

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF PARKER §

WHEREAS BAR-KO LAND COMPANY LLC IS THE OWNER OF ALL THAT CERTAIN 7.290 ACRE TRACT OF LAND BEING SITUATED IN THE JAMES OXER SURVEY, ABSTRACT NUMBER 1029, PARKER COUNTY, TEXAS AND BEING ALL OF A CALLED 2,518 SQUARE FOOT TRACT OF LAND DESCRIBED IN A DEED TO BAR-KO LAND COMPANY LLC, RECORDED IN DOCUMENT NUMBER 202515735 OF THE DEED RECORDS OF SAID COUNTY AND BEING PART OF A CALLED 24.365 ACRE TRACT OF LAND DESCRIBED IN A DEED TO BAR-KO LAND COMPANY LLC, RECORDED IN DOCUMENT NUMBER 202142647 OFF SAID DEED RECORDS, AND SAID 7.290 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**COMMENCING** AT A 1/2 INCH IRON REBAR WITH CAP STAMPED "STEVENS SURVEYING" FOUND FOR THE CORNER OF A CALLED 0.82 ACRE RIGHT-OF-WAY DEDICATION DESCRIBED IN DOCUMENT NUMBER 202515356 OF SAID DEED RECORDS, BEING IN THE SOUTH LINE OF LOT 1, BLOCK 1 OF BANKHEAD COMMONS, RECORDED IN DOCUMENT NUMBER 202313961 OF THE PLAT RECORDS OF SAID COUNTY, AND THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO J.P. ELDER FAMILY LIMITED PARTNERSHIP RECORDED IN DOCUMENT NUMBER 201931531 OF SAID DEED RECORDS;

**THENCE** SOUTH 11°48'12" WEST, WITH THE COMMON LINE OF SAID 0.82 ACRE RIGHT-OF-WAY TRACT AND SAID J.P. ELDER FAMILY LIMITED PARTNERSHIP TRACT, A DISTANCE OF 112.85 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "RPLS 7068" FOUND FOR THE SOUTHWEST CORNER OF SAID 0.82 ACRE RIGHT-OF-WAY TRACT, AND THE **POINT OF BEGINNING**, FOR THE NORTHWEST CORNER HEREIN DESCRIBED;

**THENCE** WITH THE SOUTH LINE OF SAID 0.82 ACRE RIGHT-OF-WAY TRACT, THE FOLLOWING COURSES AND DISTANCES;

NORTH 89°32'01" EAST, A DISTANCE OF 73.66 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR THE BEGINNING OF A CURVE TO THE LEFT, WITH A RADIUS OF 60.00 FEET AND A CHORD WHICH BEARS NORTH 51°48'16" EAST, A DISTANCE OF 73.54 FEET;

ALONG SAID CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 75°35'11" AND AN ARC DISTANCE OF 79.15 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR THE BEGINNING OF A REVERSE CURVE TO THE RIGHT, WITH A RADIUS OF 20.00 FEET AND A CHORD WHICH BEARS NORTH 51°46'21" EAST, A DISTANCE OF 24.48 FEET;

ALONG SAID CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 75°28'22" AND AN ARC DISTANCE OF 26.34 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR CORNER;

NORTH 89°32'01" EAST, A DISTANCE OF 95.05 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "RPLS 7068" SET FOR THE BEGINNING OF A CURVE TO THE LEFT, WITH A RADIUS OF 330.00 FEET AND A CHORD WHICH BEARS NORTH 83°17'46" EAST, A DISTANCE OF 71.71 FEET;

ALONG SAID CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 12°28'31" AND AN ARC DISTANCE OF 71.85 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR CORNER;

NORTH 77°03'30" EAST, A DISTANCE OF 73.10 FEET TO A 1/2 INCH IRON REBAR WITH CAP STAMPED "RPLS 7068" SET FOR THE BEGINNING OF A CURVE TO THE RIGHT, WITH A RADIUS OF 270.00 FEET AND A CHORD WHICH BEARS NORTH 83°18'06" EAST, A DISTANCE OF 58.72 FEET;

ALONG SAID CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 12°29'11" AND AN ARC DISTANCE OF 58.84 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR CORNER;

NORTH 89°32'41" EAST, A DISTANCE OF 141.16 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "BARRON/STARK" FOUND FOR THE BEGINNING OF A CURVE TO THE LEFT, WITH A RADIUS OF 180.00 FEET AND A CHORD WHICH BEARS NORTH 64°20'38" EAST, A DISTANCE OF 153.28 FEET;

ALONG SAID CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 50°23'57" AND AN ARC DISTANCE OF 158.33 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "RPLS 7068" SET FOR CORNER;

NORTH 38°51'37" EAST, A DISTANCE OF 17.15 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "RPLS 7068" SET FOR THE NORTH CORNER OF SAID 2,518 SQUARE FOOT TRACT, BEING IN THE SOUTHWEST RIGHT-OF-WAY LINE OF EAST BANKHEAD HIGHWAY, A 80-FOOT-WIDE PUBLIC RIGHT-OF-WAY, FOR THE NORTHEAST CORNER HEREIN DESCRIBED;

**THENCE** SOUTH 51°09'59" EAST, WITH THE NORTHEAST LINE OF SAID 2,518 SQUARE FOOT TRACT, THE NORTHEAST LINE OF SAID 24.365 ACRE TRACT, AND SAID SOUTHWEST RIGHT-OF-WAY LINE OF EAST BANKHEAD HIGHWAY, A DISTANCE OF 183.65 FEET TO A 1/2 INCH IRON REBAR WITH CAP STAMPED "RPLS 7068" SET FOR CORNER;

**THENCE**, IN OVER, AND THROUGH SAID 24.365 ACRE TRACT THE FOLLOWING COURSES AND DISTANCES:

SOUTH 32°27'39" WEST, A DISTANCE OF 446.43 FEET TO A 1/2 INCH IRON REBAR WITH CAP STAMPED "RPLS 7068" SET FOR THE SOUTHEAST CORNER HEREIN DESCRIBED;

SOUTH 89°32'45" WEST, A DISTANCE OF 707.58 FEET TO A 1/2 INCH IRON REBAR WITH A CAP STAMPED "RPLS 7068" SET IN THE COMMON LINE OF SAID 24.365 ACRE TRACT AND SAID J.P. ELDER FAMILY LIMITED PARTNERSHIP TRACT, FOR THE SOUTHWEST CORNER HEREIN DESCRIBED;

**THENCE** NORTH 11°48'12" EAST, WITH SAID COMMON LINE, A DISTANCE OF 330.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 7.290 ACRES, (317,544 SQUARE FEET) OF LAND.

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

THAT BAR-KO LAND COMPANY, LLC, OWNER OF THE LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DOES HEREBY DEDICATE IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:

**TRACTOR SUPPLY ADDITION**

AND DO HEREBY DEDICATE TO THE PUBLIC, THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

BY \_\_\_\_\_  
DULY AUTHORIZED AGENT DATE

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY DID PERSONALLY APPEAR \_\_\_\_\_, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HAS ACKNOWLEDGED TO ME THAT THEY HAVE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS DATE

**PLAT NOTES**

1. THE PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS AND/OR ENCUMBRANCES.
2. THE PUBLIC EASEMENTS, PUBLIC STREETS, AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED OR SHOWN ON THIS PLAT.
3. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS AND APPROVED BY THE CITY.
4. THE CITY IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, UNDER OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR.
5. UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY THE PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND THE CITY'S USE THEREOF.
6. THE CITY AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS OR PUBLIC USE IN THE EASEMENTS.
7. UNLESS AS PROVIDED FOR IN A SEPARATE INSTRUMENT, THE CITY AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE A RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS OR PUBLIC USE WITHOUT THE NECESSITY OF PROCURING THE PERMISSION FROM ANYONE.
8. ANY MODIFICATION OF THIS DOCUMENT SHALL BE BY MEANS OF PLAT AND SHALL BE APPROVED BY THE CITY.
9. WATER SERVICE FOR SUBJECT PROPERTY TO BE PROVIDED BY PUBLIC WATER MAIN EXTENSION. SANITARY SEWER SERVICE WILL BE PROVIDED AT A LATER DATE - ON SITE SEPTIC SYSTEMS WILL BE UTILIZED UNTIL PUBLIC MAIN IS MADE AVAILABLE TO SUBJECT PROPERTY.

**GENERAL NOTES**

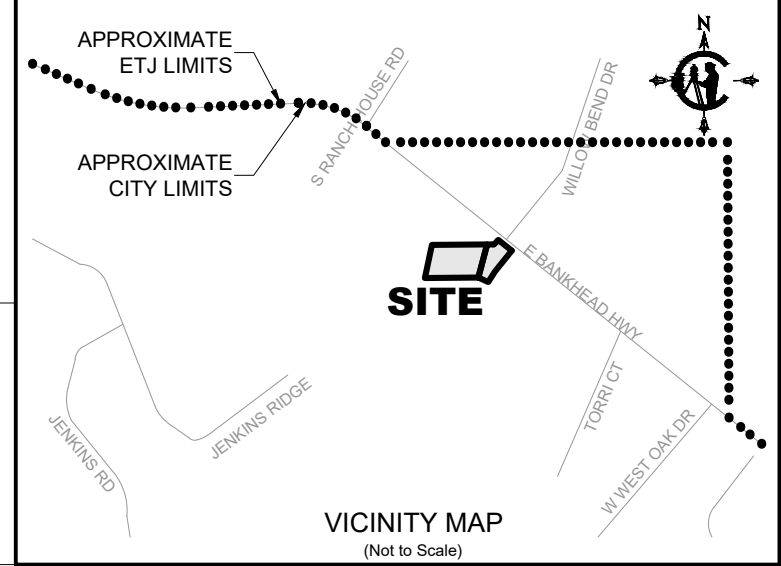
1. THE PROPERTY IS SITUATED IN THE CITY OF WILLOW PARK, PARKER COUNTY, TEXAS.
2. THE CITY OF WILLOW PARK IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, ON OR OVER ANY EASEMENTS DEDICATED TO THE CITY OF WILLOW PARK AS A RESULT OF REPAIR, MAINTENANCE OR REPLACEMENT.
3. THE PROPERTY IS LOCATED IN THE ALEDO ISD.
4. THE PROPERTY IS TO BE SERVED BY THE WILLOW PARK FIRE DEPARTMENT.
5. ALL STORM WATER DETENTION FACILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED.

**FLOOD ZONE NOTE:**

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48367C0425F, WHICH BEARS AN EFFECTIVE DATE OF APRIL 5, 2019, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**BASIS OF BEARINGS NOTE:**

BEARINGS AND DISTANCES ARE BASED ON U.S. STATE PLANE NAD 1983 COORDINATES, TEXAS NORTH CENTRAL ZONE (4202). VERTICAL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



**ZONING INFORMATION**

AWAITING ZONING CLASSIFICATION  
TO BE RE-ZONED PRIOR TO PLAT RECORDATION

**SURVEYOR'S CERTIFICATION**

I, LINDSAY JO GROSECLOSE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF TITLE 25 OF THE CITY OF WILLOW PARK LAND DEVELOPMENT CODE, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY DIRECTION AND SUPERVISION.

PLAT COMPLETION DATE: JUNE 17, 2025.

\_\_\_\_\_  
LINDSAY JO GROSECLOSE, R.P.L.S. DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 7068

APPROVED BY THE CITY OF WILLOW PARK

\_\_\_\_\_  
MAYOR DATE

ATTEST:

\_\_\_\_\_  
CITY SECRETARY



**PRELIMINARY:**  
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

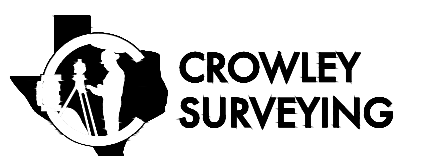
**PRELIMINARY PLAT**  
**TRACTOR SUPPLY ADDITION**  
**7.290 ACRES**

LOT 1 AND LOT 2, BLOCK 1,  
IN THE JAMES OXER SURVEY, ABSTRACT NO. 1029  
CITY OF WILLOW PARK  
PARKER COUNTY, TEXAS

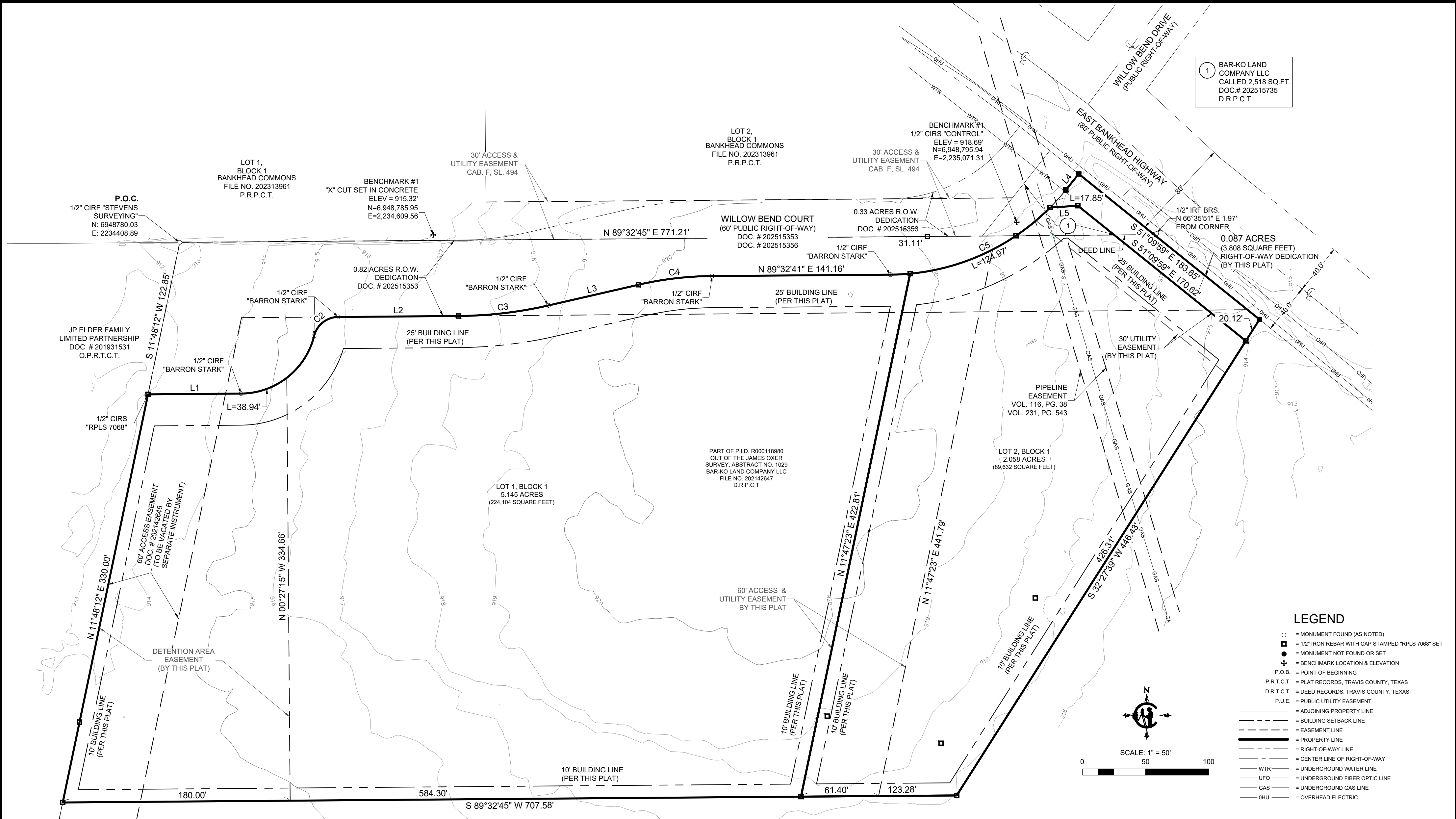
Date: OCTOBER 2025 | Drawn: CDM | Checked: LJG | Scale: N/A | Sheet: 1 of 2

OWNER/DEVELOPER:  
BAR-KO LAND COMPANY LLC  
2121 McCLENDON ROAD  
WEATHERFORD, TX76088  
(817) 253-2494

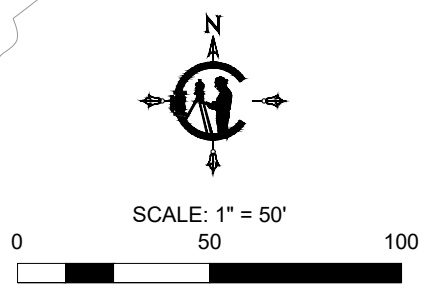
CROWLEY SURVEYING  
FRN:10046500  
117 West Archer Street  
Jacksboro, TX 76458  
(469) 850-CPLS(2757)  
INFO@crowleysurveying.com



1 BAR-KO LAND COMPANY LLC CALLED 2,518 SQ.FT. DOC.# 202515735 D.R.P.C.T



- LEGEND**
- = MONUMENT FOUND (AS NOTED)
  - ◻ = 1/2" IRON REBAR WITH CAP STAMPED "RPLS 7068" SET
  - = MONUMENT NOT FOUND OR SET
  - ⊕ = BENCHMARK LOCATION & ELEVATION
  - P.O.B. = POINT OF BEGINNING
  - P.R.T.C.T. = PLAT RECORDS, TRAVIS COUNTY, TEXAS
  - D.R.T.C.T. = DEED RECORDS, TRAVIS COUNTY, TEXAS
  - P.U.E. = PUBLIC UTILITY EASEMENT
  - = ADJOINING PROPERTY LINE
  - - - = BUILDING SETBACK LINE
  - - - = EASEMENT LINE
  - = PROPERTY LINE
  - - - = RIGHT-OF-WAY LINE
  - - - = CENTER LINE OF RIGHT-OF-WAY
  - WTR = UNDERGROUND WATER LINE
  - UFO = UNDERGROUND FIBER OPTIC LINE
  - GAS = UNDERGROUND GAS LINE
  - OHU = OVERHEAD ELECTRIC



**PRELIMINARY PLAT**  
**TRACTOR SUPPLY ADDITION**  
**7.290 ACRES**  
 LOT 1 AND LOT 2, BLOCK 1,  
 IN THE JAMES OXER SURVEY, ABSTRACT NO. 1029  
 CITY OF WILLOW PARK  
 PARKER COUNTY, TEXAS

**LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N89°32'01"E	73.66'
L2	N89°32'01"E	95.05'
L3	N77°03'30"E	73.10'
L4	N38°51'37"E	17.15'
L5	N86°11'13"E	22.09'

**CURVE TABLE**

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	26.34'	20.00'	75°28'22"	N51°46'21"E	24.48'
C3	71.85'	330.00'	12°28'31"	N83°17'46"E	71.71'
C4	58.84'	270.00'	12°29'11"	N83°18'06"E	58.72'
C5	158.33'	180.00'	50°23'57"	N64°20'38"E	153.28'

Date: OCTOBER 2025 | Drawn: CDM | Checked: LJG | Scale: 1" = 50' | Sheet: 2 of 2

OWNER/DEVELOPER:  
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 2121 McCLENDON ROAD  
 WEATHERFORD, TX 76088  
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