

APPLICATION FOR VARIANCE
WILLOWICK BOARD OF ZONING APPEALS

NAME OF PROPERTY OWNER:

Igor Baraz

ADDRESS:

Vacant Lot - Parcel No - 28-A-044-F-00-014-0

PHONE:

NAME OF APPLICANT

IF DIFFERENT FROM OWNER:

Zachary Miller - Architect

ADDRESS:

412-228-2626

PHONE:

REASON AND JUSTIFICATION FOR REQUEST:

NEW SINGLE FAM. HOME ON VACANT LOT; SETBACKS (NONCONFORMING)
TO MATCH NEIGHBORING HOMES ON STREET.

DATE: 1/16/26

SIGNED:



APPLICANT

FOR OFFICE USE ONLY

CASE NO. 26-1

PROPERTY ZONED FOR
(STATE DISTRICT):

Multi-family

APPLICABLE SECTION OF
CODIFIED ORDINANCES:

See attached

VARIANCE SOUGHT:

See attached

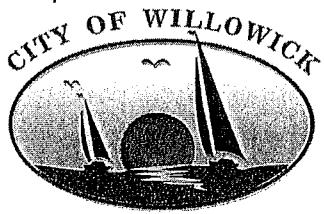
Pursuant to Section 1169.05(b) of the Codified Ordinances, a check in the amount of \$150.00 made payable to the City of Willowick, together with a drawing showing where the requested variance will be located and all measurements of same, must accompany this request for variance. All pertinent information must be submitted to the building department no later than 3 weeks prior to the meeting date, which is the second Wednesday of each month.

Meeting 6:30 pm 2/16/26 at 30435 Lakeshore Blvd. City Hall Council Chambers, 2nd floor

Case No. 26-1 Igor Baraz-owner/Zachary Miller-Architect

Vacant Lot E. 316 St. Parcel # 28-A-044-F-00-014-0

1. 1163.03(a) – 5,420 square feet. *The property owner would like to construct a single-family dwelling on a lot that is 2,080 square feet. (52 ft. – width x 40 feet – depth)
2. 1163.06(b) - 2 feet side property line, opposite the driveway.
3. 1163.03(b) – 5 feet 3 inches side property line, driveway side.*The property owner wants to construct a single family dwelling 2 feet from the left side property line and 4' 9" from the right side property line."
4. 1163.07 – 17 feet 6 inches, rear yard. *The property owner wants to construct a single-family dwelling up to the rear property line, the dwelling height is 35 feet.
5. 1163.10 – 9 feet 8 inches, front yard building line set back. *The property owner wants to construct a single family dwelling 4 inches from the front property line. Per set back map 10 feet is required.



Owner : Igor Baraz

Archltect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

FAX: 440-585-3776

EMAIL: sbrennan@cityofwillowick.com

RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1.163.03 LOT AREA PER FAMILY; EXTENT OF LAND OCCUPANCY; MINIMUM FLOOR AREA REQUIREMENTS; PARKING, LOADING AND UNLOADING SPACE. (a) In a Single Family District, no dwelling or premises shall be erected or altered to accommodate or make provision for more than one family for each 7,500 square feet of the area of the lot if any interior lot or for each 6,000 square feet if a corner lot.

Variances Needed : 1) 5,420 Square Feet.

Property owner wants to construct a single family dwelling on a lot that is 2,080 square feet. (52 Ft -Width x 40 Feet -Depth)

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

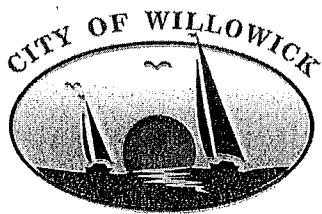
IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

Sean Brennan
SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

SB 1/16/26
APPLICANTS SIGNATURE DATE



BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

FAX: 440-585-3776

EMAIL: sbrennan@cityofwillowick.com

Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.06 SIDE YARDS IN SINGLE FAMILY DISTRICTS. (b) In a Single Family District there shall be provided on each lot side yards of at least the total distance set forth in column one of the following chart, which total distances shall be divided, between the two sides of the lot, in conformity to the provisions of column two of the following chart, provided, however, that in no case shall the distance between houses or other residence structures be less than twelve feet, except in the case of corner lots, where the distance shall be not less than ten feet:

<u>Column One</u>	<u>Column Two</u>		
<u>Lot Width at Least Building</u>	<u>Total Side Yard Distance (in</u>	<u>Driveway Side (in feet)</u>	<u>Side Opposite Driveway (in</u>
45 or less	12	9	3
46 to 50	13	10	3
51 to 60	14	10	4

Variances Needed : 2) 2 Feet side property line, opposite the driveway.

3) 5 Feet 3 Inches side property line, driveway side.

* Home owner wants to construct a single family dwelling 2 feet from left side property line and 4 feet 9 inches from right side property line.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD., UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

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SINCERELY,

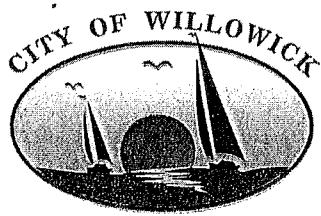
Sean Brennan

SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

Brennan
APPLICANT'S SIGNATURE

1/16/26
DATE



BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

FAX: 440-585-3776

EMAIL: sbrennan@cityofwillowick.com

Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

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DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.07 REAR YARDS. In a Single Family or Apartment District, every building erected shall have a rear yard. Such rear yard shall not be less than thirty percent of the depth of the lot, but need not be more than forty feet, provided that the rear yard is no less than one-half of the height of the building. Forty percent of the area of such yard may be occupied by a one-story detached garage not more than fifteen feet in height, nor more than 576 square feet as provided in Section 1337.01 of this Code of Ordinance. On a corner lot the rear line of which is identical with the side line of an interior lot, no such detached garage shall be erected within thirty feet of any street line or within three feet of the side or rear lot line, or ten feet from any dwelling or residence structure. No detached garage shall be in excess of one-story unless a subdivision plan provides otherwise. A detached garage shall be located as determined by the Building Inspector, unless located by the City Board of Zoning Appeals.

Variances Needed: 4) 17 Feet 6 Inches, rear yard.

* Home owner wants to construct a single family dwelling up to the rear property line, the dwelling height is 35 feet

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

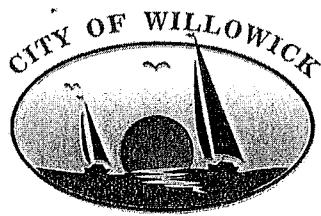
Sean Brennan

SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

Z. Miller
APPLICANT'S SIGNATURE

1/16/26
DATE



BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

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Owner : Igor Baraz

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Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.10 FRONT YARDS; BUILDING LINES. For the purpose of regulating front yards, for the purpose of further regulating side yards of corner buildings and for the purpose of regulating the alignment of buildings near street frontages, building lines as set forth on the building maps which are on file in the office of the Chief Building Inspector and are hereby declared to be part hereof, are hereby established. The map designations and the map designation rules, which accompany said map, are hereby declared part thereof. Between a building line and the street line no building or portion of a building extending above the established grade may be erected. In a Single Family District a one story unclosed porch may, however, be constructed between the building line and the street line. On a corner lot between the building line and the street line and within the triangular space included between the street lines for a distance of twenty-five feet from their point of intersection, no fence or other structure more than three feet in height above the plane of the established grade shall hereafter be erected, and no shrubs or foliage shall be maintained that in the judgment of the Chief Building Inspector will materially obstruct the view by a driver of a vehicle approaching the intersection and within seventy-five feet of the center of such intersection of approaching cross traffic within seventy-five feet of the center of such intersection. Where a building line is shown on the building line map as an existing alignment line, the alignment of the buildings existing along such frontage shall determine the building line. In a Retail or Industrial District where a building line is required along both the front and side line of a corner lot, and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street frontage in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where a building line is required along both the front and side line of a corner lot and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street front in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where no building line is designated on the building line map, the location of the building line shall be as follows:

Variances Needed: 5) 9 Feet 8 Inches , front yard building line set back.

* Home owner wants to construct a single family dwelling 4 (inches) from front property line. Per set back map 10 feet is required.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

Sean Brennan

SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

BRE
APPLICANT'S SIGNATURE

1/16/26
DATE

NEW SINGLE FAMILY HOME - E 316TH ST

PROJECT DESCRIPTION

DESIGN CRITERIA/CALCULATIONS

NEW SLAB-ON-GRADE (NO BASEMENT) SINGLE FAMILY HOME	1. GROUND SNOW LOAD: 30 PSF
ATTACHED 2-CAR GARAGE: 100SF	2. BASIC WIND SPEED: 110 MPH (ULT.), EXP. B: 90 MPH, DESIGN SPEED
UTILITY ROOM: 24SF	3. WIND EXPOSURE CATEGORY - B
HEATED SQUARE FOOTAGE: 1,748 SF	4. HIGH WIND DESIGN CRITERIA - B
	5. SEISMIC DESIGN CATEGORY - B
	6. WEATHERING: SEVERE
	7. TERMINATE AREA: HEAVY TO MODERATE
	8. WINTER DESIGN TEMPERATURE: 50°F
	9. FLOOR LOADS FOR DECKS AND FLOOR JOISTS
	30 PSF LIVE LOAD
	15 PSF DEAD LOAD
	12 PSF WIND LOAD (90 MPH MAX)
	30 PSF SNOW LOAD
	10. CONCRETE COMPRESSIVE STRENGTH: 4000 PSI FOR 28 DAYS
	11. LOAD BEARING VALUE OF SOIL: 1500 PSI
	12. ENERGY EFFICIENCY MINIMUMS: 2010 IEC
	METAL FRAME WALLS R13 + R 7.5 CI
	SLAB ON GRADE: R10
	DESIGN CRITERIA: R10
	CLEVELAND, OHIO CLIMATE ZONE: 5
	ROOF DESIGN LOADS
	15 PSF DEAD LOAD
	12 PSF WIND LOAD (90 MPH MAX)
	30 PSF SNOW LOAD
	DOORS: R4.75
	RESPONDENT GARAGE DESIGN LOADS
	FLOOR CONCRETE SLAB ON GRADE
	10 PSF DEAD LOAD
	12 PSF WIND LOAD (90 MPH MAX)
	30 PSF SNOW LOAD
	MINIMUM LIVE LOAD - 1ST FLOOR: 100PSF

DRAWING INDEX

PROJECT DIRECTORY	ARCHITECT: ZACHARY D. MILLER (412) 228-2626 TBD	CONTRACTOR: TBD OWNER: TBD

PROJECT DESCRIPTION

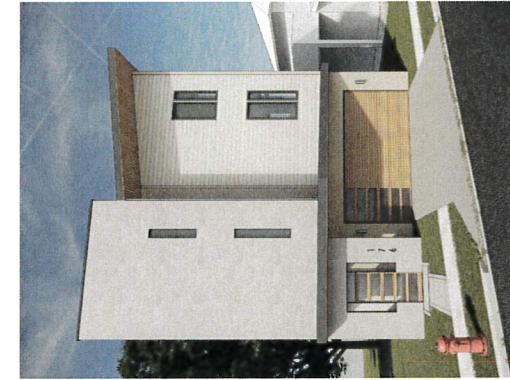
ARCHITECT: ZACHARY D. MILLER (412) 228-2626 TBD	CONTRACTOR: TBD OWNER: TBD

DRAWING INDEX

SCOPE INFO, SITE AERIAL, RENDERINGS, DRAWING INDEX	T1.0
SITE CONTEXT PLAN - ENST, BOUNDARY SURVEY	G1.0 + G1.1
ZONING REVIEW SITE PLAN + ELEVATION	Z1.0
FOUNDATION PLAN	F1.0
FIRST FLOOR PLAN	A1.0
SECOND FLOOR PLAN	A2.0
THIRD FLOOR PLAN	A3.0
ROOF PLAN	A4.0
ELEVATION	A5.0
ELEVATION	A6.0
ELEVATION	A7.0
ELEVATION	A8.0

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE OHIO BUILDING CODE, ALL STATE, LOCAL AND OTHER CODES.
2. DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR(S) PRIOR TO ORDERING AND CONSTRUCTION MATERIALS. REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. DO NOT SCALE DRAWINGS.
3. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE DESIGN, ANY REVISIONS, CHANGES OR INCONSISTENCIES BETWEEN THE AS-BUILT CONDITIONS AND THESE DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION.
4. IT IS THE INTENT OF THESE DRAWINGS TO HAVE ALL OF THE WORK DONE AND COMPLETED IN A GOOD MANNER. ALL WORK SHALL BE FURNISHED AND INSTALLED COMPLETE IN EVERY DETAIL, READY FOR SATISFACTORY OPERATION, AND ALL REQUIRED APPARATUS AND MATERIAL SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED HEREIN.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OR AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
6. ALL MATERIALS, FINISHES AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
7. NO EX-TRAS WILL BE AUTHORIZED UNLESS THEY ARE APPROVED IN WRITING BY THE OWNER.
8. EVERY CONTRACTOR SHALL CARRY WORKMEN'S COMPENSATION AND LIABILITY INSURANCE. CONTRACTORS LIABILITY INSURANCE SHALL INCLUDE A "HOLD HARMLESS" CLAUSE TO INDEMNIFY THE ARCHITECT AND THE OWNER AGAINST ANY AND ALL CLAIMS THAT MAYARSE DURING THE LIFE OF THE CONTRACT.
9. EACH CONTRACTOR AND/OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN CONTRACTORS AND MATERIALS, TOOLS AND EQUIPMENT, AND SHALL OBTAIN AND PAY FOR ALL PERMITS, SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK. THE SITE SHALL BE KEPT CLEAN AND FREE OF OBSTRUCTIONS DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP THE AREA CLEAR AT ALL TIMES, REMOVE ALL RUBBISH EACH DAY, AFTER COMPLETION OF THE WORK. THE SITE SHALL BE LEANED WHEREVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY THE CONSTRUCTION WORK. EACH CONTRACTOR OR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS EQUIPMENT, EXCESS MATERIALS, THE SITE IS TO BE LEFT IN A PERFECTLY CLEAN CONDITION.
11. ALL LAWS IN FORCE AT THE BUILDING LOCATION SHALL GOVERN. EACH DRAWING.
12. PROTECT EXISTING OCCUPANCY WHICH IS TO REMAIN IN CONTINUOUS OPERATION. CAREFULLY REMOVE PORTIONS THAT ARE TO BE REMOVED AND PROTECT PORTIONS THAT ARE TO REMAIN TEMPORARILY OR PERMANENTLY IN PLACE. PROVIDE SHORING AS REQUIRED.
13. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL PAYMENT TO THE GENERAL CONTRACTOR.
14. NO SMOKING IN THE HOUSE. ALL CIGARETTE BUTTS TO BE REMOVED FROM PREMISES.



PROJECT ADDRESS
0 E 16TH ST
WILLIAMSBURG, OH, 44095
PARCEL 2BA044F00140
PROJECT NAME

NEW SINGLE FAMILY HOME

ARCHITECTURAL DRAWINGS FOR

HOME - E 316TH ST

PREPARED FOR:

X

ISSUE

SURVEY-

INITIAL DWS -

REVISED DWS -

< Fri Apr 4, 2025 >

TITLE SHEET
T1.0



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C. (412) 220-2826
E. zacharymiller.arch@gmail.com



PROJECT ADDRESS
0 E 316TH ST
WILLOUGHICK OH 44095
PARCEL 20404-000140
PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

ARCHITECTURAL DRAWINGS FOR

PREPARED FOR: X

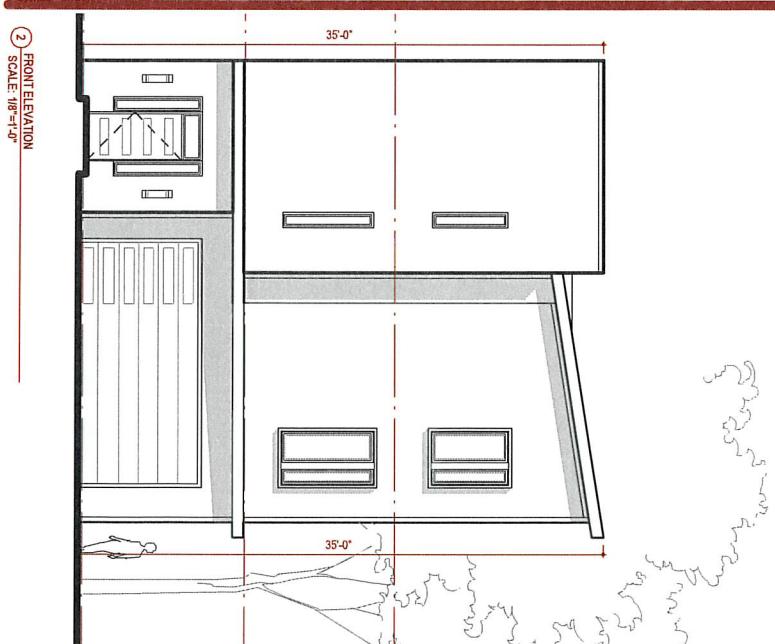
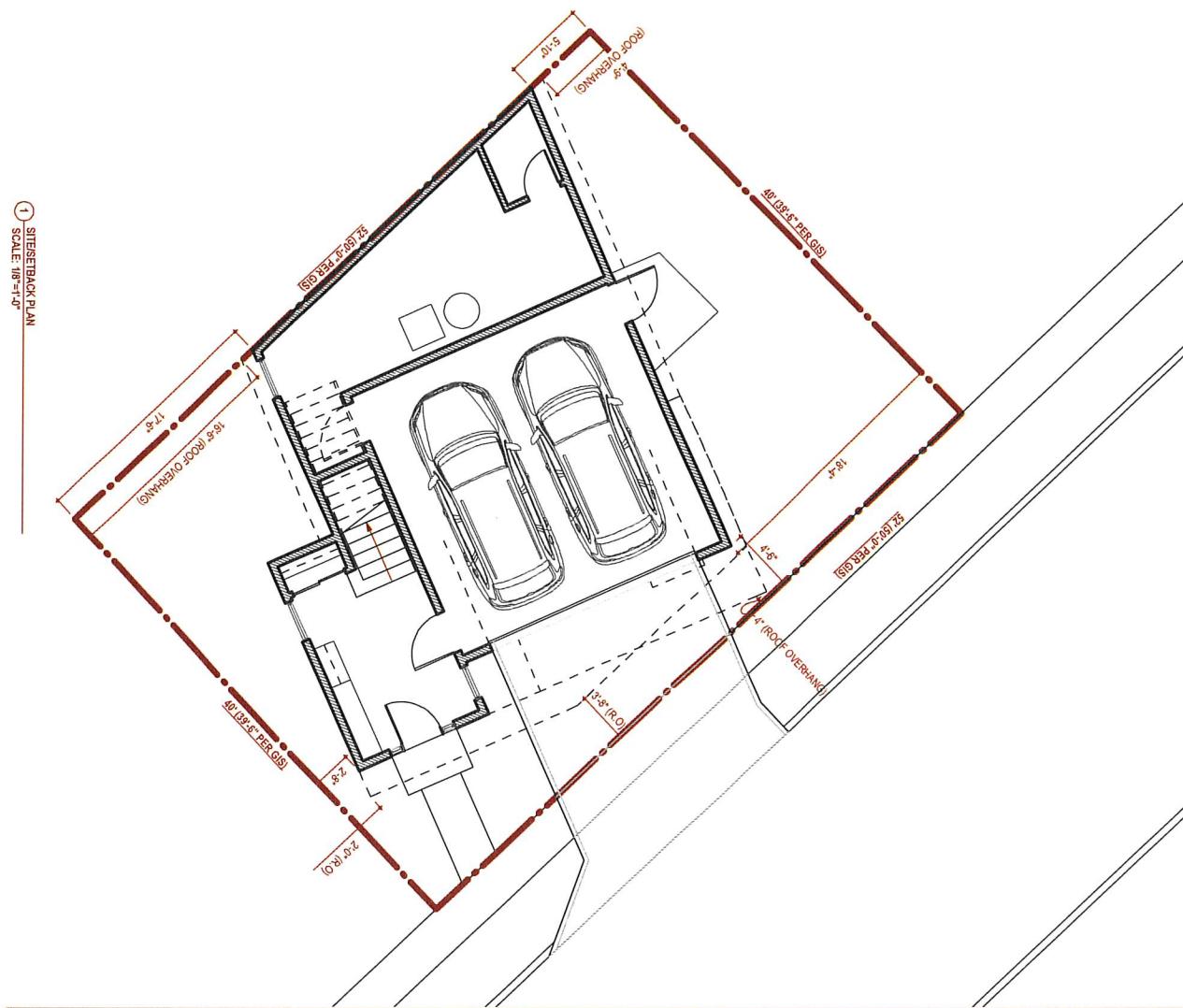
ISSUE: SURVEY -
INITIAL DWGS -
REVISED DWGS -

SITE PLAN
G1.0

1 CALLED NORTH



1 SITE CONTEXT PLAN
NO SCALE



1
CALLED NORTH
ZONING REVIEW
Z1.0

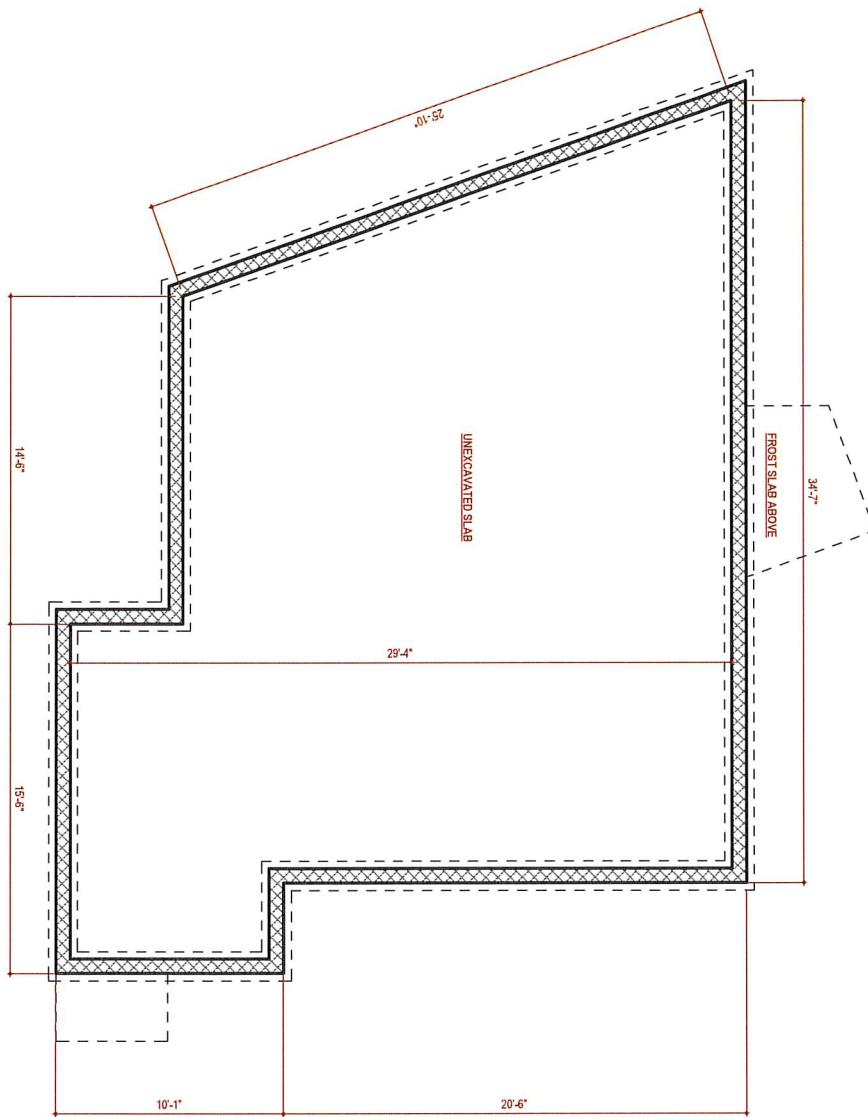
2
ISSUE
SURVEY
INITIAL DWGS.
REVISED DWGS.

3
PROJECT ADDRESS
0 E 316TH ST
WILLOWICK, OH 44095
PARCEL 28044F000140
PROJECT NAME

4
PREPARED FOR:
ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C: (412) 223-3535
e: zdmillerarch@gmail.com

5
Preliminary - Not for Permit/Construction
2519974
ZACHARY D. MILLER
REVVED ARCHITECT

① FOUNDATION PLAN
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
NEW SINGLE FAMILY HOME - E 316TH ST

PREPARED FOR: ISSUE: SURVEY: INITIAL DWGS: REVISED DWGS:

PROJECT ADDRESS: 0 E 316TH ST
WILLOWICK, OH 44095
PARCEL 280044P000140
PROJECT NAME: **ZACHARY D. MILLER**
REGISTERED ARCHITECT
STATE OF OHIO
C: (412) 223-2026
e: zacharymiller.arch@gmail.com

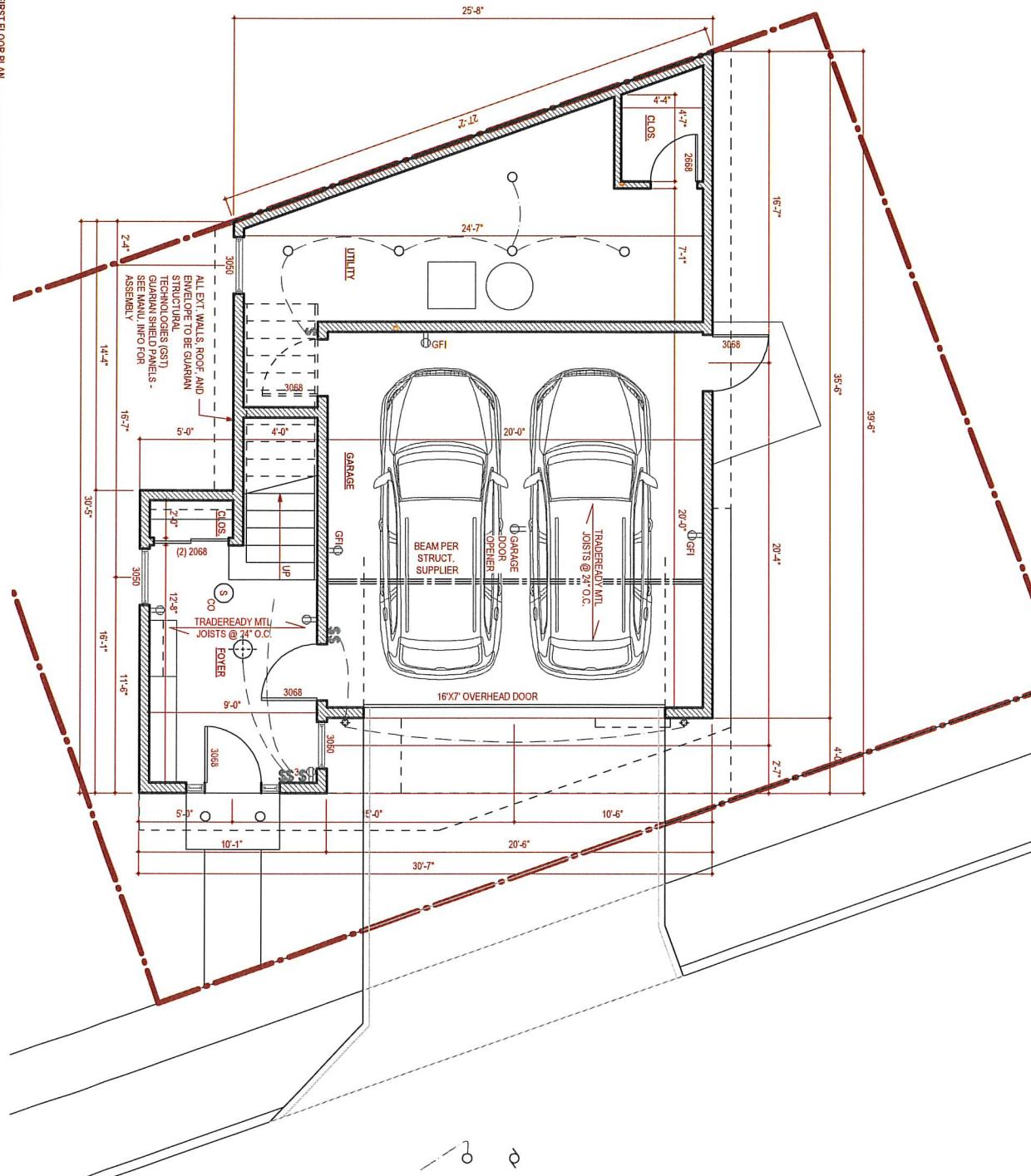
F1.0 FLOOR PLANS

PRELIMINARY - NOT FOR PERMIT OR CONSTRUCTION
2519974
ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
C: (412) 223-2026
e: zacharymiller.arch@gmail.com

1 FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

FIGURE 1

FIGURE 1



ARCHITECTURAL DRAWINGS FOR:

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

INITIAL DWGS -
REvised DWGS

PREPARED FOR

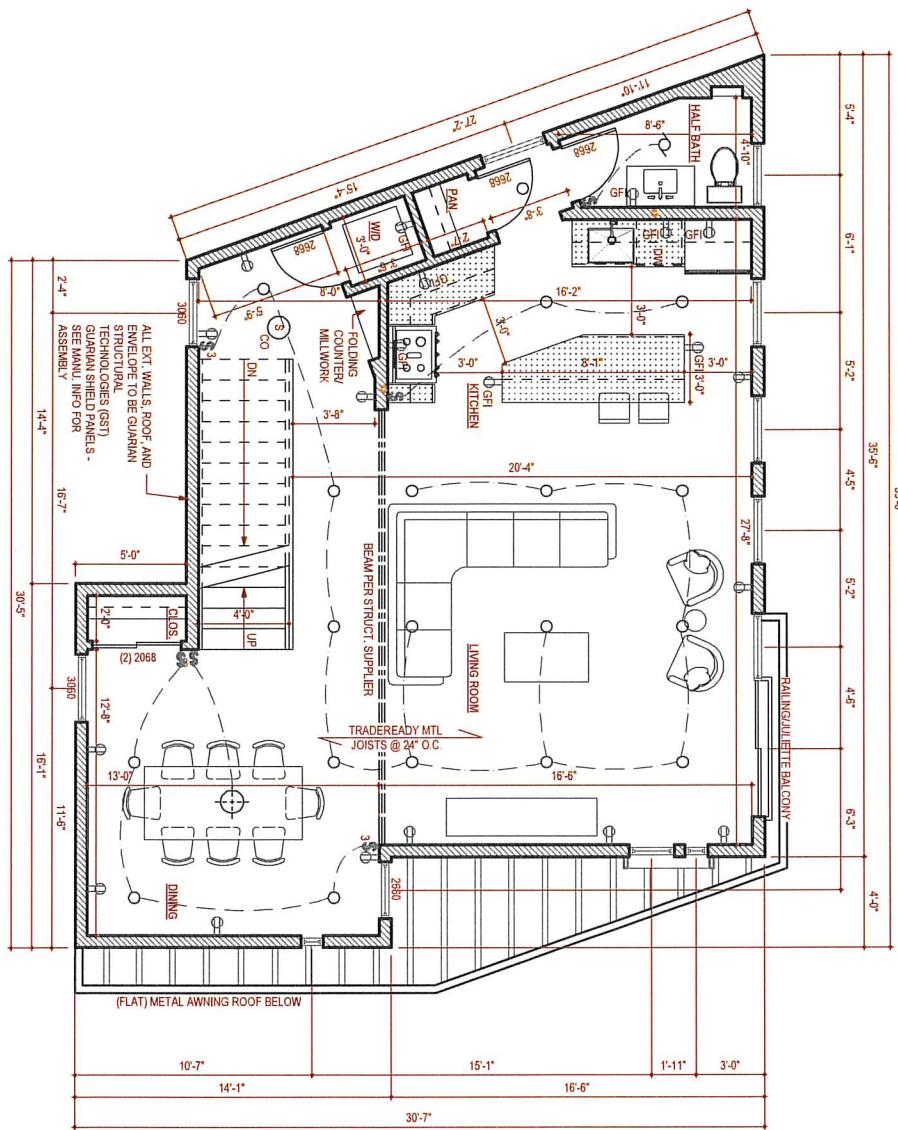
PROJECT ADDRESS
0 E 36TH ST
WILLOWICK OH, 44091
PARCEL 28A044F00144
PROJECT NAME



e. zacharymiller.arch@gmail.com

20

1. SECOND FLOOR PLAN
SCALE: 30'-0"=1'-0"



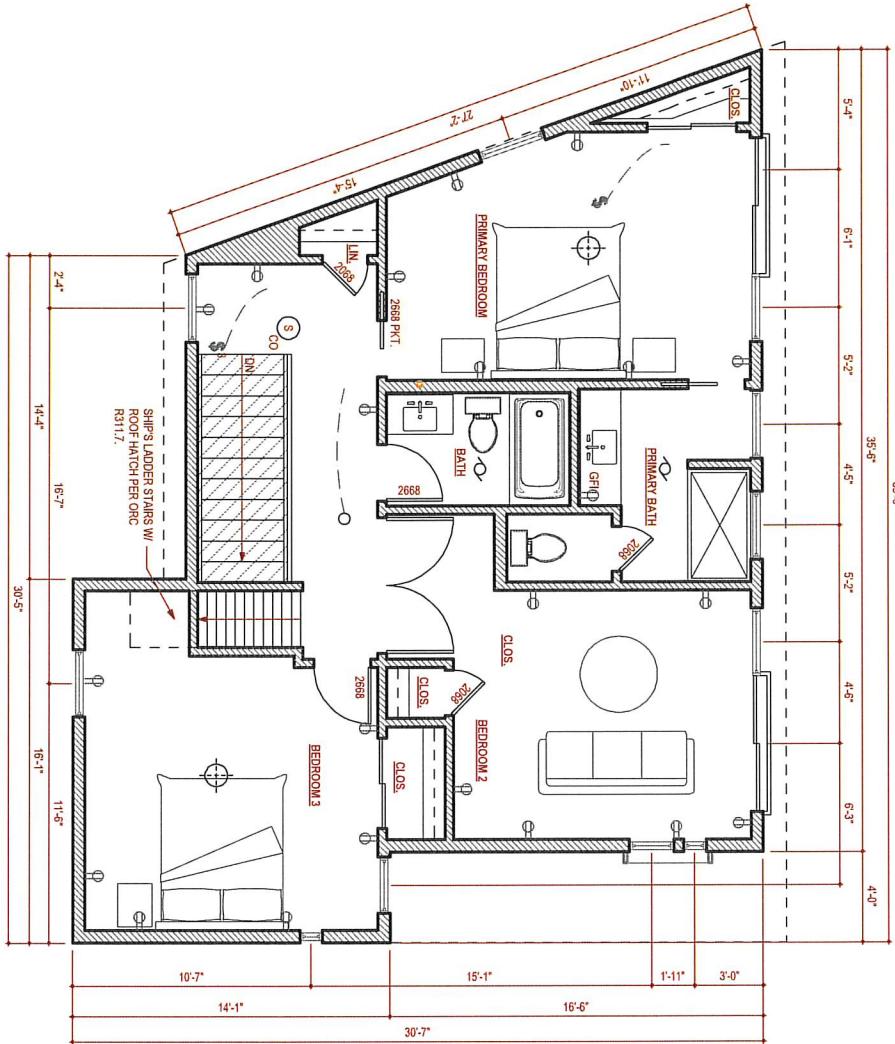
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR: ISSUE: SURVEY: INITIAL DWGS: REVISED DWGS:

PROJECT ADDRESS: WILLOWICK OH 316TH ST PARCEL 28A045000140 PROJECT NAME: ZACHARY D. MILLER, REGISTERED ARCHITECT STATE OF OHIO e.zacharymillermillerarch@gmail.com

PRELIMINARY - NOT FOR PERMIT/CONSTRUCTION
2519974
ZACHARY D. MILLER, REGISTERED ARCHITECT STATE OF OHIO

1 THIRD FLOOR PLAN
SCALE: 3'-0"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:
ISSUE:
SURVEY:
INITIAL DWGS:
REVISED DWGS:

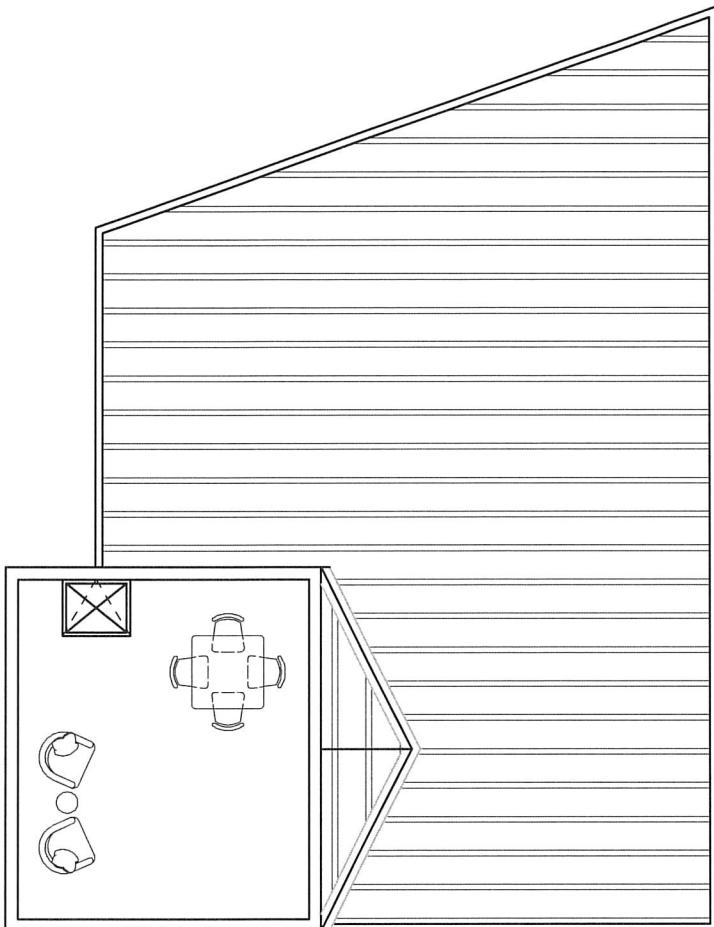
FLOOR PLANS
A3.0

PROJECT ADDRESS
0 E 316TH ST
WILLOWICK OH 44095
PARCEL 28A044F000140
PROJECT NAME



ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
c. (412) 223-5236
w. zdmillerarch@gmail.com

1 ROOF PLAN
SCALE: 3'0"-1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
OF 316TH ST
WILLOWICK, OH 44095
PARCEL 280A044F000140
PROJECT NAME

PREPARED FOR:

ISSUE
SURVEY-
INITIAL DWGS-
REVISED DWGS-

FLOOR PLANS
A4.0

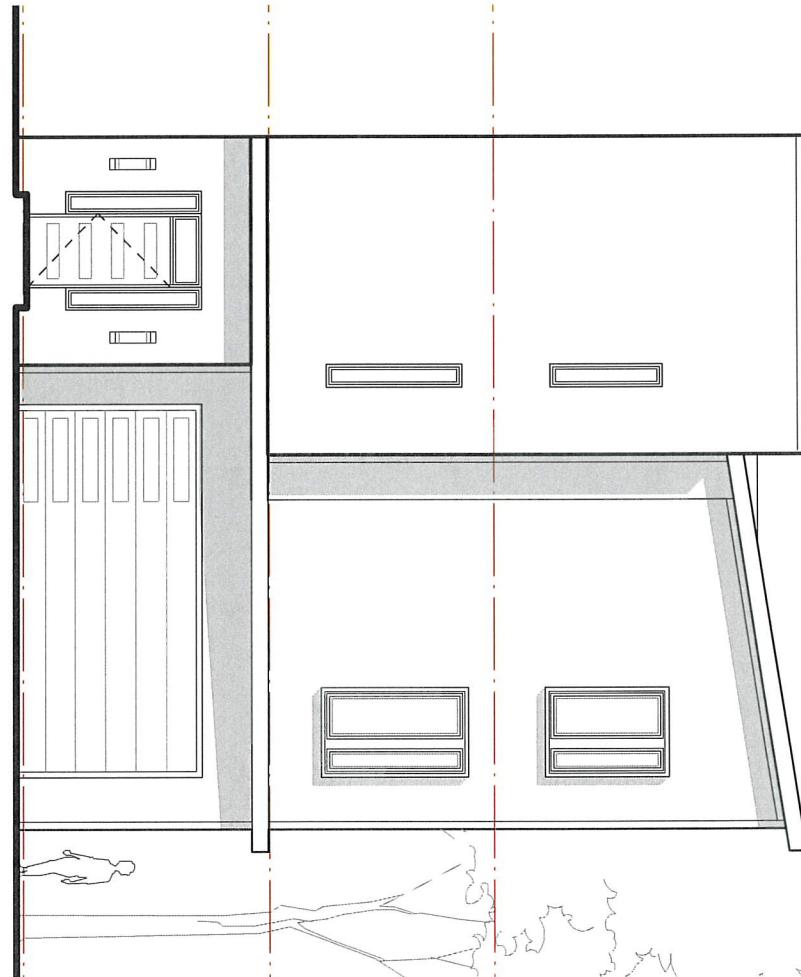


6. zacharymiller.arch@gmail.com



ZACHARY D. MILLER,
REGISTERED ARCHITECT,
STATE OF OHIO
C: (412) 228-2526

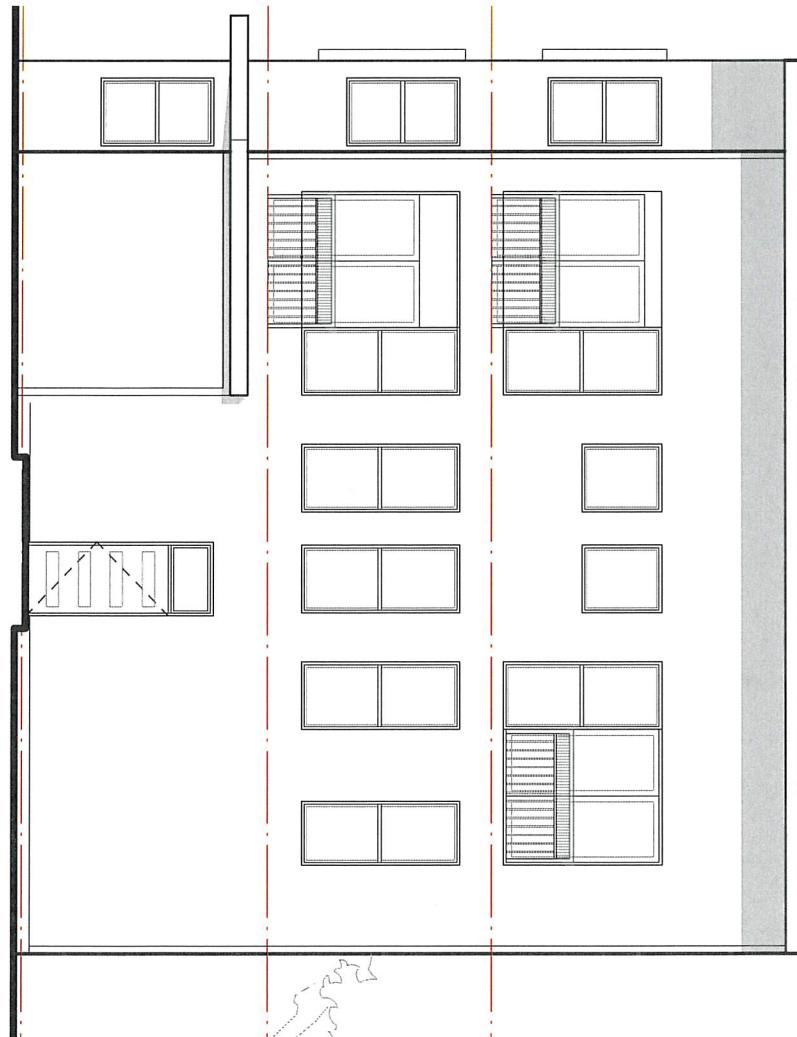
① FRONT ELEVATION
SCALE: 3/16"=1'-0"



3

①	FRONT ELEVATION
SCALE: 3/16"=1'-0"	
PREPARED FOR:	X
ISSUE:	
SURVEY:	
INITIAL DWGS.:	
REVISED DWGS.:	
ELEVATIONS	
A5.0	
CALLED NORTH	
ARCHITECTURAL DRAWINGS FOR:	
NEW SINGLE FAMILY HOME - E 316TH ST	
PROJECT ADDRESS	0 E 316TH ST
WILLOWICK OH 44095	
PARCEL 280A0447000140	
PROJECT NAME	
	
ZACHARY D. MILLER REGISTERED ARCHITECT STATE OF OHIO c: (412) 228-2026 e: zacharydmiller.arch@gmail.com	

① SIDE ELEVATION
SCALE: 3/16"=1'-0"



2519974
PRELIMINARY - NOT FOR PERMIT/CONSTRUCTION
ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
c. (412) 223-3235
zacharymiller.art@gmail.com



1
CALLED NORTH

ELEVATIONS
A6.0

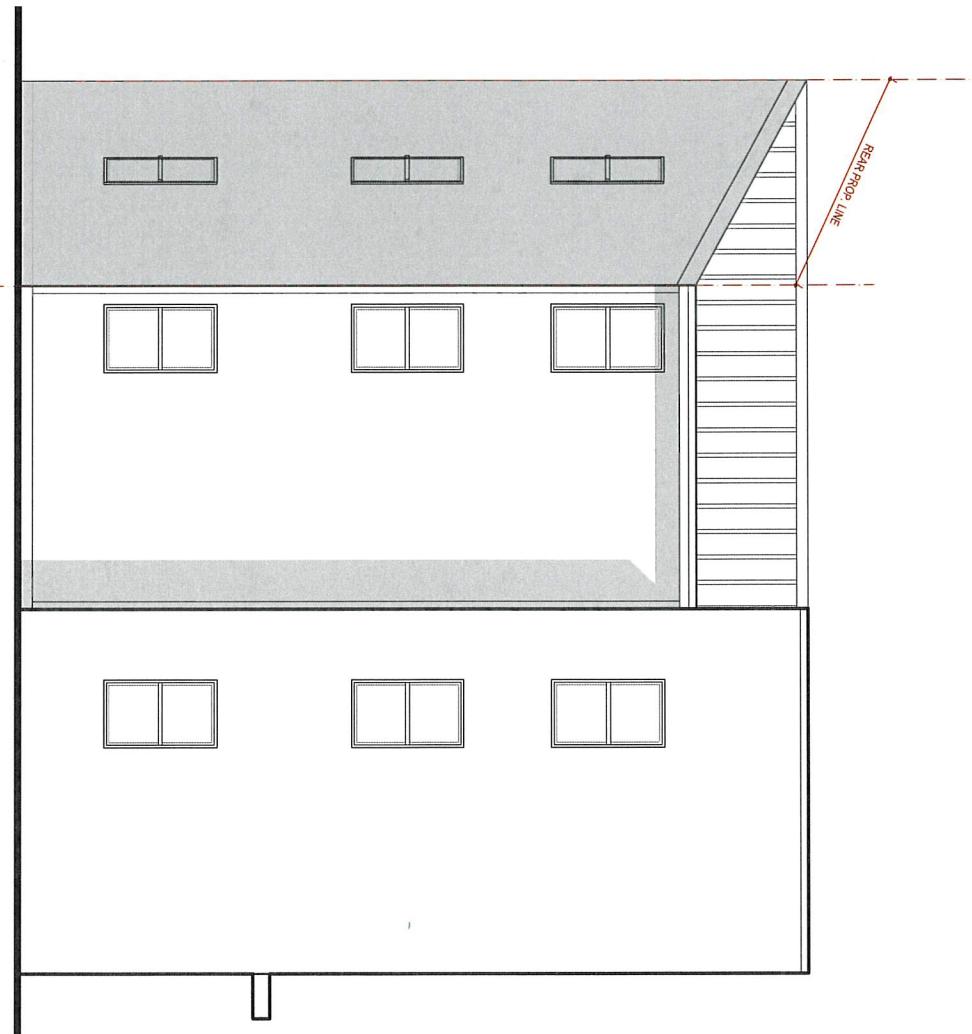
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:
ISSUE:
SURVEY:
INITIAL DWGS -
REVISED DWGS -

PROJECT ADDRESS
0 DE 316TH ST
WILLOWICK OH 44095
PARCEL 280A4F60040
PROJECT NAME

2519974
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ZACHARY D. MILLER
REGISTERED ARCHITECT
STATE OF OHIO
c. (412) 223-3235
zacharymiller.art@gmail.com

① SITE ELEVATION
SCALE: 30'-0" = 1'-0"



1

ARCHITECTURAL DRAWINGS FOR:
NEW SINGLE FAMILY HOME - E 316TH ST

PREPARED FOR:
X

ISSUE:
SURVEY:
INITIAL DWGS -
REVISED DWGS -

ELEVATIONS
A7.0
CALLED NORTH

PROJECT ADDRESS:
100 E 316TH ST
WILLOWICK OH 44095
PARCEL 28004F000140

PROJECT NAME:
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STATE OF OHIO
C. (412) 228-2026
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PRELIMINARY - NOT FOR PERMIT CONSTRUCTION

REVISED ARCHITECT

2519974