

**APPLICATION FOR VARIANCE
WILLOWICK BOARD OF ZONING APPEALS**

NAME OF PROPERTY OWNER: Igor Baraz
ADDRESS: Vacant Lot - Parcel No - 28-A-044-F-00-014-0
PHONE: _____
NAME OF APPLICANT
IF DIFFERENT FROM OWNER: Zachary Miller - Architect
ADDRESS: 412-228-2626
PHONE: _____

REASON AND JUSTIFICATION FOR REQUEST:

NEW SINGLE FAM. HOME ON VACANT LOT; SETBACKS (NON-CONFORMING)
TO MATCH NEIGHBORING HOMES ON STREET.

DATE: 1/16/26 SIGNED:  APPLICANT

FOR OFFICE USE ONLY

CASE NO. 26-1

PROPERTY ZONED FOR
(STATE DISTRICT):

Multi-family

APPLICABLE SECTION OF
CODIFIED ORDINANCES:

See attached

VARIANCE SOUGHT:

See attached

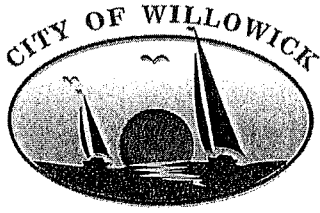
Pursuant to Section 1169.05(b) of the Codified Ordinances, a check in the amount of \$150.00 made payable to the City of Willowick, together with a drawing showing where the requested variance will be located and all measurements of same, must accompany this request for variance. All pertinent information must be submitted to the building department no later than 3 weeks prior to the meeting date, which is the second Wednesday of each month.

Meeting 6:30 pm 2/11/26 at 30435 Lakeshore Blvd. City Hall Council Chambers, 2nd floor

Case No. 26-1 Igor Baraz-owner/Zachary Miller-Architect

Vacant Lot E. 316 St. Parcel # 28-A-044-F-00-014-0

1. 1163.03(a) – 5,420 square feet. *The property owner would like to construct a single-family dwelling on a lot that is 2,080 square feet. (52 ft. – width x 40 feet – depth)
2. 1163.06(b) - 2 feet side property line, opposite the driveway.
3. 1163.03(b) – 5 feet 3 inches side property line, driveway side. *The property owner wants to construct a single family dwelling 2 feet from the left side property line and 4' 9" from the right side property line."
4. 1163.07 – 17 feet 6 inches, rear yard. *The property owner wants to construct a single-family dwelling up to the rear property line, the dwelling height is 35 feet.
5. 1163.10 – 9 feet 8 inches, front yard building line set back. *The property owner wants to construct a single family dwelling 4 inches from the front property line. Per set back map 10 feet is required.



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

FAX: 440-585-3776

EMAIL: sbrennan@cityofwillowick.com

RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1.163.03 LOT AREA PER FAMILY; EXTENT OF LAND OCCUPANCY; MINIMUM FLOOR AREA REQUIREMENTS; PARKING, LOADING AND UNLOADING SPACE. (a) In a Single Family District, no dwelling or premises shall be erected or altered to accommodate or make provision for more than one family for each **7,500 square feet of the area of the lot if any interior lot** or for each 6,000 square feet if a corner lot.

Variances Needed : 1) 5,420 Square Feet.

Property owner wants to construct a single family dwelling on a lot that is 2,080 square feet. (52 Ft -Width x 40 Feet -Depth)

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

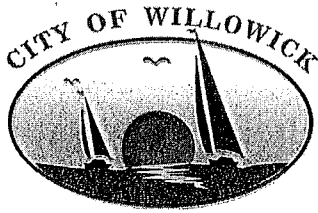
SINCERELY,


SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR


APPLICANTS SIGNATURE


DATE



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

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1163.06 SIDE YARDS IN SINGLE FAMILY DISTRICTS. (b) In a Single Family District there shall be provided on each lot side yards of at least the total distance set forth in column one of the following chart, which total distances shall be divided, between the two sides of the lot, in conformity to the provisions of column two of the following chart, provided, however, that in no case shall the distance between houses or other residence structures be less than twelve feet, except in the case of corner lots, where the distance shall be not less than ten feet:

Column One	Column Two		
Lot Width at Least Building	Total Side Yard Distance (in	Driveway Side (in feet)	Side Opposite Driveway (in
45 or less	12	9	3
46 to 50	13	10	3
<u>51 to 60</u>	<u>14</u>	<u>10</u>	<u>4</u>

Variances Needed : 2) 2 Feet side property line, opposite the driveway.


3) 5 Feet 3 Inches side property line, driveway side.

* Home owner wants to construct a single family dwelling 2 feet from left side property line and 4 feet 9 inches from right side property line.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

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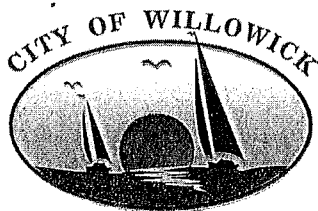
SINCERELY,


SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR


APPLICANTS SIGNATURE

1/16/26
DATE



Owner : Igor Baraz

Architect : Zachary Miller

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DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.07 REAR YARDS. In a Single Family or Apartment District, every building erected shall have a rear yard. Such rear yard shall not be less than thirty percent of the depth of the lot, but need not be more than forty feet, provided that the rear yard is no less than one-half of the height of the building. Forty percent of the area of such yard may be occupied by a one-story detached garage not more than fifteen feet in height, nor more than 576 square feet as provided in Section 1337.01 of this Code of Ordinance. On a corner lot the rear line of which is identical with the side line of an interior lot, no such detached garage shall be erected within thirty feet of any street line or within three feet of the side or rear lot line, or ten feet from any dwelling or residence structure. No detached garage shall be in excess of one-story unless a subdivision plan provides otherwise. A detached garage shall be located as determined by the Building Inspector, unless located by the City Board of Zoning Appeals.

Variances Needed: 4) 17 Feet 6 Inches, rear yard.

* Home owner wants to construct a single family dwelling up to the rear property line, the dwelling height is 35 feet

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

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SINCERELY,

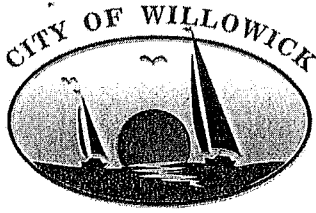
SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

APPLICANTS SIGNATURE

1/16/26

DATE



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Architect : Zachary Miller

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DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.10 FRONT YARDS; BUILDING LINES. For the purpose of regulating front yards, for the purpose of further regulating side yards of corner buildings and for the purpose of regulating the alignment of buildings near street frontages, building lines as set forth on the building maps which are on file in the office of the Chief Building Inspector and are hereby declared to be part hereof, are hereby established. The map designations and the map designation rules, which accompany said map, are hereby declared part thereof. Between a building line and the street line no building or portion of a building extending above the established grade may be erected. In a Single Family District a one story unclosed porch may, however, be constructed between the building line and the street line. On a corner lot between the building line and the street line and within the triangular space included between the street lines for a distance of twenty-five feet from their point of intersection, no fence or other structure more than three feet in height above the plane of the established grade shall hereafter be erected, and no shrubs or foliage shall be maintained that in the judgment of the Chief Building Inspector will materially obstruct the view by a driver of a vehicle approaching the intersection and within seventy-five feet of the center of such intersection of approaching cross traffic within seventy-five feet of the center of such intersection. Where a building line is shown on the building line map as an existing alignment line, the alignment of the buildings existing along such frontage shall determine the building line. In a Retail or Industrial District where a building line is required along both the front and side line of a corner lot, and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street frontage in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where a building line is required along both the front and side line of a corner lot and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street front in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where no building line is designated on the building line map, the location of the building line shall be as follows:

Variances Needed: 5) 9 Feet 8 Inches , front yard building line set back.

* Home owner wants to construct a single family dwelling ⁴ (inches) from front property line. Per set back map 10 feet is required.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

Sean Brennan

SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

[Signature]

APPLICANTS SIGNATURE

1/14/26

DATE

NEW SINGLE FAMILY HOME - E 316TH ST

PROJECT DESCRIPTION

NEW SLAB-ON-GRADE (NO BASEMENT) SINGLE FAMILY HOME.		
ATTACHED 2-CAR GARAGE: 406SF		
UTILITY ROOM: 246 SF		
HEATED SQUARE FOOTAGE: 1,748 SF		

PROJECT DIRECTORY

ARCHITECT	ZACHARY D. MILLER	(412) 228 2626
CONTRACTOR	TBD	TBD
OWNER	TBD	TBD

DRAWING INDEX

SHEET	SCOPE INFO, SITE AERIAL, RENDERINGS, DRAWING INDEX
T1.0	
G1.0 + G1.1	SITE CONTEXT PLAN + EXIST. BOUNDARY SURVEY
Z1.0	ZONING REVIEW SITE PLAN + ELEVATION
F1.0	FOUNDATION PLAN
A1.0	FIRST FLOOR PLAN
A2.0	SECOND FLOOR PLAN
A3.0	THIRD FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATION
A6.0	ELEVATION
A7.0	ELEVATION
A8.0	ELEVATION

GENERAL NOTES

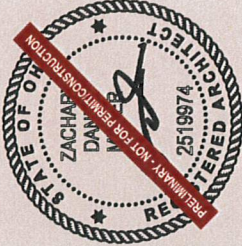
1. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE OHIO BUILDING CODE, ALL STATE, LOCAL AND OTHER CODES.
2. DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR(S) PRIOR TO ORDERING AND CONSTRUCTION MATERIALS. REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
3. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE DESIGN. ANY REVISIONS, CHANGES, DEVIATIONS, OR INCONSISTENCIES BETWEEN THE AS-BUILT CONDITIONS AND THESE DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION.
4. IT IS THE INTENT OF THESE DRAWINGS TO HAVE ALL OF THE WORK DONE AND COMPLETED IN A GOOD MANNER. ALL WORK SHALL BE FURNISHED AND INSTALLED COMPLETE IN EVERY DETAIL, READY FOR SATISFACTORY OPERATION, AND ALL REQUIRED APPARATUS AND MATERIAL SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
6. ALL MATERIALS, FINISHES AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
7. NO EXTRAS WILL BE AUTHORIZED UNLESS THEY ARE APPROVED IN WRITING BY THE OWNER.
8. EVERY CONTRACTOR SHALL CARRY WORKMANS COMPENSATION AND LIABILITY INSURANCE. CONTRACTORS' LIABILITY INSURANCE SHALL INCLUDE A "HOLD HARMLESS" CLAUSE TO INDEMNIFY THE ARCHITECT AND THE OWNER AGAINST ANY AND ALL CLAIMS THAT MAY ARISE DURING THE LIFE OF THE CONTRACT.
9. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN CONSTRUCTION TOOLS AND MATERIALS. CONTRACTORS AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO THE START OF WORK.
10. ALL MATERIALS, FINISHES, AND EQUIPMENT SHALL BE KEPT IN A CLEAN AREA AT ALL TIMES. REMOVE ALL RUBBISH FROM THE PREMISES EACH DAY. AFTER COMPLETION OF THE WORK, THE SITE SHALL BE CLEANED WHEREVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY THE CONSTRUCTION WORK. EACH CONTRACTOR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS, EQUIPMENT, EXCESS MATERIALS. THE SITE IS TO BE LEFT IN PERFECTLY CLEAN CONDITION.
11. ALL LAWS IN FORCE AT THE BUILDING LOCATION SHALL GOVERN. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
12. PROTECT EXISTING OCCUPANCY WHICH IS TO REMAIN IN CONTINUOUS OPERATION. CAREFULLY REMOVE PORTIONS THAT ARE TO BE REMOVED AND PROTECT PORTIONS THAT ARE TO REMAIN TEMPORARILY OR PERMANENTLY IN PLACE. PROVIDE SHORING AS REQUIRED.
13. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL PAYMENT TO THE GENERAL CONTRACTOR.
14. NO SMOKING IN THE HOUSE. ALL CIGARETTE BUTTS TO BE REMOVED FROM PREMISES.

DESIGN CRITERIA/CALCULATIONS

1. GROUND SNOW LOAD: 30 PSF
2. BASIC WIND SPEED: 110 MPH (ULT), EVF: B, 90 MPH, DESIGN SPEED
3. WIND EXPOSURE CATEGORY: -B
4. HIGH WIND DESIGN CRITERIA: -B
5. SEISMIC DESIGN CATEGORY: -B
6. WEATHERING - SEVERE
7. TERMITE AREA: HEAVY TO MODERATE
8. WINTER DESIGN TEMPERATURE: 50 F
9. FLOOR LOADS FOR DECKS AND FLOOR JOISTS
- 10 PSF DEAD LOAD
- 10 PSF LIVE LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF SNOW LOAD
10. CONCRETE COMPRESSIVE STRENGTH: 4000 PSI FOR 28 DAYS
11. LOAD BEARING VALUE OF SOIL: 1500 PSI
12. ENERGY EFFICIENCY MINIMUMS - 2018 IECC
- ROOF: INSULATION ENTIRELY ABOVE DECK: R-30CI
- METAL FRAME WALLS: R13 + R7.5CI
- SLAB ON GREET: R10
- CEILING INSULATION: R10
- CLEVELAND, OHIO CLIMATE ZONE: 5
- ROOF DESIGN LOADS:
- 15 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF LIVE LOAD
- 30 PSF SNOW LOAD
- DOORS: R4.75
- RESIDENTIAL GARAGE DESIGN LOADS
- FLOOR CONCRETE SLAB ON GRADE
- ROOF 30 PSF LIVE LOAD
- 15 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF SNOW LOAD
- MINIMUM LIVE LOAD - 1ST FLOOR: 100PSF



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
e: zacharymiller.arch@gmail.com
c: (412) 228 2626



PROJECT ADDRESS
0 E 316TH ST
WILLOWICK, OH, 44095
PARCEL: 28A044F00140

PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

ARCHITECTURAL DRAWINGS FOR:

ISSUE	X
SURVEY	
INITIAL DWGS -	
REVISED DWGS -	



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C. 1473.229.2626
e. zacharymiller.arch@gmail.com



PROJECT ADDRESS
0 E 316TH ST
WILLOWICK OH, 44095
PARCEL 28004F000140
PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

ARCHITECTURAL DRAWINGS FOR

PREPARED FOR: X

ISSUE
SURVEY
INITIAL DWGS.
REVISED DWGS.

SITE PLAN
G1.0
1 CALLED NORTH



1 SITE CONTEXT PLAN
NO SCALE



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C. 1473, 228, 2428
e. zacharymiller.arch@gmail.com

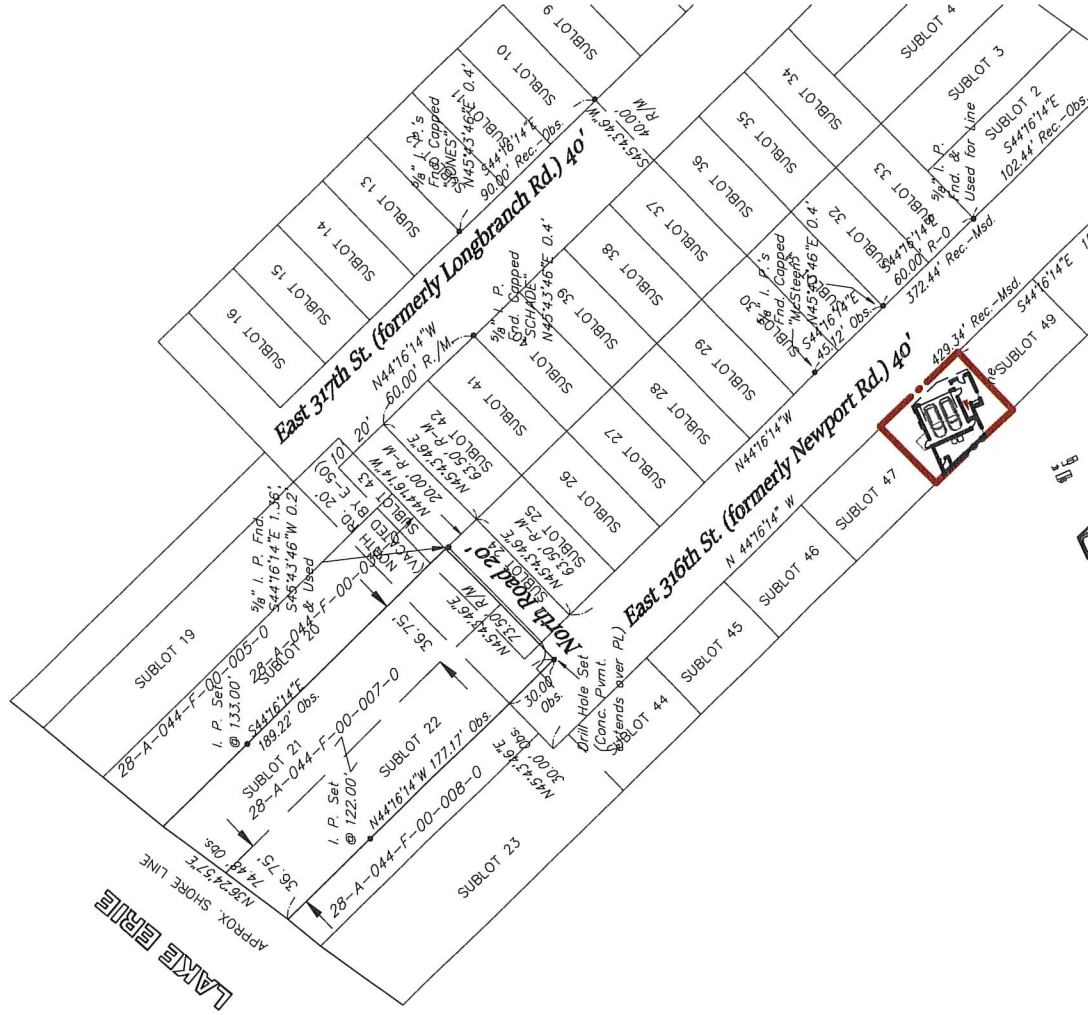


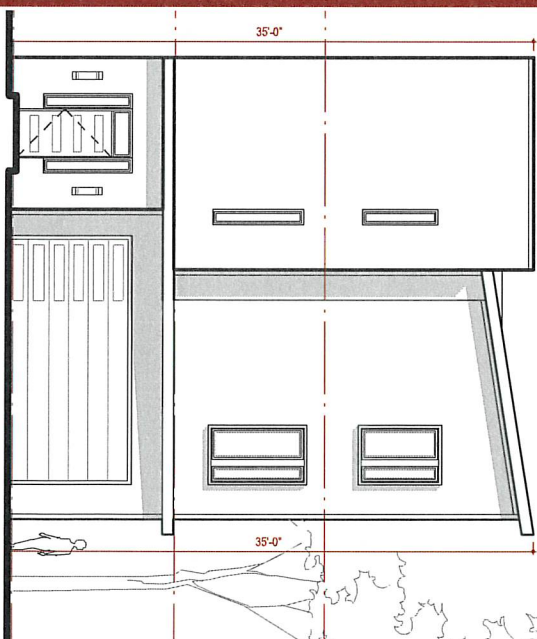
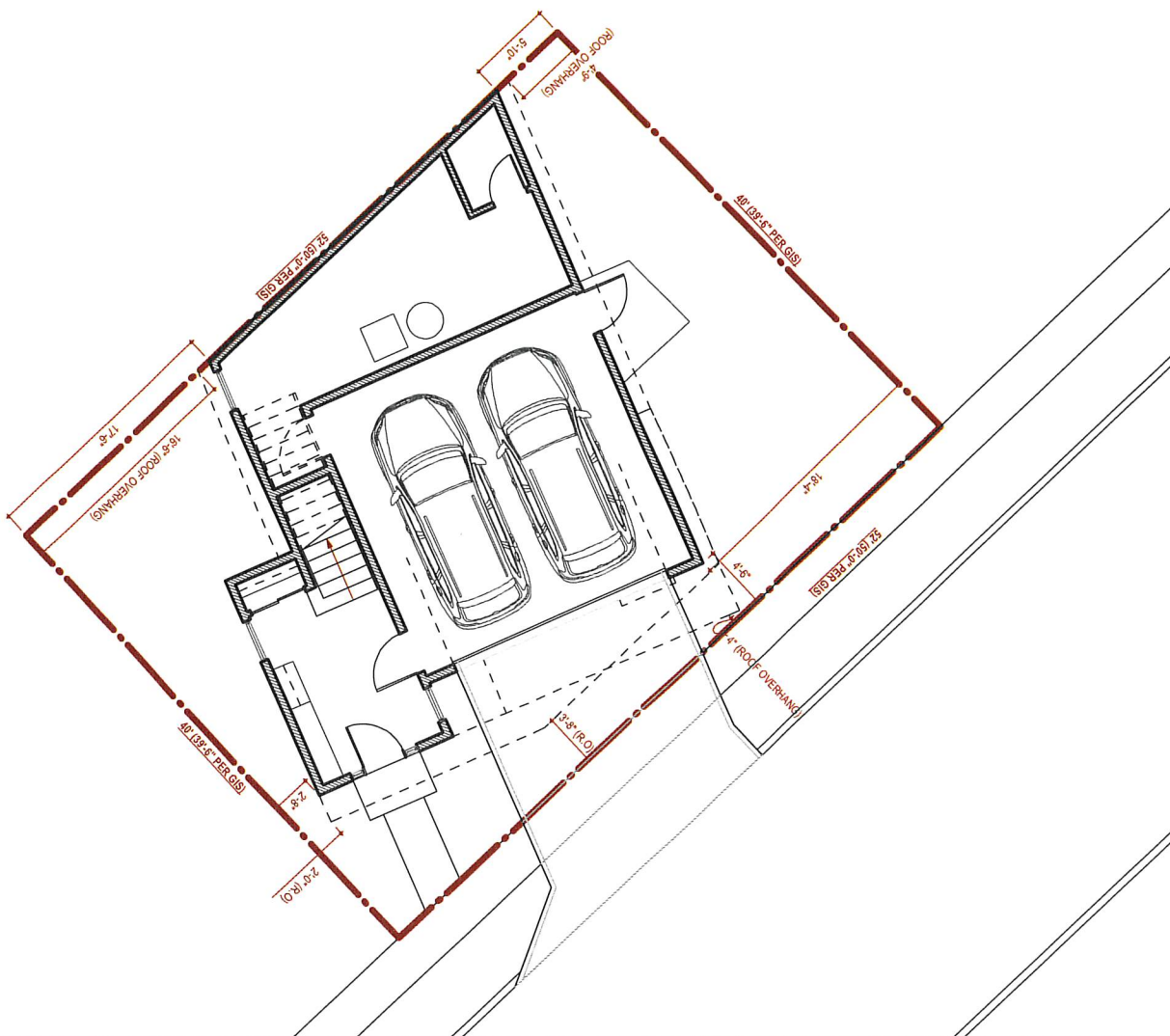
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PARCEL 28A044F000140
PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

PREPARED FOR: X
ISSUE: SURVEY -
INITIAL DWGS -
REVISED DWGS -

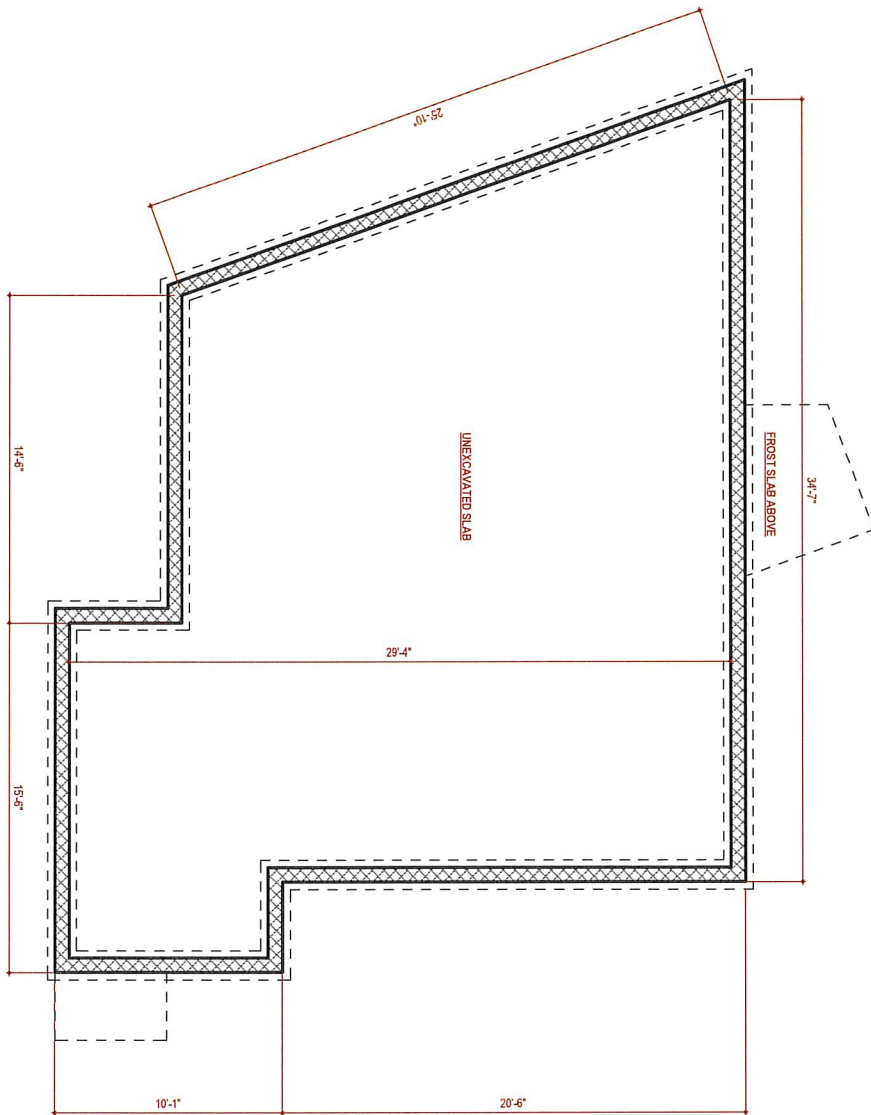
SITE PLAN
G1.1
CALLED NORTH





ZONING REVIEW
Z1.0

1 FOUNDATION PLAN
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
0 E 316TH ST
WILLOWICK OH 44095
PARCEL 28004F000140
PROJECT NAME



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C. (612) 278 3626
e. zacharymiller.arch@gmail.com



PREPARED FOR:
X

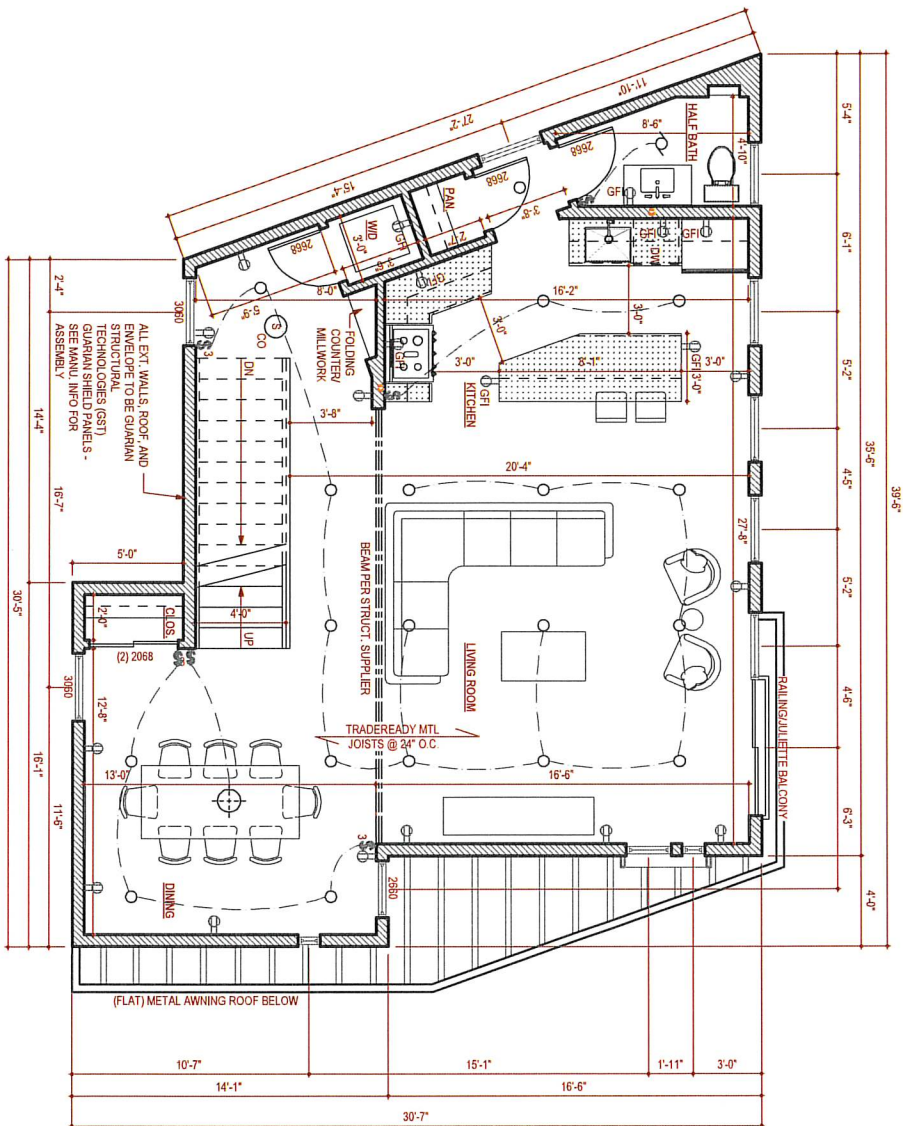
ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

FLOOR PLANS
F1.0

[illegible]

FLOOR PLANS A1.0

1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

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0 E 316TH ST
WILLOWICK OH 44095
PARCEL 28004R000140
PROJECT NAME



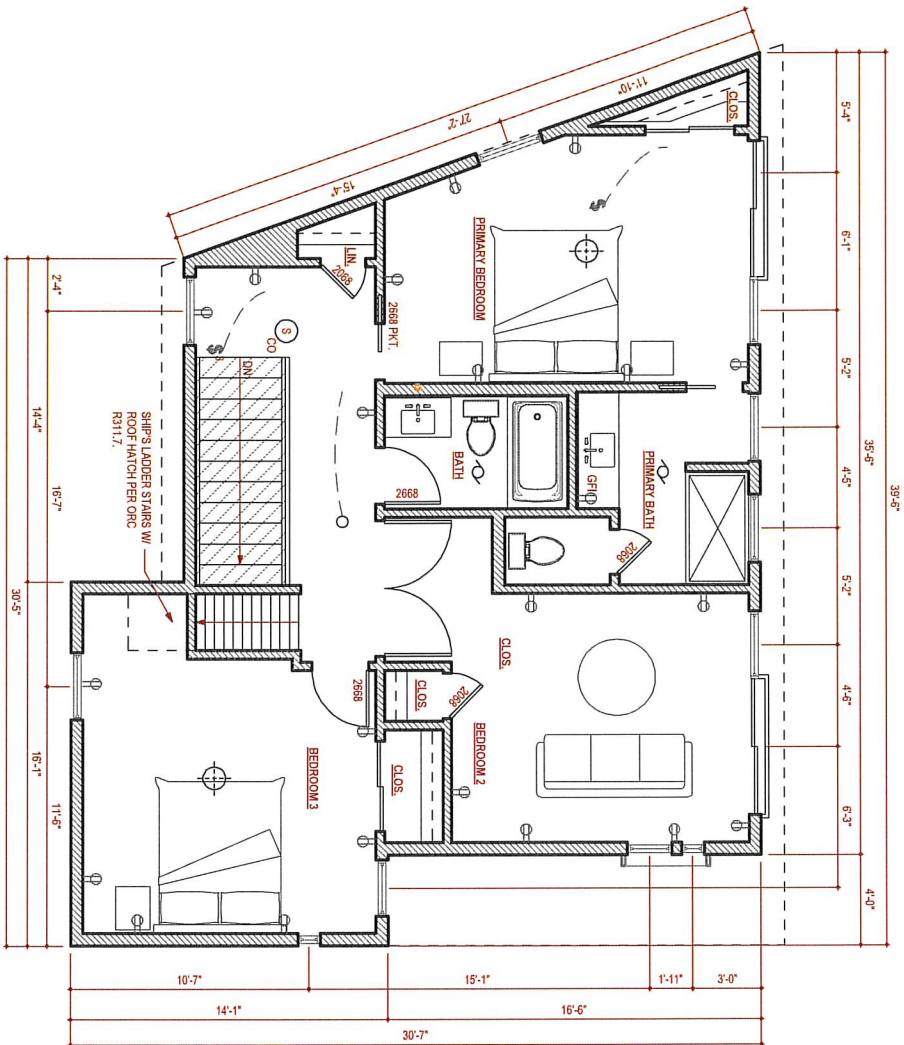
ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C. 14173, 223 3426
z.miller@architect.com

ISSUE
SURVEY
INITIAL DWGS.
REVISED DWGS.

PREPARED FOR: X

FLOOR PLANS
A2.0

1 THIRD FLOOR PLAN
SCALE: 3/16"=1'-0"



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
c. 14173, 228, 2029
z.d.miller.arch@gmail.com

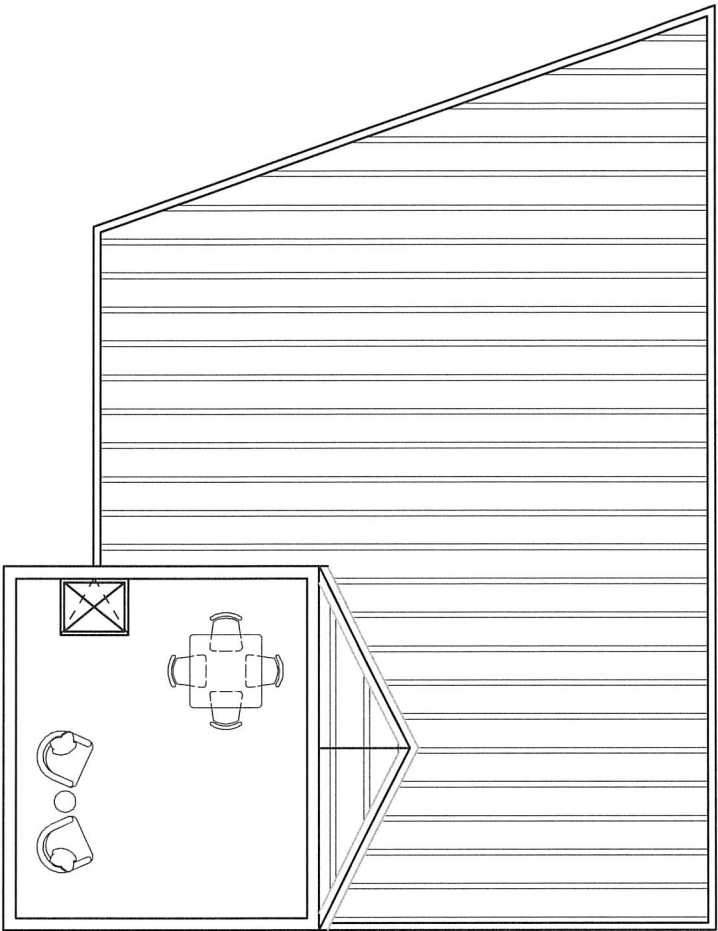


PROJECT ADDRESS
0 E 316TH ST
WILLOWICK OH, 44095
PARCEL 28404P00140
PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

ISSUE	PREPARED FOR:
SURVEY	X
INITIAL DWGS.	
REVISED DWGS.	

FLOOR PLANS
A3.0



1 ROOF PLAN
SCALE: 3/16"=1'-0"



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO

C. 14173 228 2428
z.d.miller@zdmll.com



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WILLOWICK OH, 44095
PARCEL 28A044F000140

PROJECT NAME

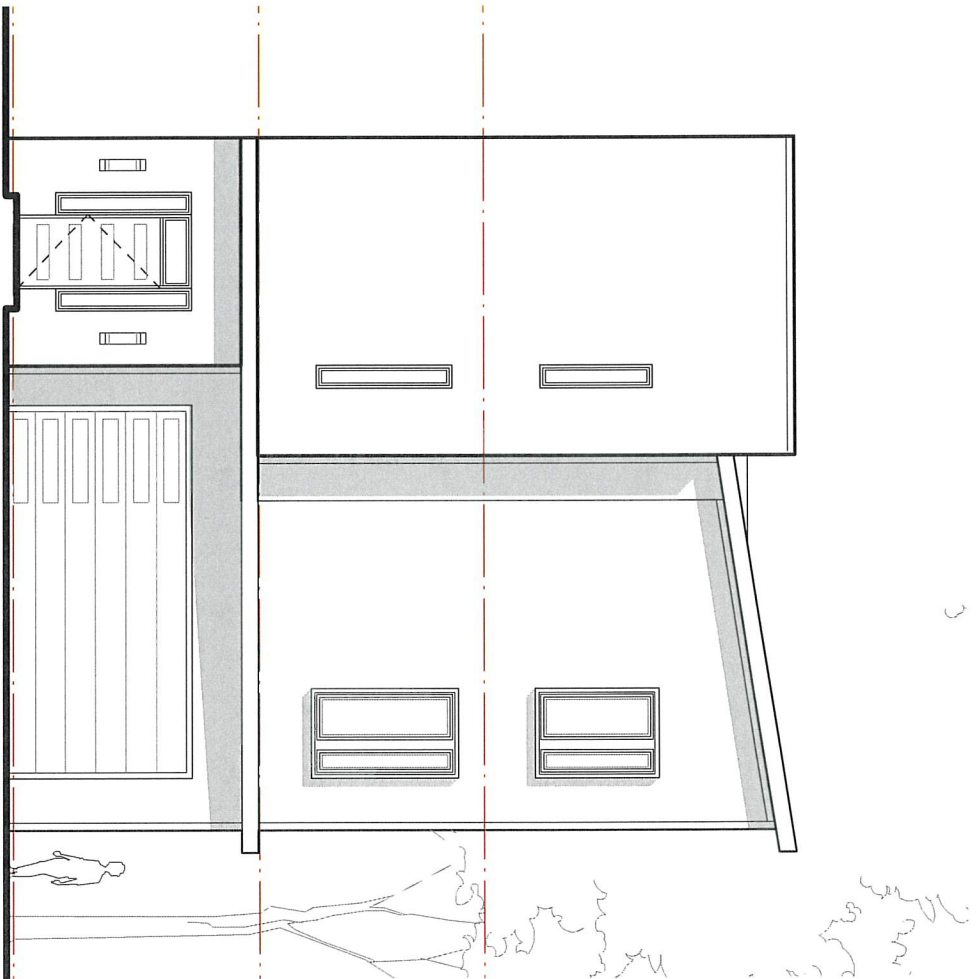
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:

X

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

FLOOR PLANS
A4.0



① FRONT ELEVATION
SCALE: 3/16"=1'-0"



ZACHARY D. MILLER
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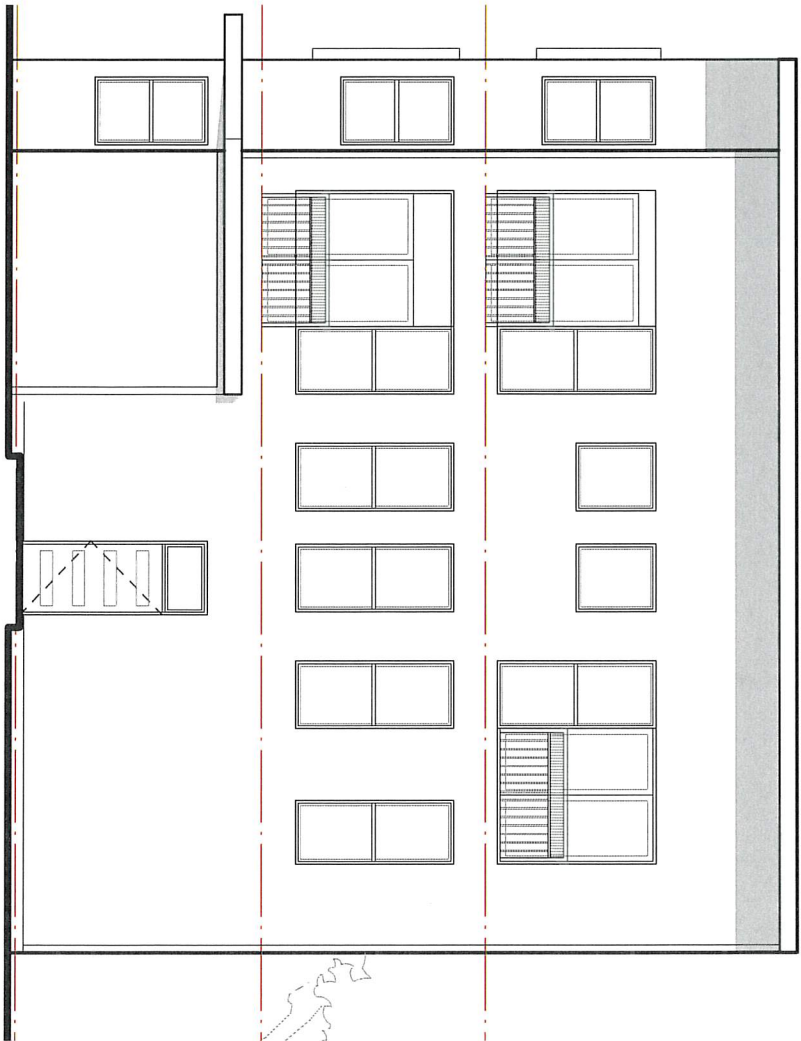
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:

X

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

① ELEVATIONS
CALLED NORTH
A5.0



① SIDE ELEVATION
SCALE: 3/16"=1'-0"



ZACHARY D. MILLER
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STATE OF OHIO
c. 1417, 228 2426
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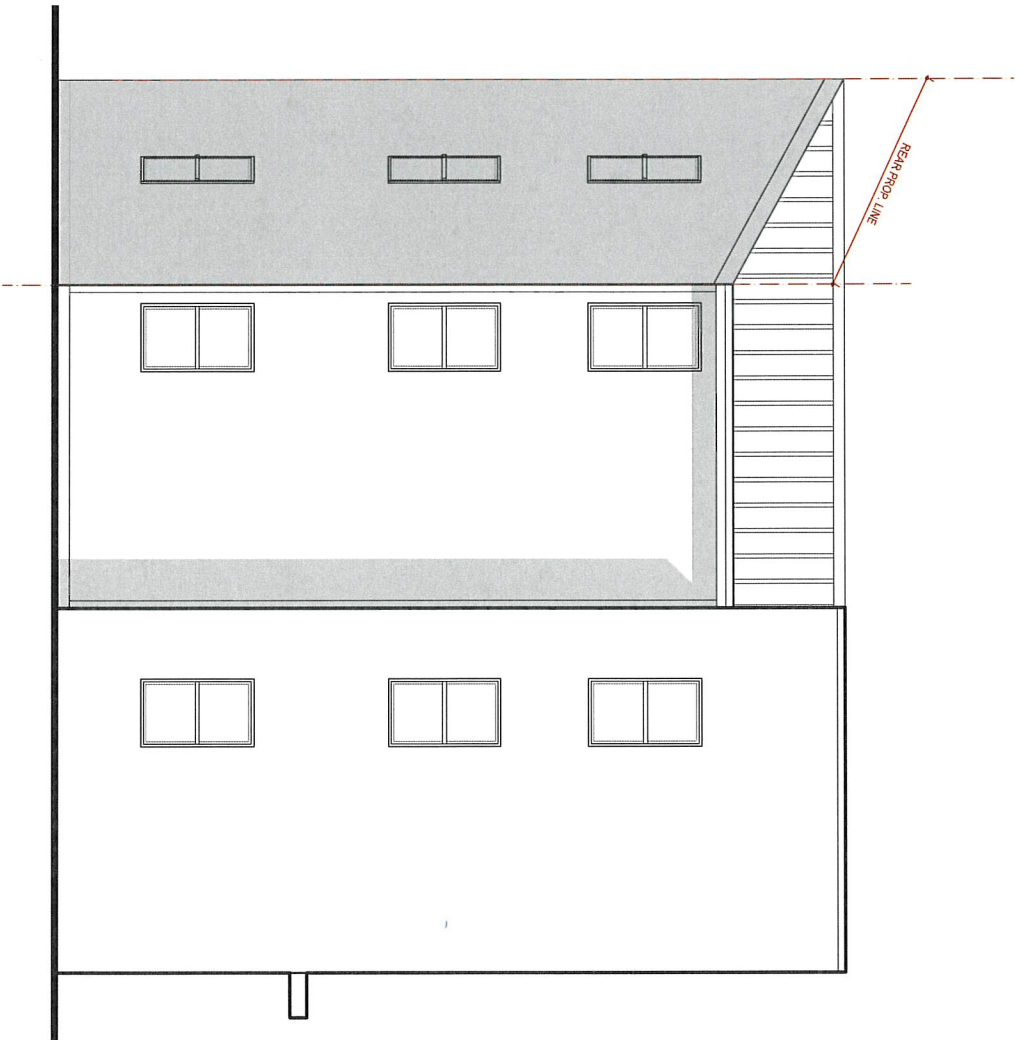
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PARCEL 28004F001140
PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:
X

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

① ELEVATIONS
CALLED NORTH
A6.0



① SIDE ELEVATION
SCALE: 3/16"=1'-0"



ZACHARY D. MILLER
REGISTERED ARCHITECT
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PROJECT ADDRESS
0 E 316TH ST
WILLOMCK OH 44095
PARCEL 28044F000140

PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:
X

ISSUE	
SURVEY	
INITIAL DWGS	
REVISED DWGS	

① ELEVATIONS
CALLED NORTH
A7.0