

CLEARION

PLANNED DEVELOPMENT STANDARDS

All zoning regulations, standards, uses, requirements, and processes for the R-5 Single Family Medium Density District of the City of Willow Park Zoning Ordinance, as exists or may be amended, shall apply to the Property except as specified herein. The Property shall generally conform to the Conceptual Plan. Amendments to the Conceptual Plan are permitted in accordance with the Clearion Development Agreement. Any capitalized terms herein shall adhere to the definitions established within the Clearion Development Agreement, unless defined hereafter. In the event of a conflict between the Conceptual Plan and the Development Standards, the Development Standards shall control. In the event of a conflict between the Conceptual Plan and the City's Base Zoning Ordinance, the Conceptual Plan shall control. No further Conceptual Plan or development plan shall be required to be approved for the development of the Property, and the Conceptual Plan shall satisfy all requirements under the City's Zoning Ordinance to submit a development plan or Conceptual Plan.

Development Regulations

- I. Permitted Uses, Density:** All uses permitted for the R-5 Single-Family Medium Density District of the Zoning Ordinance shall be permitted. The maximum lot count is two hundred forty-one (241). The maximum Cottage Homesites shall be sixty-nine (69), the maximum Executive Homesites shall be sixty-seven (67), the maximum Estate Homesites shall be sixty-seven (67), the maximum Signature Homesites shall be twenty (20), and the maximum Luxury Homesites shall be eighteen (18).
- II. Dimensional Requirements:** The Clearion Planned Development District permits five (5) single-family residential detached lot types; Cottage Homesites, Executive Homesites, Estate Homesites, Signature Homesites, and Luxury Homesites with the regulating Dimensional Requirements as defined below:
- a. Cottage Homesite Dimensional Standards:**
1. Min. lot width (feet): 40'*
 2. Min. lot depth (feet): 120
 3. Min. lot area (SF): 5,000 SF
 4. Front yard (feet): 20'**
 5. Rear yard (feet): 10'
 6. Side yard interior (feet): 5'
 7. Corner side yard – adjacent to street (feet): 10'
 8. Max. lot coverage (%): 65%
 9. Min. dwelling unit size (SF): 1,800 SF
 10. Max. height (feet/stories): 36', 2.5
- b. Executive Homesite Dimensional Standards:**
1. Min. lot width (feet) 50'*
 2. Min. lot depth (feet): 120'***
 3. Min. lot area (SF): 6,000 SF
 4. Front yard (feet): 20'**

5. Rear yard (feet): 10'
6. Side yard interior (feet): 5'
7. Corner side yard – adjacent to street (feet): 10'
8. Max. lot coverage (%): 65%
9. Min. dwelling unit size (SF): 1,850 SF
10. Max. height (feet/stories): 36', 2.5

c. Estate Homesite Dimensional Standards:

1. Min. lot width (feet) 60'*
2. Min. lot depth (feet): 120'
3. Min. lot area (SF): 7,200 SF
4. Front yard (feet): 20'***
5. Rear yard (feet): 10'
6. Side yard interior (feet): 5'
7. Corner side yard – adjacent to street (feet): 10'
8. Max. lot coverage (%): 65%
9. Min. dwelling unit size (SF): 2,000 SF
10. Max. height (feet/stories): 36', 2.5

d. Signature Homesite Dimensional Standards:

1. Min. lot width (feet) 80'*
2. Min. lot depth (feet): 125'
3. Min. lot area (SF): 10,000 SF
4. Front yard (feet): 20'***
5. Rear yard (feet): 10'
6. Side yard interior (feet): 5'
7. Corner side yard – adjacent to street (feet): 10'
8. Max. lot coverage (%): 65%
9. Min. dwelling unit size (SF): 2,000 SF
10. Max. height (feet/stories): 36', 2.5

e. Luxury Homesite Dimensional Standards:

1. Min. lot width (feet) 120'*
2. Min. lot depth (feet): 165'
3. Min. lot area (SF): 19,800 SF
4. Front yard (feet): 25'***
5. Rear yard (feet): 20'
6. Side yard interior (feet): 10'
7. Corner side yard – adjacent to street (feet): 10'
8. Max. lot coverage (%): 65%
9. Min. dwelling unit size (SF): 2,200 SF
10. Max. height (feet/stories): 36', 2.5

*Lot width to be measured along the arc at build line along curves, knuckles, and cul-de-sacs.

** Porches may encroach upon the front yard setback a maximum of 5'.

***The lot depth for lots 17, 18, 19, 20, and 21 along the curve of the southernmost east/west street may be reduced to a minimum of 100' as shown on Exhibit A.

III. Architectural Standards: The following shall be incorporated for all residential lot types:

a. Exterior Materials:

1. Minimum of 85% overall masonry (exclusive of openings, insets, protrusions or areas under covered porches).
2. For the purposes of this ordinance, the masonry requirement shall be limited to full-width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see examples below) may be used for up to 50.00% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



b. Architectural Elements: Each building shall include at least four of the following architectural elements:

1. Awnings/canopies;
2. Balconies (a minimum of 25 square feet in size);
3. Dormers;
4. Offsets within each building (a minimum 5 feet to receive credit);
5. Patio (a minimum of 25 square feet in size);
6. Porches (a minimum of 25 feet in size);
7. Stoops (a minimum of 2 feet tall by 4 feet wide);
8. Varied roof height in building (a minimum 10-foot difference);
9. Sconce lighting;
10. Decorative banding or molding;
11. Decorative overhangs;
12. Front porch columns;
13. Bay windows; and
14. Shutters.

c. Roof Pitch/Material:

1. Minimum of 6:12 roof pitch, excluding porches, patios and dormers unless approved by the Architectural Control Committee (“ACC”) of the HOA. No

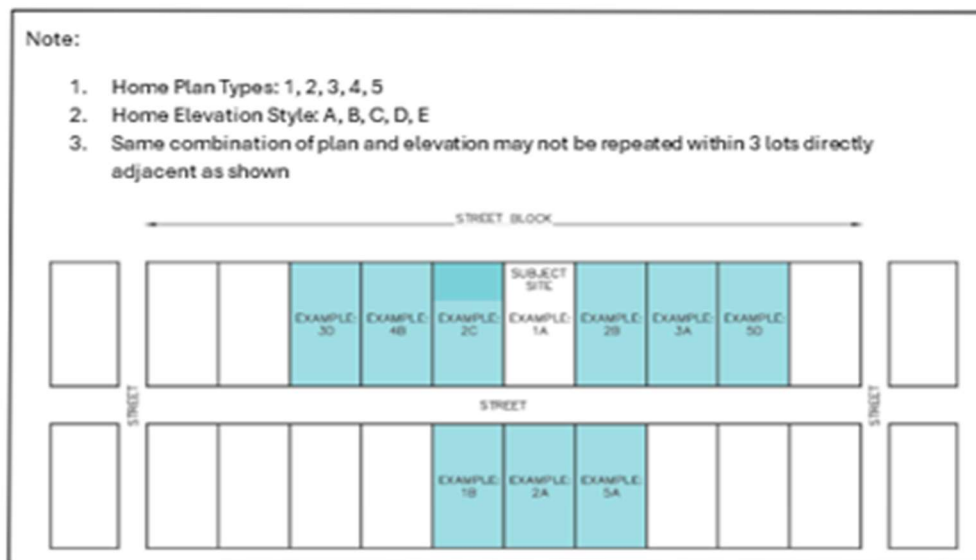
minimum overhang shall be required, when utilized, overhangs can project a maximum of 4' upon the front setback.

2. Minimum 30-year architectural style shingles, complimentary to home color palate and approved by ACC.

d. Repetition of Building Form:

1. For Cottage, Estate, and Executive Homesites the same combination of (i) house plan, plus (ii) elevation shall not be repeated within three (3) lots on the same side of the street nor within three (3) lots on the opposite sides of the street, as illustrated in Figure 1.
2. For the purposes of this section, homes are considered to have a differing appearance/elevation if at least three of the following items are different from the other elevations to which they are being compared:
 - A. number of stories;
 - B. material color;
 - C. roof type and layout;
 - D. articulation of the front façade;
 - E. brick pattern; or
 - F. at least two architectural elements that differentiate the façade, which may include, but are not limited to:
 - i. porch (protruding, recessed, or no porch);
 - ii. decorative door or window frames;
 - iii. bay windows;
 - iv. dormers; or
 - v. balcony (full size or Juliette).

Figure 1

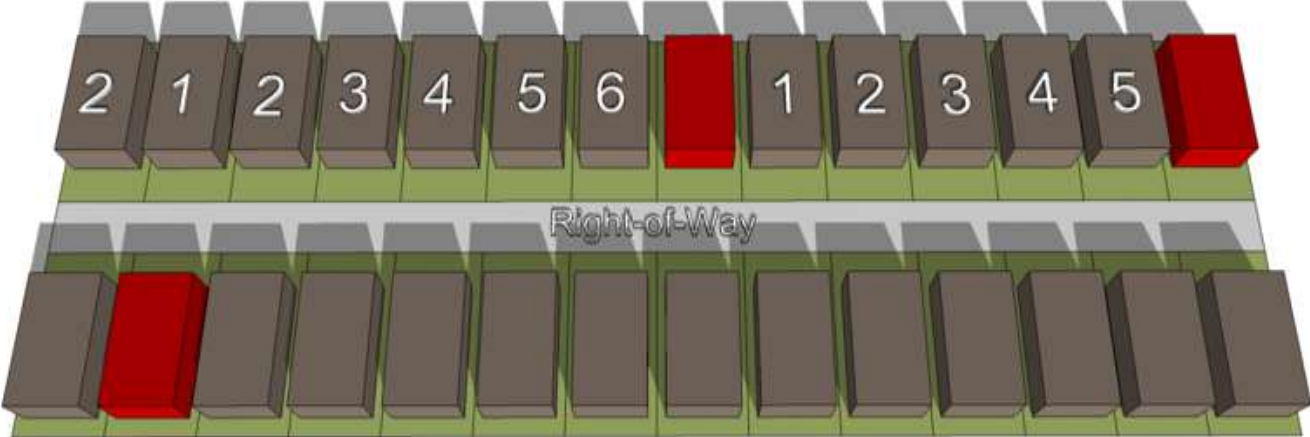


- 3. For Signature and Luxury Homesites:
 - A. Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
 - B. Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street.
 - C. Permitted encroachment (i.e. porches and sunroom) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street, as illustrated in Figure 2.

- 4. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - A. Number of Stories
 - B. Permitted Encroachment Type and Layout
 - C. Roof Type and Layout
 - D. Articulation of the Front Façade

Figure 2

PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



5. The building official shall have discretion to approve minor variations in the requirements of this section, so long as those variations are consistent with the overall intent of this section. The following process shall be used to approve a front building elevation plan for master elevation approval for the community:
 - A. The applicant shall submit a dimensioned rendering of the front building elevation to the building official.
 - B. The building official shall determine the elevation plan's compliance with this section for use of the elevation to be built within the community.
 - C. The applicant shall prepare and submit construction plans and one of the elevation plans from the approved master elevation set to the building official, who shall process the plans in accordance with city ordinances and policies.
 - D. The master elevation plan approval shall remain in effect until the completion of all construction has been completed within the community.
 - E. Construction plans shall be consistent with the approved elevation plan. If construction plans are inconsistent, consistent plans shall be submitted, or a new elevation plan must be approved for the construction plans under the criteria of this section.

e. Garages: All homes will include at minimum a two (2) car garage. Front entrance garages are permitted.

f. Driveways: Minimum 20' garage setback for all Homesites, driveway width must accommodate two (2) vehicles parked side by side with a minimum driveway approach of 14' wide and an approach radius of 8'.

IV. Special Design Guidelines: The following items shall be implemented as part of the Clearion Planned Development District:

a. Homeowner's Association ("HOA") – An HOA will be established for Clearion and shall maintain all common areas and common area amenities.

b. Portable Trailers: Portable trailers may be used as construction or sales offices located within a new sub-development subject to the following provisions:

1. No more than one (1) sales trailer per builder in the subdivision.
2. Trailer must be located at least one hundred fifty (150) feet from any occupied residence prior to placement of trailer.

c. Amenity Provisions:

1. The development will provide approximately 6,000 linear feet of 10' concrete trail on site and throughout the Park Dedication Area, with a meander dirt bike path adjacent throughout the Park Dedication Area, as shown on Exhibit B of the Clearion Development Standards. As part of the the landscape plan design

and review process, Developer will seek city staff input on the trail and dirt bike path connectivity to adjacent properties where practically feasible.

2. A minimum of ten (10) concrete parking stalls to be constructed by Developer along the southwest cul-de-sac adjacent to the Park Dedication Land, or other location as mutually agreeable between the Developer and the City.
3. A permanent restroom facility shall be constructed by the Developer within a relative proximity to the parking stalls.

d. Landscape, Irrigation, and Tree Planting:

1. Residential, perimeter walls, parkways, right-of-way, parks, and amenity areas shall be provided with vertical landscaping and irrigation systems. A detailed landscape plan will be submitted with the construction plans.
2. The portion of the J.D. Towles collector located within the boundary of the property will be required to have street trees. The street trees along J.D. Towles shall be installed by the builder(s) at the time of home construction to eliminate conflicts with future driveways.
3. Landscaping along right-of-way, perimeter screening adjacent to landscape buffers, and onsite open space amenity areas shall be maintained by the HOA where applicable.
4. All single-family lots, with the exception of Cottage Lots, shall contain a minimum of two (2) shade trees per dwelling, spaced appropriately, in the front yard or along the parkway. The Cottage Lots shall contain a minimum of one (1) shade tree per dwelling. At least 5% of the front yard shall be landscaped with ornamental grasses, flora, shrubs, bushes, and/or trees.
5. Street trees along J.D. Towles shall be at least four inches (4”) in diameter. Street trees along all other roadways shall be at least six feet (6’) in height and three-inch (3”) in diameter.

e. Screening: Screening for the Clearion Planned Development District shall be in conformance with Exhibit C of the Clearion Development Standards.

f. Parkland Dedication: Approximately 16.5 acres on the westernmost portion of the property shall be dedicated to the City as detailed in the Agreement.

g. City Sewer/Affluent Easement: At the time of construction plan design, Developer will coordinate with City staff to determine the best location to include an affluent and sewer easement that will be dedicated to the City.

h. Signage: Street signage shall be complimentary to the surrounding environment. Clearion branding design elements and/or Willow Park City logos are permitted on public street signs once determined by staff to be in conformance with the City’s Street sign regulations. Proposed signage design will be included as part of the Civil Plan submittal.

i. Emergency Access Drive: The street connection to Royal View Drive shall be a controlled entry with gated access restricted to emergency personnel only. This

access point shall not be used as an ingress or egress for the residents of Clearion at any time and the gate shall remain closed except in the case of emergency.

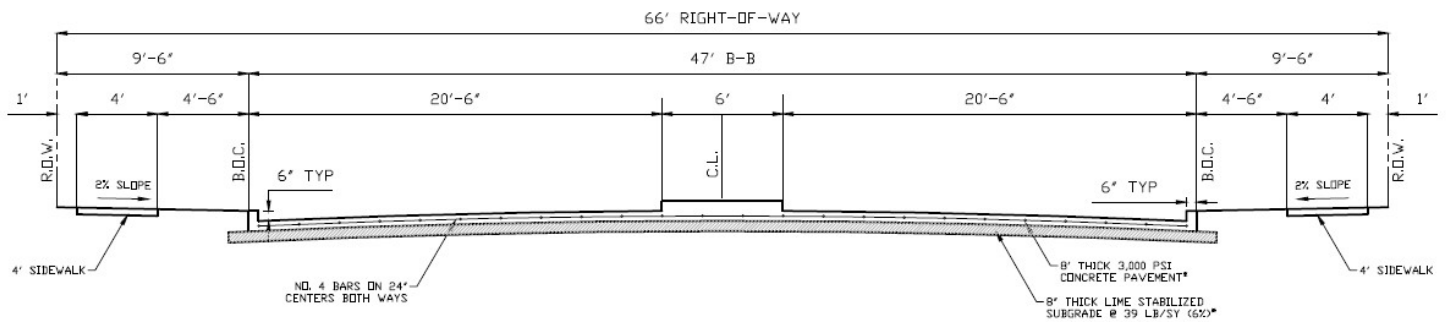
- j. Street System Connectivity, Adjacency Standards:** Other than as reflected on the Conceptual Plan, connectivity to already dedicated street systems in adjacent subdivisions shall not be required. Specifically, the Verde Road stub out to the Property shall not be required to continue into the Property and shall remain a dead-end street with Clearion private lots permitted to be platted and constructed immediately adjacent to the Verde Road dedication area, as shown on the Conceptual Plan.
- k. Lighting:** Decorative Street lighting shall be incorporated where applicable, fixtures shall be directed downward and be positioned to contain all light within the area of the property. Representative examples shown below are subject to final design.



- l. Traffic Impact Analysis:** A Traffic Impact Analysis (T.I.A.) shall be conducted and submitted to the City at the time of Final Plat and reviewed concurrently with the Civil Plans.
- m. Enhanced Entryway:** The southern J.D. Towles entrance to the development shall include a divided median for visual distinction and traffic calming purposes.
- n. J.D. Towles Bike Lane:** The development shall include a bike lane throughout the portion of the J.D. Towles collector constructed by Developer within the boundary of the Property. No vehicle parking shall be permitted in the bike lane.
- o. Entryway Monumentation:** At a minimum, the development shall include entry monumentation at the access point at Crown Road and where J.D. Towles enters the Property to the south, in line with the representative depiction below:



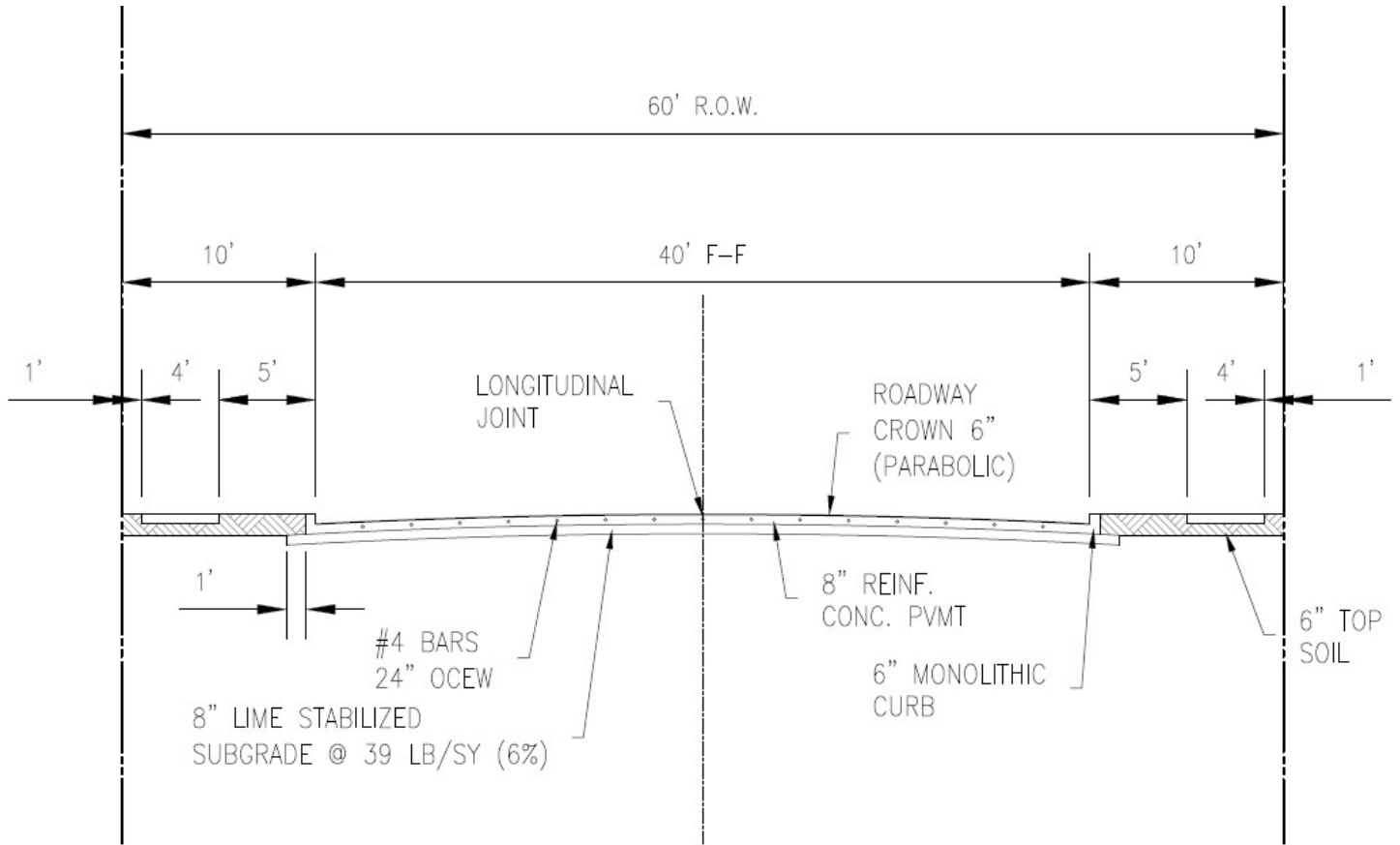
- p. Plats and/or site plans submitted for the development of the Property shall substantially conform to the data presented and approved on the Conceptual Plan. Non-substantial changes of detail on the final development plan(s) that differ from the Conceptual Plan, and/or phasing of the property, may be authorized by the City Manager or their designee, at the time of final plat approval, without a public hearing.
- q. **J.D. Towles Entryway Divided Street Section Standards:** The southern J.D. Towles entryway connection shall be designed in general conformity with the dimensional cross section of the street patterned depicted below. Monument signage that does not visually obstruct vehicular and pedestrian traffic may be located within the median. Any signage and all landscaping installed within the median area shall be considered common area open space to be maintained by the H.O.A.



PARABOLIC STREET SECTION (DIVIDED J.D. TOWLES)
NTS

• NOTE: THESE REPRESENT THE MINIMUM PAVING STANDARDS. ALL PAVING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THE PHASE.

r. J.D. Towles 40' Pavement Section (6' bike lanes to be included along both sides):



40' PAVEMENT SECTION
FACE TO FACE (NORMAL)

EXHIBIT A TO CLEARION DEVELOPMENT STANDARDS
CLEARION CONCEPTUAL PLAN

Cottage
Homesites

Executive
Homesites

Estate
Homesites

Signature
Homesites

Luxury
Homesites



**EXHIBIT B TO CLEARION DEVELOPMENT STANDARDS
OPEN SPACE, PARKLAND, AND TRAIL CONCEPTUAL PLAN**

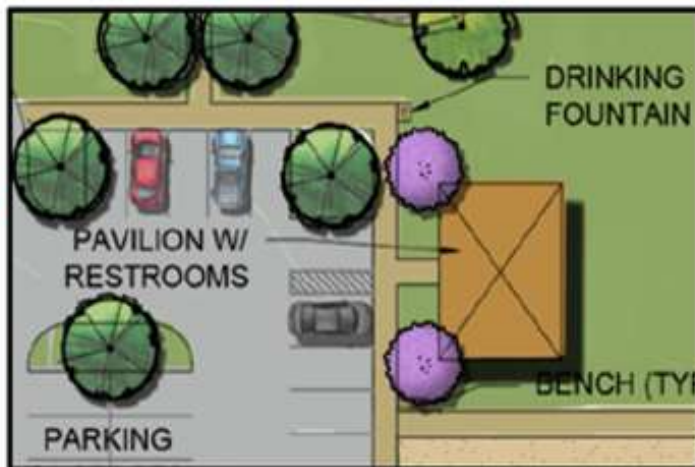
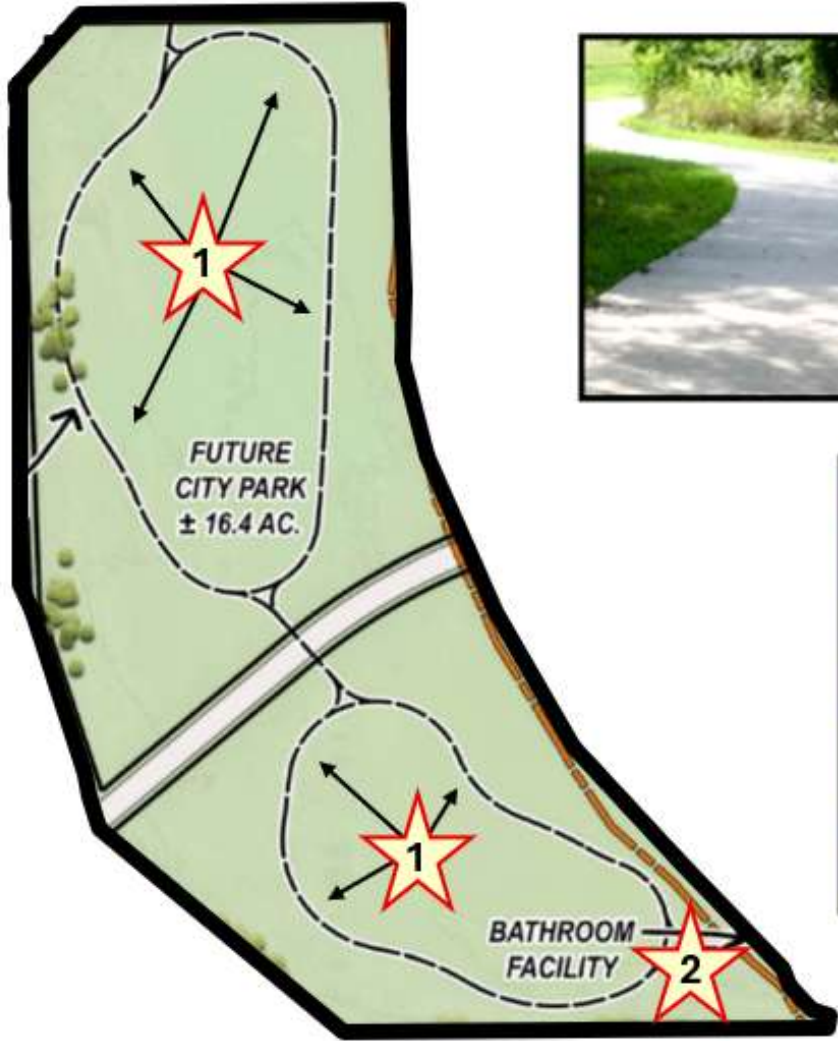


EXHIBIT C TO CLEARION DEVELOPMENT STANDARDS PERIMETER SCREENING CONCEPTUAL PLAN

 6' Board-on-Board Wood Fence

 6' Decorative Metal Fence

 6' Masonry Screening Wall

 4' Decorative Metal Fence

