

TO: THOSE REQUESTING A VARIANCE OF ZONING REQUIREMENTS

FROM: THE BOARD OF ZONING APPEALS

THINGS YOU WILL HAVE TO PROVE TO BE GRANTED A VARIANCE

The Board of Zoning Appeals has the power *"to hear and grant applications for variances as will not be contrary to the public interest where, owing to special conditions, a literal enforcement will result in practical difficulty or unnecessary hardship, so that the spirit and purposes of the ordinance shall be observed and the public safety, welfare and justice secured."* **USE VARIANCES WILL NOT BE GRANTED**

FINDINGS PREREQUISITE TO GRANTING A VARIANCE

No variance to the provisions of this title shall be granted by the Board unless it finds beyond a reasonable doubt that **ALL** of the following facts and conditions exist, and so indicates in the minutes of its proceedings:

- A. The particular physical surroundings, shape, or topographical conditions of the specific property involved would result in a practical hardship upon the owner as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;
- B. The conditions upon which the application for a variance is based would be applicable generally to other property within the same zoning classifications;
- C. The purpose of the variance is not based exclusively upon a desire for economic or other material gain by the applicant or owner;

The proposed variance will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

Please consider the above items in presenting your oral testimony, for a lack of such testimony may result in denial of the variance.

All questions in the application must be answered.

Applicant's First Name*

Tammy

Applicant's Last Name*

Arahamian

Applicant's Address*

S107W30511 Sandy Beach Road

City	State	Zip Code
Mukwonago	WI	53149

Applicant's Email*

Owner of Property Site as of date of application, according to current property tax records:

Tammy Aprahamian

Street Address of Property (if vacant land, describe in detail the property location);

187 W Naun Street

Legal Description of Property (Name of Subdivision, Block and Lot, or other legal description):

Agent or Representative Assisting in the Application (Engineer, Architect, Attorney, Etc.)

Agent or Representative First Name	Agent or Representative Last Name
Michael	Peine

Firm Name

Michael Peine Architects

Address

43617 N Idlewild

City	State	Zip Code
Whitefish Bay	WI	53211

Office Phone Number	Office Fax Number
608-516-0531	N/A

Email Address
Mpeinr54@icloud.com

Existing and Proposed Uses

Current Principal Use:*

Former Commercial retail / Multifamily Apartments

Accessory or Secondary Uses:*

N/A

Proposed Use (Describe need for Variance):*

Proposed Commercial Wedding Venue / Multifamily Apartments

Have you been granted any variances in the past, on any properties, whether fully or partially owned by you.*

Yes

✓ No

If YES, list addresses of those properties and whether the requirements of the variance granted have been completed.

N/A

Plans to Accompany Application

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details, computations and stress diagrams as the building inspector may require.

Plot Plan

When required by the building inspector, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and it's relationship to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

Zoning District in which the property is located:*

B-2 Central Business

No. of Occupants Proposed to be accommodated:

140 Commercial and 30 Apartments

No. of Employees, if applicable:

10

Section of the City of Whitewater Zoning Ordinance that prohibits the proposed usage of the property. It is this section of the Ordinance for which a variance is requested:*

District Chapter: 19.30.030(b), "A ground floor residence is prohibited"

STANDARDS

The following are Standards that the City of Whitewater Zoning Ordinance sets for decisions on variances. Explain how your proposal meets these standards.

A. The particular physical surroundings, shape, topographical conditions of the specific property involved would result in a particular hardship upon the owner as distinguished from mere inconvenience, if the strict letter of the regulations were to be carried out.*

Wisconsin Legislative Code Requires: 1 accessible apartment for multi-family structure 101.13.2(b):

B. The conditions upon which the application for a variance are based would not be applicable generally to other property within the same Zoning classification.*

The location of the ADA apartment is at the rear of the building fronting on a courtyard, thus not visible from the public areas.

C. The purpose of the variance is not exclusively upon the desire for economic or other material gain by the applicant or owner.*

The provision of a handicapped apartment on the grade / accessible level with access to the building amenities and is new building stock that can serve handicapped residents of the community is welcome.

D. The proposed variance will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion in the public streets, or increase the danger of fire or endanger the public safety, or substantially diminish or impair property values within the neighborhood.*

Windows and a door facing the rear courtyard provides a second means of egress and provides the mandated 8% light and 4% fresh air requirements with a sprinkler fire protection system, improves the

CONDITIONS

The City of Whitewater Zoning Ordinance authorizes the Board of Zoning and Appeals to place conditions on approved variances. Please keep this in mind & supply ALL pertinent information.

Applicant Signature*

Date*

July 19th, 2024

AGREEMENT OF SERVICES

REIMBURSABLE BY THE PETITIONER/APPLICANT.

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission, Board of Zoning Appeals and/or Common Council. The submittal of a development application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. The City may apply the charges for these services to the Petitioner and/or property owner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to the Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the proposed application (Architectural Review, B.Z.A., Planning, Zoning Change):

Applicant Name*

the applicant/petitioner for

Sammy Prehauer

(Owner's Name)

Dated

Stonegate Bank/Bowen House LLC

July 19th, 2024

Phone #

Tax Key #(s)

262-352-9890 *262-352-9190*

OT-00070

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g. filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Whitewater, in the judgement of its staff, to obtain additional professional service(s) (e.g. engineering, surveying, planning, legal) than normally would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Date this*

day of *

Year

19th

July

2024

Signature of Applicant*

Date*

[Signature]

July 19th, 2024

Signature of Owner of Property

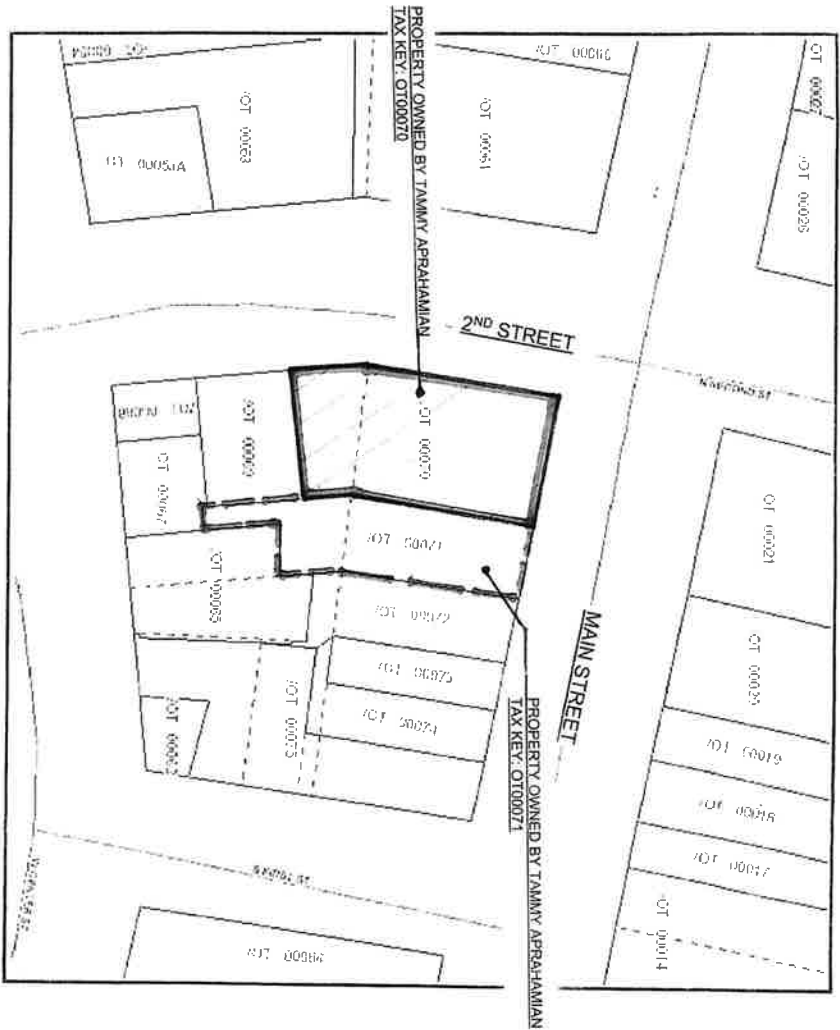
July 19th, 2024

[Signature]

APPLICATION FEES

Fee for Variance application-\$200.00

(to be completed by City Staff)



SITE PLAN

BOWERS HOUSE HOTEL

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI. 53190
 July 19th, 2024



Michael Peine
Architects
 Commercial - Industrial
 Design/Build Partnering
 4811 N. Ogden Ave. #200
 Whitefish Bay, WI 53191
 (262) 516-0831 Phone
 e-mail: mpeine@mpa.com

BOWERS HOUSE HOTEL
 Apartment Alteration

OWNERS: Greg Apprahamian

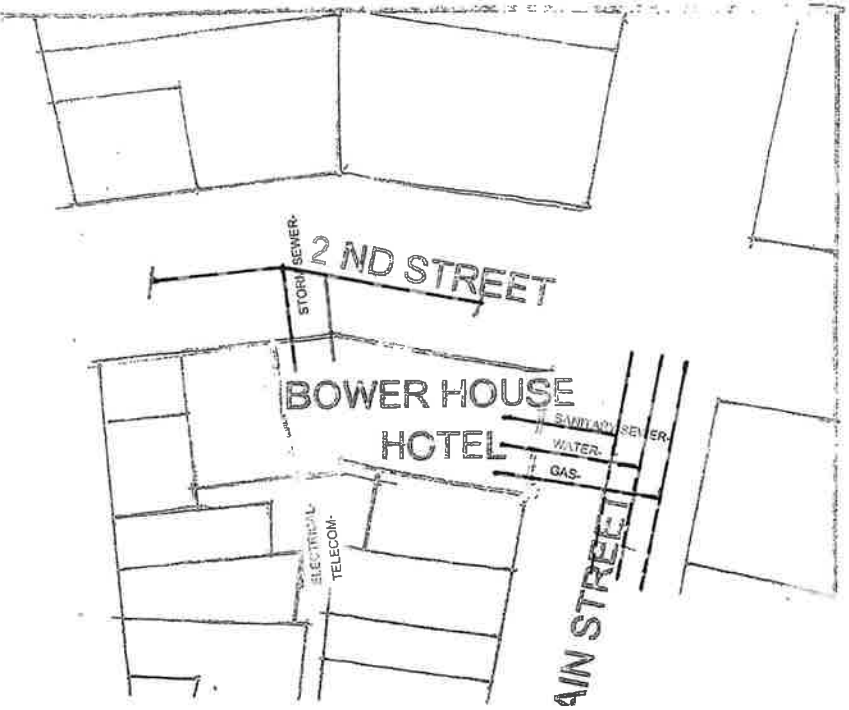
PROJECT ADDRESS:
 187 W. Main Street
 Whitewater, WI 53190

CONTRACTOR:

Design: Michael Peine Architects
 No. _____ Date: _____
 Project No. _____ Date: _____

General Notes:

Contractor to site visit all locations, lands and structures prior to starting the work. Any discrepancies or conditions should be reported to the General Contractor (GC) or Architect. All work shall be done in compliance with local codes, ordinances, rules and regulations.
 No work shall be started until all permits have been obtained for the building, engineering and electrical systems design jurisdiction.



UTILITY PLAN

BOWERS HOUSE HOTEL

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19th, 2024



Michael Peine Architects
 Commercial - Industrial
 Design/Build Partnering
 4417 N. Sherman Ave.
 Milwaukee, WI 53212
 (414) 333-1000 | mpa

PROJECT: BOWERS HOUSE HOTEL

BOWERS HOUSE HOTEL
 Apartment Alteration

OWNER: Greg Akshamhin

ARCHITECTS:

487 W. Main Street
 Whitewater, WI 53190

DATE: 07/19/24

PROJECT NO: 24-001

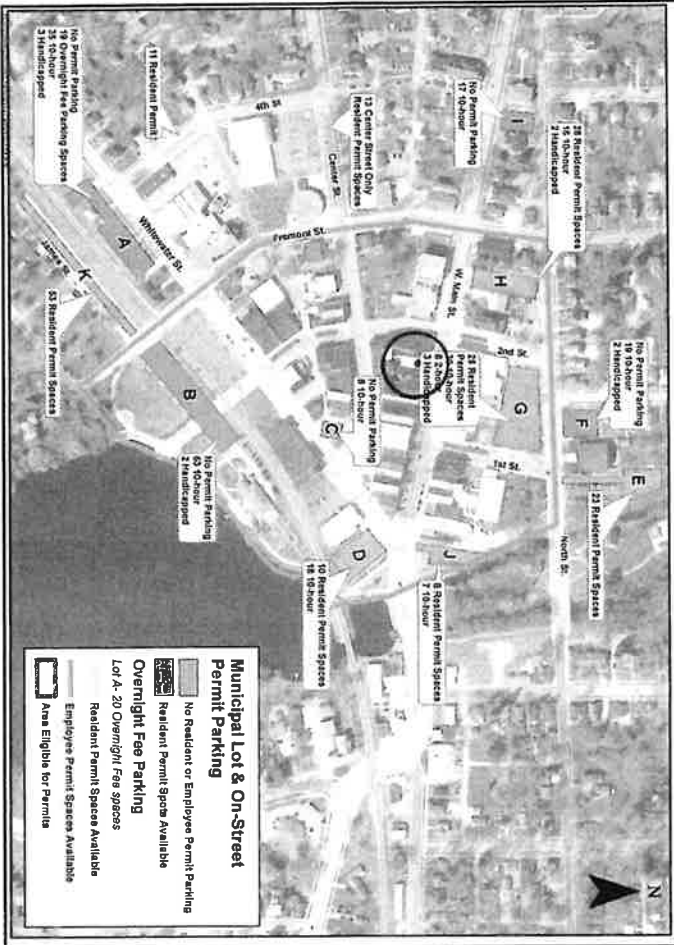
NO.	DESCRIPTION	DATE
1	Issue for Review	07/19/24

Disclaimer:
 This document is the property of Michael Peine Architects, Inc. and is intended for the use of the client only. It is not to be distributed, copied, or otherwise used without the written consent of Michael Peine Architects, Inc. The client agrees to hold Michael Peine Architects, Inc. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this document.

Scale: 1" = 10'-0"

DATE: 07/19/24
 DRAWN BY: [Name]
 CHECKED BY: [Name]

On-street and Municipal Lot Parking Downtown Whitewater



CITY PARKING MAP

BOWERS HOUSE HOTEL

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19th, 2024



Michael Peine Architects
 Commercial - Industrial
 Design/Build Partnering
 4817 N. Lowell Ave.
 Milwaukee, WI 53211
 (414) 565-5521 Fax: (414) 565-5522

email: info@peine@aol.com

BOWERS HOUSE HOTEL
 Apartment Alteration

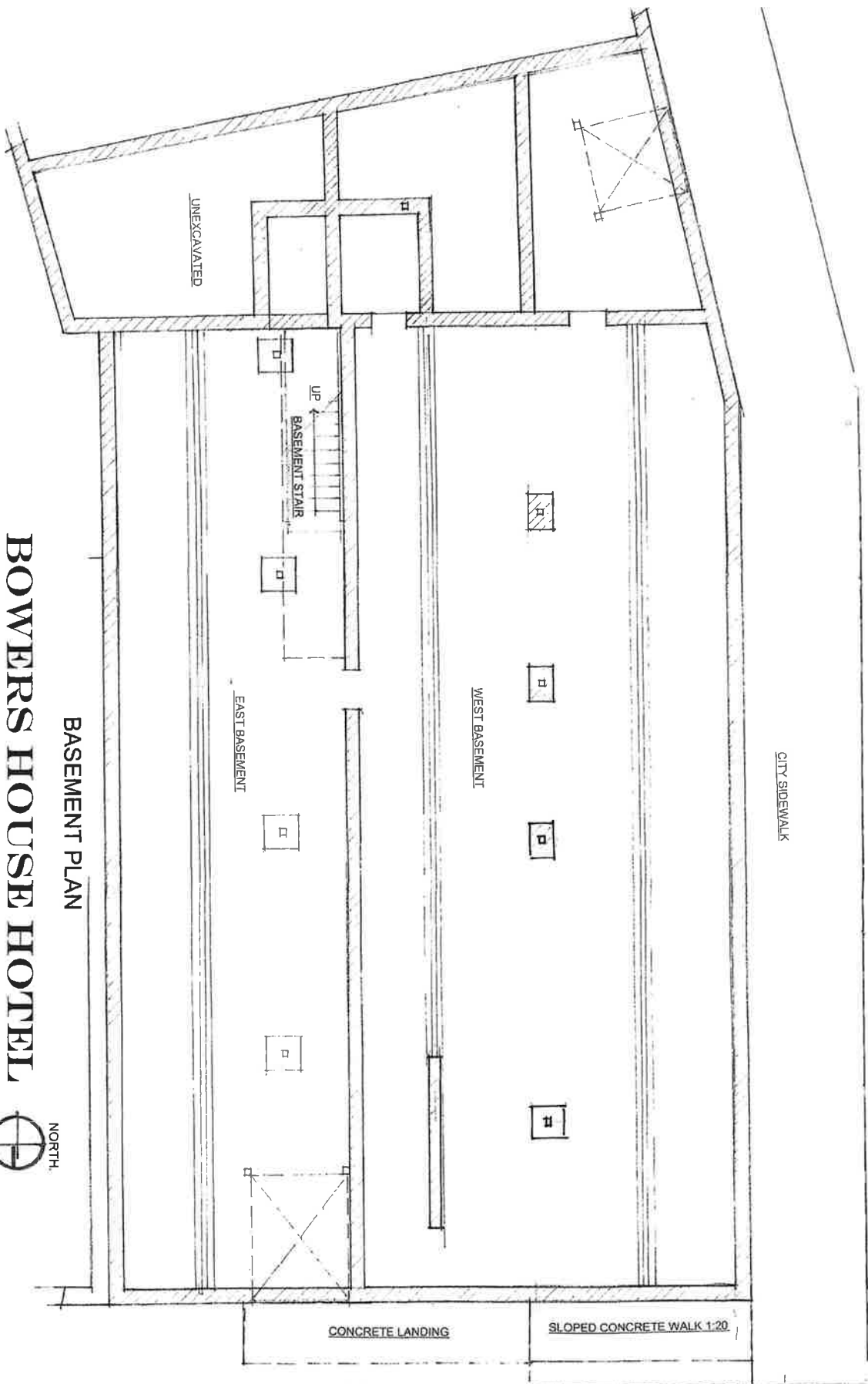
OWNER:
 Greg Apohanman

PROJECT ADDRESS:
 187 W Main Street
 Whitewater, WI 53190

CONTRACTOR:
 CONTACT:

Drawing Number	Scale	Date
No.	Description	Date

General Notes
 Contractor to field verify all dimensions, walls and foundation depths are correct and all work is to be done in accordance with all local codes, ordinances, rules and regulations.
 No work shall be executed until all plans have been approved by Job Building Inspector and all other agencies having jurisdiction.
 All work shall be done in conformance with local codes, ordinances, rules and regulations.

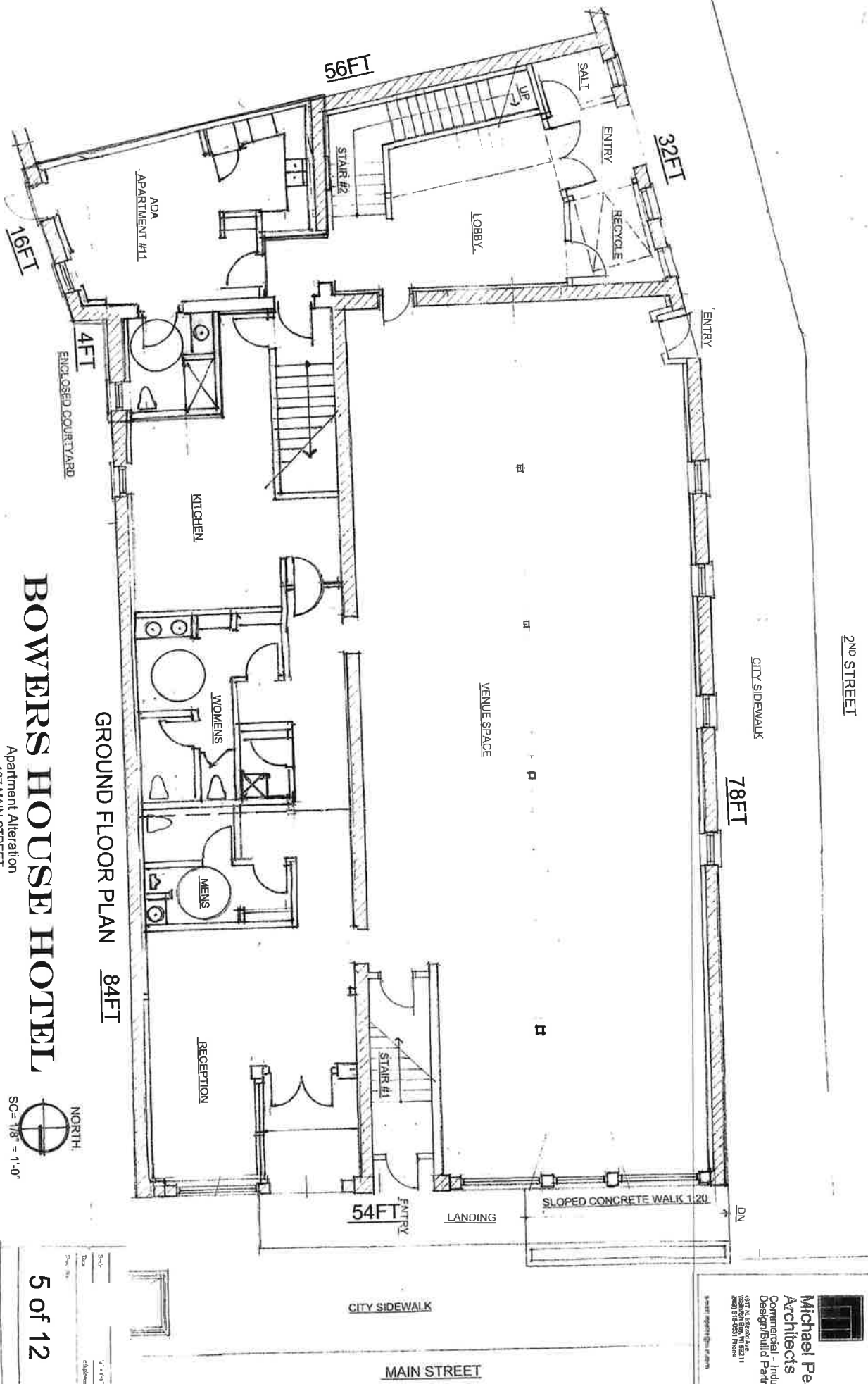


BOWERS HOUSE HOTEL

BASEMENT PLAN

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI. 53190
 July 19th, 2024





BOWERS HOUSE HOTEL

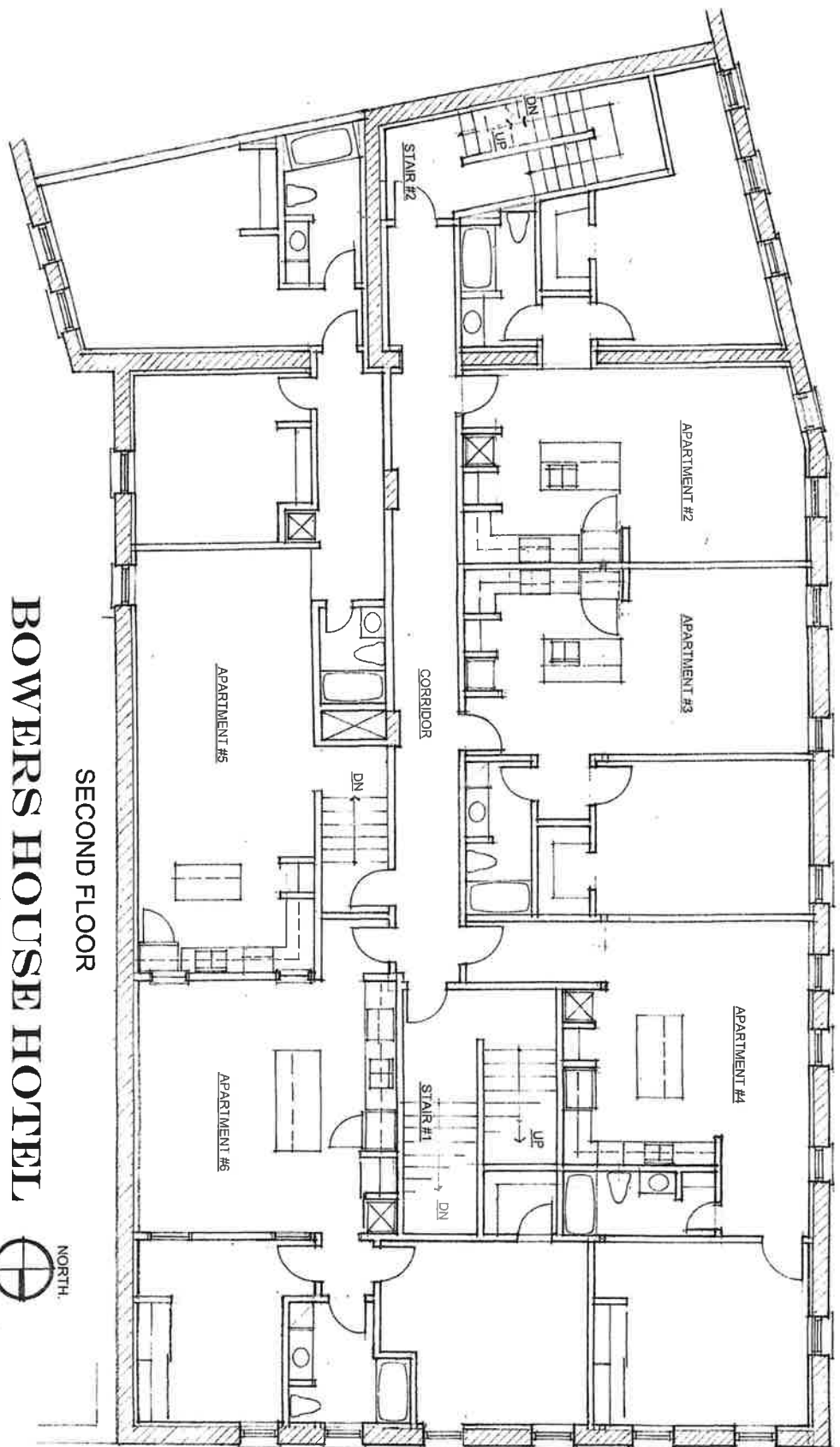
Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19th 2024



Scale	1/8" = 1'-0"
Date	
Drawn By	
Checked By	
Project No.	
Client Name	
Client Address	
Client Phone	
Client Email	



Michael Peine Architects
 Commercial - Industrial
 Design/Build Partnering
 4317 W. Belmont Ave.
 52826-1809 WI 53211
 (262) 375-0201
 www.mpeine.com



SECOND FLOOR

BOWERS HOUSE HOTEL

Apartment Alteration
187 MAIN STREET
WHITEWATER, WI, 53190
July 19th, 2024



Michael Peine Architects
Commercial - Industrial Design/Build Partnering

4812 N. Alameda Ave.
Milwaukee, WI 53211
www.michaelpeine.com
414.934.1234

Mpeine@aol.com

BOWERS HOUSE HOTEL
Apartment Alteration

OWNER:
TAMMY AND GREG APPRHAMIAN

PROJECT ADDRESS:
187 W. Main Street
Whitewater, WI 53190

CONTACT:
[Blank]

CONTRACT:
[Blank]

DATE:
[Blank]

DESIGNED BY:
[Blank]

DESCRIPTION:
[Blank]

DATE:
[Blank]

SCALE:
[Blank]

DATE:
[Blank]

SCALE:
[Blank]

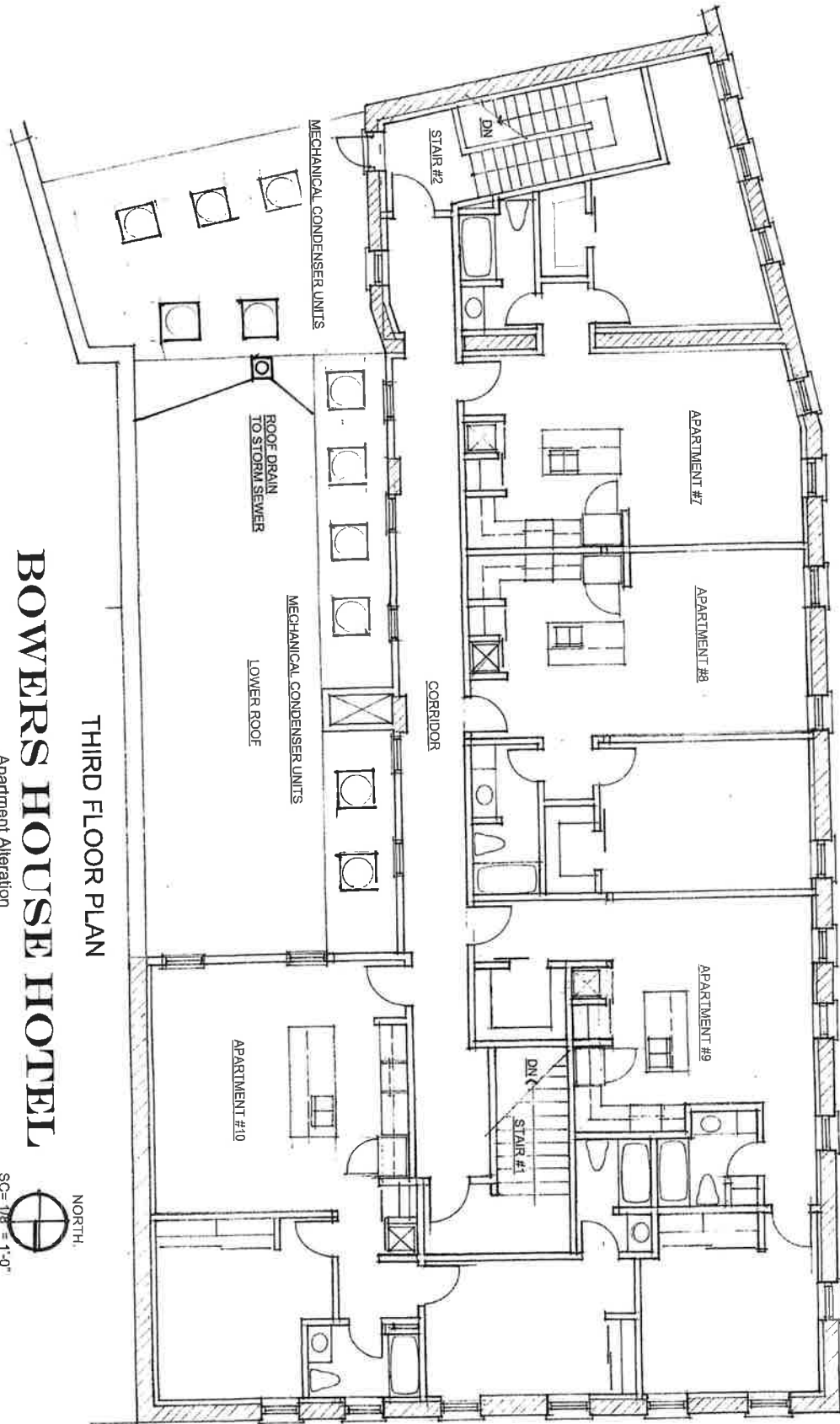
DATE:
[Blank]

SCALE:
[Blank]

DATE:
[Blank]

SCALE:
[Blank]

DATE:
[Blank]



THIRD FLOOR PLAN

BOWERS HOUSE HOTEL

NORTH

SC = 1/8" = 1'-0"

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19th, 2024

Michael Peine Architects
 Commercial - Industrial Design/Build Partnering
 400 N. Lincoln Hwy
 Milwaukee, WI 53211
 (414) 224-1100
 mpeine@peine.com

BOWERS HOUSE HOTEL
 Apartment Alteration
 OWNERS
 TAMMY AND GREG APPAHAKIAN
 PROJECT ADDRESS
 187 N. Main Street
 Whitewater, WI 53190

CONTRACTOR
 Contracting Services, Inc.
 1000 W. Wisconsin Ave.
 Wauwatosa, WI 53226

General Notes
 Contractor to hold utility of all mechanical, electric and plumbing work in existing building. All work shall be done in accordance with local codes, ordinances, rules and regulations.
 No work shall be started until final plans have been approved by the building inspector and all other agencies having jurisdiction.

Sheet No.	7 of 12
Scale	1/8" = 1'-0"
Date	July 19, 2024
Drawn By	Michael Peine
Checked By	Michael Peine
Project No.	2024-001



Michael Peine
Architects
Commercial - Industrial
Design/Build Partnering

517 E. Johnson Ave.
Jeffersonville, IN 47137
Phone: 765.733.3333

email: mpe@mpa.com

PROJECT:

BOWERS HOUSE HOTEL
Apartment Alteration

OWNER:

Greg Anshambula

PROJECT ADDRESS:

187 W. Main Street
WhiteWater, WI 53190

CONTRACTOR:

CONTRACT:

Drawing Issues Summary:

No.	Description	Date

General Note:

Contractor is held ready. All dimensions, load and other
particulars are shown on the drawings. Any discrepancies or omissions
shall be corrected by the contractor before construction begins.
Address: _____
All work shall be done in accordance with local codes,
ordinances, rules and regulations.
No work shall be started until all permits have been approved
by the building department and all other agencies having
jurisdiction.

Sheet:

Sheet Title:

Date:	1-1-24
Drawn By:	_____
Checked By:	_____
Issue No:	_____

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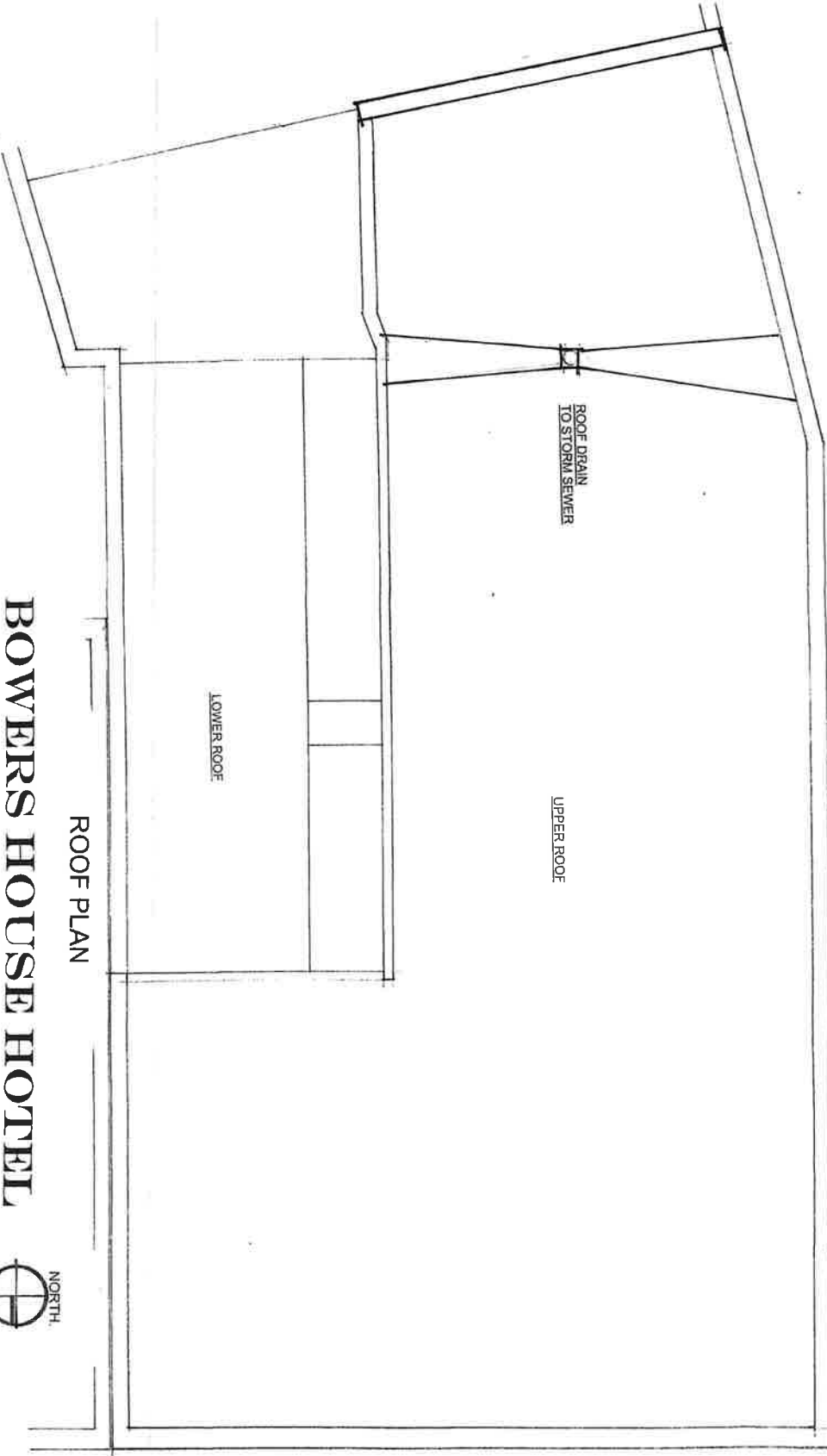


SC = 1/8" = 1'-0"

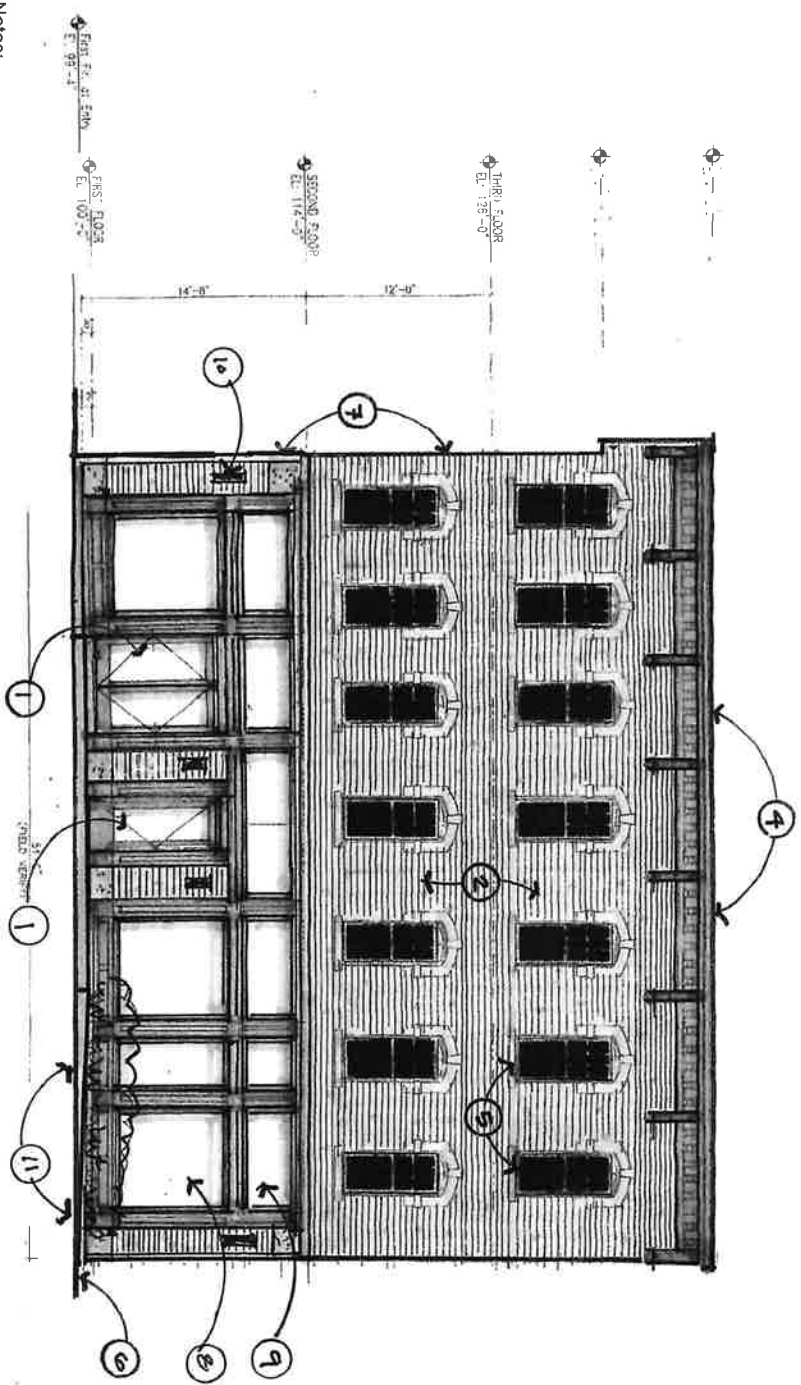
BOWERS HOUSE HOTEL

Apartment Alteration
187 MAIN STREET
WHITEWATER, WI. 53190
July 19th, 2024

ROOF PLAN



- Notes:**
1. NEW SHOP DOORS AND GLAZINGS
 2. EXISTING BRICK AND BRICK DETAILING WITH STONE SILLS
 3. TO REMAIN
 4. EXISTING STONE WALL WITH ARCHED BRICK LINTELS
 5. EXISTING STONE WALLS TO REMAIN
 6. EXISTING DECAPITIVE CORNICE TO BE REPAIRED AND REPAINTED
 7. NEW WINDOWS IN EXISTING MASONRY OPENINGS WITH NEW PREFINISHED METAL SILL FLASHING AND REPAINTED EXISTING WOOD TRIM
 8. EXISTING CITY CONCRETE SIDEWALK PAVING AT GRADE
 9. ADJACENT BUILDING
 10. NEW BRONZE BREAKMETAL STOREFRONT WINDOWS AND TRIM
 11. NEW SPANDREL GLASS / FIELD FOR FUTURE SIGNAGE
 12. NEW CARRIAGE LIGHTS
 13. ADA RAMP
 14. LOVE WHITWATER - GRAPHIC
 15. NEW BLACK CORRUGATED METAL SIDING
 16. BREAKMETAL LOUVERS



NORTH ELEVATION
LOWE HOUSE HOTEL

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 September 12th, 2022

Michael Paine Architects
 Commercial - Industrial Design/Build Partnering
 4517 N. Street Park
 WAUKESHA, WI 53186
 262.791.5291 | mpa@mpa.com

BOWERS HOUSE HOTEL
 Apartment Alteration
 CLIENT: Greg Abrahamson
 PROJECT ADDRESS: 187 W. Main Street
 Whitewater, WI 53190

NO.	REVISIONS	DATE

Drawing Lower Schedule

CONTENTS

NO.	REVISIONS	DATE

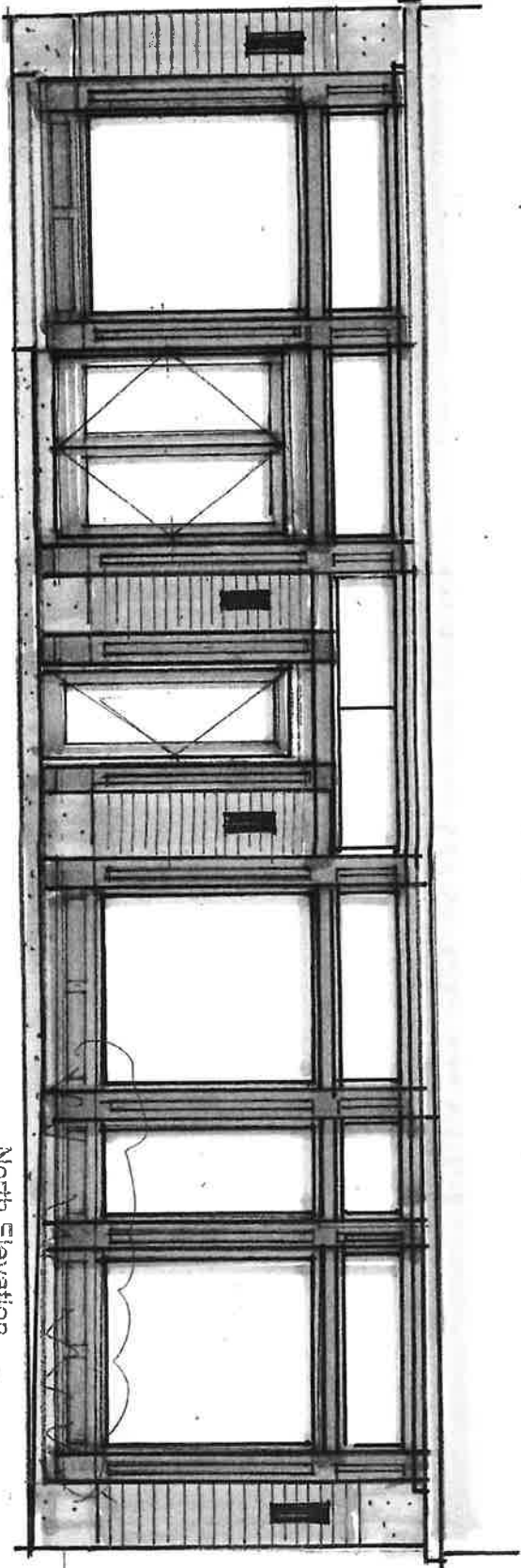
General Notes

Contractor is SDA, verify all dimensions, materials and finishes prior to starting the work. Any discrepancies or conditions noticed reported to the General Contractor and/or Architect immediately upon discovery.

ADA and SDA to verify compliance with International Building Code and SDA to verify compliance with Wisconsin Accessibility Code.

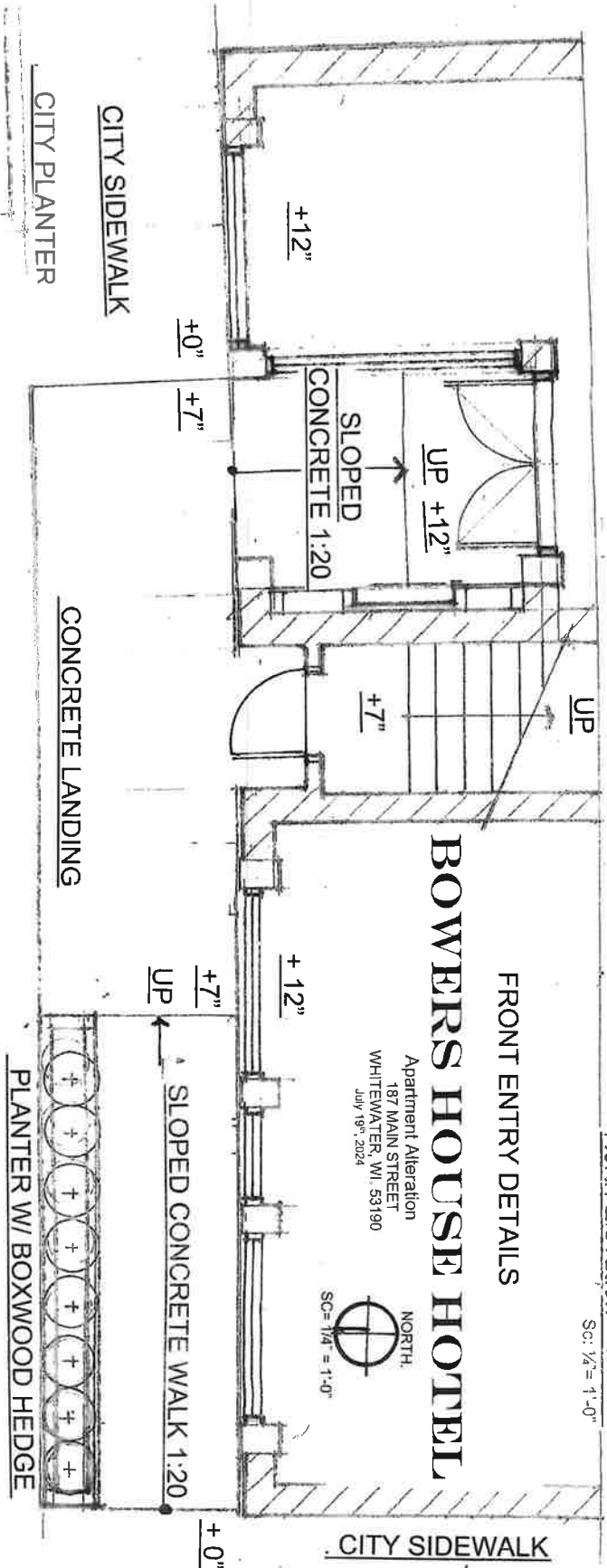
Work shall be done in a manner that does not create a safety hazard to the public or the community.

Work shall be done in a manner that does not create a safety hazard to the public or the community.



North Elevation

Sc: 1/4" = 1'-0"



FRONT ENTRY DETAILS

BOWERS HOUSE HOTEL

Apartment Alteration
187 MAIN STREET
WHITEWATER, WI 53190
July 19th, 2024



CITY SIDEWALK
CITY PLANTER

CONCRETE LANDING

PLANTER W/ BOXWOOD HEDGE

CITY SIDEWALK



Michael Peine Architects
Commercial - Industrial
Design/Build Partnering
4617 N. University Ave.
Suite 1
Green Bay, WI 54303
Phone 920.832.4000
www.mpeine.com
e-mail: mpeine@peine.com

BOWERS HOUSE HOTEL
Apartment Alteration

OWNER:
Oreg Apartments

PROJECT ADDRESS:
187 W. Main Street
Whitewater, WI 53190

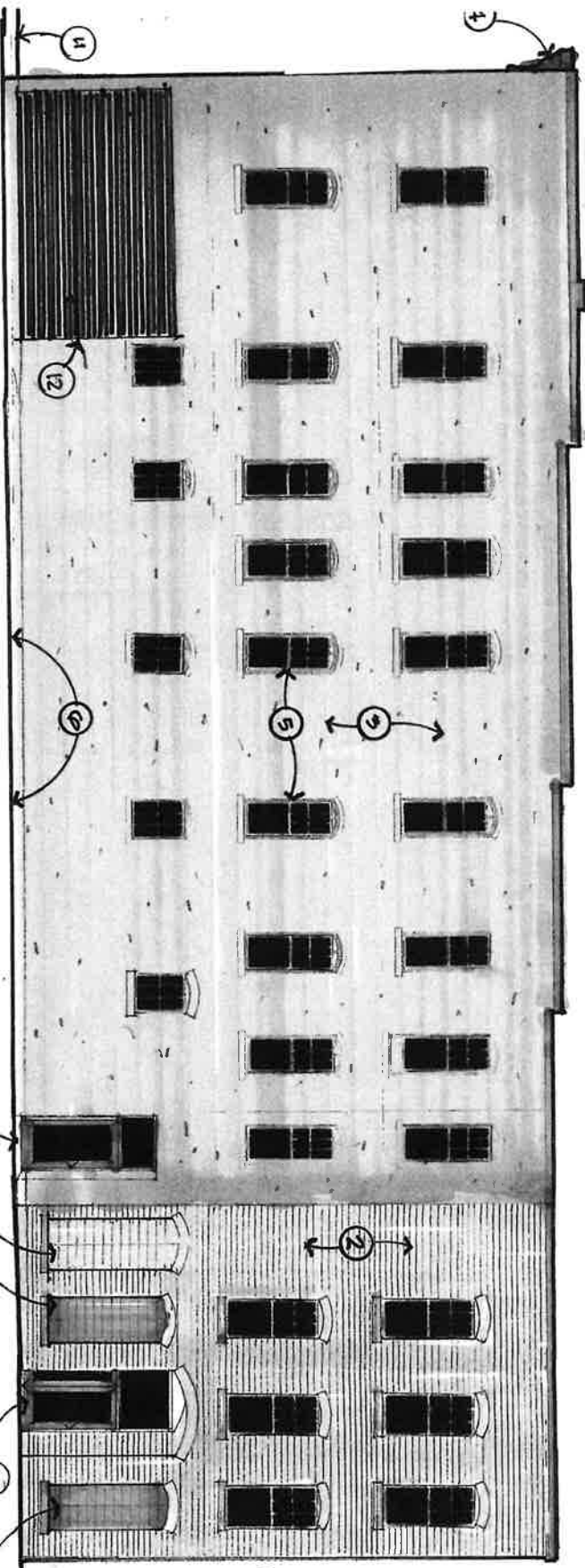
CONTRACTOR:
CONTRACT

Project Issues & Schedule

No.	Description	Date

General Notes:
Contractor shall verify all dimensions, level, and finish prior to starting the work. Any discrepancies or conditions shall be reported to the Owner/Contractor call /7
All work shall be done in accordance with local codes. The contractor shall be responsible for obtaining all necessary permits. Work shall be started and shall have been completed within the specified time frame. The contractor shall be responsible for all other general notes and specifications.

- Notes:**
1. NEW SHOP DOORS AND GLAZING
 2. EXISTING BRICK AND BRICK DETAILING WITH STONE SILLS TO REMAIN
 3. EXISTING STONE WALL WITH ARCHED BRICK LINTELS AND STONE SILLS TO REMAIN
 4. EXISTING DECORATIVE CORNICHE TO BE REPAIRED AND REPAINTED
 5. NEW WINDOWS IN EXISTING MASONRY OPENINGS WITH NEW PREFINISHED METAL SILL FLASHING AND REPAINTED EXISTING WOOD TRIM
 6. EXISTING CITY CONCRETE SIDEWALK PAVING AT GRADE
 7. ADJACENT BUILDING
 8. NEW BRONZE BREAKMETAL STOREFRONT WINDOWS AND TRIM
 9. NEW SPANDREL GLASS / FIELD FOR FUTURE SIGNAGE
 10. NEW CARRIAGE LIGHTS
 11. ADA RAMP
 12. NEW 6" PLUMWATER - GRAPHIC
 13. NEW BLACK CORRUGATED METAL SIDING
 14. BREAKMETAL LOUVERS



BOWERS HOUSE HOTEL

WEST ELEVATION

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19th, 2024

Michael Peine Architects
 Commercial, Industrial
 Design/Build Partnership

4817 E. Grand Ave. #110
 Milwaukee, WI 53212
 (414) 325-1101 / Fax (414) 325-1102
 e-mail: mpeine@mc-a.com

BOWERS HOUSE HO - RL
 Apartment Alteration

Owner: **Org. Applicant**

PROJECT ADDRESS:
 Org. W. Main Street
 Whitewater, WI 53190

CONTRACTOR:
 ORGANIZATION:

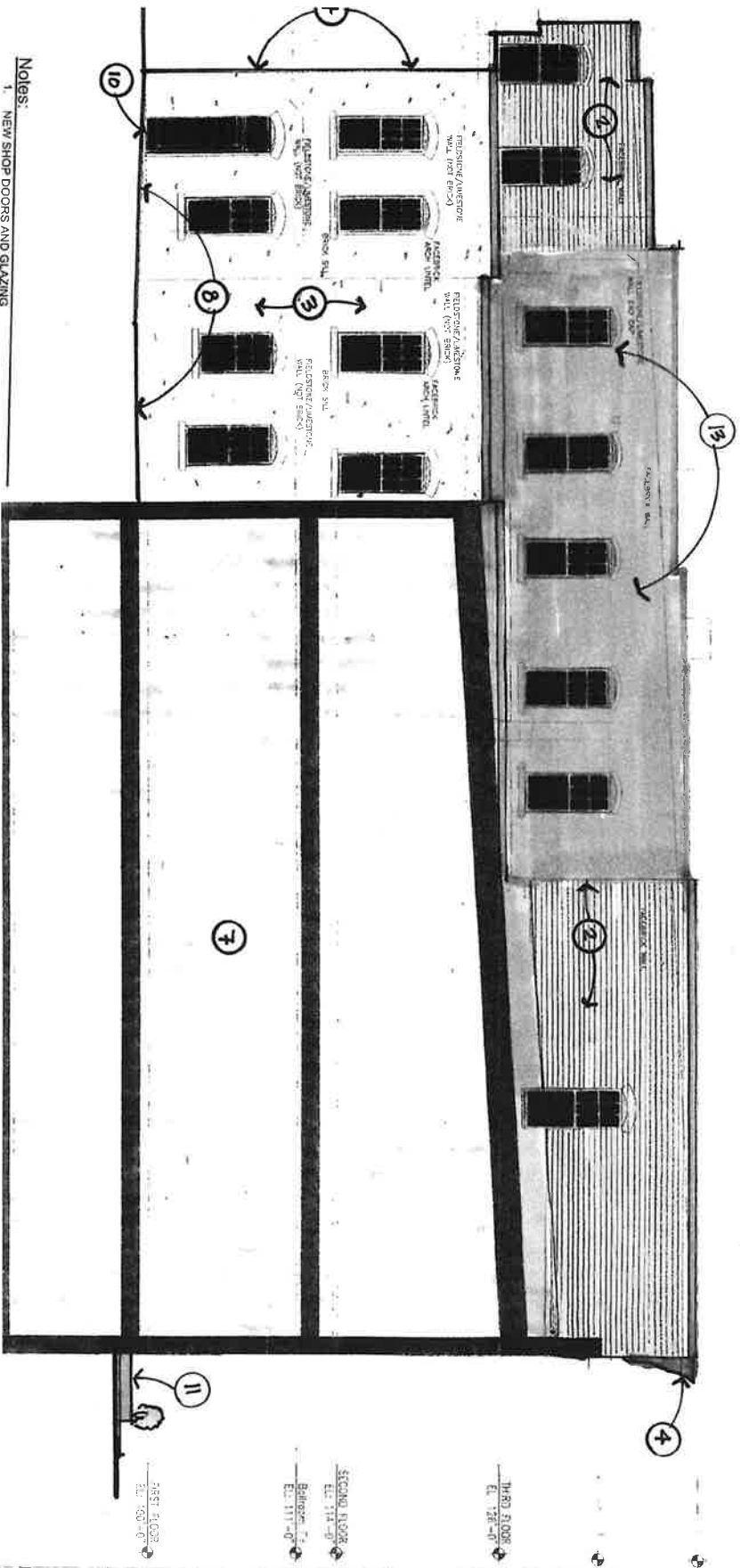
Drawn	Revised	Description	Date

Client Notes:
 Contractor to build out front of Bowers House Hotel and Bowers House Hotel. Any alterations or construction should be in accordance with the historic preservation ordinance. All work shall be done in accordance with local codes, ordinances, rules and regulations.

No work shall be started until all plans have been approved by the building department and all other agencies having jurisdiction.

Scale: _____
 Date: _____
 Sheet No.: _____

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- Notes:**
1. NEW SHOP DOORS AND GLAZING
 2. EXISTING BRICK AND BRICK DETAILING WITH STONE SILLS TO REMAIN
 3. EXISTING STONE WALL WITH ARCHED BRICK LINTELS AND STONE SILLS TO REMAIN
 4. EXISTING DECORATIVE CORNICE TO BE REPAIRED AND REPAINTED
 5. NEW PAINTED MASONRY OPENINGS WITH NEW FINISHED METAL SILL FLASHING AND REPAINTED EXISTING CITY CONCRETE SIDEWALK PAVING AT GRADE
 6. ADJACENT BUILDING
 7. NEW BRONZE BREWMETAL STOREFRONT WINDOWS AND TRIM
 8. NEW SPANDREL GLASS /FIELD FOR FUTURE SIGNS
 9. NEW CARRIAGE LIGHTS
 10. ADA RAMP
 11. LOVE WHITWATER - GRAPHIC BREWMETAL LOUVERS
 12. NEW BLACK CORRUGATED METAL SIDING
 13. BREWMETAL LOUVERS
 - 14.

BOWERS HOUSE HOTEL

EAST ELEVATION

Apartment Alteration
 187 MAIN STREET
 WHITEWATER, WI, 53190
 July 19, 2024

EXISTING BUILDING

Michael Peine Architects
 Commercial - Industrial Design/Build Partnering
 457 N. Main Street
 Whitewater, WI 53190
 (920) 516-0551 Phone
 email: mpeine@peine.com

PROJECT:
 BOWERS HOUSE HOTEL
 Apartment Alteration

OWNER:
 Greg Applehman

PROJECT ADDRESS:
 187 W. Main Street
 Whitewater, WI 53190

CONTRACTOR:
 CONTACT:
 Type: General Contractor
 Name: [Redacted]
 Date: [Redacted]

General Notes:
 Contractor to follow City of Whitewater Local Ordinance 18.01 and Wisconsin Building Code. Any changes to the original design must be approved by the City of Whitewater and the Architect.
 All work shall be done in accordance with the City of Whitewater Local Ordinance 18.01 and Wisconsin Building Code.
 The work shall be done in accordance with the City of Whitewater Local Ordinance 18.01 and Wisconsin Building Code.
 All work shall be done in accordance with the City of Whitewater Local Ordinance 18.01 and Wisconsin Building Code.