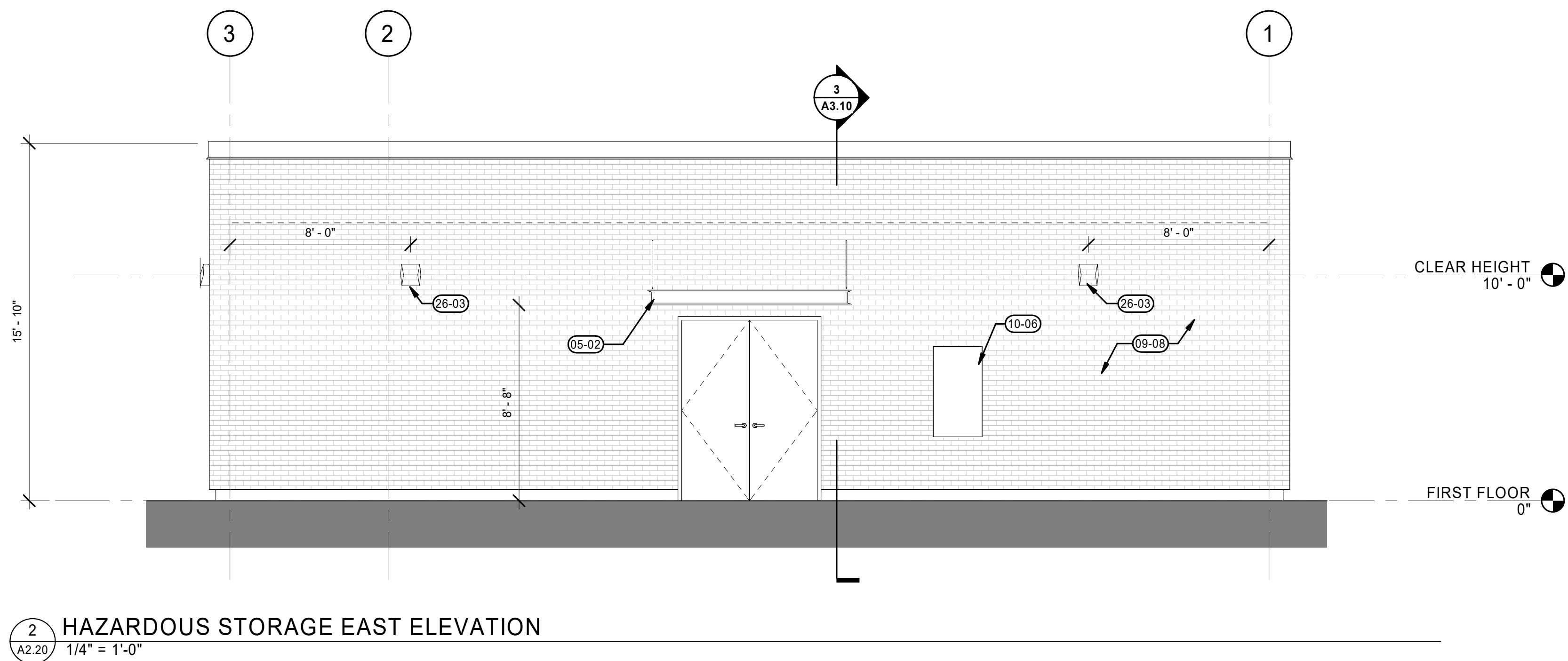
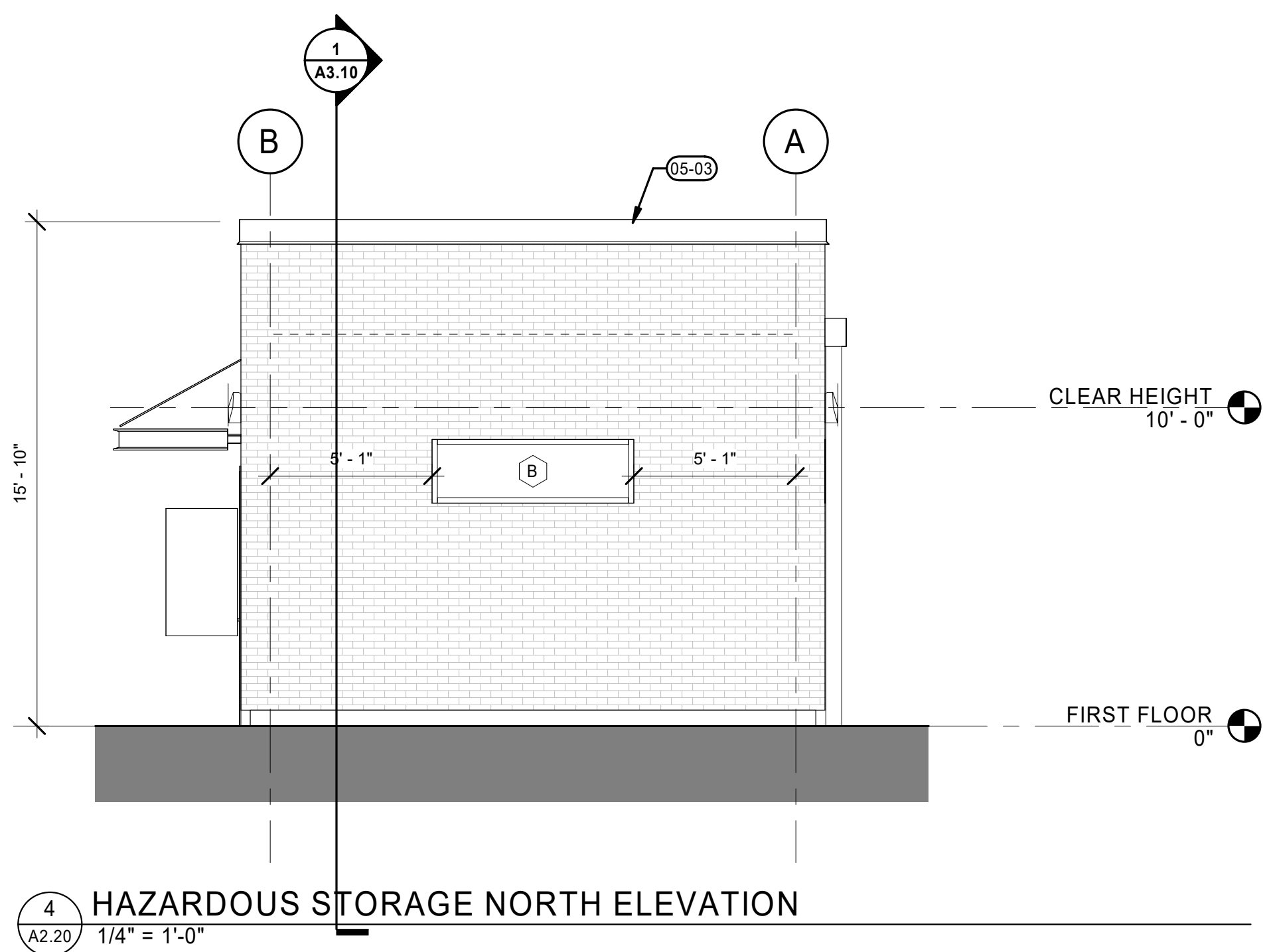
SHEET TITLE:
**HAZARDOUS
STORAGE
EXTERIOR
ELEVATIONS**

KEYNOTES

- | | |
|-------|--|
| 05-02 | ENTRY CANOPY |
| 05-03 | PARAPET COPING, PAINT TO MATCH EXISTING COPING CAP |
| 09-08 | THIN BRICK VENEER, MATCH EXISTING BUILDING |
| 10-08 | EMERGENCY SPILL KIT |
| 22-05 | DOWNSPOUT AND SCUPPER, PAINT TO MATCH ADJACENT SURFACES |
| 23-03 | EXHAUST FAN, SEE MECHANICAL FOR ADDITIONAL INFORMATION |
| 26-03 | EXTERIOR WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL FOR ADDITIONAL INFORMATION |

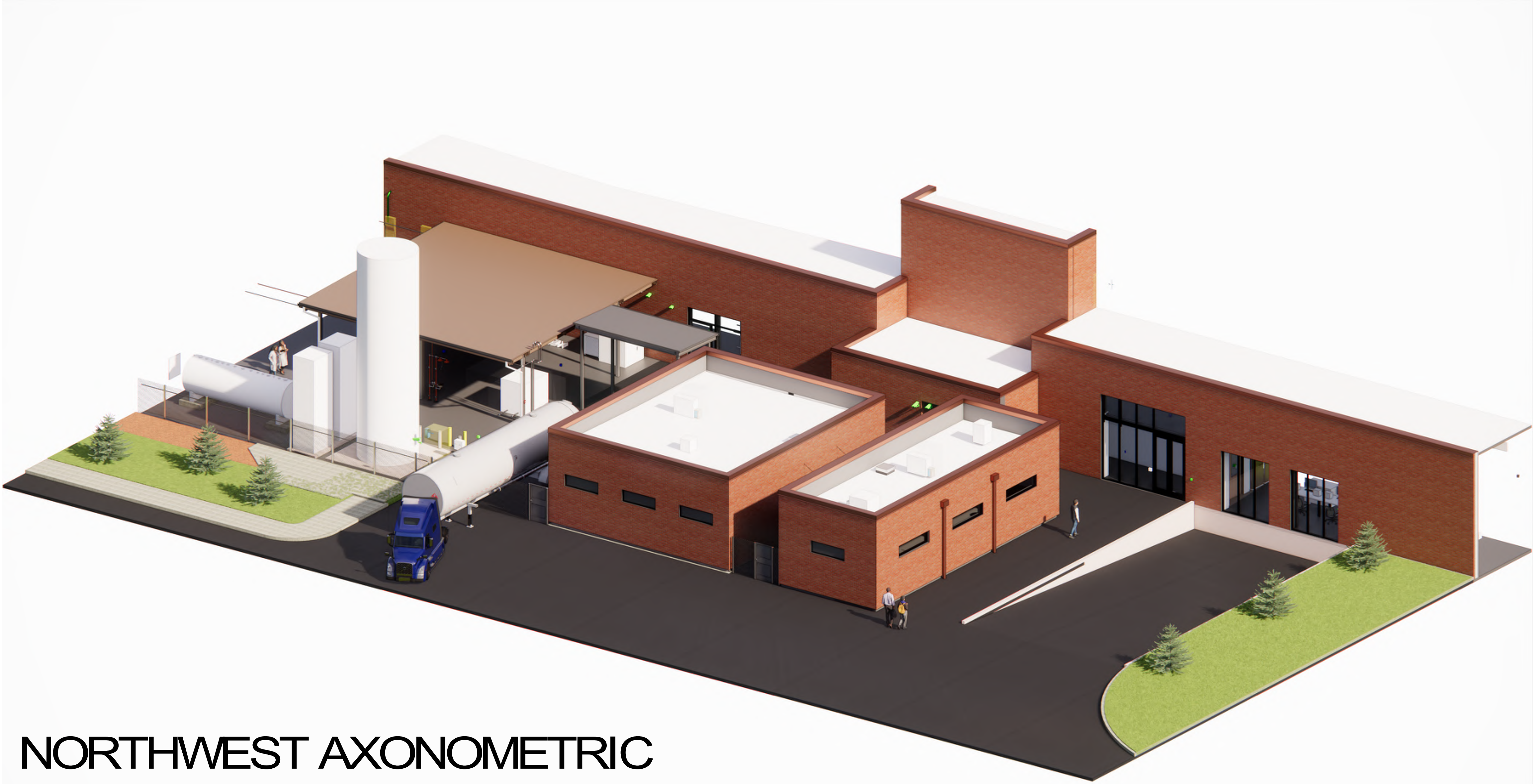


KEYPLAN



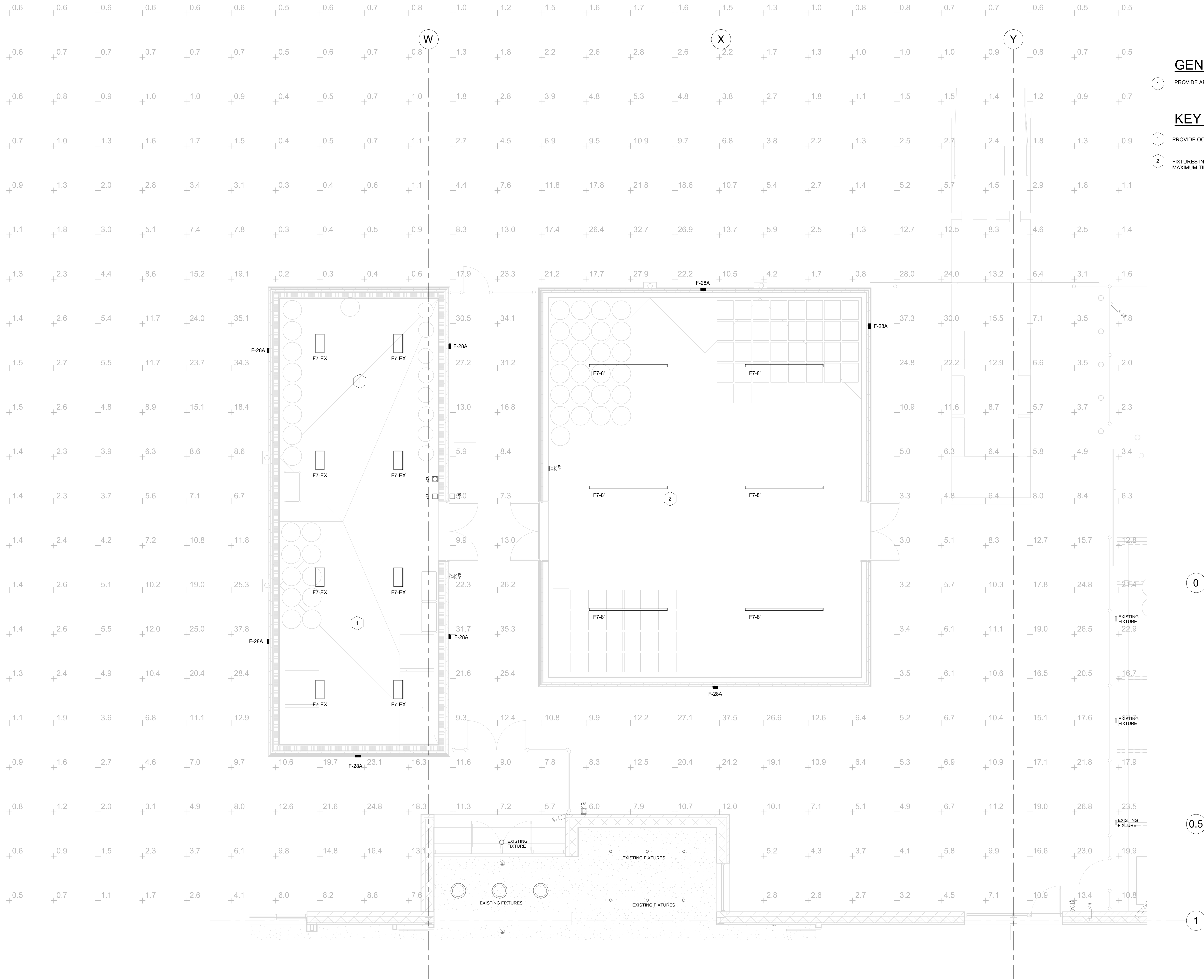


NORTHEAST AXONOMETRIC



NORTHWEST AXONOMETRIC

REVISION SCHEDULE		
Delta	Issued As	Issue Date



GENERAL NOTES

1 PROVIDE APPROVED WIRING METHODS FOR 'H3' STORAGE BUILDING PER NEC 501.10(B).

KEY NOTES

1 PROVIDE OCCUPANCY SENSOR THAT IS RATED FOR CLASS 1 DIVISION 2 OCCUPANCY

2 FIXTURES IN THIS BUILDING TO HAVE INTEGRAL OCCUPANCY SENSORS. COORDINATE MAXIMUM TIME ON WITHOUT MOTION SENSING WITH TWIST FACILITIES.

1 HAZMAT PROJECT- EXTERIOR LIGHTING PHOTOMETRIC REPORT
1/4" = 1'-0"

REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
ENLARGED
LIGHTING
PLAN-
HAZARDOUS
MATERIALS