

GRAPHIC SYMBOLS

DETAIL NUMBER SHEET WHERE DETAIL IS SHOWN		EARTH	
SECTION CUT		GRANULAR FILL	
BUILDING CROSS SECTION		POURED CONCRETE	
ELEVATION		CONCRETE BLOCK	
ROOM NUMBER		FACE BRICK	
KEY NOTE		STEEL	
WINDOW NUMBER		ROUGH WOOD	
PARTITION TYPE		FINISHED WOOD	
DOOR NUMBER		PLYWOOD	
FINISH ITEMS		RIGID INSULATION	
EQUIP. NUMBER		BATT INSULATION	
ELEVATION BENCHMARK		GYPSUM BOARD	
REVISION NUMBER		METAL	
		CERAMIC TILE	
		ASPHALT PAVING	

	LEASE LINE
	EXISTING DEMISING PARTITION
	NEW DEMISING PARTITION
	EXISTING PARTITION
	NEW PARTITIONS TO CEILING
	NEW PARTIAL HEIGHT PARTITIONS STOPS SHORT OF CEILING
	PARTITION OR MATERIAL TO BE REMOVED



31219 VINE STREET WILLOWICK, OH 44095 STORE # 1832

DRAWING INDEX

	REV	DATE
A000 COVER SHEET		
C100 SITE PLAN -- DEMOLITION		
C101 SITE PLAN		
C102 SITE DETAILS		
D100 DEMOLITION FLOOR PLAN		
D101 DEMOLITION REFLECTED CEILING PLAN		
D200 DEMOLITION ELEVATIONS		
A100 FLOOR PLAN		
A101 EQUIPMENT SCHEDULE		
A102 ACCESSIBILITY REQUIREMENTS		
A200 REFLECTED CEILING PLAN		
A400 EXTERIOR ELEVATIONS		
A600 DETAILS -- EXTERIOR		
A601 DETAILS -- INTERIOR		

DECOR. FOR REFERENCE ONLY

D0 DECOR COVER
D1 DECOR SEATING PLAN
D2 DECOR PRODUCT LINE
D3 DECOR PRODUCT LINE LAYOUT
D4 DECOR DIVIDER WALLS
D5 DECOR ELEVATIONS (TYP.)
D6 DECOR ELEVATIONS
D7 DECOR ELEVATIONS
D8 DECOR ELEVATIONS
D10 DECOR REFLECTED CEILING PLAN
D11 DECOR FLOOR TILE PATTERN
D12 DECOR DETAILS
D13 DECOR SPECIFICATIONS
D14 DECOR SPECIFICATIONS
D15 DECOR SPECIFICATIONS
D16 DIMENSION PLAN

M100 MECHANICAL PLAN
P100 PLUMBING PLAN
P200 PLUMBING DETAILS
E200 FLOOR PLAN -- POWER
E300 FLOOR PLAN -- LIGHTING
E400 ONE-LINE DIAGRAM & PANEL SCHEDULE

CODE REVIEW

CODES:

BUILDING	2024 OHIO BUILDING CODE AND EXISTING BUILDING CODE
PLUMBING	2024 OHIO PLUMBING CODE
MECHANICAL	2024 OHIO MECHANICAL CODE
FIRE	2017 OFC W/ JANUARY 2019 ADDITION
ELECTRICAL	2023 NATIONAL ELECTRIC CODE
ENERGY	2021 IECC

CONSTRUCTION TYPE: VB
STORIES: (1) SINGLE STORY
BUILDING GROSS AREA: 3600 SF

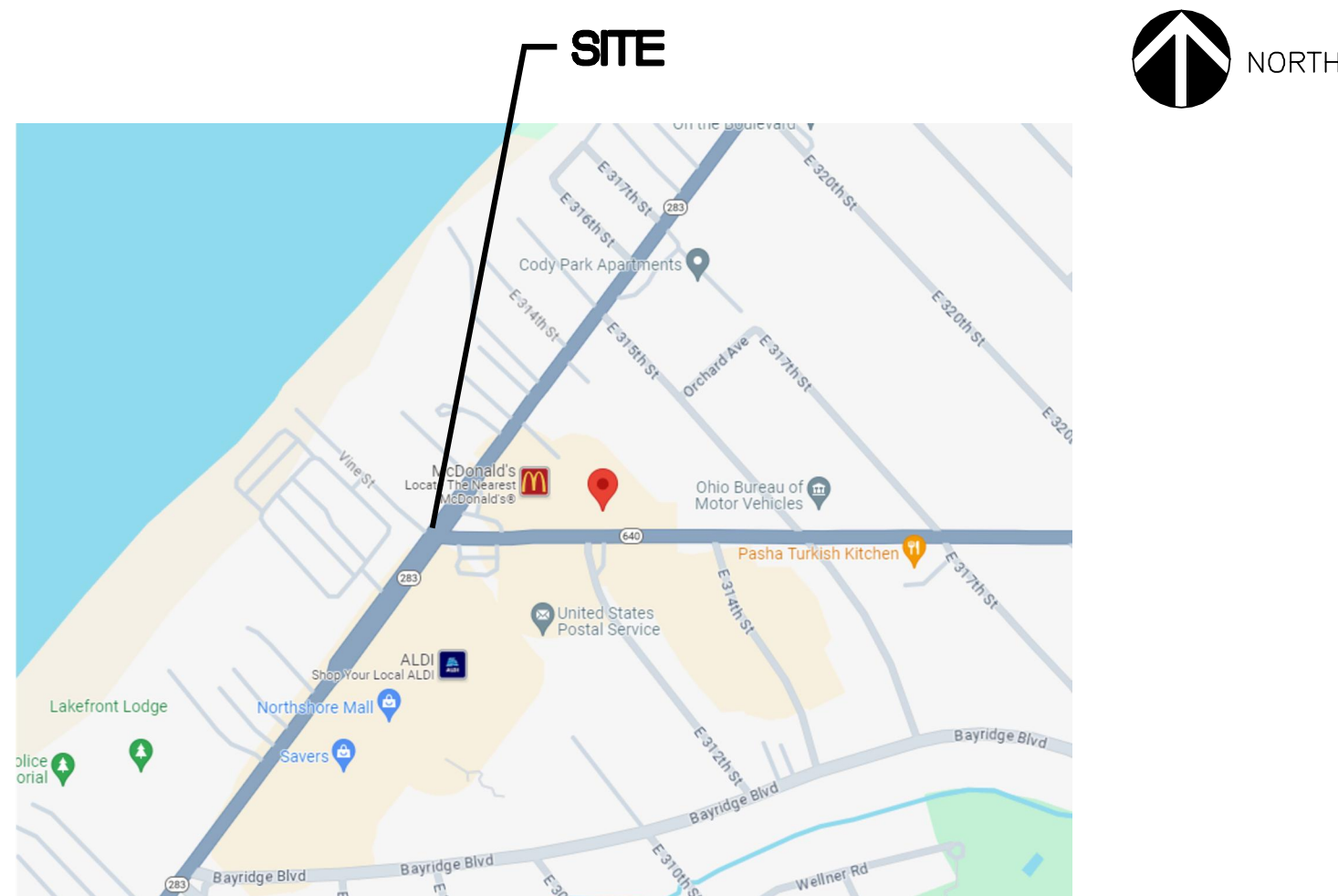
USE GROUP CLASSIFICATION: ASSEMBLY

OCCUPANCY CLASSIFICATION: A2

CALCULATED OCCUPANCY LOAD

DINING ROOM -- SEATING PROVIDED FOR 71
<u>FIXED SEATING</u> -- 22 OCCUPANTS 1 PERSON/24 LINEAR INCH OF SEATING
<u>UNCONCENTRATED SEATING</u> -- 47 OCCUPANTS 698 NET S.F. AT 15 S.F./PERSON
<u>QUEUE LINE /WAITING SPACE</u> -- 10 OCCUPANTS 50 NET S.F. AT 5 S.F./PERSON
<u>KITCHEN AREA</u> -- 6 OCCUPANTS 1016 GROSS S.F. AT 200 S.F./PERSON
TOTAL CALCULATED OCCUPANCY LOAD: 85 OCCUPANTS

VICINITY MAP



BUILDING DEPARTMENT

LAKE COUNTY BUILDING DEPARTMENT
 105 MAIN STREET,
 PAINESVILLE, OH 44077
 PHONE: (440) 350-2308
 CONTACT: LORI MORGAN

OWNER

ARBY'S RESTAURANT GROUP INC.
 THREE GLENLAKE PARKWAY NE 7TH FLOOR
 ATLANTA, GA 30328
 PHONE: (270)-469-9523
 CONTACT: TODD PARISH
 PRESIDENT PRO-SERVICES CONSTRUCTION

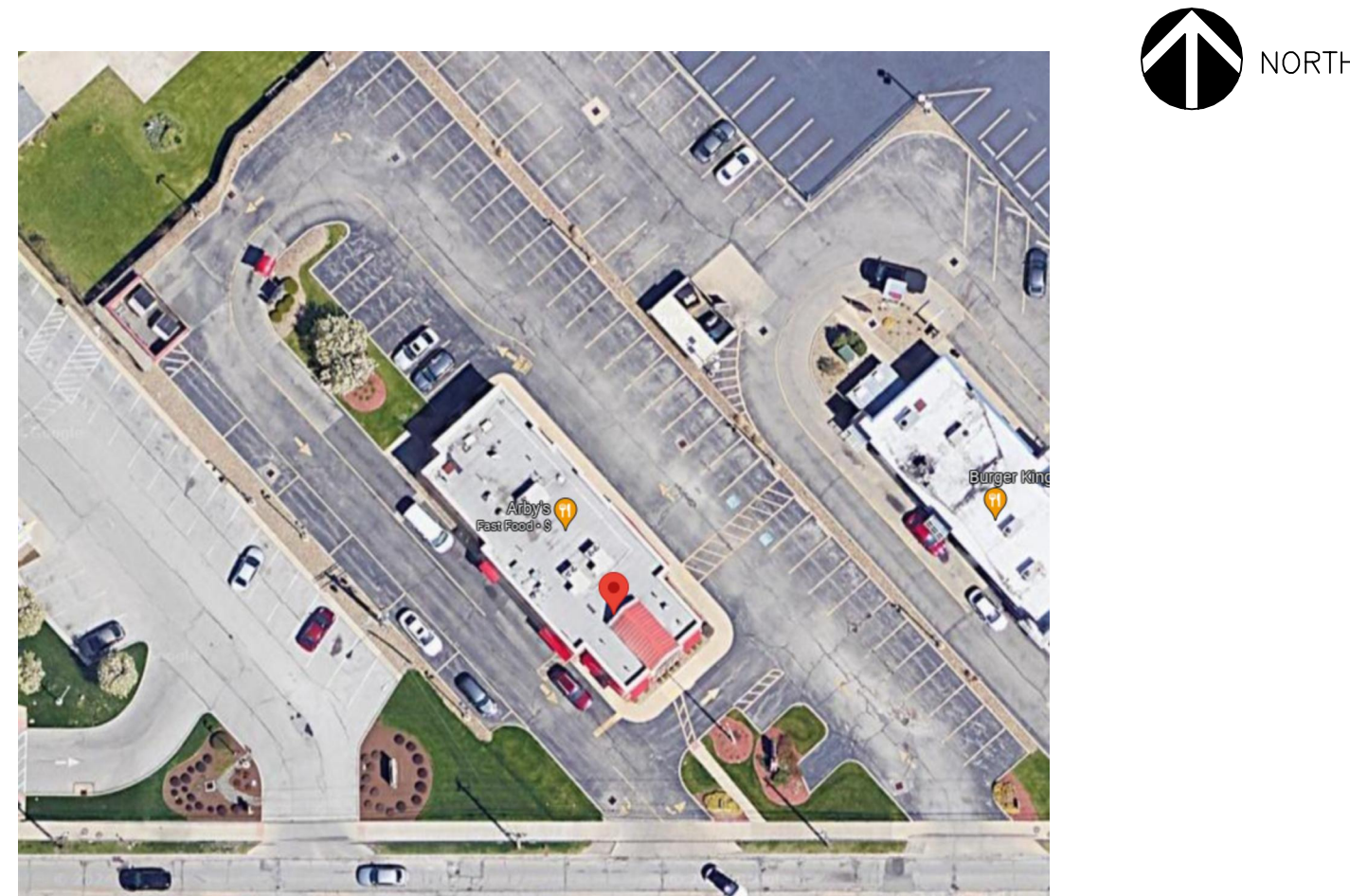
HEALTH DEPARTMENT

LAKE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT
 55966 HEISLEY RD #100,
 MENTOR, OH 44060
 PHONE: 440-364-8884
 CONTACT: JOHN (FOOD PROGRAM INSPECTOR)

ARCHITECT

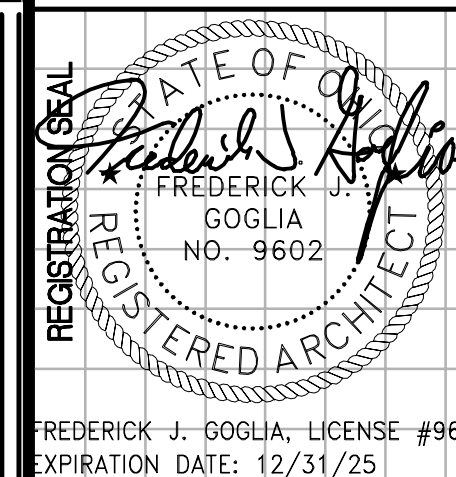
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 ST. LOUIS, MO 63146
 PHONE: (636) 246-0618
 CONTACT: JOHN WOLLBERG

SITE LOCATION PLAN

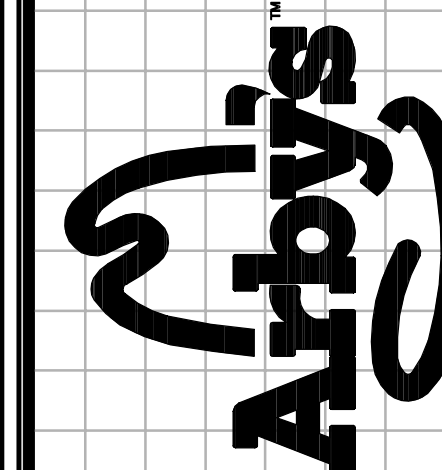


ENGINEER

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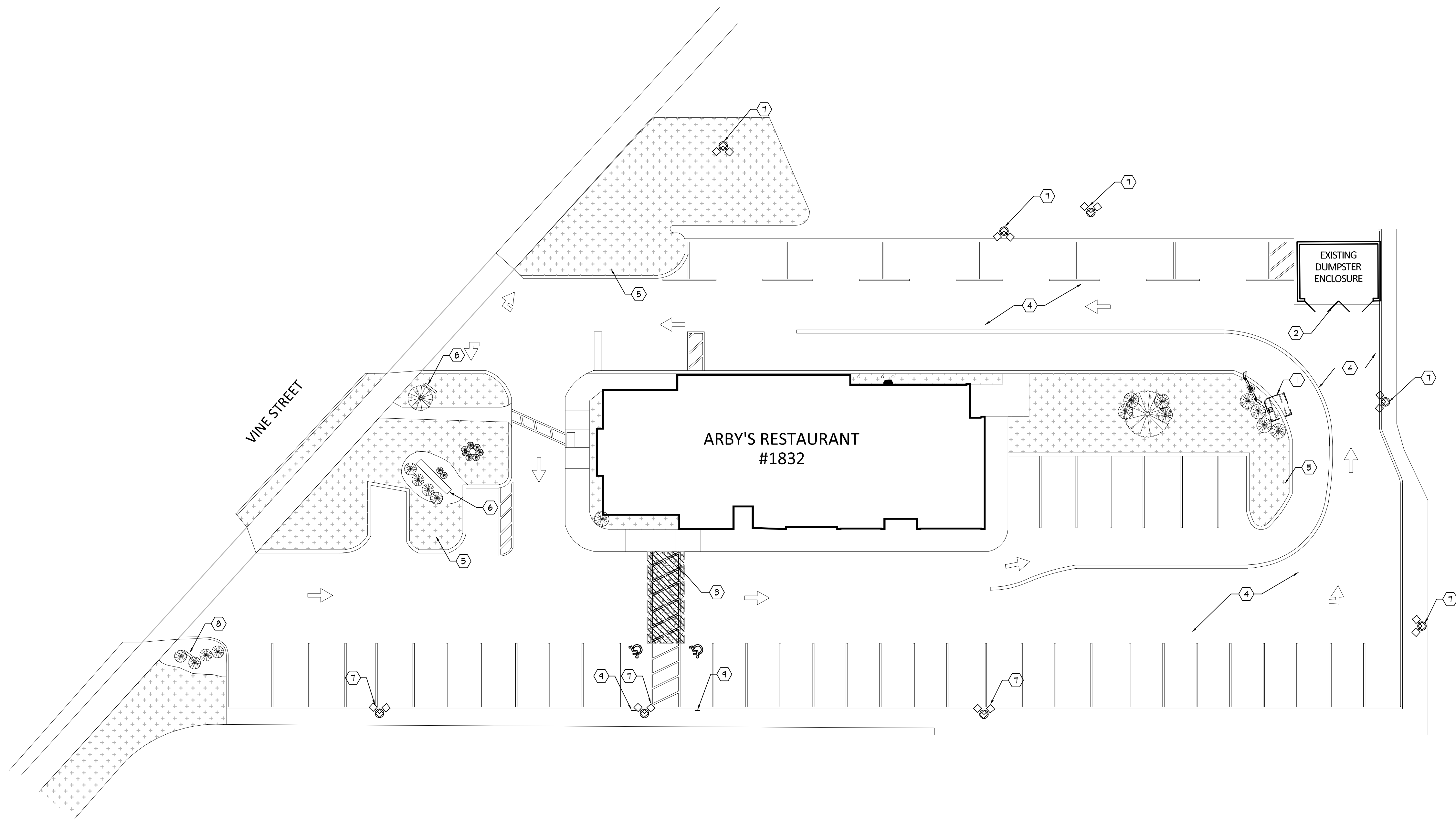


ARBY'S REMODEL
 31219 VINE ST.
 WILLOWICK OH, 44095
 STORE # 1832

REV	DATE	DESCRIPTION

PROJECT NO: 230688
 DRAWN BY: ST
 CHECKED BY: JMW
 ISSUE DATE: 07/19/24
 COVER SHEET

G100



1 SITE PLAN - DEMOLITION
SCALE: 1"=16'



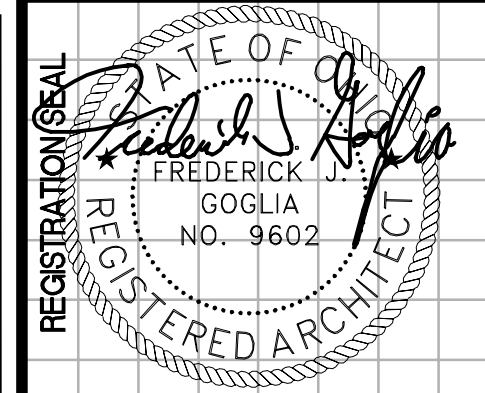
KEYED NOTES

- ① REMOVE EXISTING SPEAKER POST. USE EXISTING ELECTRICAL/ COMMUNICATIONS CONNECTIONS FOR NEW SPEAKER POST/ CANOPY. SEE C10 ELECTRICAL DRAWINGS, AND SIGN VENDOR DRAWINGS. COORDINATE ANY NEW WORK WITH SIGNAGE VENDOR DRAWINGS (DIFFERENT PERMIT)
- ② CLEAN EXISTING DUMPSTER ENCLOSURE AND PREPARE FOR NEW PAINT.
- ③ REMOVE EXISTING CONCRETE AND ASPHALT AS REQUIRED FOR NEW WORK.
- ④ PREPARE PARKING LOT FOR RE-STRIPING.
- ⑤ EXISTING LANDSCAPE AREA TO REMAIN. PROTECT VEGETATION FROM DAMAGE THROUGHOUT ALL PHASES OF DEMOLITION/ CONSTRUCTION.
- ⑥ EXISTING MONUMENT SIGN TO REMAIN. COORDINATE SCOPE OF SIGNAGE WITH SIGN VENDOR (SEPARATE PERMIT).
- ⑦ EXISTING LOT LIGHTING TO REMAIN. NO WORK.
- ⑧ EXISTING DIRECTIONAL SIGN TO REMAIN.
- ⑨ EXISTING ACCESSIBLE PARKING SIGNAGE TO BE REMOVED.

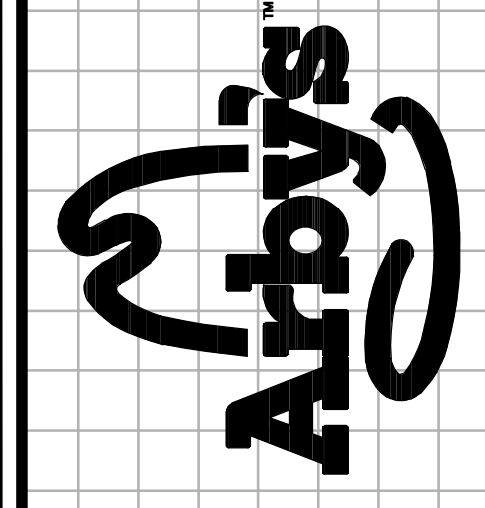
GENERAL NOTES

- A. COORDINATE SCOPE OF REFACING/REFURBISHMENT OF EXISTING DIRECTIONAL SIGNS WITH SIGNAGE VENDOR/DRAWINGS.
- B. ALL SIGNAGE DRAWINGS ARE SUBMITTED SEPARATELY AND FOR SEPARATE PERMIT BY SIGNAGE VENDOR.
- C. ALL ADDRESS IDENTIFYING FEATURES SHALL BE REMOVED AS REQUIRED DUE TO NEW WORK. COORDINATE WITH OWNER AND LOCAL FIRE DEPARTMENT/ZONING AUTHORITY FOR RE-MOUNTING POSITIONS.

LEGEND



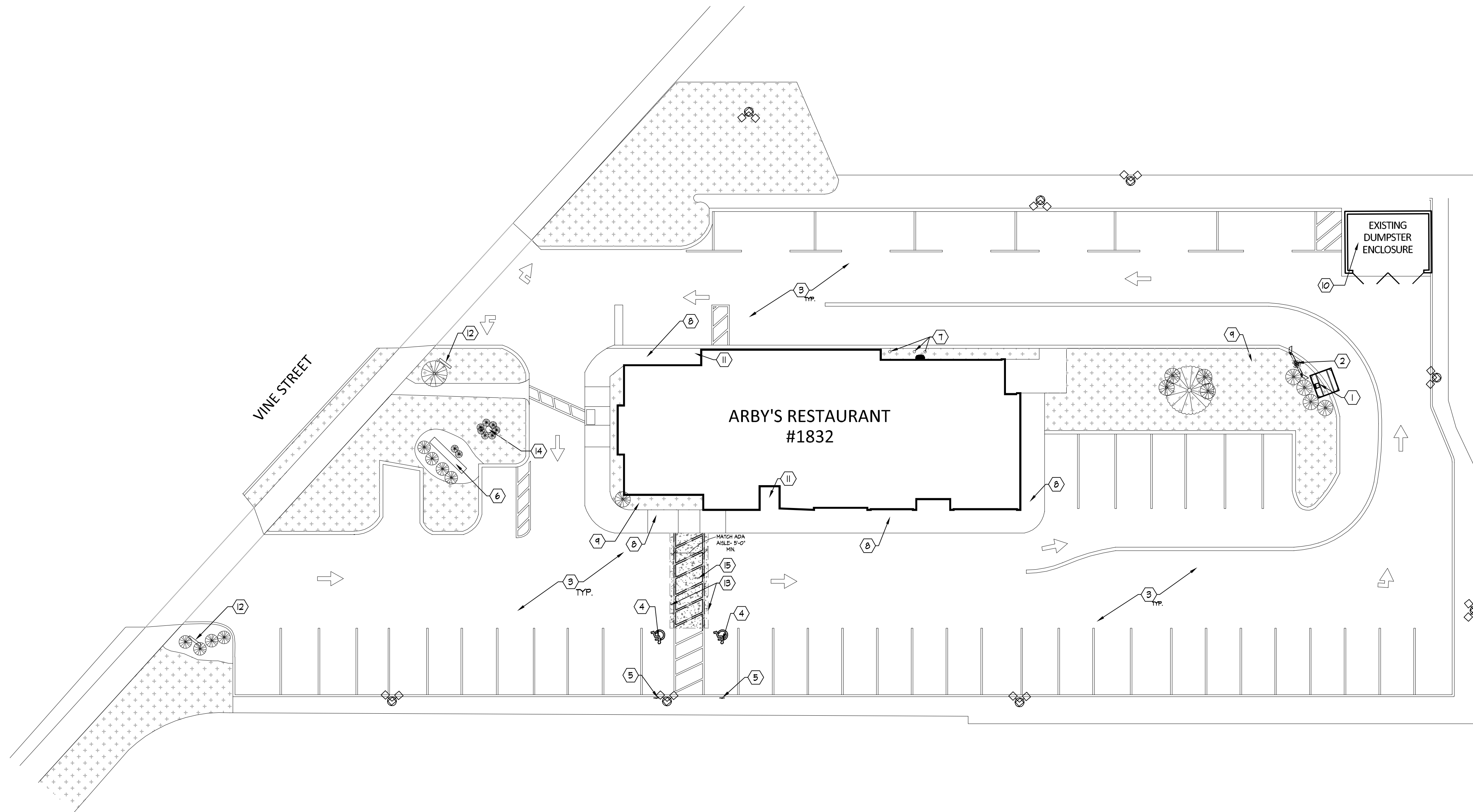
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ARBY'S REMODEL
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WILLOWICK OH, 44095
STORE # 1832

REV	DATE	DESCRIPTION

PROJECT NO: 230688
DRAWN BY: ST
CHECKED BY: JMW
ISSUE DATE: 07/19/24
C100
SITE PLAN - DEMOLITION



1 SITE PLAN
SCALE: 1/16"=1'-0"
NORTH

KEYED NOTES

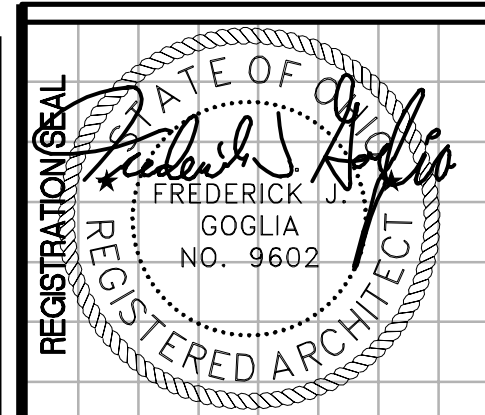
- ① INSTALL NEW SPEAKER POST AND DRIVE THRU CANOPY. COORDINATE WITH CANOPY VENDOR UNDER SEPARATE PERMIT.
- ② EXISTING MENU BOARD, COORDINATE SCOPE OF WORK WITH SIGNAGE/BRANDING VENDOR, SEPARATE PERMIT.
- ③ RE-STRIPE AND SEAL SITE TO EXTENTS UNDER ARBY'S RESPONSIBILITY (MATCH EXISTING, EXCEPT AS NOTED). COORDINATE ANY REPAIR WITH FACILITIES.
- ④ RE-PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- ⑤ NEW ACCESSIBLE PARKING SIGNAGE, SEE 2/10/02.
- ⑥ MONUMENT SIGN TO REMAIN, COORDINATE ANY NEW WORK WITH SIGNAGE VENDOR.
- ⑦ EXISTING BOLLARD.
- ⑧ POWER WASH EXISTING SIDEWALK/ CONCRETE.
- ⑨ REFRESH LANDSCAPING. COORDINATE ANY NEW PLANTINGS WITH OWNER.
- ⑩ EXISTING DUMPSTER ENCLOSURE. CLEAN AND PAINT 'ROCKWOOD BROWN'. SEE A400 FOR SPECIFICATION.
- ⑪ VERIFY SIDEWALK, AT EXIT DOORS AND AT TOPS OF RAMP, TO BE ADA COMPLIANT- MAX 2% SLOPES IN ALL DIRECTIONS. IF SLOPES EXCEED THESE, NOTIFY ARCHITECT.
- ⑫ EXISTING DIRECTION SIGN, SEE SIGNAGE/BRANDING VENDOR FOR SCOPE, (SEPARATE PERMIT).
- ⑬ FLUSH TRANSITION AT PAVEMENT.
- ⑭ EXISTING FLAG POLE.
- ⑮ NEW CONCRETE AT ADA PATHWAY - MAX 2% SLOPES IN ALL DIRECTIONS. ALTERNATE RESURFACE ASPHALT TO ACHIEVE SLOPE REQUIREMENT. SEE DETAIL 2/10/02.

GENERAL NOTES

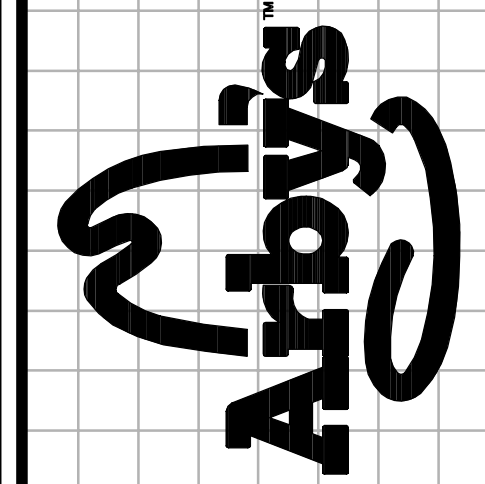
- A. COORDINATE SCOPE OF REFACING/REFURBISHMENT OF EXISTING DIRECTIONAL SIGNS WITH BRANDING/SIGNAGE VENDOR, SEPARATE PERMIT.
- B. ALL SIGNAGE DRAWINGS ARE SUBMITTED SEPARATELY AND FOR SEPARATE PERMIT BY SIGNAGE VENDOR.
- C. COORDINATE ALL SITE DRIVE AND PARKING HARD SURFACE REPAIR WITH OPERATIONS.
- D. GC, SHALL INFORM ARCHITECT IF SITE CONDITIONS (DIMENSIONAL OR OTHERWISE) WILL NOT ALLOW FOR NEW ACCESSIBLE ROUTES) AS INDICATED.
- E. ALL STORM DRAINS SHALL REMAIN FUNCTIONAL THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- F. PROTECT LANDSCAPING THROUGH ALL PHASES OF CONSTRUCTION. COORDINATE REPLACEMENT VEGETATION, ANY NEW LANDSCAPE AREAS WITH OWNER.

LEGEND

- AREA OF NEW CONCRETE
- AREA OF REFRESHED LANDSCAPING-COORDINATE WITH FACILITIES



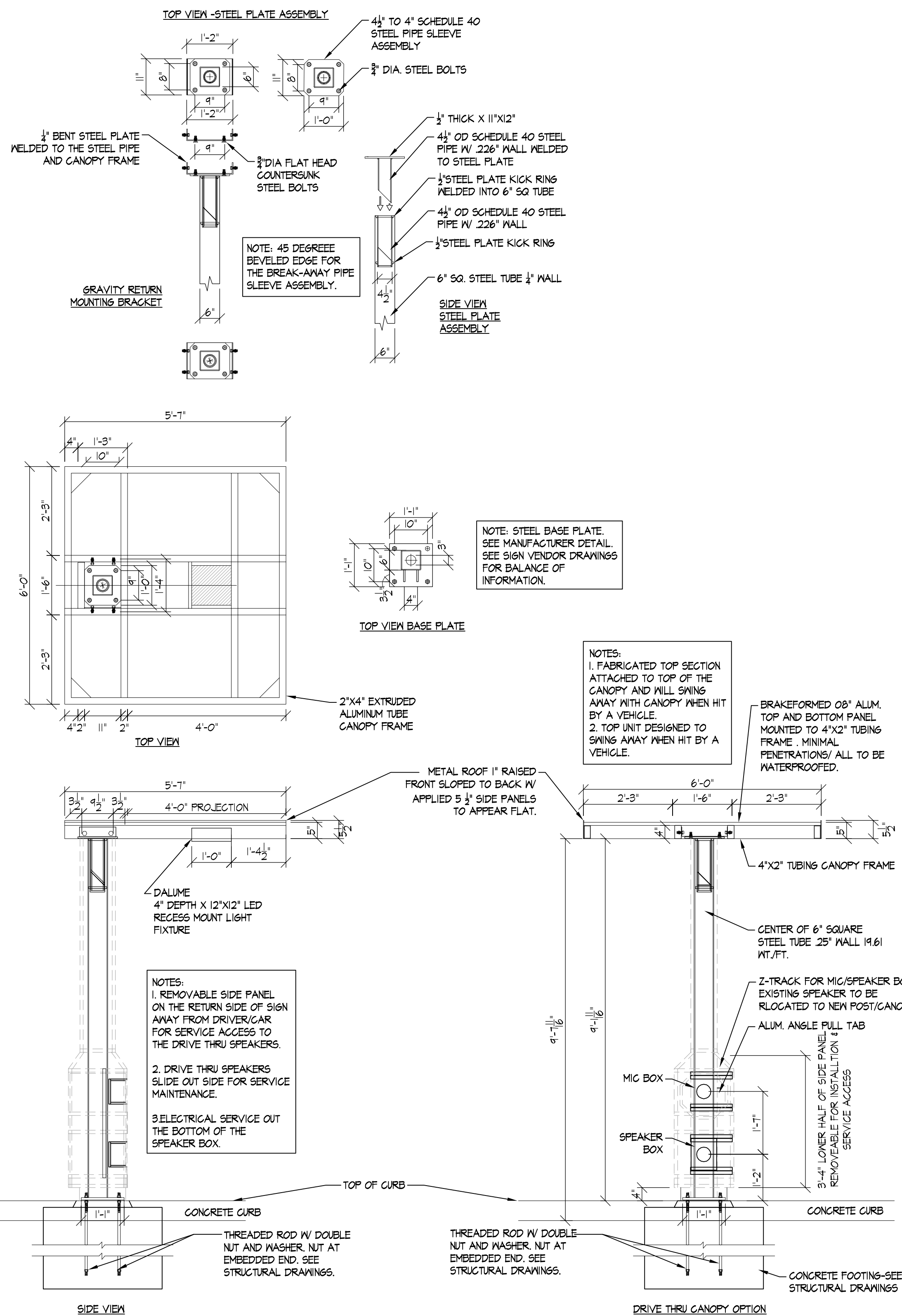
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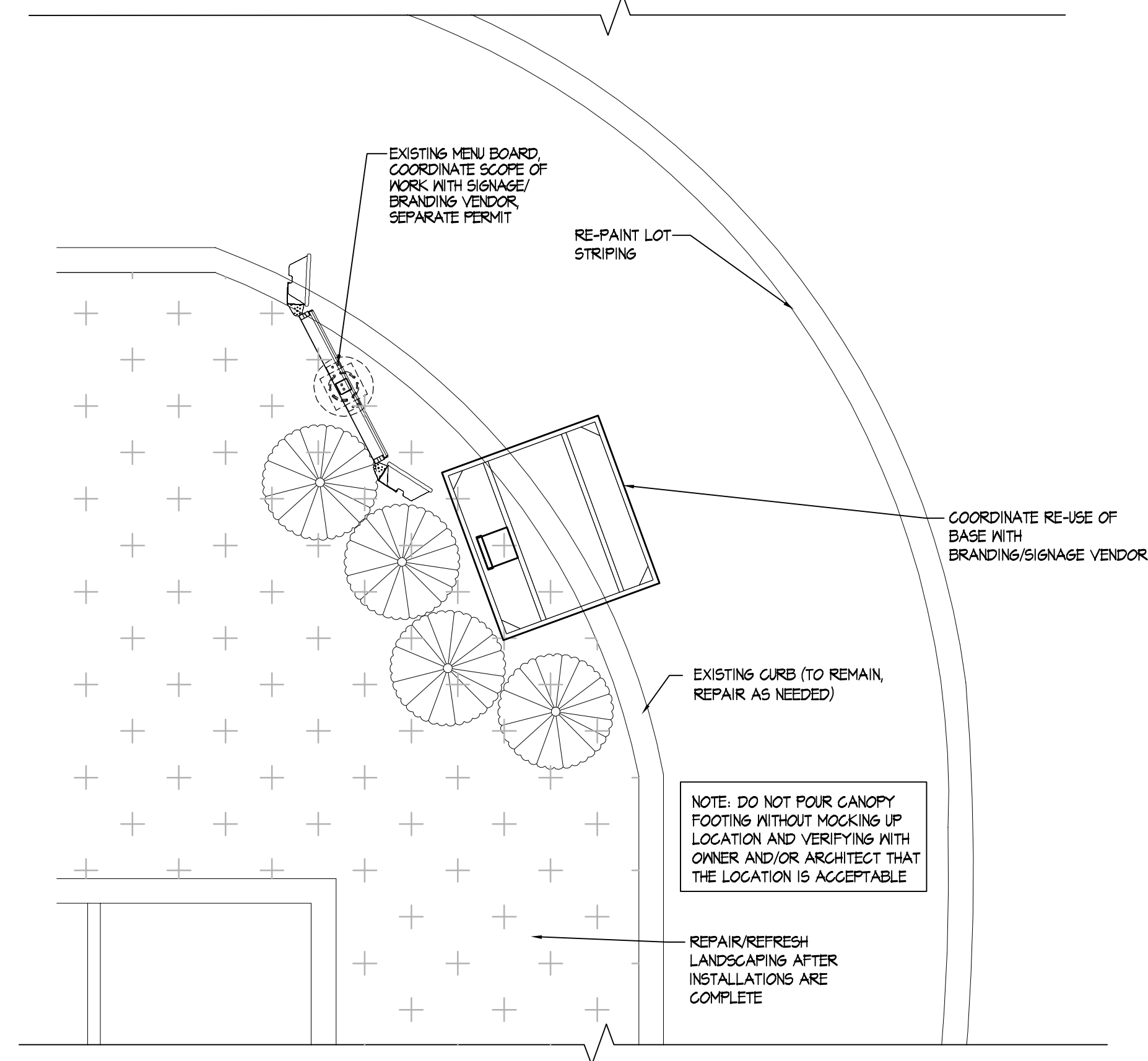
ARBY'S REMODEL
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WILLOWICK OH, 44095
STORE # 1832

REV.	DATE	DESCRIPTION

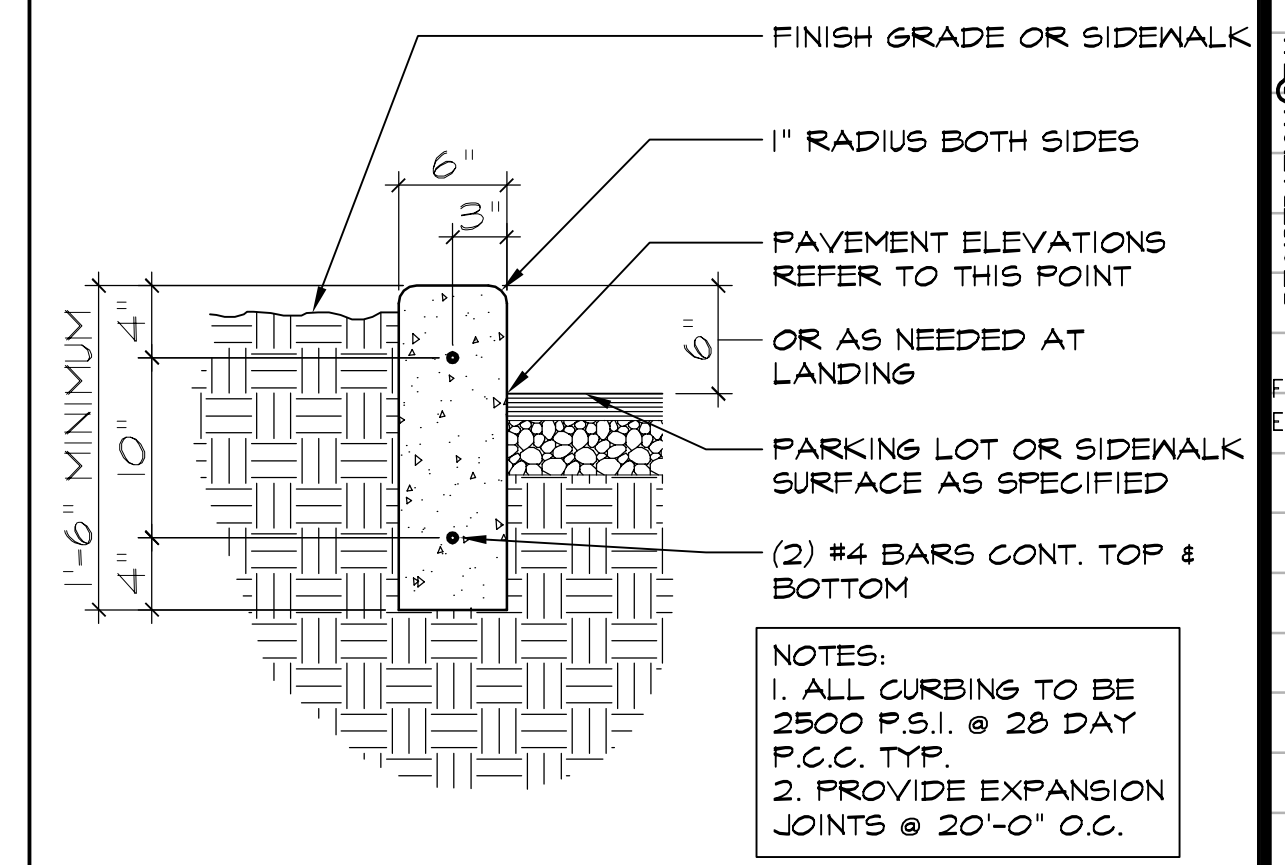
PROJECT NO: 230688
DRAWN BY: ST
CHECKED BY: JMW
ISSUE DATE: 07/19/24
SITE PLAN



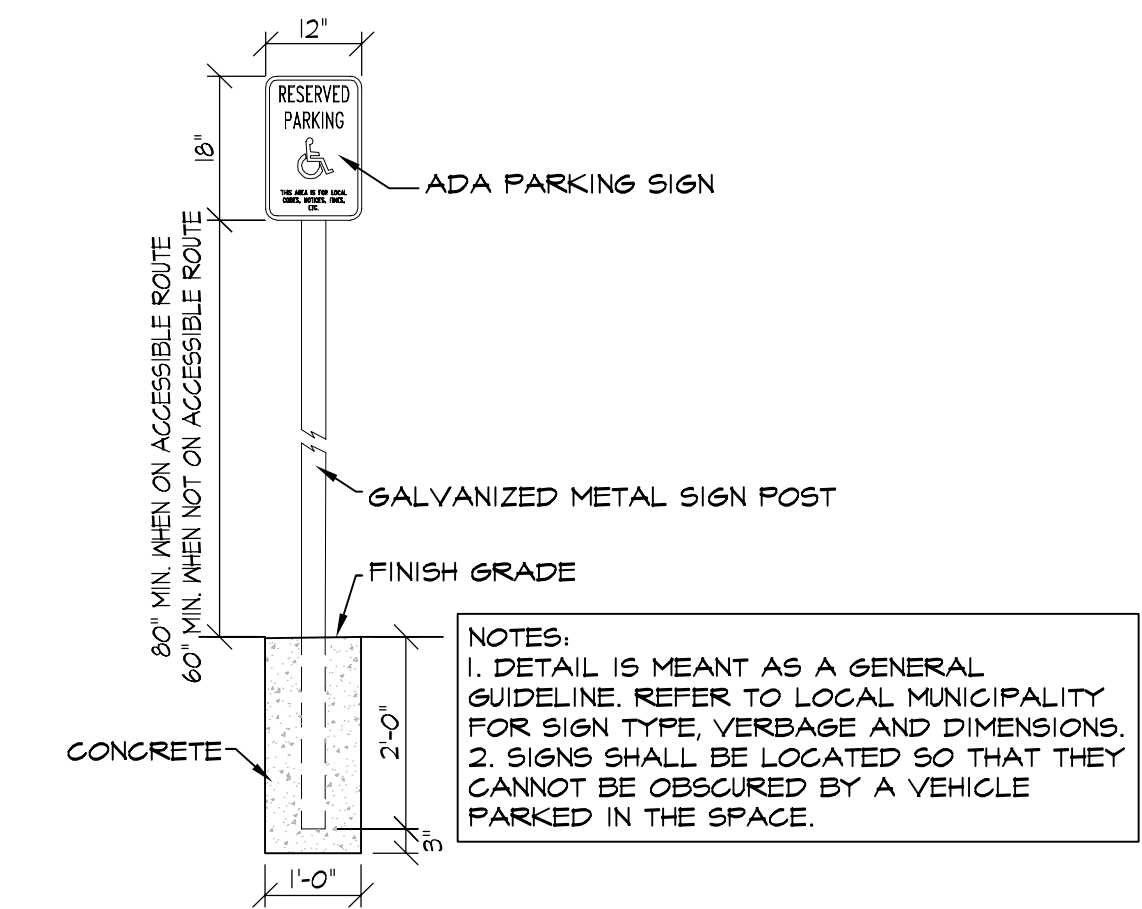
20 ALLEN INDUSTRIES DRIVE THRU CANOPY
 SCALE: 1/2" = 1'-0" FOR REFERENCE ONLY, COORDIANTE WITH SUPPLIER BALANCE OF DIRECTION



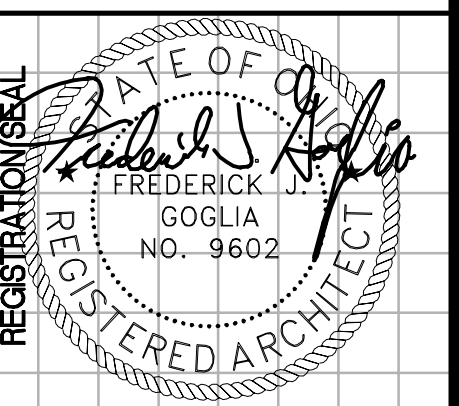
10 ENLARGED DRIVE THRU PLAN AREA
 SCALE: 1/4" = 1'-0"



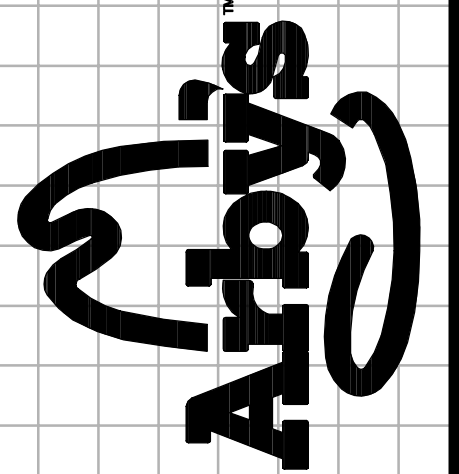
1 NEW CONCRETE CURB DETAIL
 SCALE: N.T.S.-AS REQUIRED



2 POST MOUNTED ADA SIGNAGE
 SCALE: N.T.S. (IF REPLACEMENT IS WARRANTED)



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 REGISTRATION SEAL
 STATE OF VIRGINIA
 FREDERICK J. GOGLIA
 LICENSE NO. 9602
 EXPIRATION DATE: 12/31/25
 7/24/24

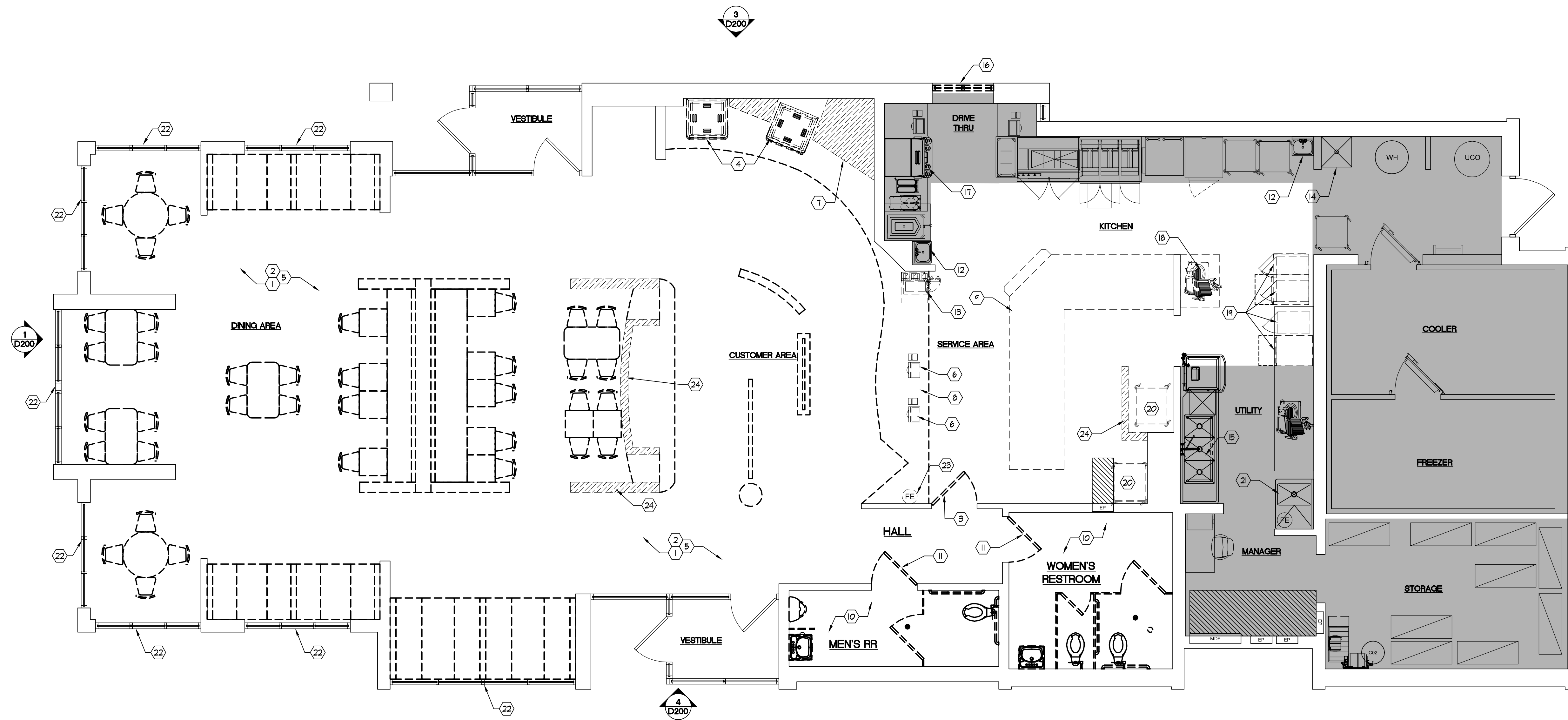


ARBY'S REMODEL
 3129 VINE ST.
 WILLOWICK OH, 44095
 STORE # 1832

REV.	DATE	DESCRIPTION

PROJECT NO: 230698
 DRAWN BY: ST
 CHECKED BY: JMW
 ISSUE DATE: 07/19/24

C102
SITE DETAILS



1 DEMOLITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

- ### KEYED NOTES
- REMOVE ALL DINING AREA SEATS, TABLES, TRASH ENCLOSURES, DIVIDER WALLS, AND CONDIMENT COUNTER.
 - REMOVE ALL EXISTING TILE FLOORING AND COVE BASE IN DINING AREA, VESTIBULES, CUSTOMER AREA, CORRIDOR, WOMEN'S RESTROOM & MEN'S RESTROOM.
 - REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING TO RECEIVE NEW CASING. SEE DECOR.
 - REMOVE EXISTING SELF SERVE BEVERAGE COUNTER. THE EXISTING SODA DISPENSER WILL BE REMOVED BY OWNER FOR RE-INSTALLATION. SEE AIOI FOR NEW LOCATION.
 - REMOVE ALL EXISTING WALLCOVERING THROUGHOUT DINING AREA. COORDINATE WITH OWNER REMOVAL OF CHAIR RAIL (OR PAINT EXISTING).
 - EXISTING POS STATIONS TO BE RELOCATED BY OWNER VENDOR. SEE SHEET AIOI FOR THEIR RE-INSTALL LOCATIONS.
 - REMOVE PORTION OF EXISTING INTERIOR FULL HEIGHT WALL TO EXTENTS INDICATED. SEE AIOI FOR BALANCE OF EXTENTS.
 - REMOVE EXISTING SERVICE COUNTER AND KNEE WALL.
 - REMOVE PRODUCTION TABLE/SYSTEM.
 - REMOVE EXISTING RESTROOM PLUMBING FIXTURES, TOWEL DISPENSER, CHANGING STATION, PARTITIONS. SALVAGE CHANGING STATION FOR RELOCATION. SEE 20/AIOI2.
 - REMOVE DOOR, FRAME TO REMAIN.
 - EXISTING HAND SINK TO REMAIN.
 - RELOCATE EXISTING SAFE. SEE SHEET AIOI FOR NEW LOCATION.
 - EXISTING MOP SINK TO REMAIN.
 - EXISTING 3-COMPARTMENT SINK AND WAREWASHER TO REMAIN.
 - REMOVE DRIVE-THRU WINDOW. PREPARE OPENING TO RECEIVE NEW WINDOW. SEE AIOI.
 - RELOCATE EXISTING MEAT SLICER. SEE AIOI.
 - RELOCATE COOK-HOLD.
 - RELOCATE BREAD CART.
 - EXISTING PREP SINK.
 - EXISTING STOREFRONT WINDOW TO REMAIN. CLEAN, REPAIR TO "AS NEW" CONDITION.
 - RELOCATE FIRE EXTINGUISHER.
 - REMOVE FULL HEIGHT WALL (VERIFY ANY STRUCTURAL COMPONENTS AND IF FOUND TO NOTIFY ARCHITECT IMMEDIATELY).

- ### DEMOLITION PLAN GENERAL NOTES
- EXAMINATION OF PREMISES: THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, SHALL EXAMINE THE PREMISES AND ALL CONDITIONS THEREON AND/OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGMENT BY HIM THAT ALL SUCH CONDITIONS ARE FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH LANDLORD.
 - GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
 - GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST & TRAFFIC BARRIERS & TEMPORARY PARTITIONS AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR THE PUBLIC AND EMPLOYEES THROUGHOUT THE PROJECT.
 - GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
 - NO OVER-CUTTING WILL BE ALLOWED BEYOND THE NOTED HOLE SIZES FOR ANY NEW OPENINGS IN STRUCTURAL CONCRETE SLAB OR THE EXISTING ROOF, UNLESS OTHERWISE APPROVED BY THE ARCHITECT'S REPRESENTATIVE.
 - GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES. ALL EXISTING DRYWALL OR PLASTER THAT IS TO REMAIN AND TO RECEIVE A NEW SCHEDULED PAINT OR WALL COVERING SHALL HAVE ALL DEFECTS, (CRACKS, PAINT CHIPPING, HOLES, ETC.) FILLED, FLASTERED OR SPACKLED, SANDED SMOOTH AND CLEANED PRIOR TO THE SCHEDULED FINISH. REPAIR ALL WALLS THAT ARE TO REMAIN TO MATCH EXISTING. WHEREVER A WALL OR FIXTURE HAS BEEN REMOVED OR ANY DAMAGE HAS OCCURRED AS A RESULT OF DEMOLITION OR CONSTRUCTION.

PLAN LEGEND

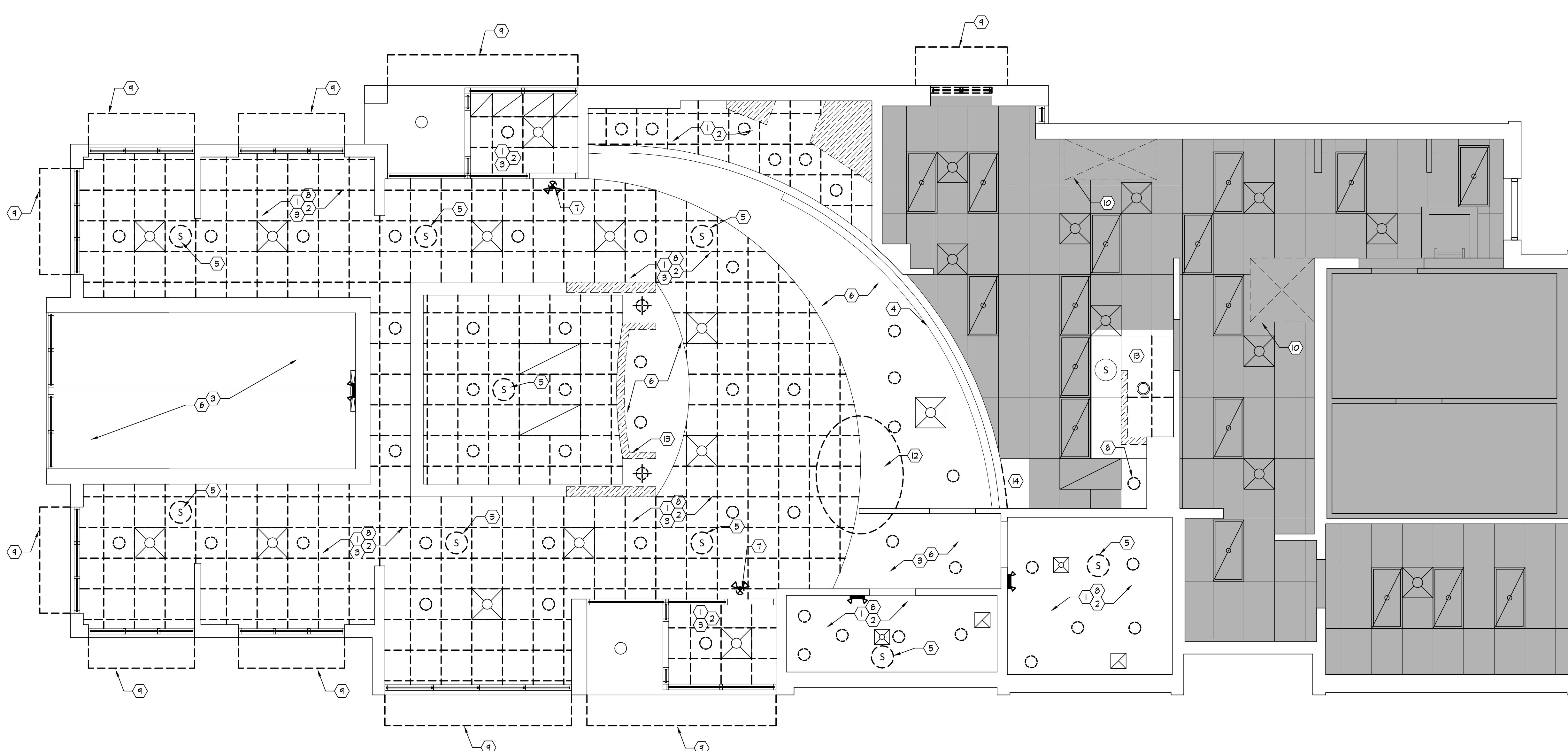
	- EXISTING WALLS TO REMAIN
	- WALLS TO BE REMOVED
	- ITEM/FEATURE TO BE REMOVED
	- NO WORK IN THIS AREA

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ARBY'S REMODEL
 3129 VINE ST.
 WILLOWICK OH, 44095
 STORE # 1832

PROJECT NO: 230688
 DRAWN BY: ST
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DEMOLITION FLOOR PLAN



1 DEMOLITION RCP
SCALE: 1/4" = 1'-0"



KEYED NOTES

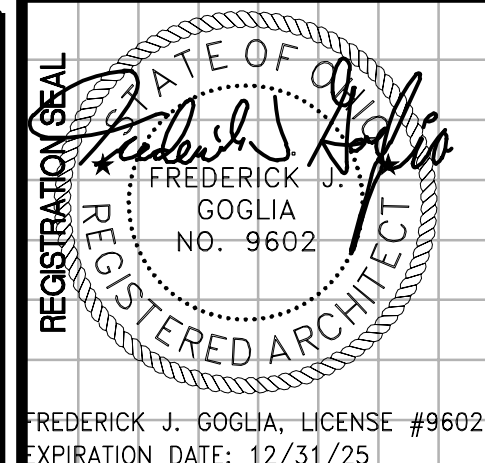
- 1 REMOVE CEILING TILE AND GRID COMPLETELY THROUGHOUT DINING ROOM, HALL, VESTIBULE, AND CUSTOMER QUEUING AREA AS NOTED.
- 2 EXISTING DIFFUSER AND GRILLES TO REMAIN IN DINING AREAS, AND VESTIBULES, AS INDICATED. REINSTALL IN NEW GRID WHERE APPLICABLE.
- 3 REMOVE EXISTING LIGHT FIXTURES (PENDANTS, 2X2's & 2X4's) THROUGHOUT DINING ROOM AND VESTIBULES.
- 4 EXISTING MENU BOARD, TAKE DOWN TO ALLOW NEW FINISHES TO BE APPLIED, RE-INSTALL AT SAME LOCATION.
- 5 REMOVE EXISTING SPEAKERS.
- 6 EXISTING SOFFIT/GYPSUM CEILING TO REMAIN. -PATCH AND REPAIR AS NECESSARY. -PREP FOR NEW FINISHES, SEE A200, DECOR
- 7 REMOVE EXISTING EXIT SIGN.
- 8 REMOVE EXISTING LIGHTING. SEE A200 FOR REPLACEMENT WITH LED.
- 9 REMOVE EXISTING AWNING AND BACK LIGHTING. REPAIR ALL EIFS AND PREPARE TO RECEIVE NEW FINISHES. SEE A400.
- 10 EXISTING HOOD, PROTECT DURING ALL PHASES OF WORK.
- 11 ANY LIGHTS AFFECTED BY CEILING WORK ARE TO BE SALVAGED FOR RELOCATION, SEE A200.
- 12 REMOVE EXISTING HARD CEILING/SOFFIT AND FRAMING TO EXTENTS SHOWN. SEE A200 FOR BALANCE OF EXTENTS
- 13 REMOVE CEILING TILE TO EXTENTS REQUIRED FOR NEW WORK

GENERAL NOTES

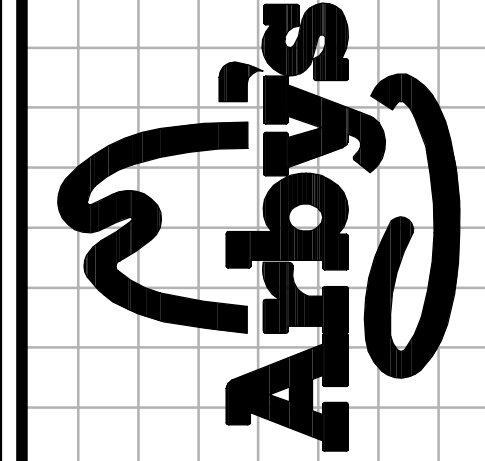
- A. EXAMINATION OF PREMISES: THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, SHALL EXAMINE THE PREMISES AND ALL CONDITIONS THEREON AND/OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGMENT BY HIM THAT ALL SUCH CONDITIONS ARE FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH LANDLORD.
- B. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- C. AT LEAST ONE RESTROOM MUST BE AVAILABLE DURING ALL PERIODS OF OPERATION.
- D. ALL REMODELING WORK MUST BE INITIATED IN A MANNER TO ELIMINATE THE POSSIBILITY OF DUST, DEBRIS OR CONTAMINANTS GETTING INTO THE ACTIVE PART OF THE FACILITY.
- E. GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST & TRAFFIC BARRIERS & TEMPORARY PARTITIONS AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR THE PUBLIC AND EMPLOYEES THROUGHOUT THE PROJECT.
- F. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- G. NO OVER-CUTTING WILL BE ALLOWED BEYOND THE NOTED HOLE SIZES FOR ANY NEW OPENINGS IN STRUCTURAL CONCRETE SLAB OR THE EXISTING ROOF, UNLESS OTHERWISE APPROVED BY THE ARCHITECT'S REPRESENTATIVE.
- H. GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES. ALL EXISTING GYPSUM BOARD OR PLASTER THAT IS TO REMAIN AND TO RECEIVE A NEW SCHEDULED PAINT OR WALL COVERING SHALL HAVE ALL DEFECTS (CRACKS, PAINT CHIPPING, HOLES, ETC.) FILLED, PLASTERED OR SPACKLED, Sanded SMOOTH AND CLEANED PRIOR TO THE SCHEDULED FINISH. REPAIR ALL WALLS THAT ARE TO REMAIN TO MATCH EXISTING. WHEREVER A WALL OR FIXTURE HAS BEEN REMOVED OR ANY DAMAGE HAS OCCURRED AS A RESULT OF DEMOLITION OR CONSTRUCTION.
- I. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF DEMOLITION.
- J. S.C. SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES IN EXISTING STRUCTURAL COMPONENTS OF BUILDING.
- K. ALL SECURITY EQUIPMENT (CAMERAS, SENSORS, KEYPADS) THAT REQUIRES REMOVAL SHALL BE REINSTALLED IN SAME LOCATION.

PLAN LEGEND

- EXISTING 2X2' CEILING GRID AND TILE TO BE REMOVED.
- EXISTING 2X4' CEILING GRID AND TILE TO BE REMOVED. SEE KEYED AND PLAN NOTES FOR REQUIREMENTS.
- WALLS/ ELEMENTS TO BE REMOVED
- NO WORK IN THIS AREA
- CEILING MOUNTED ITEMS TO BE REMOVED - SEE KEY NOTES AND SHEET A200



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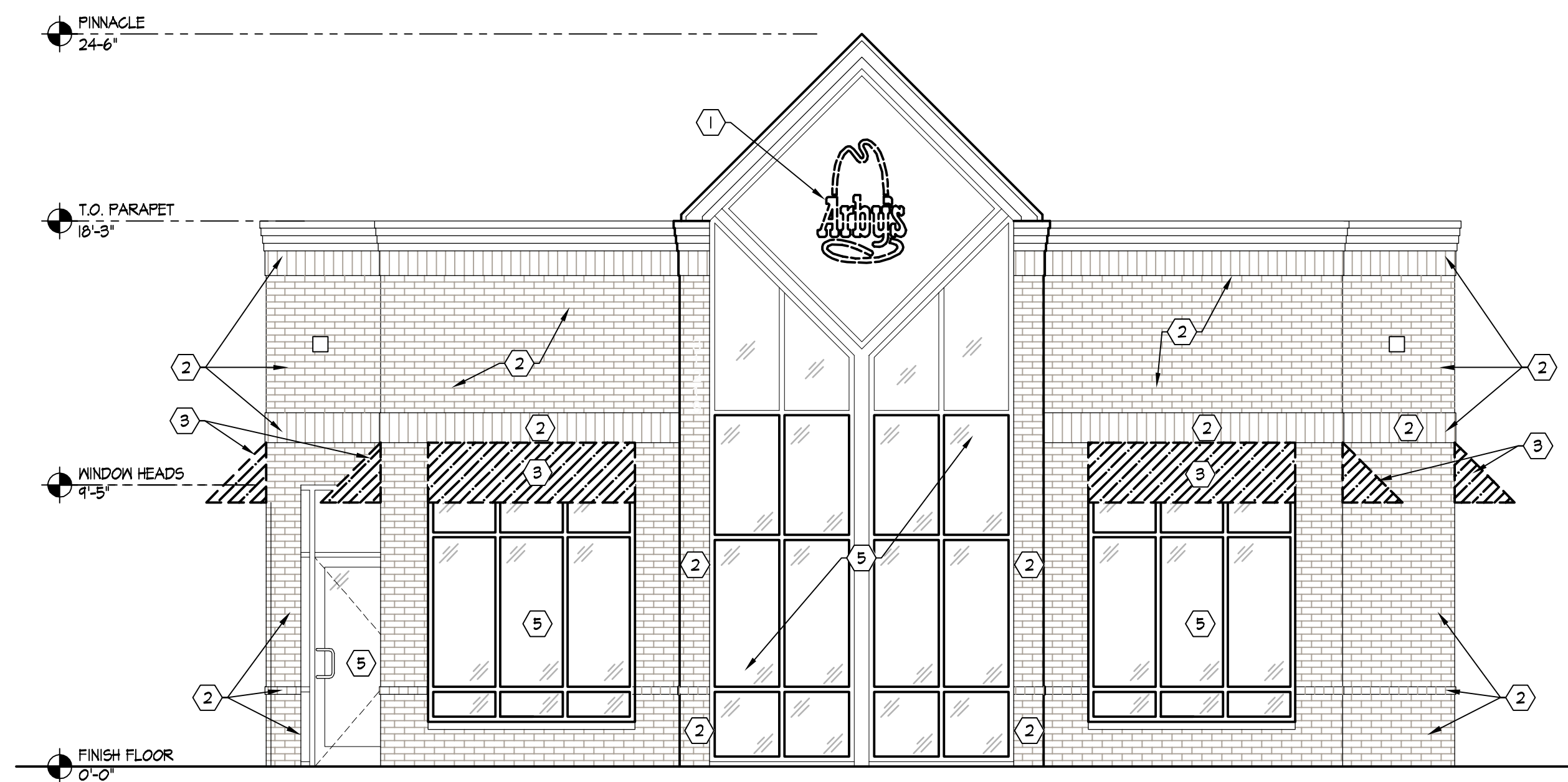
ARBY'S REMODEL
31219 VINE ST.
WILLOWICK OH, 44095
STORE # 1832

REV.	DATE	DESCRIPTION

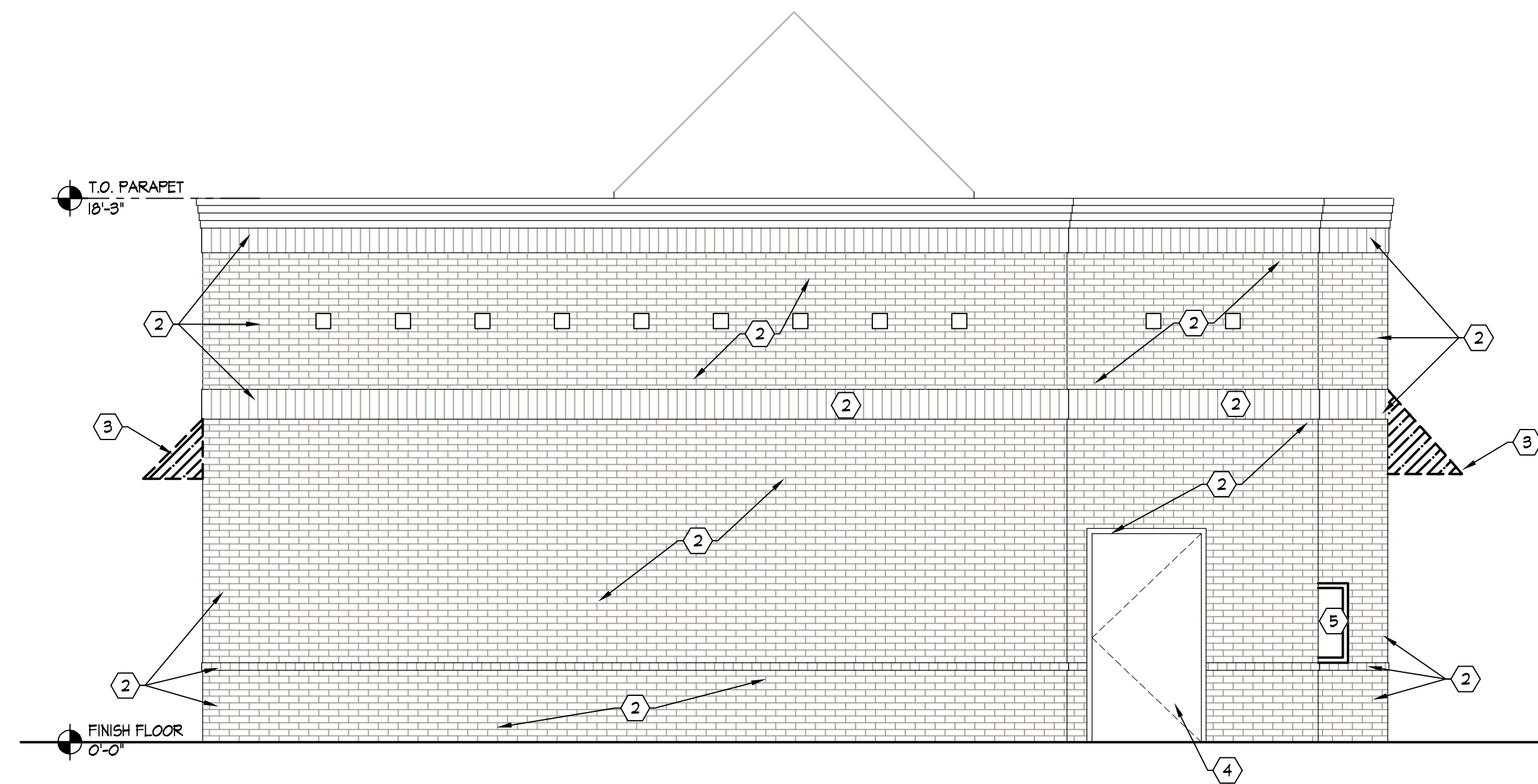
PROJECT NO: 230688
DRAWN BY: ST
CHECKED BY: JMW
ISSUE DATE: 07/19/24

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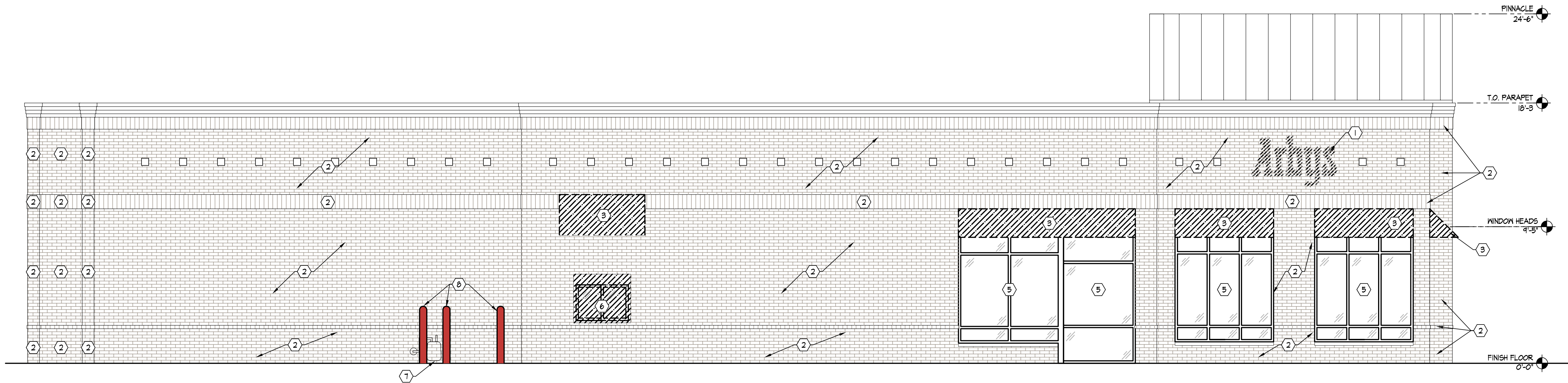
DEMOLITION CEILING PLAN



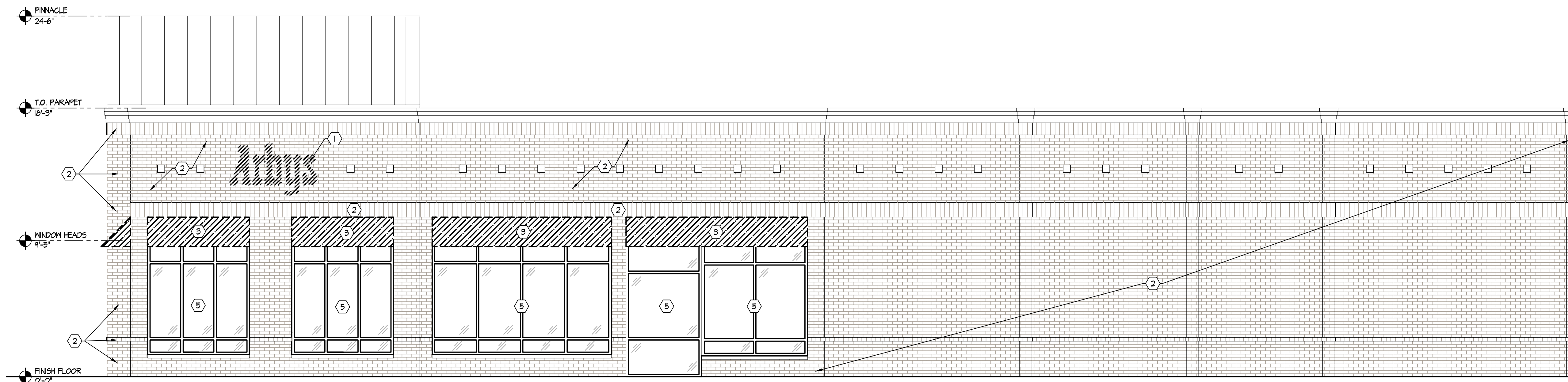
1 SOUTH EAST (FRONT) ELEVATION - DEMOLITION
SCALE: 1/4"=1'-0"



2 NORTHWEST (REAR) ELEVATION - DEMOLITION
SCALE: 1/4"=1'-0"



3 SOUTHWEST (DRIVE THRU) ELEVATION - DEMOLITION
SCALE: 1/4"=1'-0"



4 NORTHEAST (MAIN ENTRY) ELEVATION - DEMOLITION
SCALE: 1/4"=1'-0"

KEYED NOTES

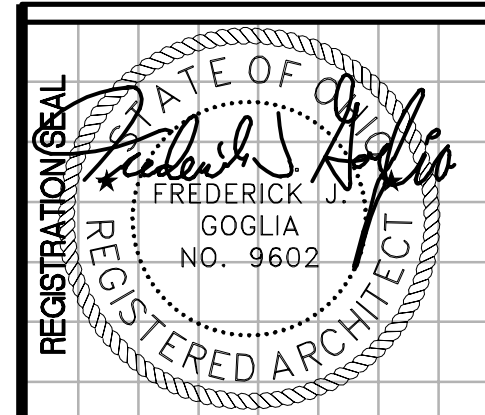
- 1 REMOVE EXISTING ARBY'S SIGNAGE. GC. TO CAP EXISTING WIRING AS REQUIRED.
- 2 EXISTING BRICK. GC. TO CLEAN, REPAIR, AND PREPARE FOR NEW FINISH. SEE A400.
- 3 REMOVE EXISTING AWNING AND BACK LIGHTING. REPAIR ALL BRICK AND PREPARE TO RECEIVE NEW FINISHES. SEE A400.
- 4 EXISTING SERVICE/EMERGENCY EXIT DOOR AND FRAME TO REMAIN. PREPARE SURFACE TO RECEIVE NEW PAINT FINISH.
- 5 EXISTING STOREFRONT WINDOW ASSEMBLY TO REMAIN. CLEAN AND REPAIR TO "AS NEW" CONDITION.
- 6 REMOVE EXISTING DRIVE-THRU WINDOW. PREPARE OPENING TO RECEIVE NEW WINDOW. SEE A100.
- 7 EXISTING ELECTRICAL EQUIPMENT, PROTECT DURING ALL PHASES OF WORK.
- 8 EXISTING BOLLARD TO BE REMAIN.

GENERAL NOTES

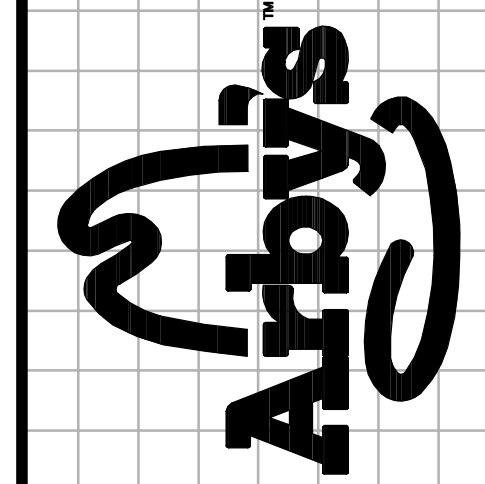
- A. EXAMINATION OF PREMISES: THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, SHALL EXAMINE THE PREMISES AND ALL CONDITIONS THEREON AND/OR THEREIN. THE PROPOSAL SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT THE WORK UNDER THIS CONTRACT. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AS ACKNOWLEDGMENT BY HIM THAT ALL SUCH CONDITIONS ARE FULLY KNOWN TO HIM. ARRANGEMENT FOR SITE VISITS SHALL BE MADE THROUGH OWNER.
- B. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- C. AT LEAST ONE RESTROOM MUST BE AVAILABLE DURING ALL PERIODS OF OPERATION.
- D. ALL REMODELING WORK MUST BE INITIATED IN A MANNER TO ELIMINATE THE POSSIBILITY OF DUST, DEBRIS OR CONTAMINANTS GETTING INTO THE ACTIVE PART OF THE FACILITY.
- E. GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST & TRAFFIC BARRIERS & TEMPORARY PARTITIONS AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR THE PUBLIC AND EMPLOYEES THROUGHOUT THE PROJECT.
- F. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- G. NO OVER-CUTTING WILL BE ALLOWED BEYOND THE NOTED HOLE SIZES FOR ANY NEW OPENINGS IN STRUCTURAL CONCRETE SLAB OR THE EXISTING ROOF, UNLESS OTHERWISE APPROVED BY THE ARCHITECT'S REPRESENTATIVE.
- H. GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES. ALL EXISTING DRYWALL OR PLASTER THAT IS TO REMAIN AND TO RECEIVE A NEW SCHEDULED PAINT OR WALL COVERING SHALL HAVE ALL DEFECTS (CRACKS, PAINT CHIPPING, HOLES, ETC.) FILLED, PLASTERED OR SPACKLED, SANDED SMOOTH AND CLEANED PRIOR TO THE SCHEDULED FINISH. REPAIR ALL WALLS THAT ARE TO REMAIN TO MATCH EXISTING. WHEREVER A WALL OR FEATURE HAS BEEN REMOVED OR ANY DAMAGE HAS OCCURRED AS A RESULT OF DEMOLITION OR CONSTRUCTION.
- I. GENERAL CONTRACTOR TO REFER TO SITE PLAN DRAWINGS FOR ALL RELEVANT SITE WORK INCLUDING BUT NOT LIMITED TO, SIDEWALKS, CURBS, DRIVEWAYS, PARKING AREAS, ETC.
- J. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF DEMOLITION.

LEGEND

- ELEMENTS/FEATURES TO BE REMOVED
- EXISTING FEATURE TO BE REMOVED



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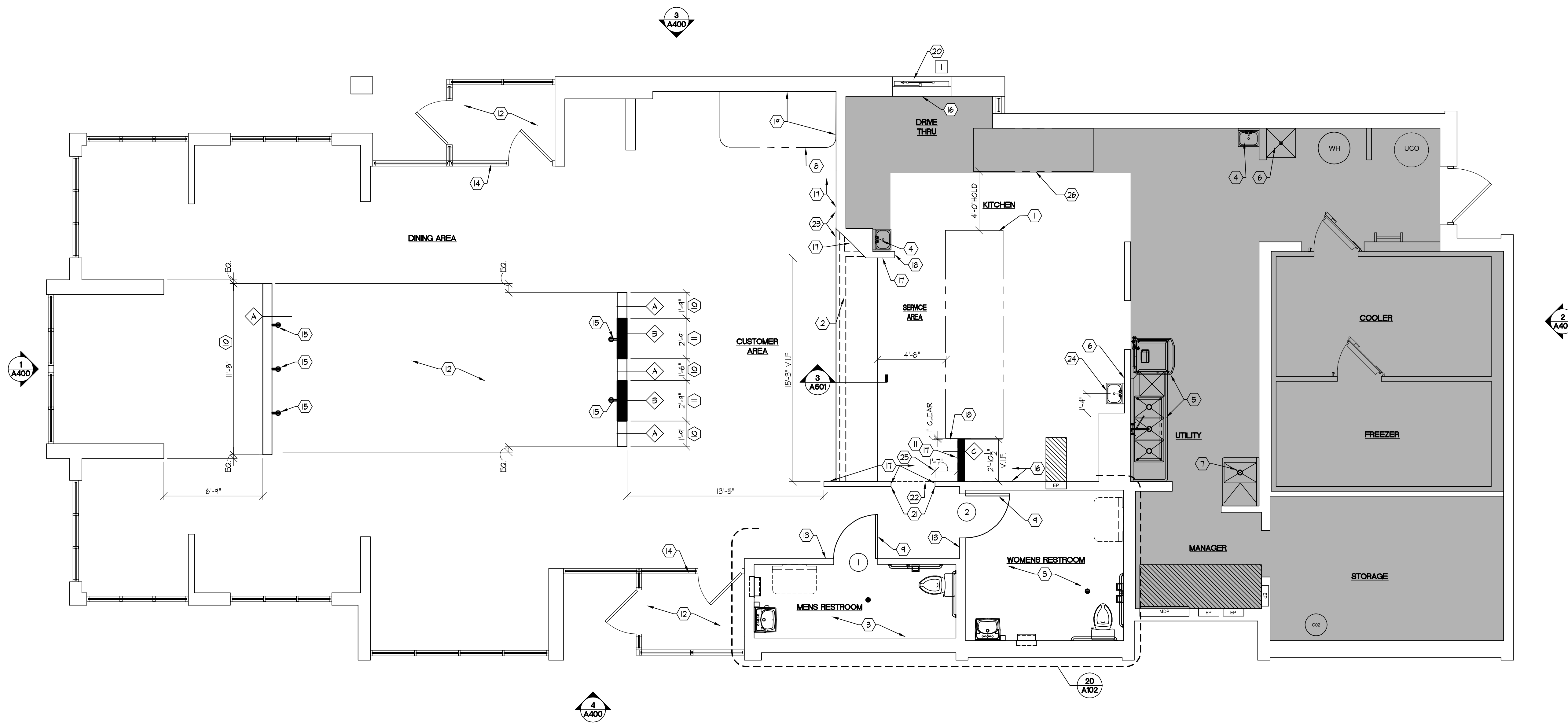
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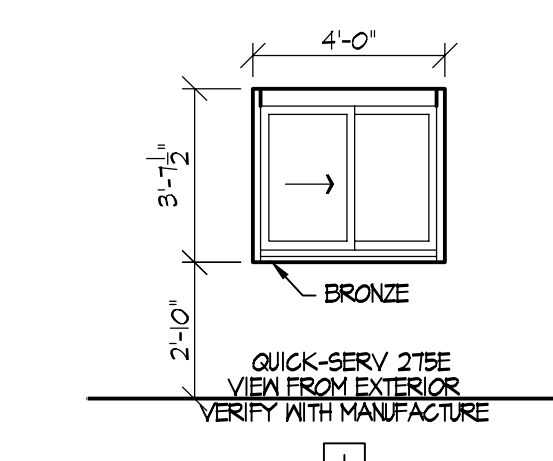
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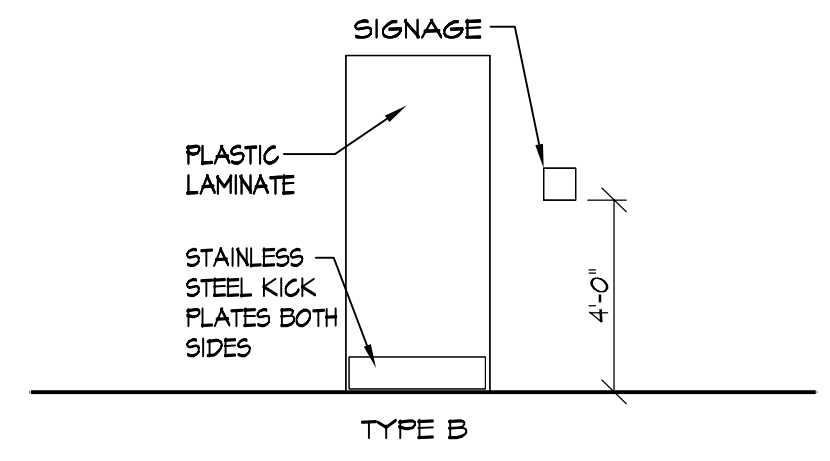
DEMOLITION EXTERIOR ELEVATIONS



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 WINDOW TYPE
SCALE: 1/4" = 1'-0"



3 DOOR TYPE
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE												
DOOR NO.	SIZE N x H	DOOR			FRAME						REMARKS	
		MTL.	FIN.	TYPE	MTL.	ELEV.	TYPE	THR.	CLOSER	U.L. LABEL		HDW. SET
1	FIT TO EXISTING DOOR FRAME	WOOD	P. LAM EACH SIDE	B	HM		EXIST	NEW	YES	-	4	1, 2, 3, 4
2	FIT TO EXISTING DOOR FRAME	WOOD	P. LAM EACH SIDE	B	HM		EXIST	NEW	YES	-	4	1, 2, 3

HARDWARE SCHEDULE	
HARDWARE SET 4 (SINGLE OCCUPANT RESTROOM):	
1	1/2 PR. HAGER HINGES EC6B 1100 26D
1	1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER
1	SCHLAGE ND405-R40-626
2	HAGER 1905 KICK PLATES 32D 8" X 34"
3	SILENCERS PER DOOR
1	SIGN- MENS / WOMENS
1	HAGER 249F LIGHT DUTY DOME STOP HIGH 26D

DOOR REMARKS	
1.	PLASTIC LAMINATE COLOR BY OWNER REFER TO DECOR DRAWINGS
2.	VERIFY SIGNAGE FOR RESTROOM DOORS AND 'EMPLOYEES ONLY' DOORS IS MOUNTED (MOUNT TO REFINISHED WALLS) ON WALL AT 60" AFF. TO THE CENTER OF THE SIGN. SIGNS SHALL BE MOUNTED ON THE WALL ADJACENT TO THE DOOR ON THE LATCH SIDE. ALL SIGNS SHALL HAVE TACTILE CHARACTERS AND RESTROOM SIGNAGE SHALL HAVE PHOTOGRAPHS. ALL SIGNAGE TO COMPLY WITH ADA GUIDELINES.
3.	ADJUST DOOR OPENING PRESSURES. 5LBS MAX FOR INTERIOR DOORS & 8.5LBS MAX FOR EXTERIOR DOORS.
4.	NO FLOOR STOP. ADJUST DOOR CLOSER TO STOP AT 48"

- ### KEYED NOTES
- NEW PRODUCTION TABLE (OUTLINE OF), PROVIDED BY OWNER, INSTALLED BY KES. G.C. TO PROVIDE ALL CONNECTIONS. SEE A101, ELECTRICAL, PLUMBING
 - NEW CORIAN COUNTER TOP ON KNEE WALL. TOP OF COUNTER TO BE SET AT 34" AFF. BUTT COUNTER TO EXISTING DOOR FRAME. SEE 3/A601.
 - NEW PLUMBING FIXTURES, FINISHES, AND ACCESSORIES IN RESTROOMS. RELOCATED CHANGING STATIONS.
 - EXISTING HAND SINK
 - EXISTING THREE-COMPARTMENT SINK AND WAREWASHER
 - EXISTING MOP SINK
 - EXISTING PREP SINK
 - NEW BEVERAGE COUNTER (OUTLINE OF) AND EQUIPMENT BY OWNER, INSTALLED BY G.C. TOP OF COUNTER TO BE SET AT 34" AFF. MAX. G.C. TO TRENCH SLAB AS REQUIRED FOR NEW FLOOR SINK. SODA VENDOR TO RUN SODA LINES.
 - NEW INTERIOR DOOR, FIT TO EXISTING FRAME.
 - NEW LOW WALL, SEE DECOR FOR FINISHES.
 - NEW FULL-HEIGHT WALL, SEE WALL TYPE.
 - NEW FLOOR TILE, WALL FINISHES-SEE DECOR DRAWINGS.
 - RESTROOM SIGN, SEE 17/A102
 - EXIT SIGN, SEE 17/A102
 - ELECTRICAL OUTLET-SEE ELECTRICAL DRAWINGS FOR TYPE, ETC.
 - REPLACE ALL DAMAGED FRP AND CLEAN. INSTALL NEW AT LOCATIONS AFFECTED BY NEW WORK, TO 48" ABOVE CEILING.
 - NEW WALL TILE-SEE DECOR. EXTEND INTO OPENING AT REMOVED DOOR. COVE BASE TO MATCH EXISTING EXCEPT AS NOTED.
 - TERMINATE TILE AT CORNER WITH FINISHED EDGE.
 - REPAIR WALL AT REMOVED FRAMING AND FINISH. ALIGN ALL NEW SUBSTRATES WITH ADJACENT, SEE DECOR FOR FINISHES
 - NEW DRIVE-THRU WINDOW, SEE WINDOW TYPES, AND A101
 - EXISTING OPENING, SEE DECOR FOR TILE CASING EXTENTS AND SCALFIER TRIM.
 - EXTEND HALL TILE INTO OPENING TO MEET (REPAIRED EXISTING) QUARRY TILE AT SERVICE AREA. SEE DECOR.
 - ALIGN SALES COUNTER EDGE WITH FACE OF FINISHED WALL.
 - NEW HAND SINK.
 - ALIGN WITH SOFFIT ABOVE.
 - EXISTING FRYER (OUTLINE)

- ### GENERAL NOTES
- AT LEAST ONE RESTROOM MUST BE AVAILABLE DURING ALL PERIODS OF OPERATION.
 - ALL REMODELING WORK MUST BE INITIATED IN A MANNER TO ELIMINATE THE POSSIBILITY OF DUST, DEBRIS OR CONTAMINANTS GETTING INTO THE ACTIVE PART OF THE FACILITY.
 - G.C. TO VERIFY DINING LAYOUT WITH LATEST DECOR PLANS PRIOR TO INSTALLATION.
 - ALL EQUIP. REMOVED FROM PREP/DRIVE THRU AREA TO BE RE-MOUNTED TO ORIG. POSITIONS ONCE FLOOR TILE INSTALL IS COMPLETE.
 - GENERAL CONTRACTOR TO REFER TO SITE PLAN DRAWINGS FOR ALL RELEVANT SITE WORK INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURBS, DRIVEWAYS, PARKING AREAS, ETC.
 - GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
 - G.C. SHALL STORE ALL EXISTING FIRE EXTINGUISHERS FOR REINSTALLATION.
 - REINSTALL EXISTING FIRE EXTINGUISHERS. POSITION SO THAT THEY ARE WITHIN 75' OF EVERY POINT WITHIN THE BUILDING.
 - REINSTALL OR PROVIDE NEW CLASS K' FIRE EXTINGUISHER WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT.
 - COORDINATE ALL FINAL FIRE EXTINGUISHER LOCATIONS WITH THE LOCAL FIRE DEPARTMENT.

***NOTE: ALL DIMENSIONS ARE FROM FINISHED FACE OF SURFACE TO FINISHED FACE OF SURFACE, EXCEPT AT PLUMBING FIXTURES (CENTERLINE)**

PLAN LEGEND

	- EXISTING WALLS TO REMAIN
	- NEW WALLS TO BE CONSTRUCTED
	- NEW LOW WALL TO BE CONSTRUCTED
	- NO WORK IN THIS AREA
	-PARTITION TYPES, SEE 20/A601
	-DOOR NUMBER, SEE DOOR SCHEDULE
	-KEYED NOTE
	-WINDOW TYPE

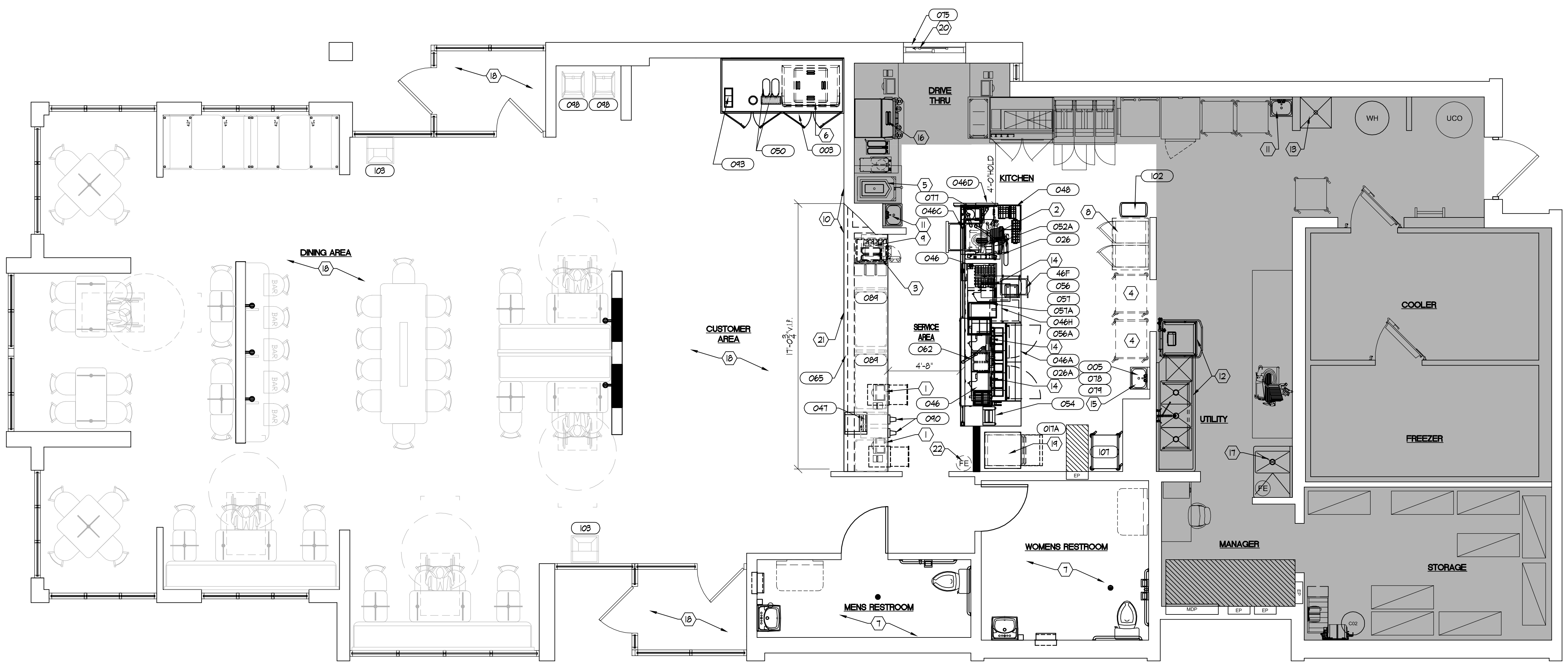
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FLOOR PLAN
A100

EQUIPMENT SCHEDULE				
*GEN III CUSTOM FAB. WHEN ORDERING FROM KES, VERIFY LATEST APPROVED SHOP DRAWINGS.				
NO	QTY	ITEM	MANUF. AND MODEL NO.	REMARKS
3	1	SELF SERVE BEVERAGE COUNTER	KES / DECOR	7'-11" L x 42"D x 34"H
5	1	WALL MOUNTED HAND SINK	KROYNE H52	
17A	1	OVEN STAND	KES	28W x 41 1/2H MOBILE STAND TO HOLD (2) #17
26	1	BEEF PORTION SCALE	SMALLWARE ITEM	SEE SMALLWARES LIST
26A	1	BEEF PORTION SCALE DISPLAY-INTEGRAL TO #26	SEE PLAN FOR LOCATION	
41	1	TURNOVER DISPLAY CASE	HOWARD (11 PANEL) PLATINUM MODULAR LED MENU BOARD SYSTEM	24"L x 11"D x 24"H
46	1	UNIVERSAL PRODUCTION TABLE- 171"	KES, CUSTOM FAB ITEM	
46A	1	60" ROLL-IN GOLD WELL UNIT	BEVERAGE AIR, SPE 24-60M	
46C	1	UNDERCOUNTER REFRIGERATED DRAWERS	BEVERAGE-AIR MODEL UCRD21A-23ARB	INTEGRATED INTO #46 SLICER COUNTER
46D	1	TO-GO BAG HOLDER		INTEGRATED INTO #46 SLICER COUNTER
46F	1	BEEF DRAWER	KES, CUSTOM FAB ITEM	INTEGRATED INTO #46 SLICER COUNTER
46H	1	BACKLINE TIMER	A.J. ANTUNES SOLAR TIMER MODEL #TTS-8 PT	INTEGRATED INTO #46 SLICER COUNTER
48	1	SANDWICH SLIDE / ORGANIZER STAND	KES, CUSTOM FAB ITEM	
52A	1	SLICER HEAT LAMP	MARSHAL AIR THERMO 6LO BVM4B-I	24.875 X 28 X 24.75 STAINLESS STEEL CONSTRUCTION
54	1	HORIZONTAL TOASTER	MARSHALL AIR AUTOTOAST 18" MODEL HT18, ARBY'S SPEC VM2B-ARB, HIGH SPEED HORIZONTAL CONTACT TOASTER	11.50"H x 21.00"W x 23.375"D
56	1	DUAL CHEESE PUMP	STAR MFG. #5PDE-2ARB	10.75"W x 21.38"D x 32.25"H
56A	1	WIRE SOUFFLE CUP HOLDER	QUADRATEC, DISPMAR 0001	COLOR: BLACK
57	1	HEAT-N-HOLD 3 SHELF CABINET	MERCOECO, MHD3259LIT	20.8"Wx22.5"Dx12.8"H
57A	1	HEAT-N-HOLD 4 SHELF CABINET	MERCOECO, MHD4259LIT	16.2"Wx22.5"Dx29.8"H
62	1	HEATED HOLDING	MARSHALL AIR, 3 TIER, 3X2 HOLDING UNIT	14.75"H x 15.375"W x 15.625"D
65	1	CASHIER / ORDER TAKING COUNTER	KES, CUSTOM FAB ITEM	
75	1	AUTOMATIC DRIVE THRU WINDOW	QUIKSERV #55-4035E	FIELD VERIFY OPENINGS. BRONZE FINISH

T1	1	AU JUS SERVER	SERVER MODEL SY 1.0 ARBY'S #05503, 1 GAL AU JUS SERVER	
T8	1	PAPER TOWEL DISPENSER	BY OWNER	
T9	1	LIQUID SOAP DISPENSER	BY OWNER	
89	LOT	FRONT COUNTER SHELVING, BRIGHT ZINC FINISH	METRO (2) 42" x 24" x (B) TIER, (1) 24" x 24" x (B) TIER	SEE PLAN FOR SHELF LOCATION
90	2	UNDERCOUNTER CUP DISPENSER CABINET	KES, CUSTOM FAB ITEM	28"H x 7 7/8"W x 32 1/2"D INCLUDES JAMAR CUP DISPENSER
98	1	STRAP 4 LID HOLDER	KES, CUSTOM FAB ITEM	
98	2	HIGH CHAIR / BOOSTER SEATS	BY OWNER	
102	LOT	TRASH CAN		
103	2	SINGLE TRASH CAN		
107	1	HEAVY DUTY PAN RACK	WIN-HOLT	



1 EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"
NORTH

KEYED NOTES

- (1) RELOCATED POS UNIT
- (2) RELOCATED SLICER
- (3) RELOCATED SAFE
- (4) RELOCATED SUPPLY/BREAD RACK
- (5) EXISTING SHAKE MACHINE AND STAND
- (6) RELOCATED SELF-SERVE BEVERAGE DISPENSER AND (RELOCATED) TOP-MOUNT ICE MACHINE
- (7) NEW PLUMBING FIXTURES, FINISHES, CHANGING STATIONS AND ACCESSORIES (EXCEPT AS NOTED) IN RESTROOMS.
- (8) RELOCATED COOK N HOLDS (4) AND RACK
- (9) RELOCATED LEMONADE EQUIPMENT.
- (10) ALIGN
- (11) EXISTING HAND SINK
- (12) EXISTING THREE-COMP SINK AND WAREWASHER
- (13) EXISTING MOP SINK
- (14) RELOCATED MICROWAVES ON PREP-LINE
- (15) NEW HAND SINK
- (16) EXISTING DRIVE THRU COUNTER AND BEVERAGE MACHINE TO REMAIN
- (17) EXISTING PREP-SINK
- (18) NEW DECOR FURNISHINGS AND FINISHES IN FRONT OF HOUSE, VESTIBULES, HALL BY DECOR. SEE DECOR DRAWINGS.
- (19) RELOCATED CADCO CONVECTION OVENS(2)
- (20) NEW DRIVE THRU WINDOW
- (21) NEW SALES COUNTER ON NEW LOW WALL
- (22) RELOCATED FIRE EXTINGUISHER

GENERAL NOTES

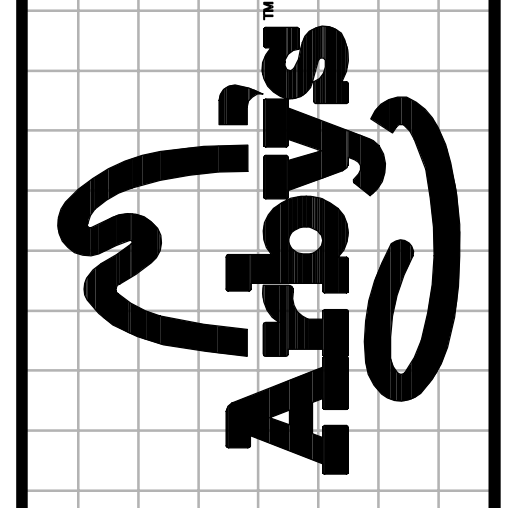
- A. COORDINATE WITH OWNER PLACEMENT OF RELOCATED ITEMS. DUE TO HIGHER DEMAND, IT MIGHT BE PREFERRED THAT THE NEW EQUIPMENT OF MULTIPLES SHOULD BE IN THE MORE FREQUENTLY ATTENDED POSITIONS.
- B. COORDINATE ANY UNLISTED ITEMS REMOVED WITH OWNER FOR RELOCATION OR RE-USE. ANYTHING THAT REQUIRES ADDITIONAL POWER WILL NEED TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OF RECORD SO CIRCUIT LOADING CAN BE CONFIRMED.

PLAN LEGEND

- [Solid Line] - EXISTING WALLS TO REMAIN
- [Dashed Line] - NEW WALLS TO BE CONSTRUCTED
- [Dotted Line] - NEW LOW WALL TO BE CONSTRUCTED
- [Shaded Area] - NO WORK IN THIS AREA
- [Circle with #] - KEYED NOTE
- [Circle with ##] - EQUIPMENT TAG

REGISTRATION SEAL
STATE OF OHIO
FREDERICK J. GOGLIA
REGISTERED ARCHITECT
NO. 9602
FREDERICK J. GOGLIA, LICENSE #9602
EXPIRATION DATE: 12/31/25
7/24/24

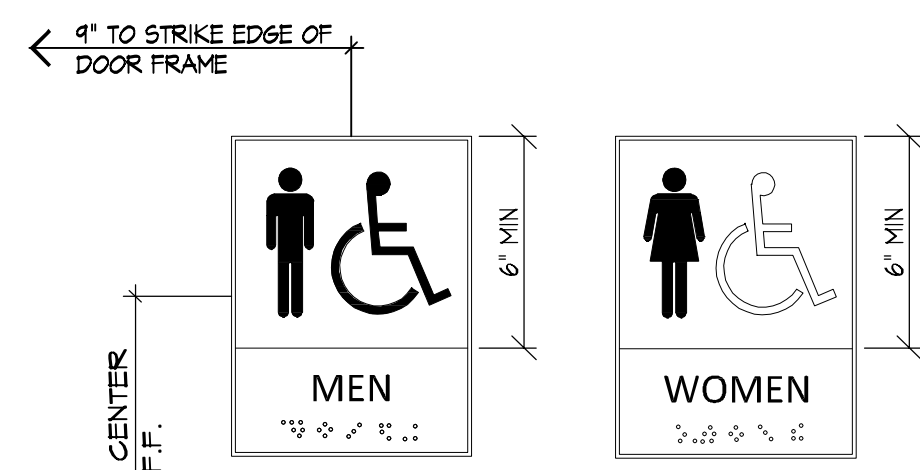
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A101
EQUIPMENT PLAN AND SCHEDULE



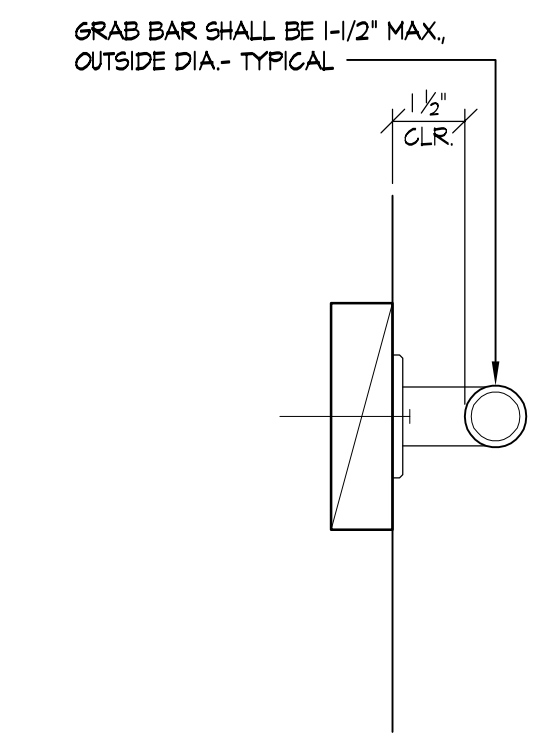
PROVIDE (1) SIGN PER ACCESSIBLE RESTROOM. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY. MOUNT 5'-0" TO CENTERLINE A.F.F.

1 1/2" HIGH WHITE LETTERING ON BLACK BACKGROUND. EMBLEMS AND LETTERING MUST BE RAISED OR DEPRESSED MIN 1/32"

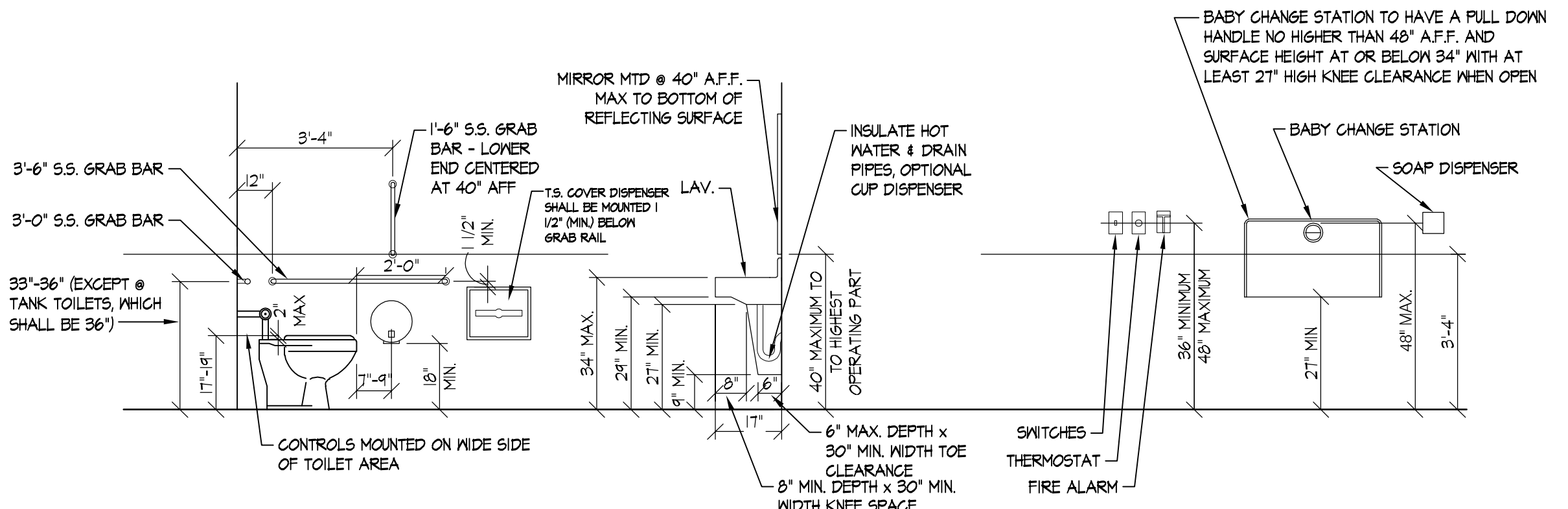
PROVIDE (1) SIGN PER ACCESSIBLE EXIT AND EMPLOYEE ONLY DOOR. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY. MOUNT 5'-0" TO CENTERLINE A.F.F.

1 1/2" HIGH WHITE LETTERING ON BLACK BACKGROUND. EMBLEMS AND LETTERING MUST BE RAISED OR DEPRESSED MIN 1/32"

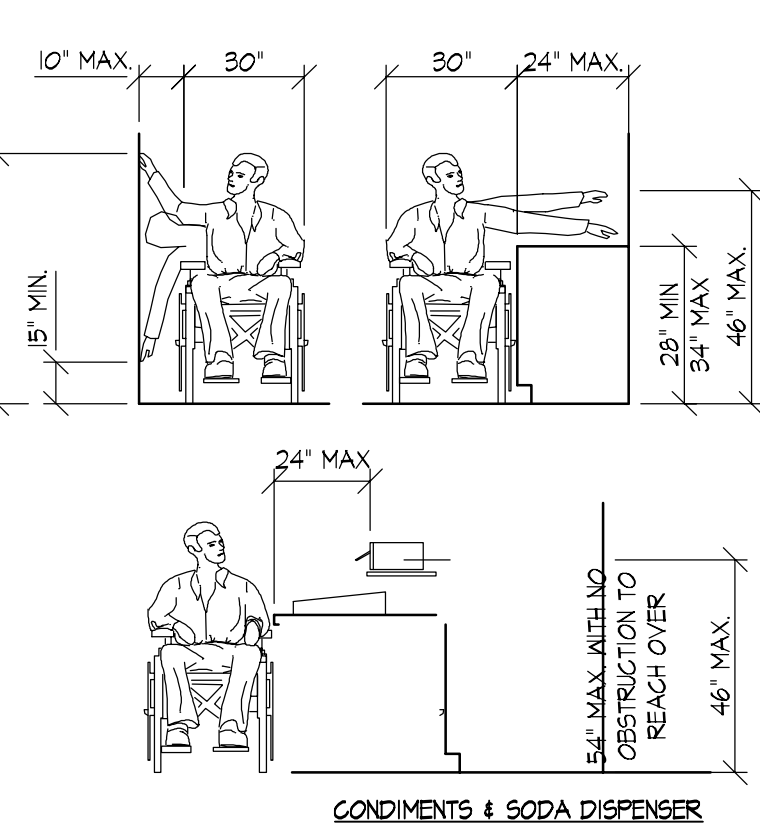
17 ACCESSIBLE SIGNAGE
SCALE: N.T.S.



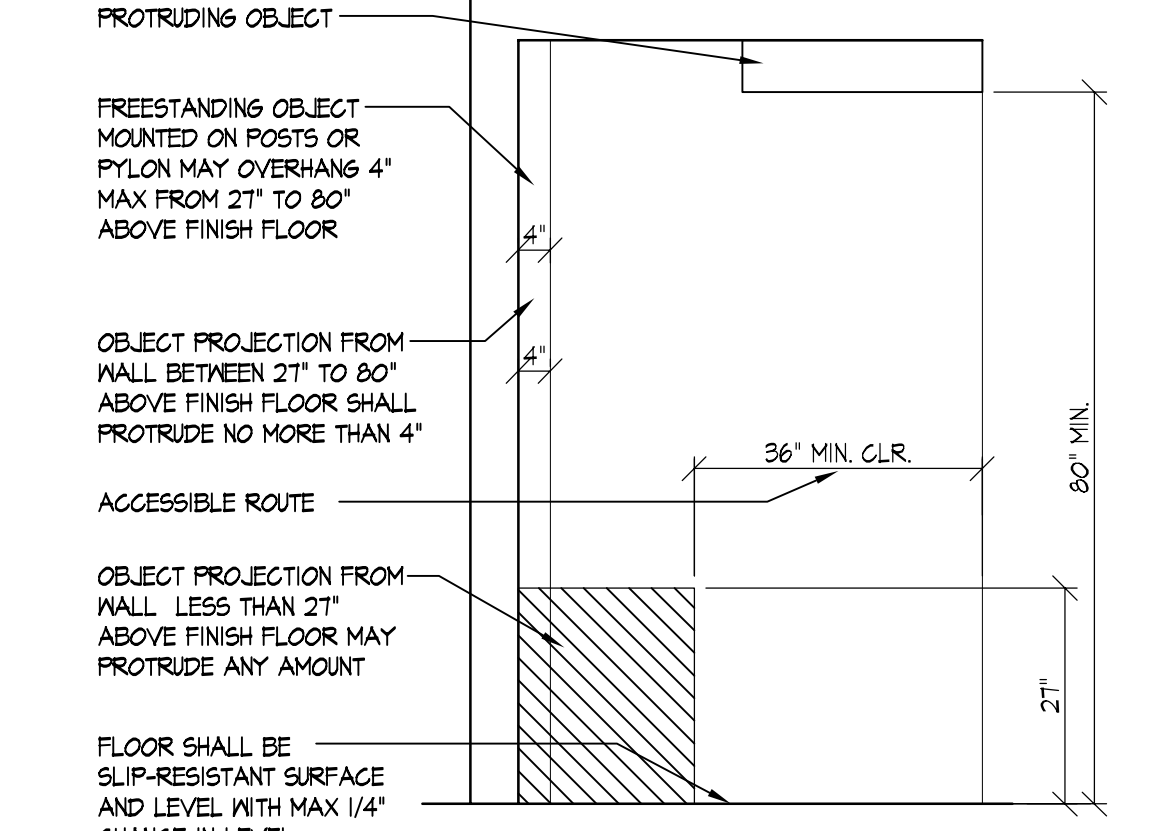
9 GRAB BAR
SCALE: 3" - 1'-0"



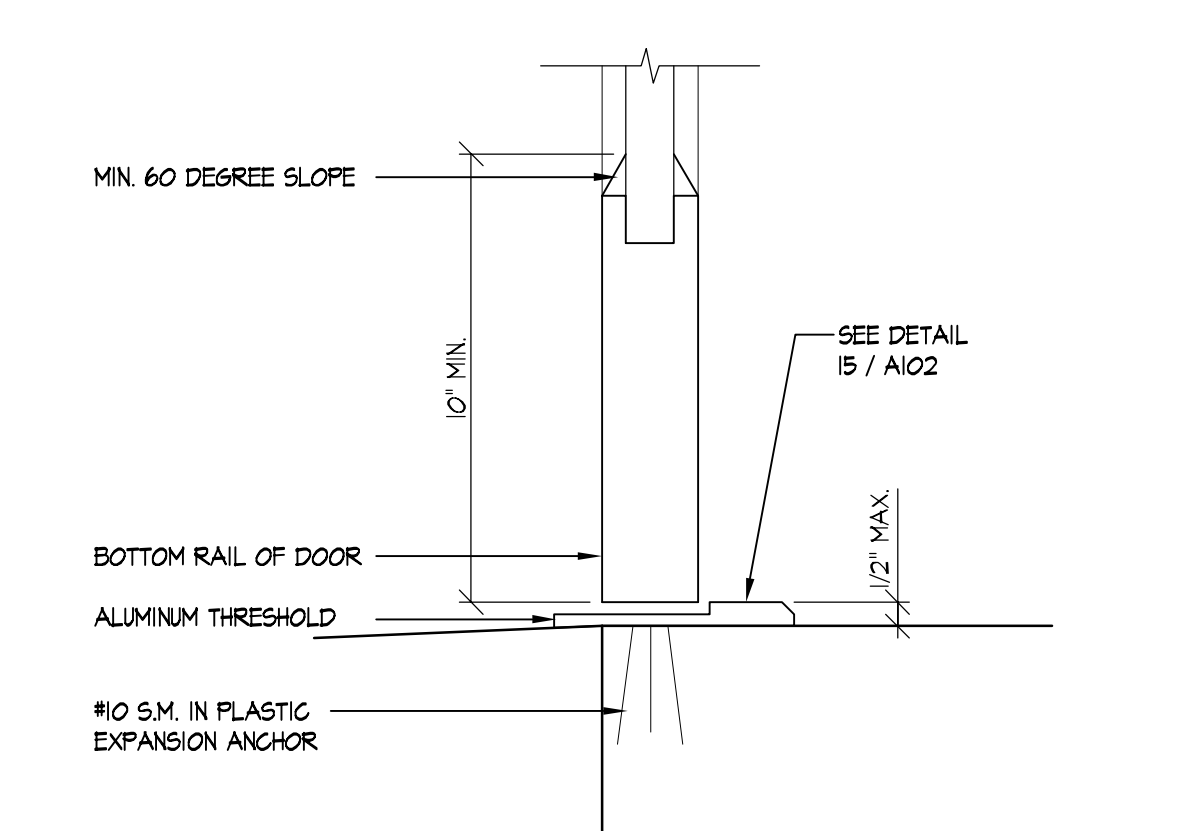
5 MOUNTING HTS. AND CLEARANCES FOR ACCESSIBILITY BY THE DISABLED
SCALE: 3/8" - 1'-0"



10 REACH RANGES
SCALE: N.T.S.



6 INT. ACCESS. ROUTE CLEARANCES
SCALE: 1/2" - 1'-0"

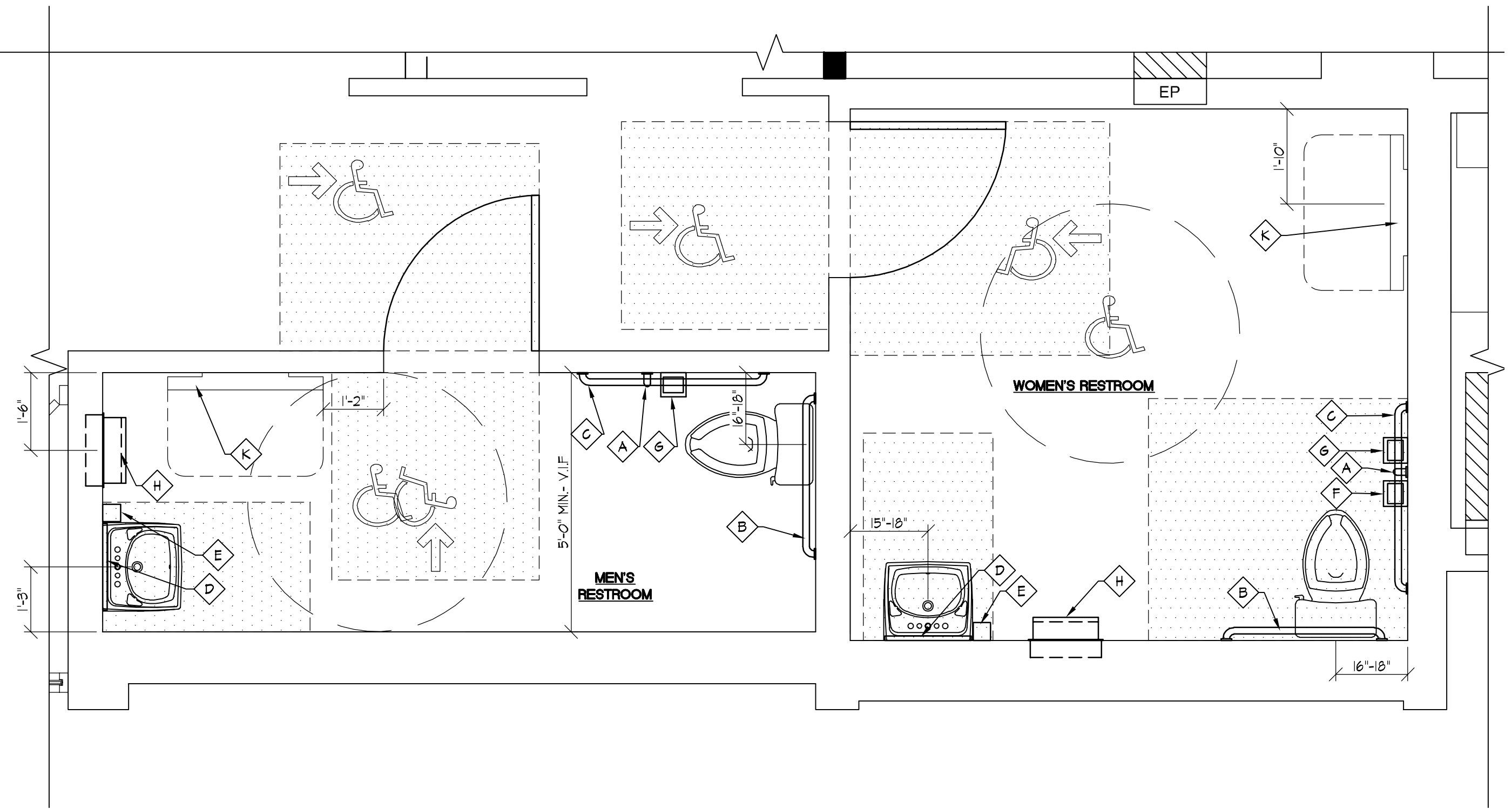


2 BOTTOM RAIL (EXTERIOR DOOR)
SCALE: N.T.S.

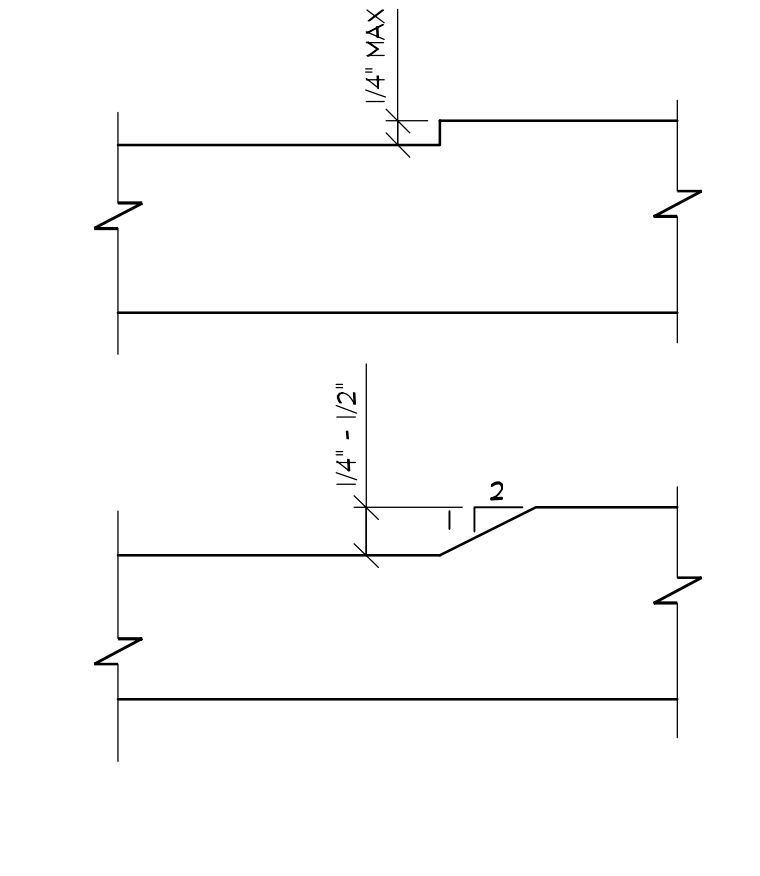
RESTROOM ACCESSORIES		
DESCRIPTION/MANUFACTURER	DESCRIPTION/MANUFACTURER	DESCRIPTION/MANUFACTURER
VERTICAL GRAB BAR - 18" BOBERICK B-950	SOAP DISPENSER - SURFACE MOUNTED	RELOCATED BABY CHANGING STATION
GRAB BAR - 36" BOBERICK B-550	SANITARY NAPKIN RECEPTACLE - SURFACE MOUNTED BOBERICK B-210 (IN WOMEN'S ONLY)	
GRAB BAR - 42" BOBERICK B-550	TOILET PAPER DISPENSER - SURFACE MOUNTED BOBERICK B-2886	
NEW MIRROR - 18" W x 30" H WITH TEMPERED GLASS. BOBERICK B-240	PAPER TOWEL DISPENSER + RECEPTACLE - RECESSED BOBERICK B-3461 SEE 410 A601	

NOTES

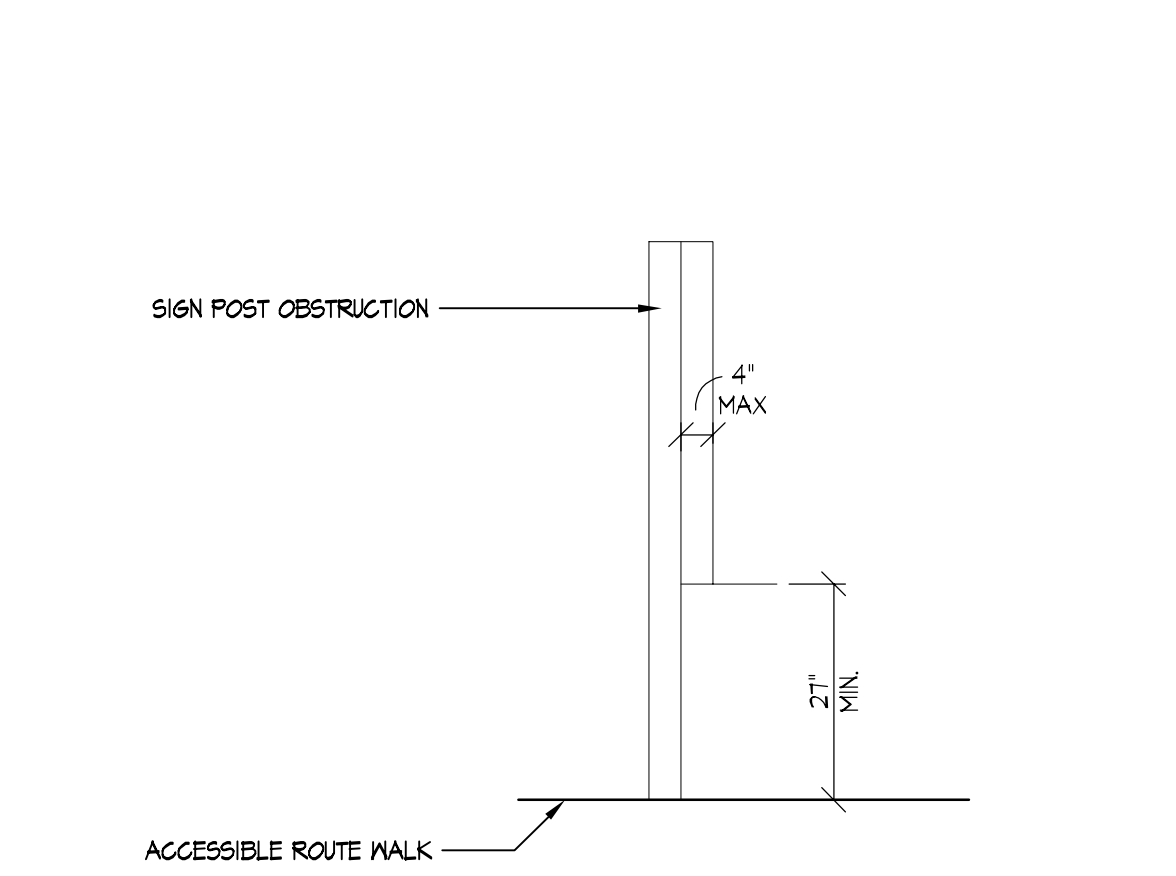
- UNLESS NOTED OTHERWISE (DIMENSIONED LOCATIONS), ALL NEW PLUMBING FIXTURES TO BE MOUNTED TO LOCATIONS VACATED BY PREVIOUS FIXTURES ONCE FINISHES ARE APPLIED.
- REFER TO ACCESSIBILITY GUIDELINES (THIS SHEET) FOR TYPICAL INSTALLATION.
- COORDINATE AUTOMATIC FLUSH VALVES WITH ELECTRICAL.



20 ENLARGED RESTROOM PLAN AREA
SCALE: 1/2" - 1'-0"



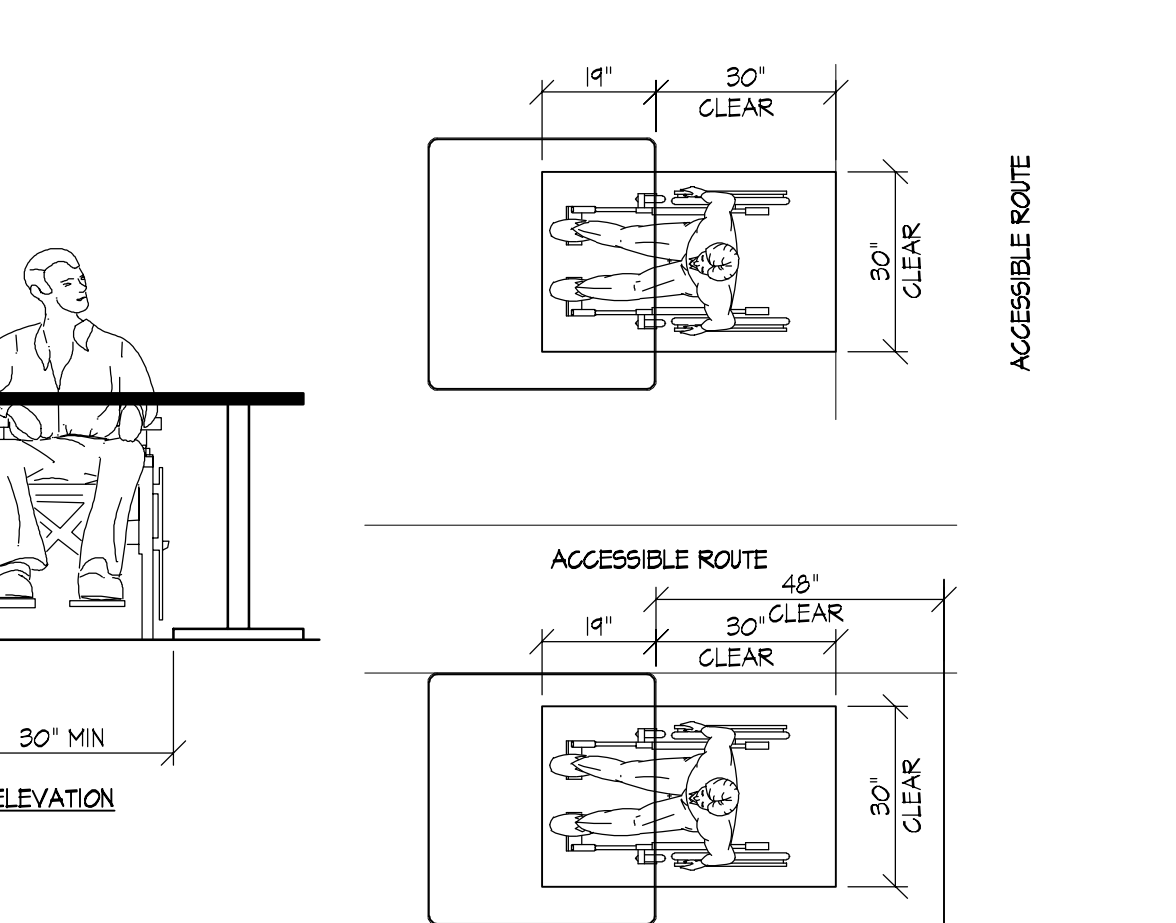
11 CHANGES IN LEVEL
SCALE: N.T.S.



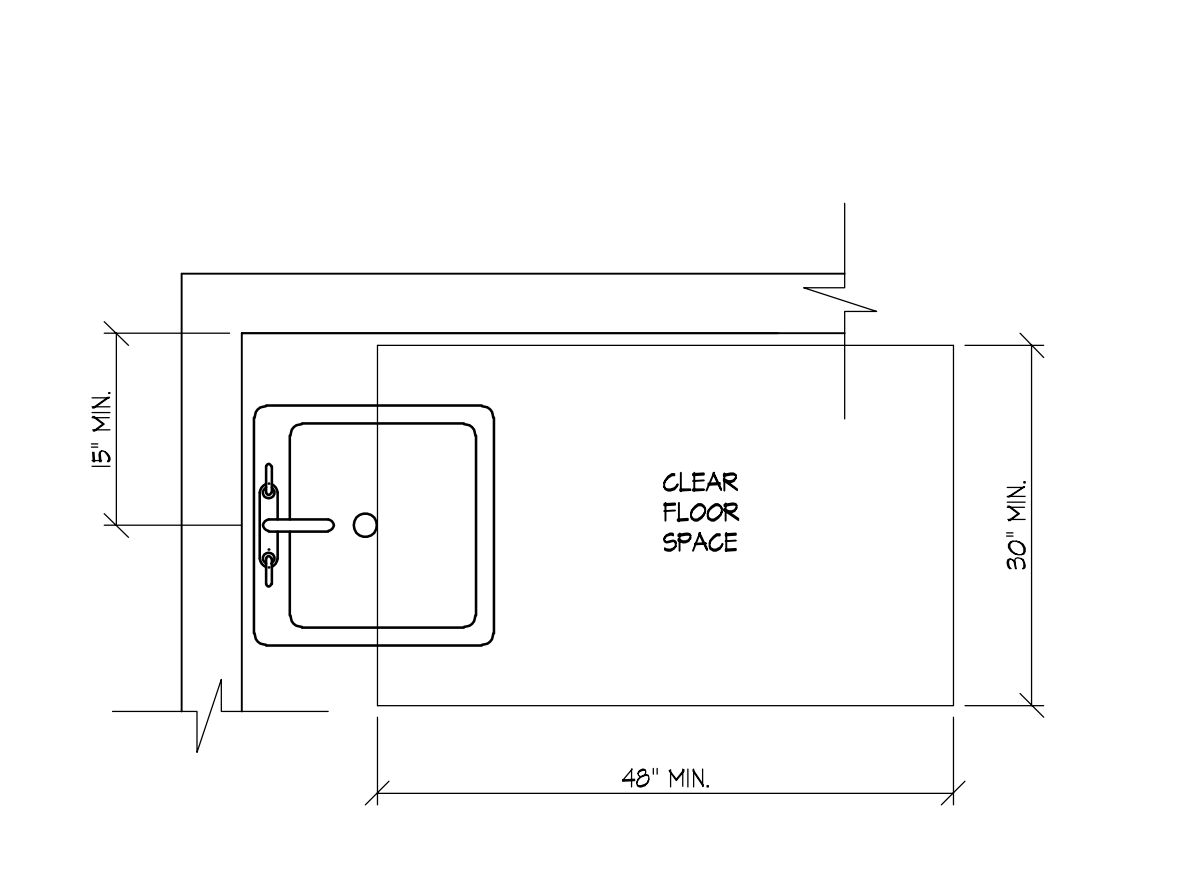
7 PROTRUDING HAZARDS
SCALE: 1/2" - 1'-0"

TOTAL SEATS	ACCESSIBLE SEATS
1 - 20	1
21 - 40	2
41 - 60	3
61 - 80	4
81 - 100	5
101 - 120	6
121 - 140	7

12 SEATING AND TABLES
SCALE: N.T.S.



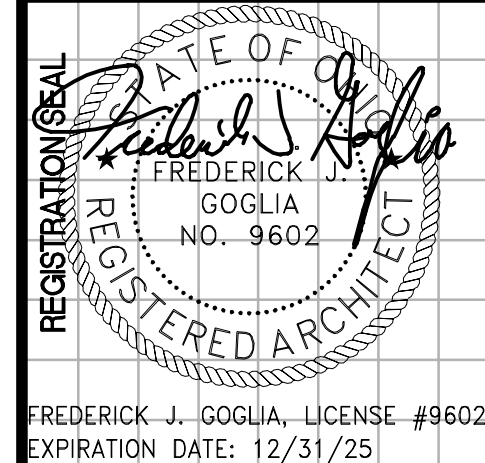
4 GENERAL ACCESSIBILITY NOTES
SCALE: N.T.S.



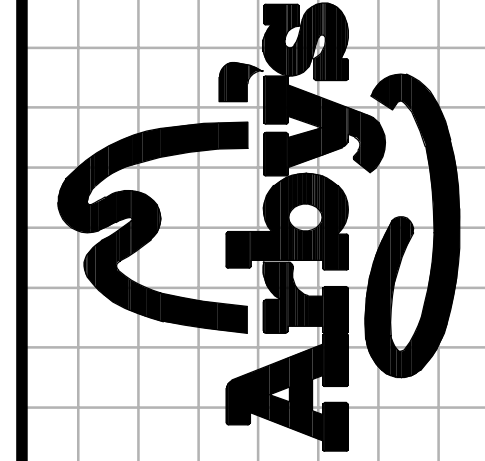
3 ACCESSIBLE LAVATORY
SCALE: 3/4" - 1'-0"

- INDICATED DIMENSIONS, HEIGHTS, DEPTHS, AND OTHER GRAPHIC INFORMATION ARE PROVIDED AS MINIMUMS THAT MUST BE MAINTAINED. THESE MINIMUMS ARE BASED ON ARBY'S STANDARDS AND MAY EXCEED ADA REQUIREMENTS.
- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. CROSS SLOPE 2%.
- WALKING SURFACES SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
- PROVIDE A 60" x 60" MIN. LANDING ON STRIKE SIDE OF DOOR WITH 44" MINIMUM WIDTH IN DIRECTION OF TRAVEL.
- WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3'-0" WIDE BY 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT SHALL BE A MINIMUM OF 32".
- THRESHOLDS TO BE A MAXIMUM OF 1/2" ABOVE THE ADJACENT FINISHED FLOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR INTERIOR DOORS AND 15 LBS FOR EXTERIOR DOORS.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC SLIDERS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- THE BUILDING SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND ANSI A117.1-2009, INCLUDING BUT NOT LIMITED TO OBC CHAPTER II.
- CONTROLS AND OPERATING MECHANISMS SHALL BE ACCESSIBLE AND HAVE MOUNTING HEIGHTS COMPLYING WITH ANSI 4.27.
- ALL ROOM, DIRECTIONAL, AND INFORMATION SIGNS SHALL BE ACCESSIBLE DESIGN COMPLYING WITH ANSI 4.1B AND 4.30.

4 GENERAL ACCESSIBILITY NOTES
SCALE: N.T.S.



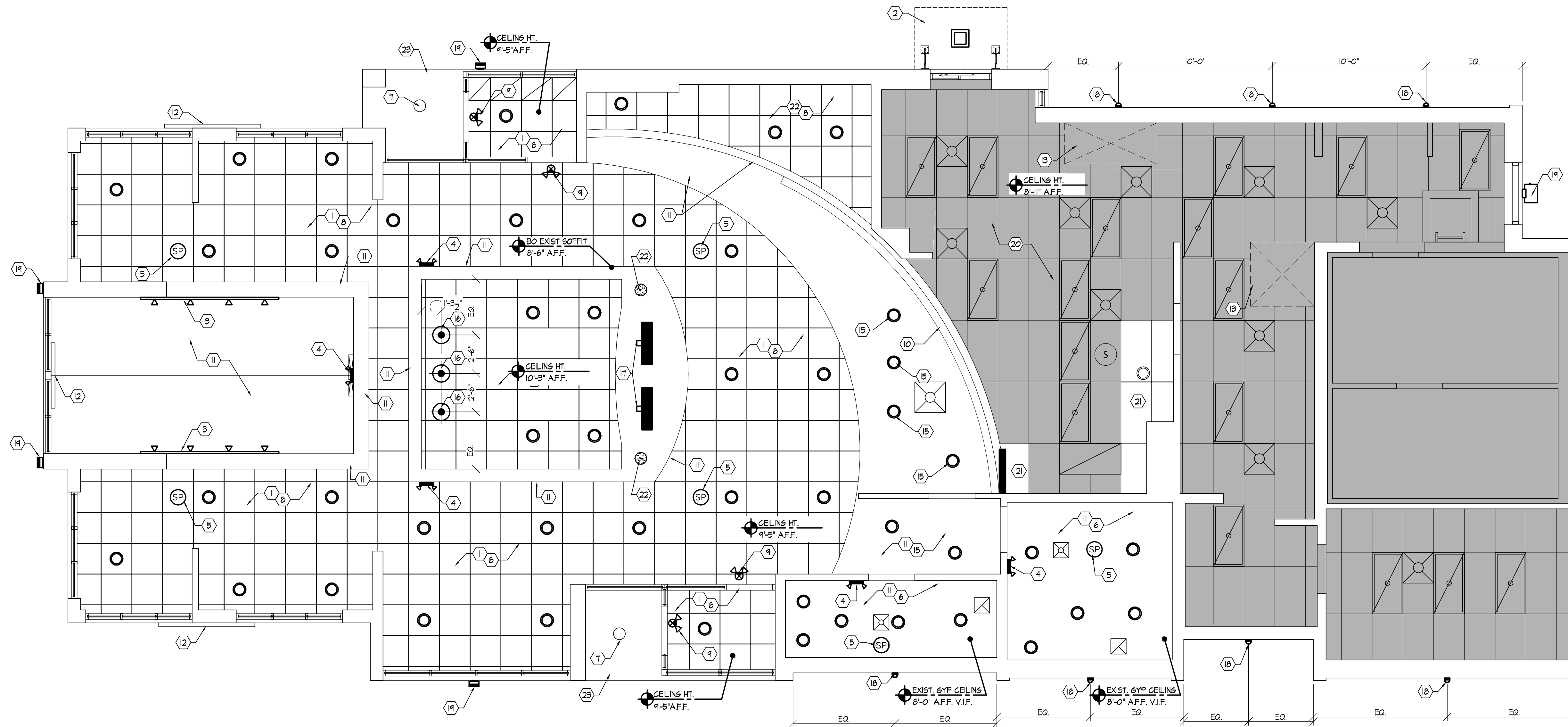
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STORE # 1832

REV.	DATE	DESCRIPTION	NAME

PROJECT NO: 230688
DRAWN BY: ST
CHECKED BY: JMW
ISSUE DATE: 07/19/24
A102
ACCESSIBILITY REQUIREMENTS



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



NORTH

FIXTURE LEGEND

SYMBOL	DESCRIPTION
	HVAC SUPPLY DIFFUSERS TO BE PAINTED, NEW DIFFUSERS TO BE WHITE
	HVAC RETURN DIFFUSERS TO BE PAINTED, NEW DIFFUSERS TO BE WHITE
	RESTROOM HVAC DIFFUSERS TO BE PAINTED, NEW DIFFUSERS TO BE WHITE
	NEW SPEAKER
	EXISTING/NEW EMERGENCY LIGHT FIXTURE: SEE ELECTRICAL
	NEW EXIT LIGHT FIXTURE
	NEW RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL
	NEW BRONZE PENDANT LIGHT, SEE DECOR DRAWINGS AND ELECTRICAL
	2x4 GRID LAMP
	2x2 GRID LAMP
	NEW EXTERIOR WALL PACK SERVICE DOOR
	NEW EXTERIOR WALL PACK, SEE ELECTRICAL DRAWINGS
	NEW EXTERIOR SCENCE FIXTURE, SEE ELECTRICAL DRAWINGS
	NEW TRACK LIGHTING AND TRACK, SEE ELECTRICAL

KEYED NOTES

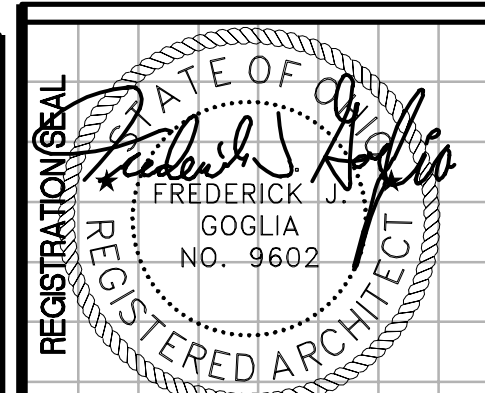
- 1 PAINT CEILING GRID (WHITE), REPLACE TILES WITH NEW. SEE DECOR.
- 2 NEW PRE-MANUFACTURED CANOPY BY SIGN VENDOR. G.C. TO INSTALL BLOCKING FOR CANOPY SUPPORT.
- 3 NEW TRACK LIGHTING. SEE ELECTRICAL DRAWINGS.
- 4 NEW EMERGENCY LIGHT. SEE ELECTRICAL DRAWINGS.
- 5 INSTALL NEW SPEAKERS.
- 6 EXISTING SUPPLY/RETURN AIR DEVICES IN THE RESTROOMS AREA TO REMAIN. GRILLES TO BE RE-PAINTED. FIELD VERIFY THAT THE DEVICES ARE IN PROPER WORKING CONDITION AND EXACT LOCATION.
- 7 RE-LAMP LIGHT IF REQUIRED, PAINT TRIM RING TO MATCH ADJACENT FINISH
- 8 NEW 8" RECESSED CAN LIGHTS THROUGHOUT DINING ROOM, VESTIBULES, AND AS INDICATED.
- 9 INSTALL NEW EXIT SIGN.
- 10 EXISTING MENU BOARD, REINSTALL AFTER NEW FINISH IS APPLIED.
- 11 GYP CEILING TO REMAIN. REPAIR AS NEEDED, SEE DECOR FOR NEW (PAINT) FINISH.
- 12 NEW SIGNAGE BY SIGN VENDOR, SEPARATE PERMIT.
- 13 EXISTING HOOD TO REMAIN.
- 14 REPAIR EXISTING GRID AS REQUIRED DUE TO NEW WORK. MATCH ADJACENT.
- 15 NEW 8" RECESSED CAN LIGHTS ABOVE SERVICE COUNTER, INSTALL WHERE PREVIOUS LIGHTS ARE REMOVED.
- 16 NEW PENDANT LIGHTS. ALIGN WITH/CENTER ON TABLE BELOW. COORDINATE WITH FINAL DECOR DRAWINGS.
- 17 NEW INTERIOR WALL SCNCES, CENTER ON WALL. SEE DECOR FOR HEIGHT.
- 18 NEW EXTERIOR WALL SCNCES.
- 19 NEW EXTERIOR WALL PACKS. SEE A400 FOR MOUNTING LOCATION.
- 20 EXISTING GRID/CEILING AND LIGHTING TO REMAIN.
- 21 REPLACE/EXTEND EXISTING GRID TO EXTENTS INDICATED/AS REQUIRED DUE TO NEW WORK.
- 22 REPAIR CEILING AT REMOVED LIGHT (TYPICAL, ALL INSTANCES). MATCH ADJACENT, SEE DECOR FOR FINISH.
- 23 PAINT EXISTING EXTERIOR SOFFIT PURE WHITE. SEE A400 FOR SPECS.

GENERAL NOTES

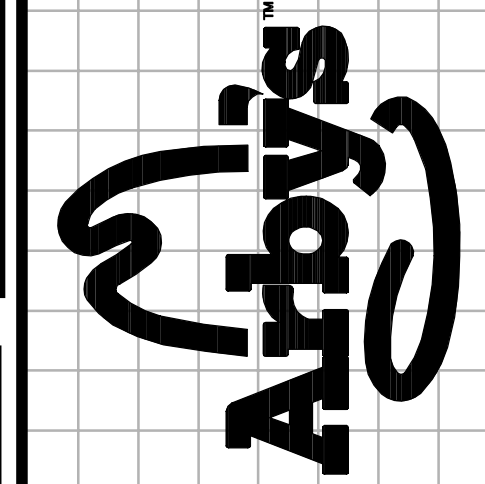
- A. INSTALLATION SHALL CONFORM TO THE ENERGY CONSERVATION DESIGN MANUAL STANDARDS FOR NEW NON-RESIDENTIAL BUILDINGS.
- B. ALL WORK AND MATERIALS SHALL COMPLY WITH GOVERNING CODES, SAFETY ORDERS AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES.
- C. CONTRACTOR PROVIDES CONDUIT FOR LINE AND LOW VOLTAGE WIRING, LINE VOLTAGE WIRING SWITCHES, DISCONNECTS, CIRCUIT BREAKERS, FINAL CONNECTIONS, AND ITEMS INDICATED.
- D. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED, WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. CONTRACTOR SHALL SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION.
- E. ALL BRANCH DUCTS FEEDING INDIVIDUAL DIFFUSERS/GRILLES TO HAVE ACCESSIBLE DAMPERS AT TAKE-OFFS FOR AIR BALANCING.
- F. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SERVICE ACCESS SPACE IN ACCORDANCE TO MANUFACTURERS LOCAL CODE & AUTHORITY REQUIREMENTS.
- G. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL THE HVAC SYSTEM CONTROLS INCLUDING LOW VOLTAGE WIRING.
- H. CONTRACTOR SHALL COORDINATE INSTALLATION OF MECHANICAL WORK WITH ALL OTHER TRADES SO AS TO AVOID UNNECESSARY DELAY OR INTERFERENCES. CONTRACTOR TO REVIEW ARCHITECTURAL AND EQUIPMENT SHEETS.
- I. AT LEAST ONE RESTROOM MUST BE AVAILABLE DURING ALL PERIODS OF OPERATION.
- J. ALL REMODELING WORK MUST BE INITIATED IN A MANNER TO ELIMINATE THE POSSIBILITY OF DUST, DEBRIS OR CONTAMINANTS GETTING INTO THE ACTIVE PART OF THE FACILITY.
- K. G.C. TO VERIFY DINING LAYOUT WITH LATEST DECOR PLANS PRIOR TO CEILING FEATURE/LIGHTING INSTALLATION.
- L. G.C. TO VERIFY EQUIPMENT LOCATION WITH PROJECT MANAGER PRIOR TO AFFECTED CEILING FEATURE/LIGHTING INSTALLATION.
- M. REFER TO DECOR DRAWINGS FOR CEILING TILES IN DINING ROOM - ALL NEW/REPAIR SUSPENDED GRID SHALL MATCH ADJACENT-ANY REPLACED CEILING TILES IN SERVICE AREA AND KITCHEN AREA SHALL MATCH ADJACENT.
- N. ALL (CEILING) TILES IN VESTIBULES TO BE CLIPPED DOWN.
- O. ALL HVAC THERMOSTATS TO BE PROTECTED DURING CONSTRUCTION. DO NOT REMOVE.

CEILING PLAN LEGEND

- 2x2' CEILING GRID AND TILE. SEE KEYED NOTES AND PLAN NOTES FOR REQUIREMENTS.
- 2x4' CEILING GRID AND TILE. SEE KEYED NOTES AND PLAN NOTES FOR REQUIREMENTS.
- NEW GYPSUM, SEE KEYNOTES
- NO WORK IN THIS AREA
- KEYED NOTE



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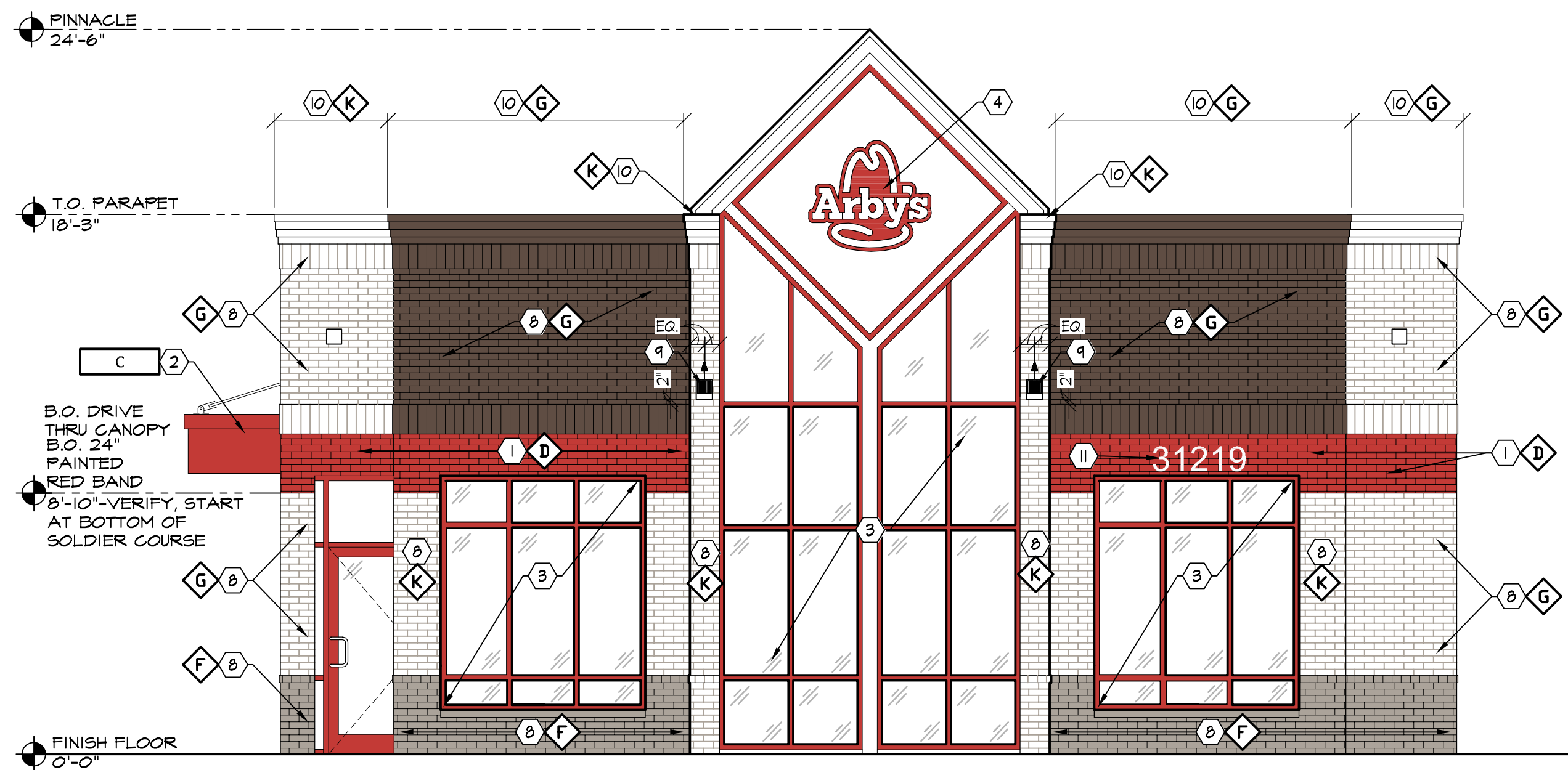
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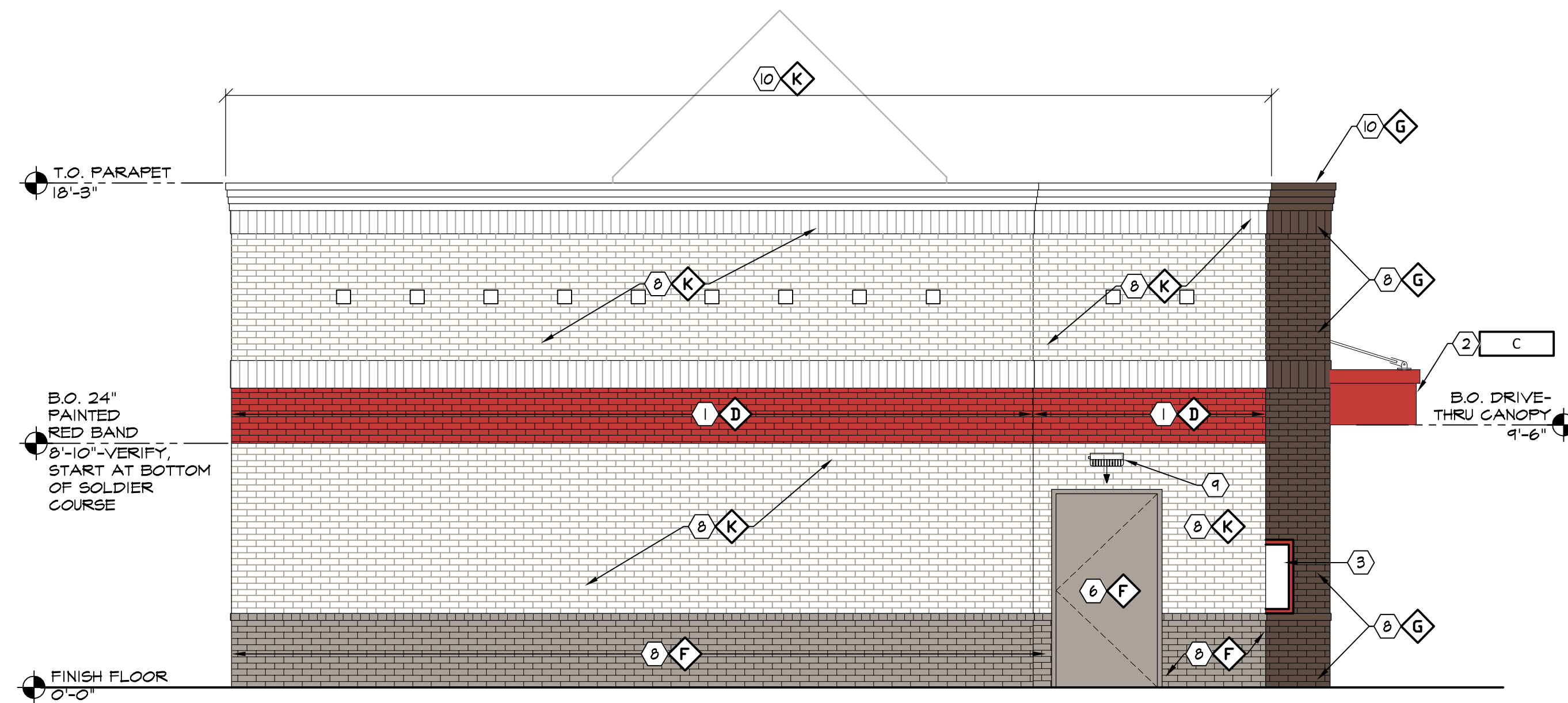
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A200

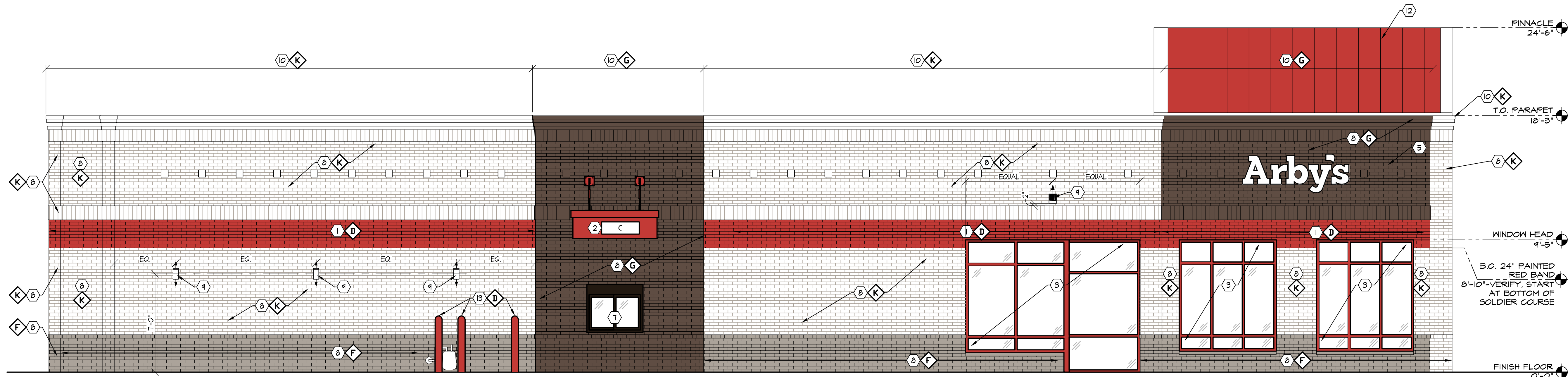
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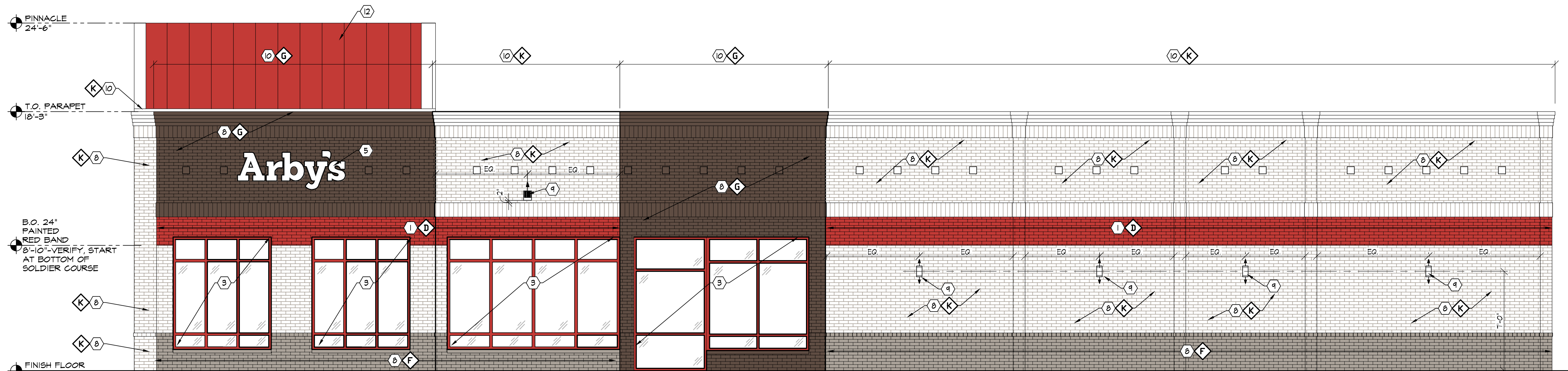
1 SOUTHEAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTHWEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



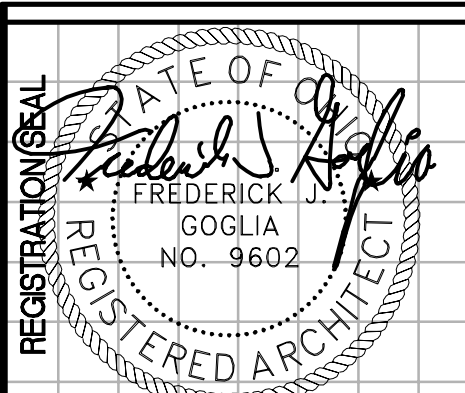
3 NORTHEAST (DRIVE-THRU) ELEVATION
SCALE: 1/4" = 1'-0"



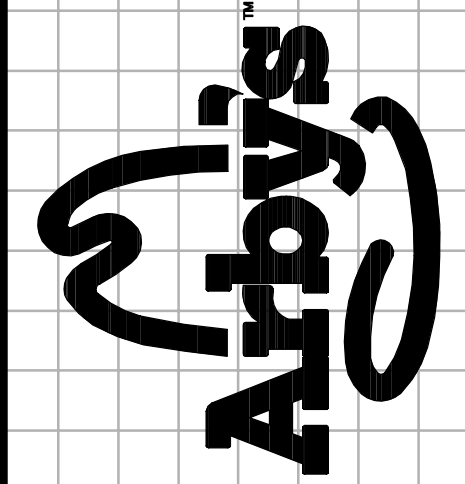
4 SOUTHWEST (MAIN ENTRY) ELEVATION
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE			
MARK	MANUF.	DESCRIPTION	NOTES
FINISHES			
D	SHERWIN WILLIAMS	SN #6068 STOP	SATIN FINISH
F	SHERWIN WILLIAMS	SN #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SN #2803 ROCKWOOD DARK BROWN	SATIN FINISH
K	SHERWIN WILLIAMS	SN #1005 PURE WHITE	SATIN FINISH
METALS			
C	PRE-FABRICATED CANOPY	PRODUCT CODE: 8940-309BR PRODUCT NAME: FG 50 RAL 3000 FLAME RED	---
NOTES			
1. PAINT ALL SERVICE ENTRANCES, GAS PIPE CUTTERS AND SPOOTS, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.			
2. MAKE SURE FLASHING IS INSTALLED CORRECTLY. DO NOT BLOCK KEYS.			
3. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.			

- DESIGN NOTES (X)**
- PAINTED ACCENT BAND
 - NEW CANOPY, BY SIGNAGE VENDOR, SEPARATE PERMIT. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
 - EXISTING STOREFRONT WINDOWS TO REMAIN. CLEAN ALL LOGOS/ DECALS TO A "LIKE - NEW" CONDITION. REPLACE ANY FOGGED PANELS.
 - INSTALL ARBY'S HAT SIGN (BY SIGN VENDOR) MOUNTED INSIDE CENTER OF WINDOW. SEE SIGNAGE VENDOR DRAWINGS. (UNDER SEPARATE PERMIT)
 - NEW ARBY'S LETTER SIGN (BY SIGN VENDOR) ON EIFS WALL SURFACE.
 - PRIME, PAINT DOOR AND FRAME AS NOTED.
 - NEW DRIVE THRU WINDOW, INSTALL IN EXISTING OPENING.
 - EXISTING BRICK TO REMAIN. PAINT AS INDICATED (INCLUDING ANY EXPOSED CONCRETE FOUNDATION).
 - INSTALL WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
 - PAINT EXISTING PARAPET CAP AS NOTED. SEAL ALL JOINTS.
 - NEW ADDRESS LETTERS. 10" TALL BLACK LETTERS, COORDINATE WITH LOCAL AUTHORITY.
 - EXISTING STANDING SEAM RED ROOF. PAINT AND SEAL AS REQUIRED.
 - EXISTING BOLLARD TO REMAIN, PAINT AS NOTED.



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ELEVATIONS

A400