

**CITY OF WILLOW PARK  
ORDINANCE \_\_\_\_\_-23**

**AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS PROVIDING FOR A ZONING CHANGE FROM “C” COMERCIAL AND “IH-20” OVERLAY DISTRICT TO “PD -C” PLANNED DEVELOPMENT DISTRICT AND “IH-20” OVERLAY DISTRICT FOR LOT 1, BLOCK 3, PORTER ADDITION; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, BPO Real Estate, LLC (Owner) has applied for a change in zoning for Lot 1, Block 3, Porter Addition, (the “Property”) from “C” Commercial and “IH-20” Overlay District to “PD-C” Planned Development District, and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements for the rezoning of the Property; and

**WHEREAS**, The City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:**

**SECTION 1**

The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as shown on the Zoning Site Plan attached hereto as Exhibit ‘A’, and described by legal description attached as Exhibit ‘B’, by changing the zoning of said property from C Commercial and IH-20 Overlay District to PD-C Planned Development district, including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

## SECTION 2 PD DEVELOPMENT STANDARDS

### **2.0 Planned Development – Restaurant Use**

**2.01 General Description:** Restaurant use shall be establishments providing dine-in and take out food service to the general public. Access shall be allowed from access drives or parking areas connecting to adjacent public roadways. Requirements for development shall be governed by standards as described below and the City of Willow Park ‘C’ Design Standards (Zoning Ordinance Article 14.06.014). If there are conflicts between the requirements of Article 14.06.014 and these Planned Development requirements, the Planned Development requirements shall govern.

### **2.02 Multiple Food Service Establishments on a Single Lot:**

- Within this Planned Development, Owner shall be permitted by right to develop and operate multiple restaurant concepts, both attached and free standing.
- If multiple food service establishments are constructed, each shall generally conform to the original structure built on the lot from an architectural perspective. Alternate, but complimentary color schemes are permissible.
- Upon submittal for building permit of subsequent food service establishments, it shall be at staff discretion to determine if the architectural and colors scheme proposed meet the intent of the preceding requirement, or if the proposal should be referred to city council for confirmation the proposal meets the intent of this ordinance.

### **2.03 Permitted Uses:**

- All uses permitted in the ‘C’ Commercial Zoning District.
- A “Farmers Market” concept featuring direct sales to consumers on a periodic basis is specifically allowed. The “Farmers Market” is defined as temporary facilities consisting of portable tents, booths, canopies, or similar structures located within the open space or parking lot with local vendors selling produce, craft, and artesian products directly to the general public. The Farmers Market is limited to operational hours of Friday – Sunday on no more than six (6) consecutive weekends, once in the Spring and once in the Fall. Local public health and safety standards must be adhered to at all times. The owners of the project shall notify city staff a minimum of five (5) business days prior to opening a Farmers Market. City may, at their discretion, require the Farmers Market to be located at specific location(s) on the property due to weather or other concerns.

### **Accessory Uses Allowed:**

Accessory buildings compatible with restaurant use  
Off-Street Parking  
Passive Open Space Greenspace Uses

- 2.04** **Required Parking:** In accordance with City of Willow Park Development standards.
- 2.05** **Overlay District:** Subject property is located within the C/IH-20 Overlay District. Provisions of Zoning Ordinance Article 14.06.016 shall apply.
- 2.06** **Building Materials:** In accordance with City of Willow Park Development standards.
- 2.07** **Architectural Standards:** In accordance with City of Willow Park Development standards.
- 2.08** **Lot Coverage:** In accordance with City of Willow Park Development standards.
- 2.09** **Building Setbacks:** In accordance with City of Willow Park Development standards.
- 2.10** **Building Height:** In accordance with City of Willow Park Development standards.
- 2.11** **Cross Access:** Owner shall incorporate vehicular cross-access between subject property and Lot 2, Block 3, Porter Addition into the site plan for the development.
- 2.12** **Open Space:** Private open space within the subject property and floodplain/ floodway of the Clear Fork Trinity River may be provided within subject property. Owner may use this private open space for recreation opportunities for its patrons, provided no improvement or construction occurs which would impact water flow within the floodway. Overflow parking may be provided within the floodway provided any such parking is approved by City of Willow Park prior to construction.
- 2.13** **Garbage and Trash Collection:** In accordance with City of Willow Park Development standards.
- 2.13** **Landscaping:** Landscaping requirements shall be in accordance with the City of Willow Park standard landscaping requirements.
- 2.14** **Signage:** Signage shall be in accordance with the City of Willow Park standard signage requirements.

### **SECTION 3 SEVERABILITY CLAUSE**

This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs an sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

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**SECTION 4  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

**PASSED AND APPROVED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

**APPROVED:**

\_\_\_\_\_  
Doyle Moss, Mayor

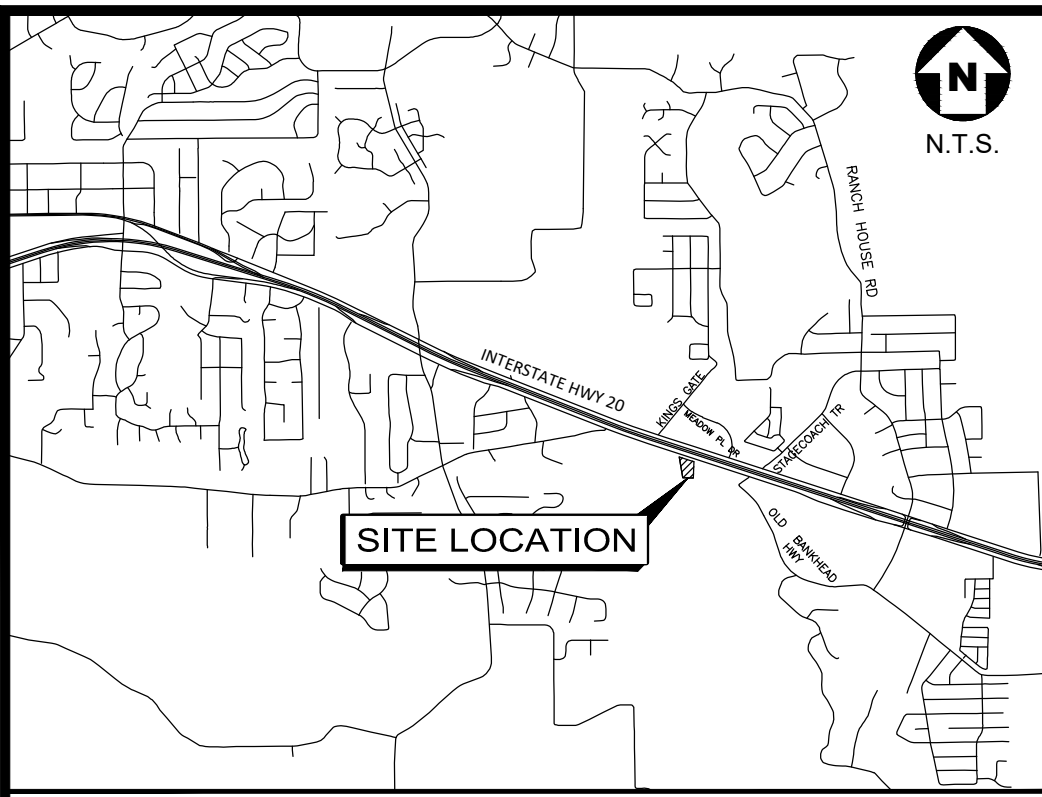
**ATTEST:**

\_\_\_\_\_  
Crystal Dozier, City Secretary

The Willow Park City Council in acting on Ordinance No. \_\_\_\_\_-23 did on the \_\_\_\_\_ day of \_\_\_\_\_, 2023 vote as follows:

	FOR	AGAINST	ABSTAIN
Doyle Moss, Mayor	_____	_____	_____
Eric Contreras, Place 1	_____	_____	_____
Chawn Gilliland, Place 2	_____	_____	_____
Greg Runnebaum, Place 3	_____	_____	_____
Lea Young, Place 4	_____	_____	_____
Nathan Crummel, Place 5	_____	_____	_____

**EXHIBIT A  
SITE PLAN**



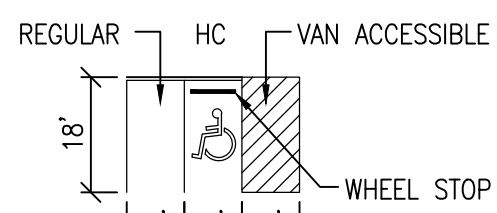
LOCATION MAP

SITE PLAN DATA TABLE	
ACREAGE	5.96 ACRES
EXISTING ZONING	COMMERCIAL
PROPOSED USE	RESTAURANT
PROPOSED STRUCTURES	ONE (1) STORY - COMMERCIAL
F.A.R.	4.45%
PERCENT IMPERVIOUS	33.28%
PARKING REQUIRED	1 PARKING/200sf = 58 PARKING SPACE
PARKING PROVIDED	152 (INCLUDES 6 HC)
OPEN SPACE	66.72%

MAYS LAND AND CATTLE, LLC  
52.30 ACRES  
INST. NO. 202015362  
O.P.R.P.C.T.

**GENERAL NOTES:**

- ALL RADII SHOWN ARE TO THE BACK OF CURB.
- ALL BACK OF CURB RADII ARE 3'-0" UNLESS NOTED OTHERWISE.
- ALL HANDICAP PARKING SPACES ARE VAN ACCESSIBLE AND SHALL MEET TAS/ADA REGULATIONS.
- DUMPSTER ENCLOSURE IS MASONRY, A MINIMUM OF 6' HIGH WITH 8" CONCRETE PAVING AT 3,600 PSI.
- ALL FIRE LANE PAVING SHALL BE 6" CONCRETE AT 3,600 PSI.
- ALL PARKING PAVING SHALL BE 5" CONCRETE AT 3,600 PSI W/ CURB & GUTTER.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.
- REFUSE CONTAINERS SHALL BE SCREENED ON THREE SIDES BY CONSTRUCTION OF A MASONRY WALL OF SUFFICIENT HEIGHT TO FULLY SCREEN SAID CONTAINERS OR DISPOSAL AREAS. MASONRY WALLS SHALL BE CONSTRUCTED OF LIKE AND SIMILAR MATERIALS TO THOSE OF THE PRIMARY STRUCTURE AND SHALL BE ENCLOSED ON THE FOURTH SIDE BY AN OPAQUE GATE.
- REFER TO ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.



TYPICAL PARKING LAYOUT

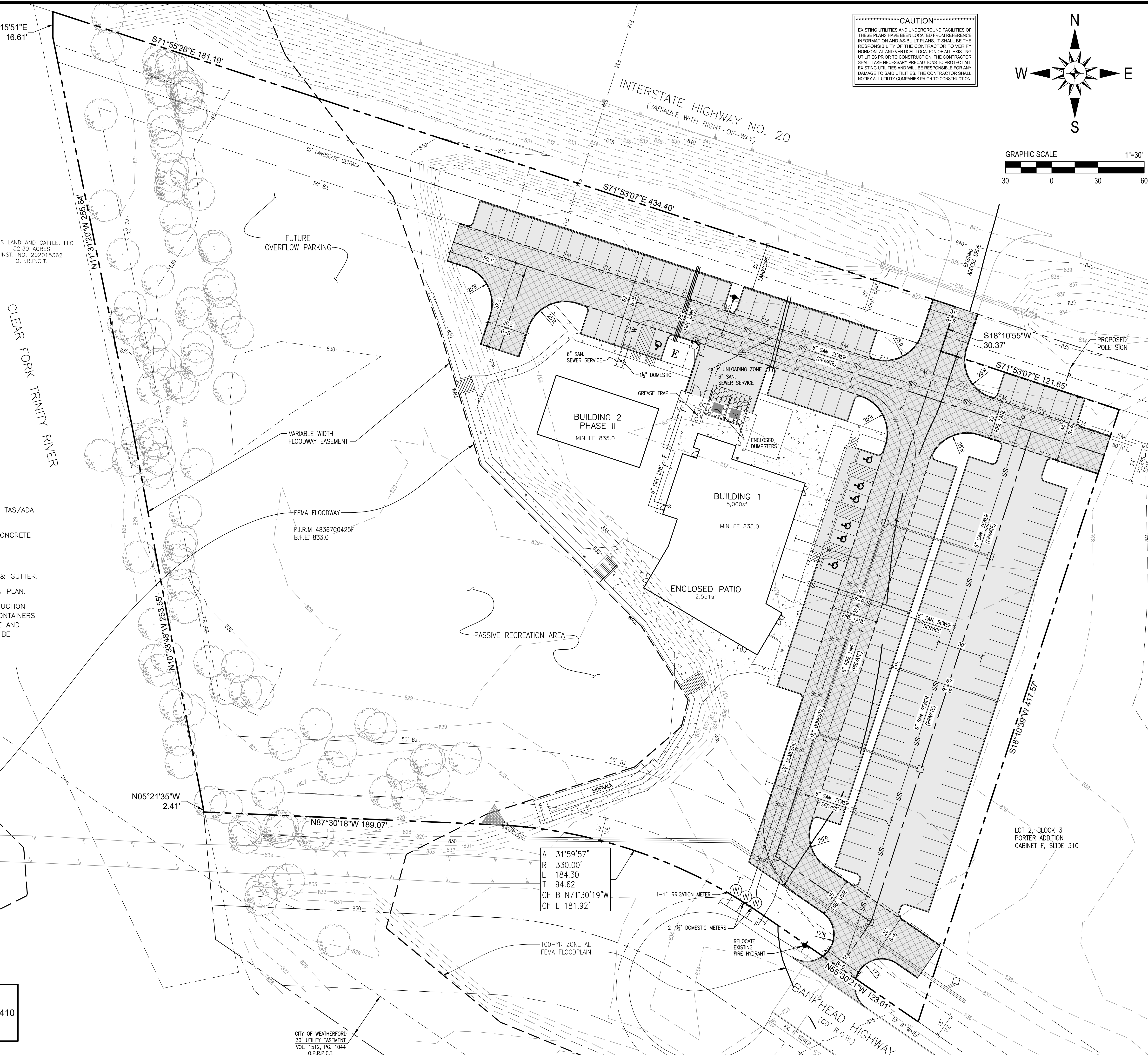
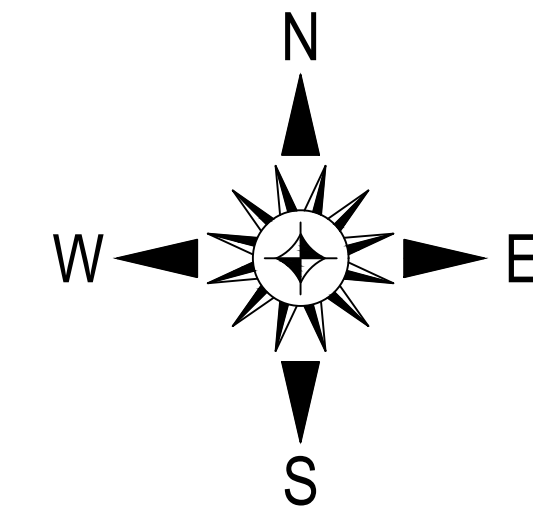
LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING MANHOLE
	EXISTING LIGHT POLE
	PROPOSED WATER VALVE
	PROPOSED WATER REDUCER
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED MANHOLE
	PROPOSED LIGHT POLE
	PROPOSED SIDEWALK
	PROPOSED FIRE LANE PAVING
	PROPOSED CONCRETE PAVING

APPLICANT  
BPO REAL ESTATE, LLC  
609 S. GOLIAD, ST. UNIT 2410  
ROCKWALL, TX. 75087  
732-887-9699

USER: RANDALL PETERSON  
PROJECT: 202303030303  
FILE NAME: BPO REAL ESTATE 0916 RESTAURANT SITE AC, WILLOW PARK RD, CADWID, DWG0463909R.C3D SITE PLAN.DWG

CITY OF WEATHERFORD  
30' UTILITY EASEMENT  
VOL. 1512, PG. 1044  
O.P.R.P.C.T.

\*\*\*\*\*CAUTION\*\*\*\*\*  
EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



NO.	REVISIONS	DESCRIPTION	DATE

**Barron-Stark**  
Engineers

STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
**CHARLES F. STARK**  
57357  
Authorized by Charles F. Stark, P.E.  
Texas Registration No. 57357  
11/16/2022

**SITE PLAN - STANDARD SERVICE**  
**LOT 1, BLOCK 3, PORTER ADDITION**  
CITY OF WILLOW PARK  
PARKER COUNTY, TEXAS

CLIENT No.	483
PROJECT No.	9976
DESIGN:	CFS
DRAWN:	RCP
CHECKED:	CFS

DATE: OCTOBER 2022  
SHEET  
**C2.0**

**EXHIBIT B**  
**LEGAL DESCRIPTION**

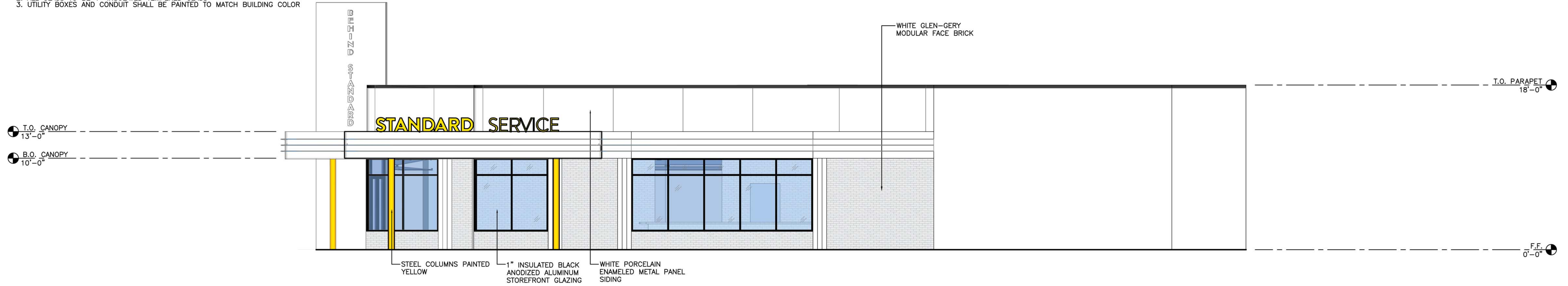
Being all of Lot 1, Block 3, Porter Addition, an addition to the City of Willow Park, Texas as recorded in Cabinet F, Slide 310, Plat Records Parker County, Texas.



**EXHIBIT C**  
**ARCHITECTURAL DRAWINGS**

MATERIAL CALCULATION				
	N ELEVATION	E ELEVATION	S ELEVATION	W ELEVATION
MASONRY	50%	34%	66%	90%
GLASS	15%	30%	23%	7%
METAL	35%	36%	11%	3%

- NOTE:  
 1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL  
 2. ALL GLASS TO BE 1" INSULATED TEMPERED GLASS  
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR



**NORTH EXTERIOR ELEVATION**

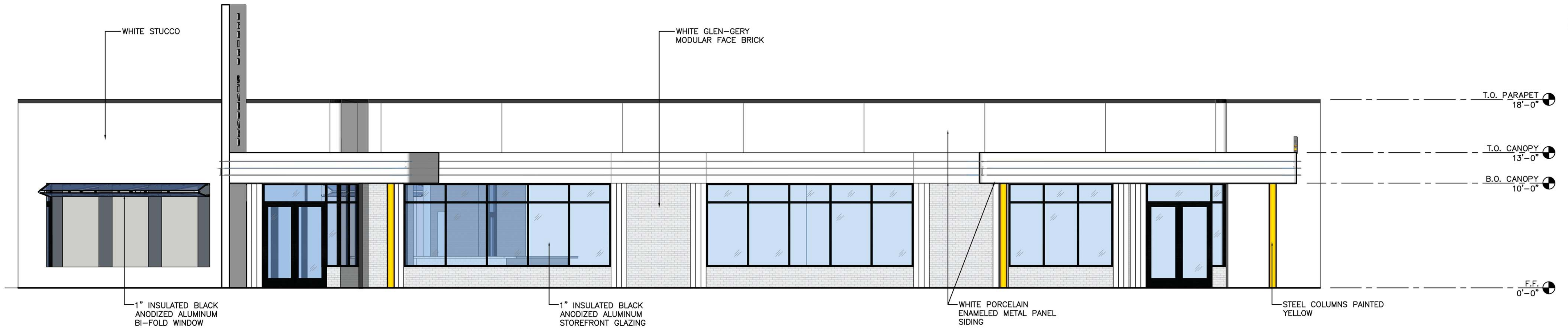
SCALE : 3/16" = 1'-0"

PROJECT NO. : 2212  
 DATE : 6/28/2022  
 DRAWN BY : MS

1

REVISIONS :

EXTERIOR ELEVATIONS



**EAST EXTERIOR ELEVATION**

SCALE : 3/16" = 1'-0"

STANDARD SERVICE  
 WILLOW PARK, TX

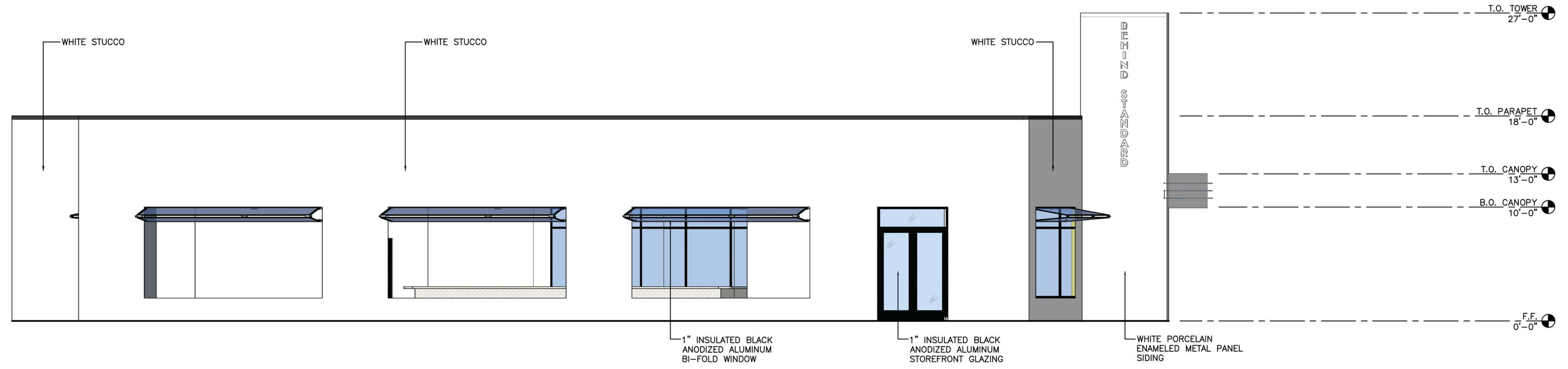
2

A200

# MATERIAL CALCULATION

	N ELEVATION	E ELEVATION	S ELEVATION	W ELEVATION
MASONRY	50%	34%	66%	90%
GLASS	15%	30%	23%	7%
METAL	35%	36%	11%	3%

NOTE:  
 1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL  
 2. ALL GLASS TO BE 1" INSULATED TEMPERED GLASS  
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR



## SOUTH EXTERIOR ELEVATION

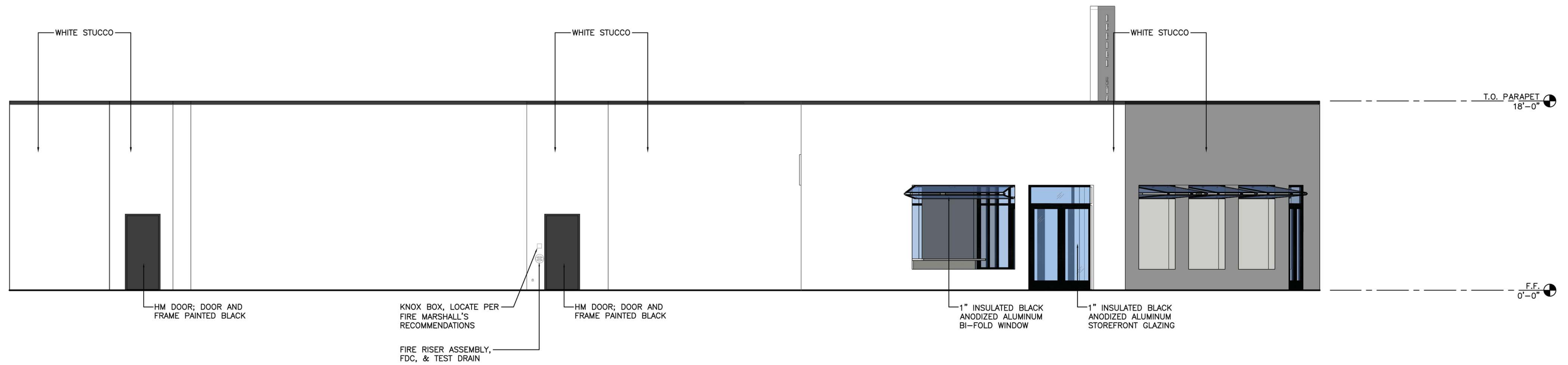
SCALE : 3/16" = 1'-0"

PROJECT NO. : 2212  
 DATE : 6/28/2022  
 DRAWN BY : MS

1

REVISIONS :

EXTERIOR  
 ELEVATIONS



## WEST EXTERIOR ELEVATION

SCALE : 3/16" = 1'-0"

STANDARD SERVICE  
 -  
 WILLOW PARK, TX

2

A201

MATERIAL CALCULATION				
	N ELEVATION	E ELEVATION	S ELEVATION	W ELEVATION
MASONRY	50%	34%	66%	90%
GLASS	15%	30%	23%	7%
METAL	35%	36%	11%	3%

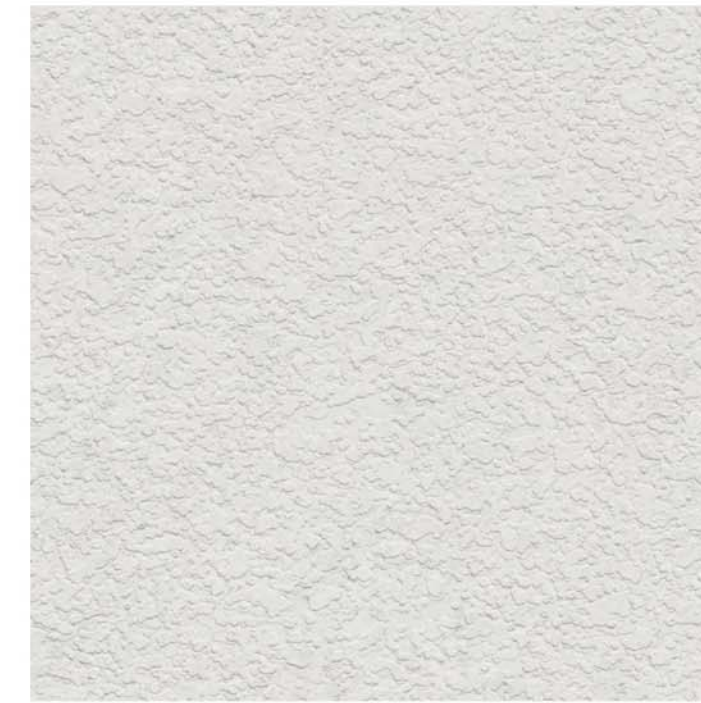
NOTE:  
 1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL  
 2. ALL GLASS TO BE 1" INSULATED TEMPERED GLASS  
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR



GLEN-GERY ASPEN WHITE SMOOTH FACE BRICK



WHITE PORCELAIN ENAMELED METAL PANEL SIDING



WHITE STUCCO



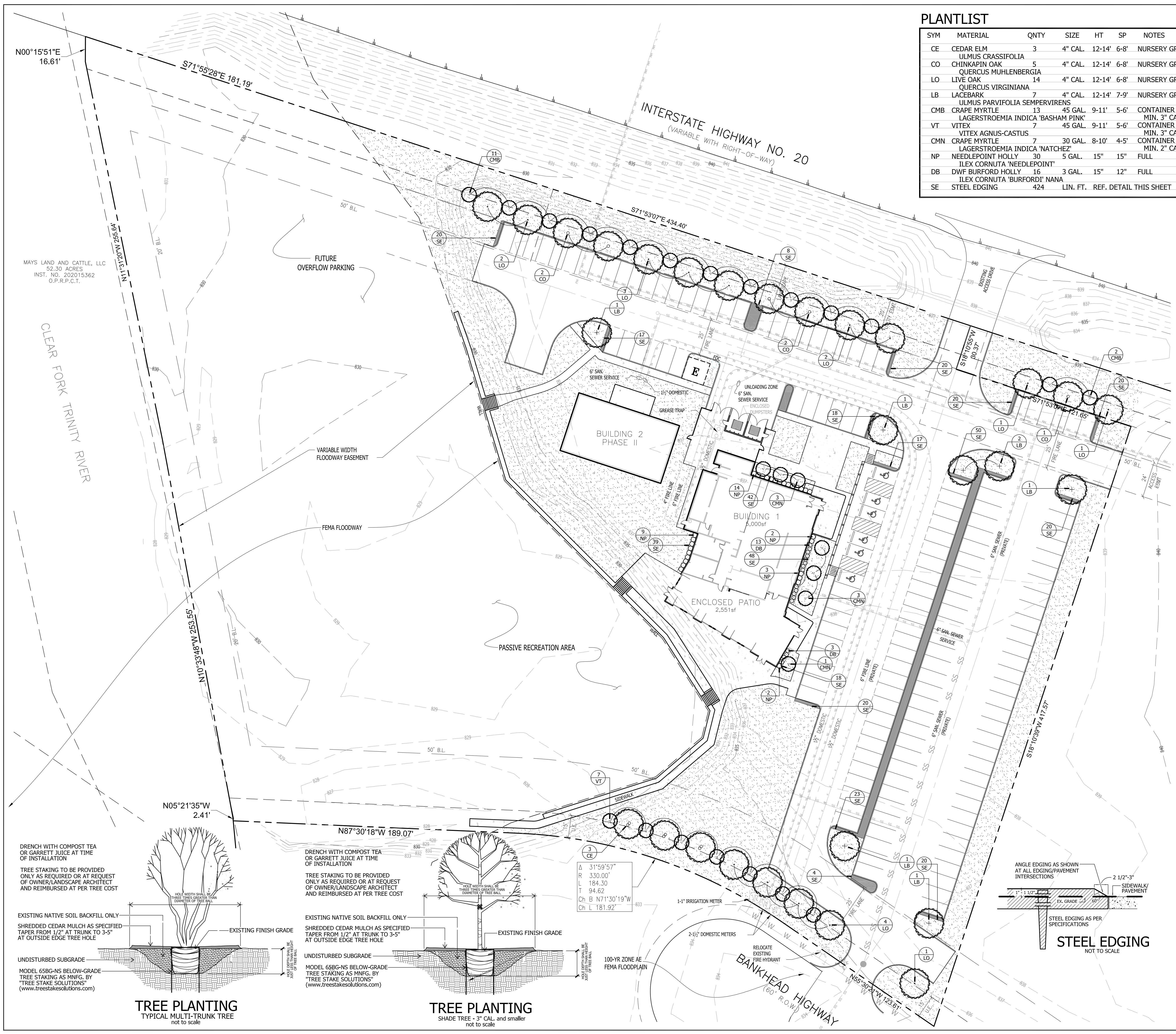
PROJECT NO. 2012  
 DATE: 5/28/2012  
 DRAWN BY: MS

REVISIONS:

MATERIALS

STANDARD SERVICE  
 WILLOW PARK, TX

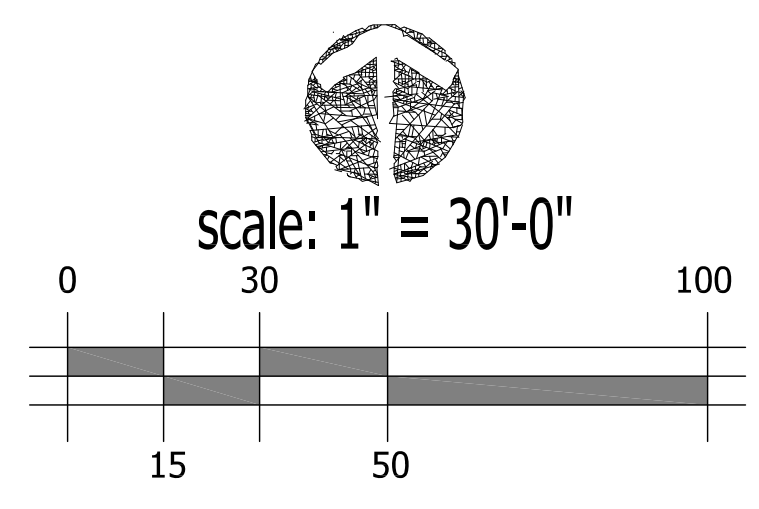
**EXHIBIT D  
LANDSCAPE PLAN**



- CITY REQUIREMENTS**
- 14.06.016 I-20 OVERLAY DISTRICT
- 14.06.016.g.
- (1) MIN. 5% LOT, N.I.C. BLDG., TO BE LANDSCAPE PHASE ONE
- 143,067 sf - 10,7203 sf = 132,347 sf (outside (includes future bldg) floodplain)
- 132,347 x 5% = 6,617 sf REQUIRED
- 53,827 sf PROVIDED
- (2)(A) THOROUGHFARE SHADE TREES - 1" PER 10 LF 1-20 FRONTAGE (outside floodplain)
- 556' = 55.6 = 56" SHADE TREES REQUIRED
- 10' = 56" SHADE TREES PROVIDED (14 - 4" TREES)
- (2)(A) THOROUGHFARE SHADE TREES - 1" PER 10 LF BANKHEAD HWY. (outside floodplain)
- 320' = 32" SHADE TREES REQUIRED
- 10' = 32" SHADE TREES PROVIDED (8 - 4" TREES)
- (2)(B) THOROUGHFARE ORNAMENTAL TREES - 1" PER 15 LF 1-20 FRONTAGE (outside floodplain)
- 556' = 37" ORNAMENTAL TREES REQUIRED
- 15' = 39" ORNAMENTAL TREES PROVIDED (13 - 3" TREES)
- (2)(B) THOROUGHFARE ORNAMENTAL TREES - 1" PER 15 LF BANKHEAD HWY. (outside floodplain)
- 320' = 21" ORNAMENTAL TREES REQUIRED
- 15' = 21" ORNAMENTAL TREES PROVIDED (25 - 2" TREES)
- (3)(B) MIN. 50% PARKING ISLANDS w/ 3" TREE PARKING ISLANDS
- 13 TREES PROVIDED
- (3)(C)(i) 1 ORNAMENTAL TREE PER 50 LF ADJACENT TO BLDG.
- 130' = 2.6 = 3 ORNAMENTAL TREES REQUIRED
- 50' = 4 ORNAMENTAL TREES PROVIDED
- (3)(C)(ii) 1 SHRUB PER 5 LF ADJACENT TO BLDG.
- 130' = 26 SHRUBS REQUIRED
- 5 = 32 SHRUBS PROVIDED
- (4)(A) MIN. 3' HT. PARKING SCREEN ADJACENT TO R.O.W. PROVIDED AS REQUIRED ALONG I-20

- LANDSCAPE NOTES**
- PLANT LIST FOR THIS SHEET ONLY.
  - PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
  - ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
  - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLOUDS AND DEBRIS.
  - AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
  - APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
    - VITAL EARTH COMPOST
    - BACK-TO-EARTH SOIL CONDITIONER
    - LIVING EARTH COMPOST
    - SOIL BUILDING SYSTEMS COMPOST
    - SILVER CREEK MATERIALS COMPOST
  - TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
  - ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
  - ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FRETZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.

- LANDSCAPE LEGEND**
- COMMON BERMUDA SOD (CYNODON DACTYLON)
  - DECOMPOSED GRANITE (SEE NOTE BELOW)
- SOD INSTALLATION NOTES:**
- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
  - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLOUDS AND DEBRIS.
  - SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
  - SOD SHALL BE LAID WITH ALTERNATING JOINTS.
  - ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
  - ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.
- DECOMPOSED GRANITE INSTALLATION NOTES:**
- LANDSCAPE CONTRACTOR SHALL INSPECT D.G. AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
  - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION.
  - TILL TOP 1" OF SUBGRADE AND COMPACT TO 95% STANDARD PROCTOR WITH DRUM OR AUTOMATIC HAND TAMPERS. CROWN
  - INSTALL FILTER FABRIC OVER ENTIRE AREA TO RECEIVE GRANITE.
  - PLACE FOUR (4) INCHES OF DECOMPOSED GRANITE WITH "STABILIZER BINDER OVER A DRY SUB-BASE, INSTALLING IN 1" LIFTS, COMPACTED WITH AUTOMATIC HAND TAMPER.
  - CONTRACTOR SHALL PROVIDE FIVE (5) 50 LB. BAGS OF PRE-MIXED DECOMPOSED GRANITE FOR FUTURE MAINTENANCE USES.



appr. by: \_\_\_\_\_  
 drawn by: \_\_\_\_\_  
 date: 09-20-22

revisions  
 02-21-23

Leeming Design Group  
 Landscape Architecture

4013 Rufe Snow Drive, Suite 101-B North Richland Hills, Texas 76180  
 (817) 571-6889 Fax (817) 571-6896  
 leemingdesigngroup@outlook.com

LANDSCAPE PLAN

STANDARD SERVICE  
 INTERSTATE HIGHWAY NO. 20  
 WILLOW PARK, TEXAS

file name:  
 c:\Willow Park-HG Supply\14g-base\_HG Supply.dwg

sheet  
 L-1