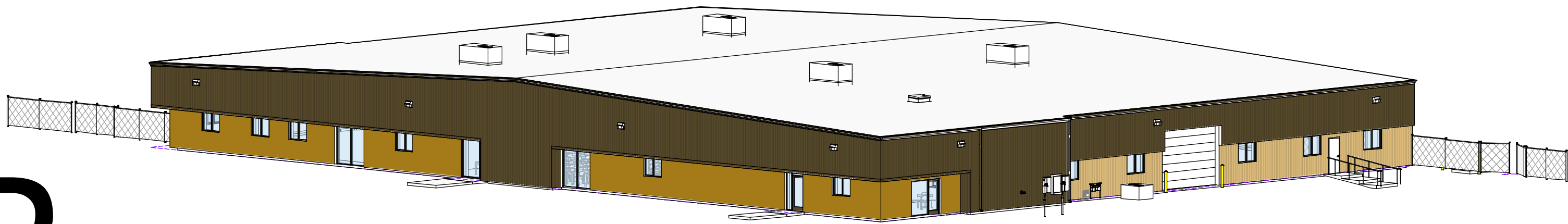


A NEW BUILD-OUT FOR:

MARTIN BROWER

411 N. NEWCOMB ST. WHITEWATER, WI 53190



MATERIAL INDEX-PLANS,SECTIONS

	EARTH		RIGID INSULATION		ROUGH LUMBER/ BLOCKING
	COMPACTED FILL		BATT INSULATION		PLYWOOD
	GRAVEL FILL		DRYWALL		FINISHED LUMBER
	POURED CONCRETE/ PRECAST		STEEL		EXISTING WALL TO BE REMOVED
	CONCRETE BLOCK		SPRAY FOAM INSULATION		EXISTING WALL TO REMAIN
	FACE BRICK		BITUMINOUS PAVING		CONSTRUCT NEW WALL

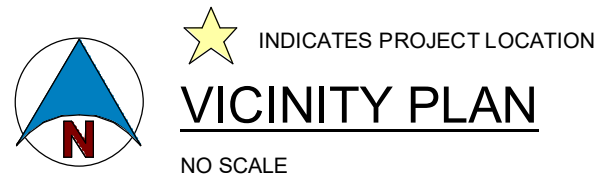
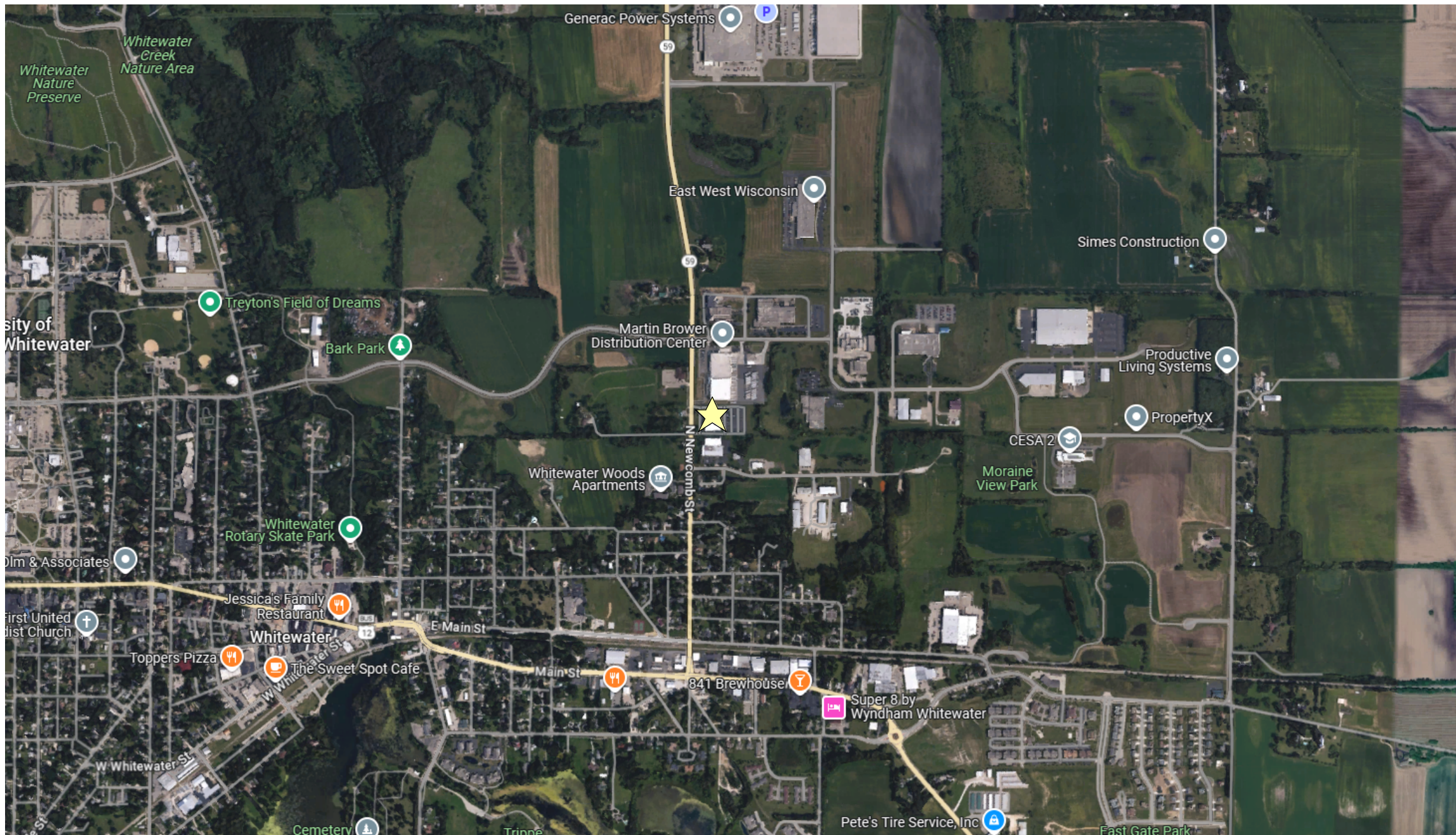
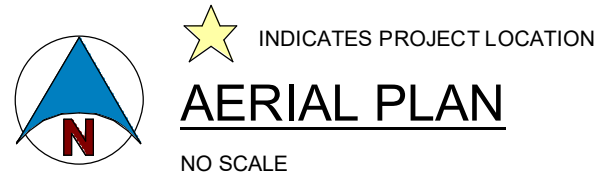
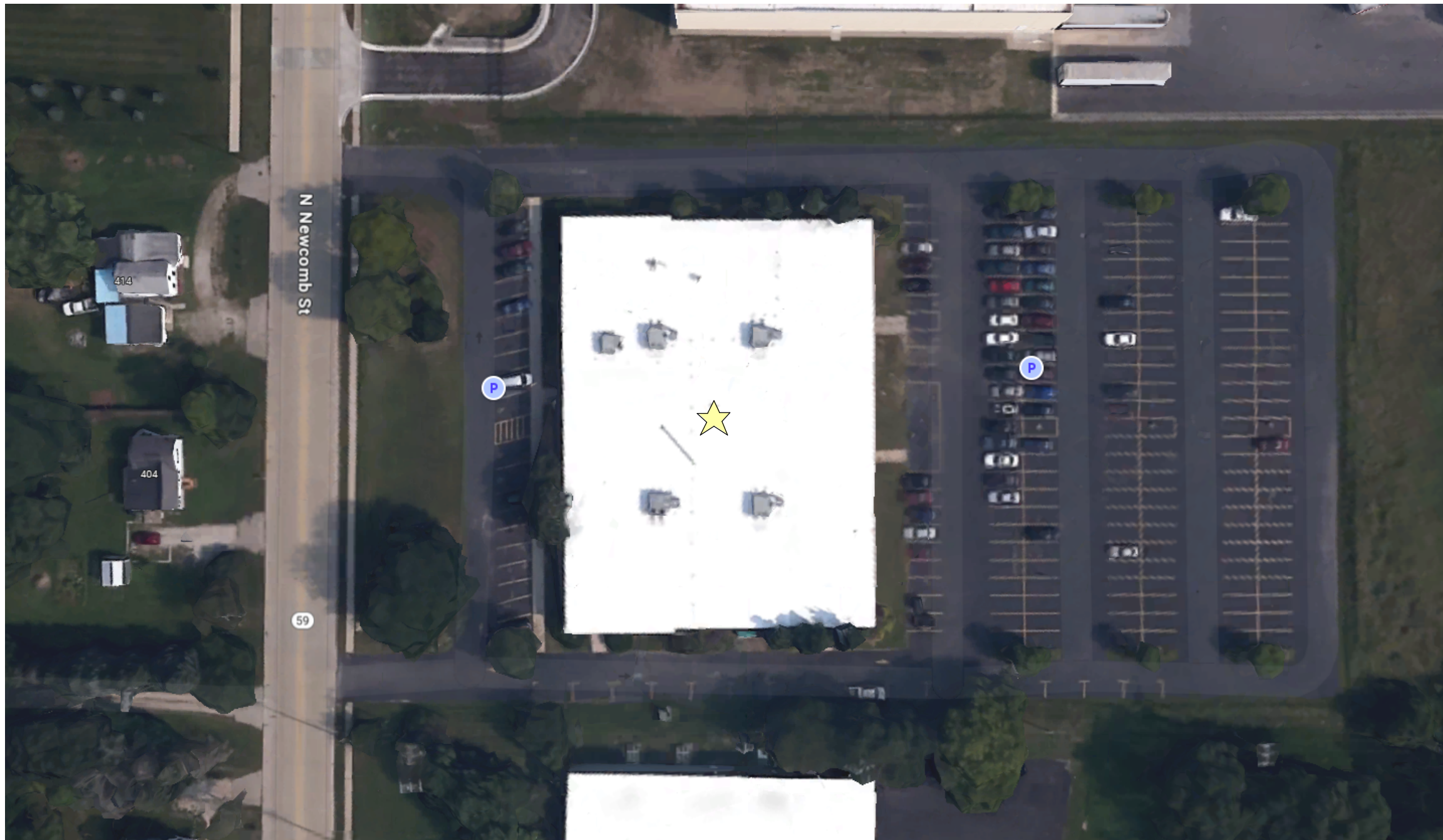
REFERENCE SYMBOLS

DRAWING SYMBOLS

<u>SECTION CUT SYMBOL (WALL SECTIONS)</u>			DOOR TAG
			REVISION NUMBER
			GLAZING TAG
<u>PLAN DETAIL / ENLARGED PLAN SYMBOL</u>			COLUMN LINE DESIGNATION- NEW
			WALL TYPE
			STAIRWAY DIRECTION INDICATION
<u>DETAIL CUT SYMBOL</u>			KEYNOTE MARK - ACCESSORIES
			KEYNOTE MARK - DEMOLITION NOTES
			KEYNOTE MARK - PLAN NOTES
	ELEVATION MARK - NEW		SPOT ELEVATION MARKER
	ELEVATION MARK - EXISTING		

PROJECT LOCATION

411 N. NEWCOMB STREET
WHITEWATER, WISCONSIN 53190



SHEET INDEX

GENERAL	
C-S	COVER SHEET
CIVIL	
C001	ABBREVIATIONS & GENERAL NOTES
C002	SITE DETAILS
C003	CONCRETE PAVEMENT DETAILS
C100	EXISTING SITE CONDITIONS
C101	SITE DEMO PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	EROSION CONTROL & LANDSCAPING PLAN

ARCHITECTURAL	
D-1.1	FIRST FLOOR DEMOLITION PLAN
A-1.1	FIRST FLOOR PLAN
A-2.1	ROOM FINISH SCHEDULE, INTERIOR WALL TYPES, & TYPICAL WALL DETAILS
A-2.2	ADA GUIDELINES
A-2.3	ADA GUIDELINES
A-4.1	EXTERIOR ELEVATIONS
A-4.2	EXTERIOR ELEVATIONS
A-6.1	WALL SECTIONS
A-8.1	ROOF PLAN
A-9.1	FIRST FLOOR REFLECTED CEILING PLAN

CONSULTANTS

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CIVIL
MACH IV ENGINEERING
2260 SALSCHIEDER COURT
GREEN BAY, WI 54313
PH (920) 569-5765
CONTACT: JOEL EHRFURTH, PE

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	V-B
OCCUPANCY CLASSIFICATION	STORAGE (S-1, MAIN OCCUPANCY), BUSINESS (B)
LOCAL ZONING AUTHORITY	CITY OF WHITEWATER
BUILDING SPRINKLED	YES, EXIST. TO BE MODIFIED
BUILDING AREA:	
FIRST FLOOR:	30,428 S.F. (NO CHANGE TO EXIST.)
TOTAL BUILDING SQ. FT.:	30,428 S.F. (NO CHANGE TO EXIST.)



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A NEW BUILD-OUT FOR:
MARTIN BROWER

411 N. NEWCOMB ST. WHITEWATER, WI 53190

NOT FOR
CONSTRUCTION

REVISION HISTORY		
NO.	DESCRIPTION	DATE

date: 02-06-2025
job: 25-002
d. by: DAH

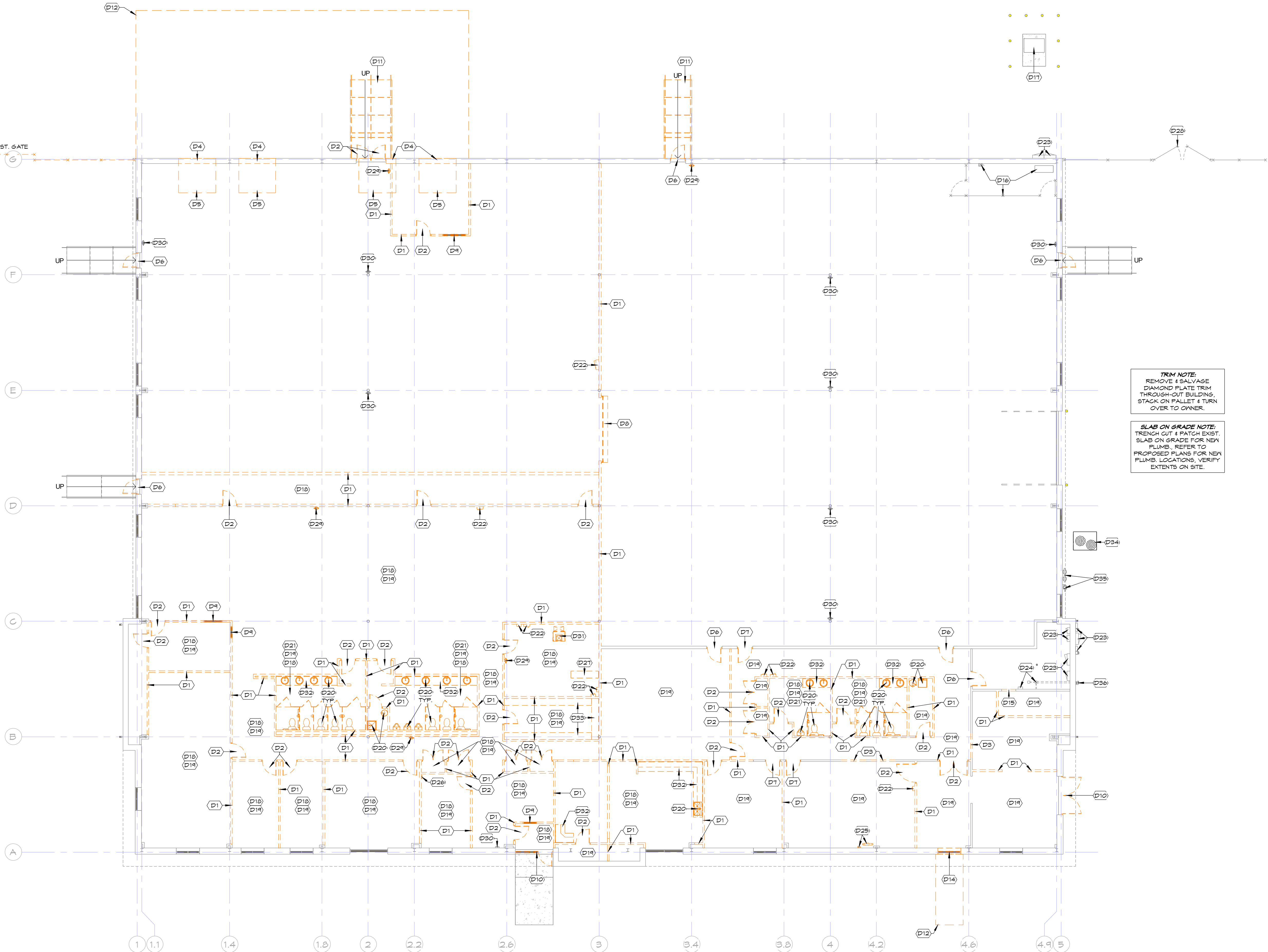
C-S

CITY SITE REVIEW - NOT FOR CONST.

GENERAL PLAN DEMOLITION NOTES:

- ALL CONTRACTORS SHALL VISIT THE SITE AND FIELD VERIFY THE LOCATION OF ALL WALLS, DOORS, LIGHTS, DUCTS, PLUMBING FIXTURES, ETC. TO BE REMOVED.
- ALL MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE REMOVED FROM THE SITE IN A TIMELY MANNER UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING ROOM FINISHES AS REQUIRED TO ALLOW FOR APPLICATION OF NEW MATERIALS WHERE INDICATED ON THE ROOM FINISH SCHEDULE.
- PATCH OPENINGS IN FLOORS, WALLS, AND ROOF WHERE MECHANICAL EQUIPMENT, PLUMBING DUCTS, PIPES, CONDUITS, ETC. ARE REMOVED. MATCH ALL EXISTING FINISHES.
- GENERAL CONTRACTOR TO PROVIDE 6' HIGH CHAIN-LINK FENCING AROUND CONSTRUCTION LIMITS AND STAGING AREAS. VERIFY BUSINESS ACCESSIBILITY TO OTHER OPERATIONAL BUILDINGS IV/ OWNER.
- PATCH ANY AREAS OF LAWN, PAVING, OR CONCRETE PAVING AND/OR CONCRETE CURBS DISTURBED BY CONSTRUCTION AND MATERIAL DELIVERY.
- ALL SITE UTILITIES MUST BE FIELD VERIFIED PRIOR TO DEMOLITION WORK.
- PROVIDE PROTECTION FOR ANY EXISTING CONSTRUCTION OPEN TO THE ELEMENTS DUE TO DEMOLITION.
- PATCHING OF MASONARY TO BE TOOTHED IN WHEN PATCHING NEW AND EXISTING.
- PRIOR TO DEMOLITION, VERIFY THAT ALL OWNER ITEMS HAVE BEEN REMOVED.
- REFER TO PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.

KEYED DEMO PLAN NOTES	
D1	REMOVE & DISPOSE OF EXISTING WALL TO ALLOW FOR NEW CONSTRUCTION. ALL EXISTING M.E.P. TO BE DISCONNECTED AND CAPPED AS REQUIRED FOR WALL TO BE REMOVED.
D2	REMOVE EXISTING DOOR AND FRAME TO ALLOW FOR NEW CONSTRUCTION.
D3	DEMO PORTION OF EXISTING WALL AS NEEDED FOR NEW DOOR. PATCH EXISTING WALL AS NEEDED FROM DEMO WORK. REFER TO FLOOR PLAN & DOOR SCHEDULE FOR NEW DOOR INFO.
D4	DEMO PORTION OF EXISTING EXTERIOR WALL FOR NEW OVERHEAD LOADING DOCK DOOR. PATCH/MATCH WALL AS REQUIRED FROM DEMO WORK. PROVIDE NEW WALL FRAMING AS NEEDED. VERIFY EXACT EXTENTS ON SITE. SEE NEW FLOOR PLANS FOR MORE INFO.
D5	REMOVE & DISPOSE OF EXISTING CONCRETE FLOOR AS NEEDED FOR NEW HYDRAULIC DOCK LEVELER. VERIFY EXACT EXTENTS ON SITE. SEE NEW FLOOR PLANS FOR MORE INFO.
D6	REMOVE EXISTING DOOR/FRAME & REPLACE WITH NEW IN EXISTING ROUGH OPENING. SEE FLOOR PLAN & DOOR SCHEDULE FOR NEW DOOR INFO.
D7	REMOVE EXISTING DOOR/FRAME & INFILL WITH NEW WALL. NEW WALL TO MATCH EXISTING WALL CONSTRUCTION. ADD & FINISH NEW GYP. BOARD AS REQUIRED TO MATCH NEW ROOM FINISHES. REFER TO ROOM FINISH SCHEDULE FOR FINAL FINISHES.
D8	REMOVE & DISPOSE EXISTING OVERHEAD COILING DOOR FOR NEW CONSTRUCTION.
D9	REMOVE EXISTING WINDOW AND FRAME TO ALLOW FOR NEW CONSTRUCTION.
D10	DEMO EXISTING DOOR & FRAME SYSTEM & REPLACE WITH NEW STORE-FRONT SYSTEM IN EXISTING ROUGH OPENING. SEE PROPOSED FLOOR PLANS FOR NEW CONSTRUCTION INFO.
D11	DEMO EXISTING CONCRETE STAIRS & GUARDRAIL AS NEEDED FOR NEW CONSTRUCTION.
D12	REMOVE & DISPOSE OF EXISTING LANDSCAPING & FILL AS NEEDED FOR NEW CONSTRUCTION. PREPARE FOR NEW CONCRETE DOCK APRON & RETAINING WALLS. VERIFY WITH CIVIL DRAWINGS.
D13	REMOVE & SALVAGE EXISTING CHAINLINK FENCE/GATE & RE-LOCATE TO FRONT OF THE BUILDING. REFER TO PROPOSED SITE & FLOOR PLANS FOR MORE INFO.
D14	DEMO EXISTING WINDOW & PORTION OF EXTERIOR WALL BELOW FOR NEW STORE-FRONT ENTRY DOOR. SEE PROPOSED PLANS & ELEVATIONS FOR MORE INFO. NEW STORE-FRONT DOOR TO FIT INTO WIDTH OF EXISTING ROUGH OPENING. VERIFY CONDITIONS ON SITE.
D15	INFILL EXISTING WALL OPENING WITH NEW WALL. MATCH WALL CONSTRUCTION ON SITE.
D16	EXISTING CHAIN-LINK FENCE AT ELECTRICAL AREA TO REMAIN. ALL PANELS, SWITCHES, & CONDUIT TO REMAIN EXISTING.
D17	EXISTING TRANSFORMER & BOLLARDS TO REMAIN.
D18	REMOVE AND DISPOSE OF EXISTING FLOORING. BASE AND ADHESIVES/MORTAR. CLEAN FLOOR TO BARE CONCRETE TO ALLOW FOR NEW FLOORING INSTALLATION.
D19	REMOVE AND DISPOSE OF EXISTING CEILING, INCLUDING LIGHTING, EXT LIGHTS, HVAC, & FIRE SUPPRESSION SPRINKLERS AS REQUIRED FOR NEW CONSTRUCTION. CAP ALL M.E.P. ITEMS AS REQUIRED.
D20	REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE & PIPING TO BELOW CONCRETE FLOOR. CAP AS REQUIRED. PATCH FLOOR AS NEEDED.
D21	REMOVE & DISPOSE OF ALL EXISTING TOILET ROOM FINISHES, ACCESSORIES, GRAB BARS, & MIRROR(S) AS REQUIRED.
D22	REMOVE & RE-LOCATE(IF NEEDED) EXISTING ELECTRICAL PANEL. CONDUIT, & WIRING AS NEEDED FOR NEW CONSTRUCTION. CAP ELECTRICAL AS REQUIRED.
D23	EXISTING ELECTRICAL PANEL. METER, CONDUIT, &/OR WIRING TO REMAIN.
D24	EXISTING FIRE RISER SYSTEM TO REMAIN.
D25	DEMO EXISTING FIRE RISER SYSTEM AS NEEDED FOR NEW CONSTRUCTION. CAP WATER LINES AS REQUIRED.
D26	DEMO EXISTING I.T. PANEL, CONDUIT, & WIRING AS NEEDED FOR NEW CONSTRUCTION. CAP LINES AS REQUIRED.
D27	REMOVE & DISPOSE EXISTING I.T. RACK AS NEEDED FOR NEW CONSTRUCTION.
D28	EXISTING CHAIN-LINK FENCE & GATE TO REMAIN.
D29	REMOVE & SALVAGE EXISTING FIRE EXTINGUISHER. USE FOR NEW INSTALL. IF ACCEPTABLE PER CODE. VERIFY WITH FIRE INSPECTOR. SEE LIFE SAFETY PLAN FOR NEW LOCATIONS.
D30	EXISTING FIRE EXTINGUISHER TO REMAIN IF ALLOWED PER CODE. VERIFY WITH FIRE INSPECTOR. SEE LIFE SAFETY PLANS FOR EXACT LOCATIONS.
D31	DEMO EXISTING FURNACE & DUCT WORK AS NEEDED FOR NEW CONSTRUCTION. CAP HVAC LINES AS REQUIRED.
D32	REMOVE & DISPOSE OF EXISTING CASEWORK AND/OR COUNTER-TOPS AS REQUIRED FOR NEW CONSTRUCTION.
D33	REMOVE & DISPOSE OF EXISTING SHELVING FOR NEW CONSTRUCTION.
D34	EXISTING MECHANICAL UNIT TO REMAIN.
D35	EXISTING GAS METERS TO REMAIN.
D36	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.



1
D-1.1

FIRST FLOOR DEMO PLAN

3/32" = 1'-0"



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d. by: DAH

D-1.1

CITY SITE REVIEW - NOT FOR CONST.

GENERAL FLOOR PLAN NOTES:

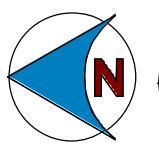
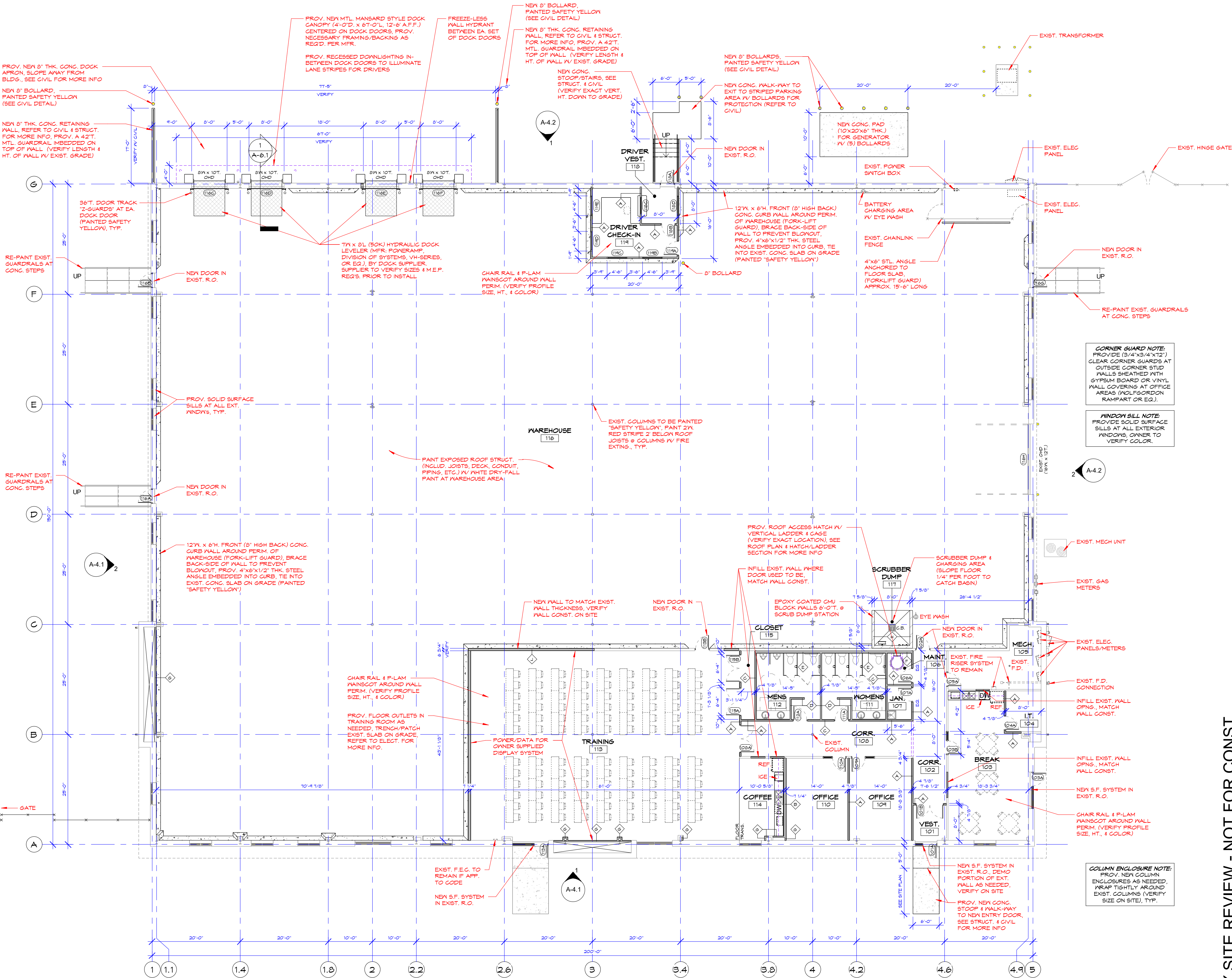
- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING OR GROUTED CMU CORES FOR ALL WALL SUPPORTED GASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVS, ETC. AS REQUIRED
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT A.D.A. STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC. W/ FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.
- ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.
- GENERAL CONTRACTOR TO COORDINATE WHETHER ANY CMU CORES NEED GROUTED FOR WALL-MOUNTED EQUIPMENT.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- BULL-NOSE CMU REQUIRED AT CORNERS- REFER TO INTERIOR WALL TYPES FOR ADD'L. INFORMATION.

STANDARD FLOOR PLAN NOTATION:

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10" "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER).
- FLOOR DRAIN
- CATCH BASIN
- INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.

KEYED PLAN NOTES

RELOCATE EXIST. CHAIN LINK FENCE & GATE, SPAN FROM CORNER OF BLDG. TO EXIST. NORTH FENCE (VERIFY EXACT LOCATION W/ OWNER)



1
A-1.1
3/32" = 1'-0"

FIRST FLOOR PLAN



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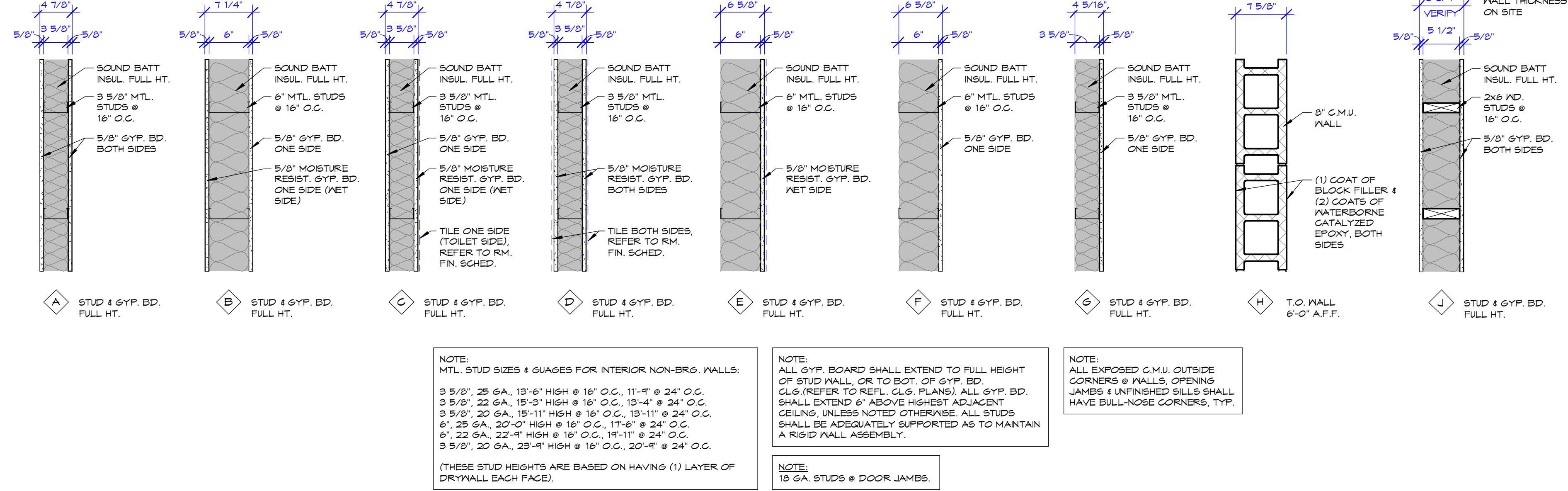
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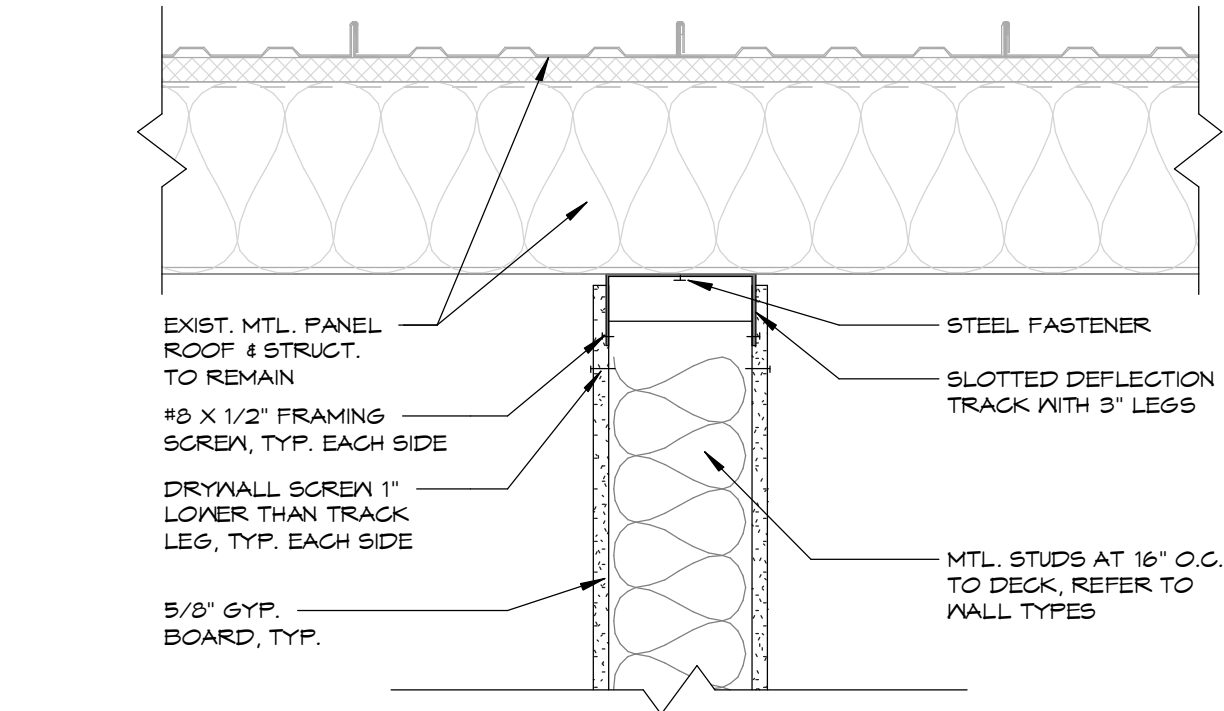
A-1.1

CITY SITE REVIEW - NOT FOR CONST.



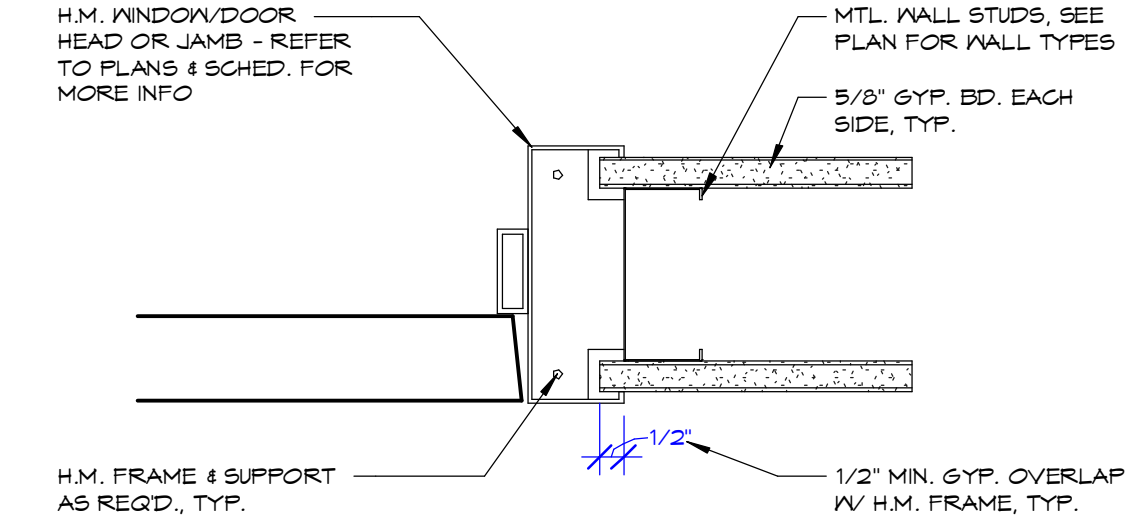
INTERIOR WALL TYPES

1" = 1'-0"



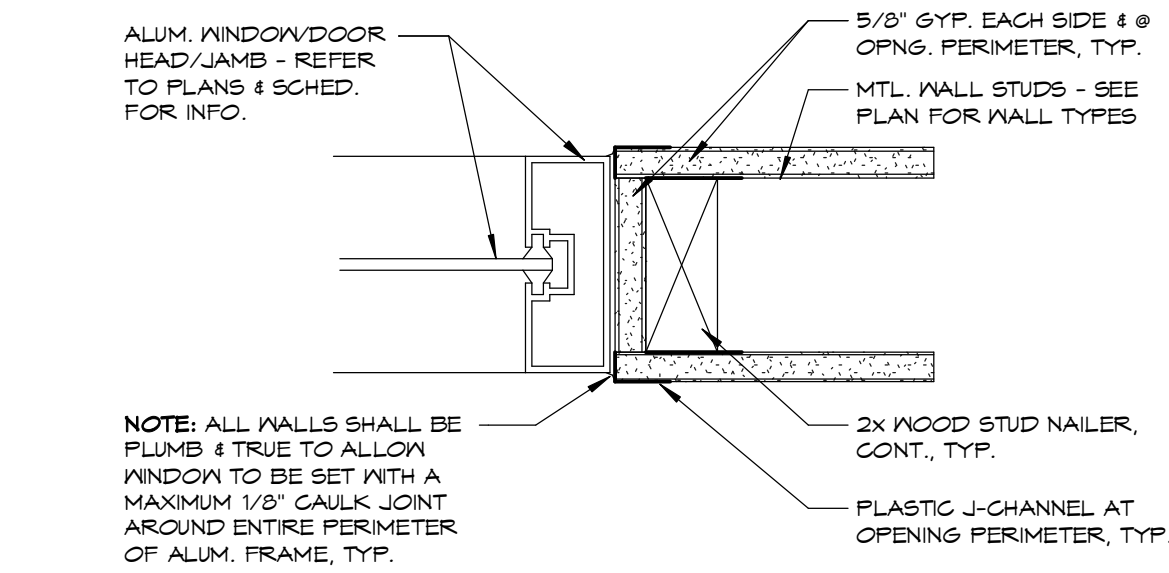
TYP. DEFLECTION TRACK DETAIL

1 1/2" = 1'-0"



H.M. FRAME/WALL DETAIL

3" = 1'-0"



ALUM. FRAME/WALL DETAIL

3" = 1'-0"

FLOOR FINISH CODES:

CT-1: CERAMIC TILE:
MFR: T.B.D.
COLOR: T.B.D.
SIZE: T.B.D.
GROUT: COLOR T.B.D.
GROUT TYPE: WATER-CLEANABLE EPOXY GROUT

CPT-1: COMMERCIAL CARPET TILE:
MFR: T.B.D.
STYLE: MINIMUM TUFTED HEIGHT OF 26oz, 100% 6.6 NYLON, LEVEL-LOOP PILE, FIBERGLASS RE-REINFORCED THERMOPLASTIC POLYOLEFIN BACKING
COLOR: T.B.D.
SIZE: 24"x24"
INSTALL: INSTALL W/ PRESSURE SENSITIVE RELEASABLE ADHESIVE
NOTE: INCLUDE A MIN. OF 20 sq. yds. OF ATTIC STOCK

VCT-1: VINYL COMPOSITION TILE:
MFR: T.B.D.
STYLE: GLASS 2, SMOOTH SURFACE
COLOR: T.B.D.
SIZE: 12"x12"x1/8" THICK
NOTE: PROVIDE (1) UN-OPENED CASE (45 IL2) OF EACH TYPE, COLOR, & PATTERN FOR ATTIC STOCK MATERIAL

RF-1: RESINOUS FLOORING:
MFR: Sika CORPORATION OR EQ.
STYLE: SikaFLOOR - PURCEM 22NA W/ 510 LPL TOPCOAT OR EQ.
COLOR: MATCH EXIST.
FINISH: ORANGE FEEL
BASE: 6" TALL INTEGRAL COVERED BASE & CLEAR POLYASPARTIC TOP COAT

CEILING FINISH CODES:

ACT-1: ACOUSTICAL LAY-IN TILES:
MFR: T.B.D.
STYLE: T.B.D., BEVELED REGULAR
SIZE: 24"x24"
COLOR: WHITE, FINE TEXTURED
GRID: 15/16" HEAVY DUTY STEEL SUSPENSION SYSTEM (CHICAGO METALLIC CORP.: SNAP-GRID 200 OR SIM.), COLOR: WHITE

VCG-1: VINYL COVERED GYPSUM BOARD, LAY-IN TILES:
MFR: T.B.D.
STYLE: T.B.D., VINYL LAY-IN TILES
SIZE: 24"x24"
COLOR: WHITE
GRID: 15/16" HEAVY DUTY STEEL SUSPENSION SYSTEM (CHICAGO METALLIC CORP.: SNAP-GRID 200 OR SIM.), COLOR: WHITE

GYP-1: PAINTED GYP. BD.:
MFR: T.B.D.
SPEC/TYPE: INTERIOR GRADE LATEX PAINT
PRIMER: (1) COAT
COLOR: T.B.D., (2) COATS
LOCATION: CEILING SOFFITS AS INDICATED ON RCP'S

WALL FINISH CODES:

P-1: GYPSUM BOARD - PAINTED:
MFR: T.B.D.
SPEC/TYPE: INTERIOR GRADE LATEX PAINT
PRIMER: (1) COAT
COLOR: T.B.D., (2) COATS
FINISH TYPE: T.B.D. BY OWNER

P-2: MOISTURE RESISTANT GYPSUM BOARD - PAINTED:
MFR: T.B.D.
SPEC/TYPE: INTERIOR GRADE LATEX PAINT (MADE FOR HIGH MOISTURE)
PRIMER: (1) COAT
COLOR: T.B.D., (2) COATS
FINISH TYPE: T.B.D. BY OWNER

P-3: CMU - EPOXY PAINT:
MFR: T.B.D.
APPLICATION: PROV. (1) COAT OF BLOCK FILLER & (2) COATS OF WATERBORNE CATALYZED EPOXY PAINT
COLOR: T.B.D., (2) COATS

NOTE:
-C.M.U. WALLS SHALL BE CLEANED & HAVE BLOCK FILLER/SURFACER PRIOR TO PAINTING.
-C.M.U. WALLS IN NET AREAS SHALL BE PAINTED WITH THE FOLLOWING:
FAST CURE EPOXY PRIMER & (2) COATS OF WATERBORNE CATALYZED EPOXY PAINT

WD-1: P-LAM VENEER PAINSCOT COVERING & WOOD CHAIR RAIL:
MFR: T.B.D.
CHAIR RAIL TYPE: FABRICATED FROM PLAN SLICED SELECT WHITE MAPLE BOARDS & SHOP FINISHED W/ POLYURETHANE FINISH
COLOR: T.B.D., SUBMIT SAMPLE TO OWNER BEFORE INSTALL
P-LAM PAINSCOT: ADHERED DIRECTLY TO GYP. BD. WALL, COLOR: T.B.D., LOCATION: OWNER TO VERIFY EXACT WALLS/AREAS

CNT-1: CERAMIC WALL TILE (OVER MOISTURE RESIS. GYP. BD.):
MFR: T.B.D.
COLOR: T.B.D.
SIZE: T.B.D.
GROUT: COLOR T.B.D.
GROUT TYPE: WATER-CLEANABLE EPOXY GROUT
NOTE: USE SCHLUTER RONDEX AT OUTSIDE CORNERS

FRP-1: FIBERGLASS REINFORCED PLASTIC PANELING:
MFR: T.B.D.
COLOR: WHITE
TEXTURE: SMOOTH
LOCATION: INSTALL BEHIND MOP SINK & ALONG ADJACENT WALLS (4' A.F.F.)

BASE FINISH CODES:

CTB-1: CERAMIC TILE:
MFR: T.B.D.
COLOR: T.B.D.
SIZE: T.B.D.
GROUT: COLOR T.B.D.
GROUT TYPE: WATER-CLEANABLE EPOXY GROUT

RB-1: RUBBER WALL BASE:
MFR: T.B.D.
COLOR: T.B.D.
SIZE: 4" TALL, 1/8" THICK
NOTE: PROVIDE (1) UN-OPENED CASE (120 LINEAR FT.) OF EACH TYPE, COLOR, & PATTERN FOR ATTIC STOCK

RFB-1 RESINOUS FLOOR BASE:
6" TALL INTEGRAL COVERED BASE & CLEAR POLYASPARTIC TOP COAT (SEE RF-1)

ROOM NO.	ROOM FINISH SCHEDULE									
	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG HGT	REMARKS
				NORTH	SOUTH	EAST	WEST			
FIRST FLOOR										
101	VEST.	VCT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	10'-0"	
102	CORR.	VCT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	10'-0"	
103	BREAK	VCT-1	RB-1	WD-1/P-1	WD-1/P-1	P-1/P-2	WD-1/P-1	ACT-1	10'-0"	5,9
104	I.T.	VCT-1	RB-1	P-1	P-1	P-1	P-1	EXPOSED	--	6
105	MECH.	VCT-1	RB-1	P-1	P-1	P-1	P-1	EXPOSED	--	6
106	MANT.	VCT-1	RB-1	P-1	P-1	P-1	P-1	EXPOSED	--	6
107	JAN.	VCT-1	RB-1	P-1/FRP-1	P-1	P-1/FRP-1	P-1	ACT-1	9'-0"	1
108	CORR.	VCT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1/GYP-1	10'-0"	0
109	OFFICE	CPT-1	RB-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	ACT-1	9'-0"	0
110	OFFICE	CPT-1	RB-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	ACT-1	9'-0"	0
111	ADJENS	CT-1	CTB-1	CNT-1	CNT-1	CNT-1	CNT-1	ACT-1	9'-0"	0
112	MENS	CT-1	CTB-1	CNT-1	CNT-1	CNT-1	CNT-1	VCG-1	9'-0"	0
113	TRAINING	CPT-1	RB-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	ACT-1	10'-0"	0
114	COFFEE	VCT-1	RB-1	P-1	P-2	P-1	P-1	ACT-1	10'-0"	9
115	CLOSET	CPT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	0
116	WAREHOUSE	RF-1	RFB-1	P-1	P-1	P-1	P-1	EXPOSED	--	2,4,5,7
117	SCRUBBER DUMP	RF-1	RFB-1	P-3	P-3	P-3	P-3	EXPOSED	--	5,10
118	DRIVER VEST.	VCT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	0
119	DRIVER CHECK-IN	VCT-1	RB-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	WD-1/P-1	ACT-1	9'-0"	0

GENERAL ROOM FINISH NOTES:

- ALL GYP. BOARD SURFACES SHALL BE TAPED, MUDDED, PRIMED, AND FINISHED WITH TWO (2) COATS OF PAINT.
- PROVIDE TRANSITION STRIPS BETWEEN CONCRETE FLOORS AND FINISHED FLOORS TYPICAL.
- REFER TO FLOOR PLANS FOR FLOORING TRANSITION LOCATIONS.
- REFER TO REFLECTED CEILING PLAN FOR GYPSUM WALL BOARD SOFFITS.
- FLOOR FINISH MATERIALS SHALL TRANSITION AT THE CENTER OF THE COMMUNICATING DOOR.
- REFER TO REFLECTED CEILING PLAN FOR CEILING MATERIAL TRANSITIONS.
- PAINT EXPOSED STRUCTURE, MECHANICAL, AND ELECTRICAL EQUIPMENT TO MATCH COLOR OF ADJACENT WALLS (EXCEPT FACTORY FINISHED EQUIPMENT.)
- GENERAL CONTRACTOR TO PROVIDE BASE AT ALL CASEWORK, UNLESS OTHERWISE NOTED.
- ALL CEILING GRIDS SHALL BE CENTERED IN EACH ROOM UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL AND MECHANICAL FIXTURES TO BE INSTALLED WITHIN CEILING SHALL BE CENTERED ON CEILING TILE UNLESS NOTED OTHERWISE.
- GYPSUM BOARD IN THE RESTROOMS AND SURROUNDING THE UTILITY SINK SHALL BE MOISTURE RESISTANT.
- METAL EDGE STRIPS TO BE INSTALLED WHERE EXPOSED EDGE OF TILE MEETS CARPET, WOOD OR OTHER FLOORING.
- ALL CONSTRUCTION JOINTS (CONCRETE SLAB) TO BE FILLED WITH JOINT FILLER.
- RADIUS CUTS FOR CERAMIC TILES TO BE CUT WITH A WATERJET CUTTING MACHINE.
- PROVIDE (3/4"x3/4"x12") CLEAR CORNER GUARDS AT OUTSIDE CORNER STUD WALLS SHEATHED WITH GYPSUM BOARD OR VINYL WALL COVERING.
- VERIFY FLOOR/ WALL TILE PATTERN WITH ARCHITECT PRIOR TO TILE INSTALLATION.
- WHERE TILE PATTERN TRANSITIONS BETWEEN ROOMS, TILE PATTERN SHALL BE CONTINUOUS. GROUT LINES FROM MAIN SPACE TO ADJACENT SPACE SHALL ALIGN, ANY PROPOSED DEVIATIONS SHOULD BE DISCUSSED WITH ARCHITECT/ OWNER PRIOR TO INSTALLATION.
- JOINT AT CONC. FLOOR TO EXTERIOR OR INTERIOR WALL WHERE NO BASE IS INSTALLED SHALL BE FINISHED WITH SEALANT COLOR TO BE VERIFIED PRIOR TO INSTALLATION.
- PAINT EXPOSED STRUCTURAL STEEL AND COLUMNS.
- PROVIDE SCHLUTER RONDEC AT ALL OUTSIDE CORNERS AT WALL TILE.
- PROVIDE SCHLUTER RONDEC AT TOP EDGE OF ANY EXPOSED WALL TILE INCLUDING FLOOR BASE.
- PROVIDE CRACK ISOLATION MEMBRANE AS REQUIRED.
- PROVIDE SOFT JOINTS FOR CERAMIC TILE AT SLAB CONTROL JOINTS AS REQUIRED.
- ALL CONDUIT SHALL BE BURIED IN WALLS WHERE POSSIBLE.
- ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISHES.
- ALL GRILLES TO BE PAINTED TO MATCH ADJACENT WALL.

GENERAL SCHEDULE NOTE:

WALL DIRECTION IS BASED ON TRUE NORTH. REFER TO NORTH ARROW PER EACH SHEET FOR CORRECT ORIENTATION.

ROOM FINISH SCHEDULE REMARKS:

- INSTALL FRP-1 (4'-0" A.F.F.) & P-2 (FULL HT.) AT WALLS BEHIND & ADJACENT TO MOP SINK.
- ALL WAREHOUSE COLUMNS SHALL BE PAINTED FROM FIN. FLOOR TO THE ROOF DECK (SAFETY YELLOW), W/ 24" WIDE RED STRIPE, 2'-0" BELOW EXISTING JOISTS (AT COLUMNS W/ FIRE EXTINGUISHERS).
- CNT-1 FULL HEIGHT.
- INTERIOR CONCRETE FORK-LIFT GUARD WALLS & PROTECTIVE CURB ANGLES SHALL BE PAINTED SAFETY YELLOW W/IN WAREHOUSE AREA.
- EXISTING EXPOSED ROOF STRUCTURE (INCLUD. JOISTS, DECK, CONDUIT, PIPING ETC.) TO BE PAINTED W/ WHITE DRYFALL PAINT AT WAREHOUSE AREAS.
- EXISTING EXPOSED ROOF STRUCTURE (INCLUD. JOISTS, DECK, CONDUIT, PIPING ETC.) TO BE PAINTED W/ BLACK DRYFALL PAINT AT OFFICE AREAS.
- PAINT EXISTING EXTERIOR FURRING WALLS AS REQUESTED BY OWNER OR AS NEEDED FROM ANY DEMO WORK W/IN WAREHOUSE AREAS.
- WD-1 PAINSCOT AS REQUESTED BY OWNER. VERIFY EXACT AREAS, FINISH/COLOR SELECTION, HEIGHT, & PROFILE BEFORE INSTALL. INSTALL DIRECTLY OVER GYPSUM BOARD WALL.
- PROVIDE MOISTURE RESISTANT GYP. BD. (P-2) AT NET WALL.
- SLOPE FLOOR 1/4" PER FOOT TOWARDS CATCH BASIN.

GYPSUM BOARD CONTROL (EXPANSION) JOINT NOTE:

INSTALL CONTROL (EXPANSION) JOINTS ACCORDING TO ASTM C480 AND IN SPECIFIC LOCATIONS APPROVED BY ARCHITECT FOR VISUAL EFFECT.

- CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN CEILINGS EXCEEDING 2,500 S.F. IN AREA. THE DISTANCE SHALL NOT BE MORE THAN 50 FEET BETWEEN CEILING CONTROL (EXPANSION) JOINTS IN EITHER DIRECTION (WITH PERIMETER RELIEF, 30 FEET IN EITHER DIRECTION WITHOUT PERIMETER RELIEF).
- CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN PARTITION, WALL AND WALL FURRING RUNS EXCEEDING NOT MORE THAN 30 FEET. A CONTROL (EXPANSION) JOINT SHALL BE INSTALLED WHERE A CONTROL (EXPANSION) JOINT OCCURS IN THE BASE EXTERIOR WALL.
- CONTROL (EXPANSION) JOINTS ARE NOT REQUIRED FOR WALL LENGTHS LESS THAN 30 FEET.
- EXTEND CONTROL (EXPANSION) JOINTS THE FULL HEIGHT OF THE WALL OR LENGTH OF SOFFIT/CEILING MEMBRANE.
- LOCATE CONTROL (EXPANSION) JOINTS AT BOTH JAMBS OF OPENINGS IF GYPSUM BOARD IS NOT "YOKED" (CENTERED ON HEAD OPENING). USE ONE SYSTEM THROUGHOUT.
- WHERE VERTICAL AND HORIZONTAL CONTROL (EXPANSION) JOINTS INTERSECT, VERTICAL CONTROL (EXPANSION) JOINT SHALL BE CONTINUOUS; HORIZONTAL CONTROL (EXPANSION) JOINT SHALL ABUT IT.

NOTE:

- VERIFY FLOOR/WALL TILE PATTERN WITH ARCHITECT PRIOR TO TILE INSTALLATION.
- WHERE TILE PATTERN TRANSITIONS BETWEEN ROOMS, TILE PATTERN SHALL BE CONTINUOUS. GROUT LINES FROM MAIN SPACE TO ADJACENT SPACE SHALL ALIGN. ANY PROPOSED DEVIATIONS SHOULD BE DISCUSSED WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

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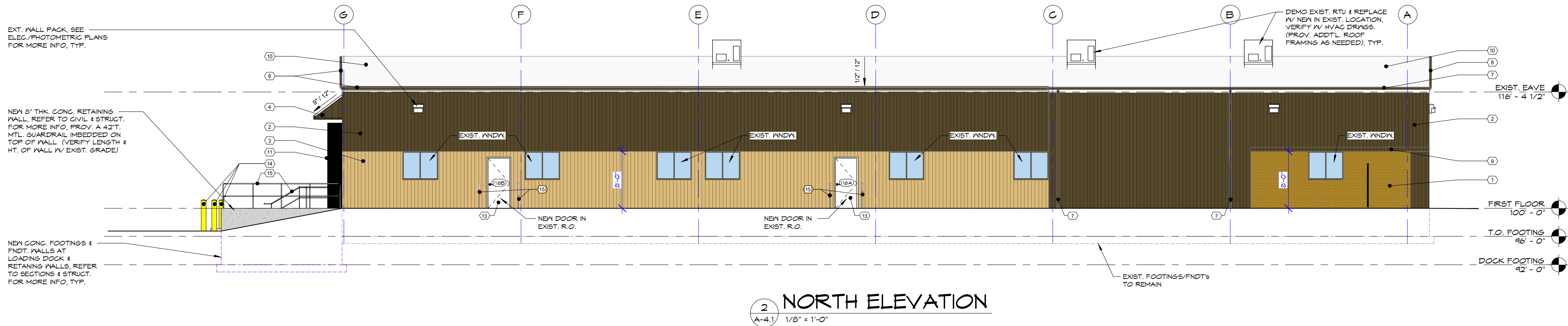
MARTIN BROWER

411 N. NEWCOMB ST. WHITEWATER, WI 53190



EXTERIOR FINISH MATERIALS KEY					
GRAPHIC	KEY	MATERIAL SPEC/COLOR	GRAPHIC	KEY	MATERIAL SPEC/COLOR
	1	EXIST. BRICK VENEER TO REMAIN: 4" THK., COLOR: MULTI-BROWN/TAN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN)		8	EXIST. PRE-FIN. ALUMINUM SOFFIT W/ VENTING, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL
	2	EXIST. METAL LINER PANEL, COLOR: DARK BROWN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN & PROV. TRIM PIECES TO MATCH AS REQ'D.)		10	EXIST. METAL PANEL ROOF TO REMAIN, SPRAY COATED W/ SILICONE ROOF COATING (FOR ADDED DURABILITY), COLOR: WHITE, MFR.: SAGO OR EQ.
	3	EXIST. METAL LINER PANEL, COLOR: TAN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN & PROV. TRIM PIECES TO MATCH AS REQ'D.)		11	NEW LOADING DOCK DOOR (RAYNOR "THERMASEAL", MAYNE DALTON "THERMOSPAN", OR EQ.) & DOCK SHELTER (FAIRBORN SERIES 2200 OR EQ.), PROV. NEW WALL FRAMING AS REQ'D.
	4	NEW METAL FRAMED MANSARD STYLE CANOPY OVER LOADING DOCK DOORS, COLOR: T.B.D., VENTED SOFFIT (WHITE) W/ RECESSED DOWNLIGHTS BETWEEN DOCK DOORS, NEW FRAMING AS REQ'D. PER MFR.		12	NEW HYDRAULIC DOCK LEVELER (POWERAMP, DIVISION OF SYSTEMS INC., V4-SERIES, OR EQ.) AT EACH LOADING DOCK DOOR, PROV. NEW DOCK LEVELER FIT AS REQ'D., SEE PLANS & SECTIONS
	5	NEW ALUM. DOOR/FRAME, THERMALLY BROKEN, COLOR: DARK BRONZE (VERIFY ON SITE TO MATCH)		13	NEW INSULATED HOLLOW METAL DOOR & FRAME, COLOR: T.B.D. (PAINTED)
	6	NEW EXTERIOR GLAZING: 1" THICK, TEMPERED, LOW-E, INSUL. GLAZING, COLOR: MATCH EXIST. ON SITE		14	6" DIA. SCHEDULE 40 BOLLARDS, COLOR: PAINTED SAFETY YELLOW
	7	EXIST. PRE-FIN. ALUMINUM GUTTERS W/ DOWNSPOUTS TO GRADE, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL		15	PAINTED HAND/GUARDRAIL W/ DIRECT TO METAL PAINT, COLOR: T.B.D.
	8	EXIST. PRE-FIN. ALUMINUM RAKE/EAVE TRIM, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL			

NEW DOOR & WINDOW VALUES			
WINDOWS:	U VALUE	0.45	
	SHGC	0.35	
	VT	0.6	
DOORS:	U VALUE	0.38	
O.H. DOORS:	U VALUE	0.15	
	SHGC	0.238	
	VT	0.39	



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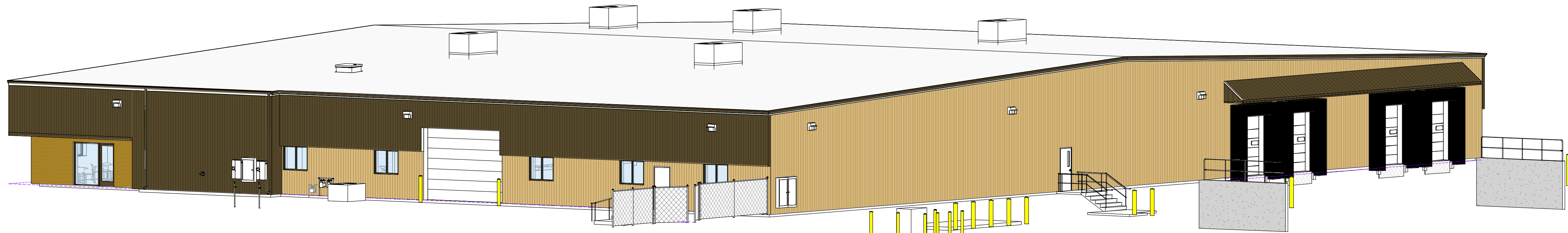
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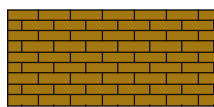


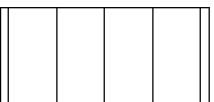
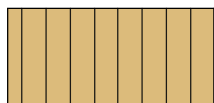










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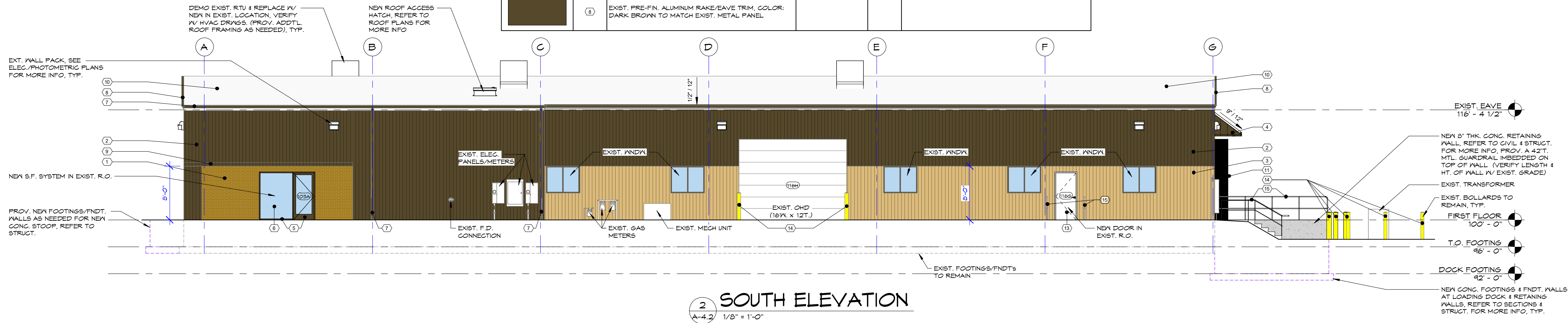
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3D - SOUTHEAST PERSPECTIVE

EXTERIOR FINISH MATERIALS KEY					
GRAPHIC	KEY	MATERIAL SPEC/COLOR	GRAPHIC	KEY	MATERIAL SPEC/COLOR
	(1)	EXIST. BRICK VENEER TO REMAIN. 4" THK., COLOR: MULTI-BROWN/TAN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN)		(8)	EXIST. PRE-FIN. ALUMINUM SOFFIT IV VENTING, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL
	(2)	EXIST. METAL LINER PANEL, COLOR: DARK BROWN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN) + PROV. TRIM PIECES TO MATCH AS REQ'D.)		(10)	EXIST. METAL PANEL ROOF TO REMAIN, SPRAY COATED IV SILICONE ROOF COATING (FOR ADDED DURABILITY), COLOR: WHITE, MFR: GACO OR EQ.
	(3)	EXIST. METAL LINER PANEL, COLOR: TAN (PATCH AS NEEDED FROM ANY DEMO WORK, MATCH COLOR/PATTERN) + PROV. TRIM PIECES TO MATCH AS REQ'D.)		(11)	NEW LOADING DOCK DOOR (RAYNOR "THERMASEAL", WAYNE DALTON THERMOFAN", OR EQ.) + DOCK SHELTER (FAIRBORN SERIES 2200 OR EQ.) PROV. NEW WALL FRAMING AS REQ'D.
	(4)	NEW METAL FRAMED MANSARD STYLE CANOPY OVER LOADING DOCK DOORS, COLOR: TBD, VENTED SOFFIT (WHITE) IV/ RECESSED DOWNLIGHTS BETWEEN DOCK DOORS, NEW FRAMING AS REQ'D. PER MFR.		(12)	NEW HYDRAULIC DOCK LEVELER (POWERAMP, DIVISION OF SYSTEMS INC., VH-SERIES, OR EQ.) AT EACH LOADING DOCK DOOR, PROV. NEW DOCK LEVELER PIT AS REQ'D., SEE PLANS 4 SECTIONS
	(5)	NEW ALIM. DOOR/FRAME: THERMALLY BROKEN, COLOR: DARK BRONZE (VERIFY ON SITE MATCH)		(13)	NEW INSULATED HOLLOW METAL DOOR + FRAME: COLOR: T.B.D. (PAINTED)
	(6)	NEW EXTERIOR GLAZING: 1" THICK, TEMPERED, LOW-E, INSUL. GLAZING, COLOR: MATCH EXIST. ON SITE		(14)	8" DIA. SCHEDULE 40 BOLLARDS, COLOR: PAINTED SAFETY YELLOW
	(7)	EXIST. PRE-FIN. ALUMINUM GUTTERS IV DOWNSPOUTS TO GRADE, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL		(15)	PAINTED HAND/GUARDRAIL IV/ DIRECT TO METAL PAINT, COLOR: T.B.D.
	(9)	EXIST. PRE-FIN. ALUMINUM RAKE/EAVE TRIM, COLOR: DARK BROWN TO MATCH EXIST. METAL PANEL			

<u>NEW DOOR & WINDOW VALUES</u>		
WINDOWS:	U VALUE	0.45
	SHGC	0.35
	VT	0.6
DOORS: (SWINGING)	U VALUE	0.38
O.H. DOORS: (NON-SWINGING)	U VALUE	0.15
DOORS: (>50% GLAZING)	U VALUE	0.701
	SHGC	0.238
	VT	0.39



2 SOUTH ELEVATION
A-4.2 1/8" = 1'-0"



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A NEW BUILD-OUT FOR:

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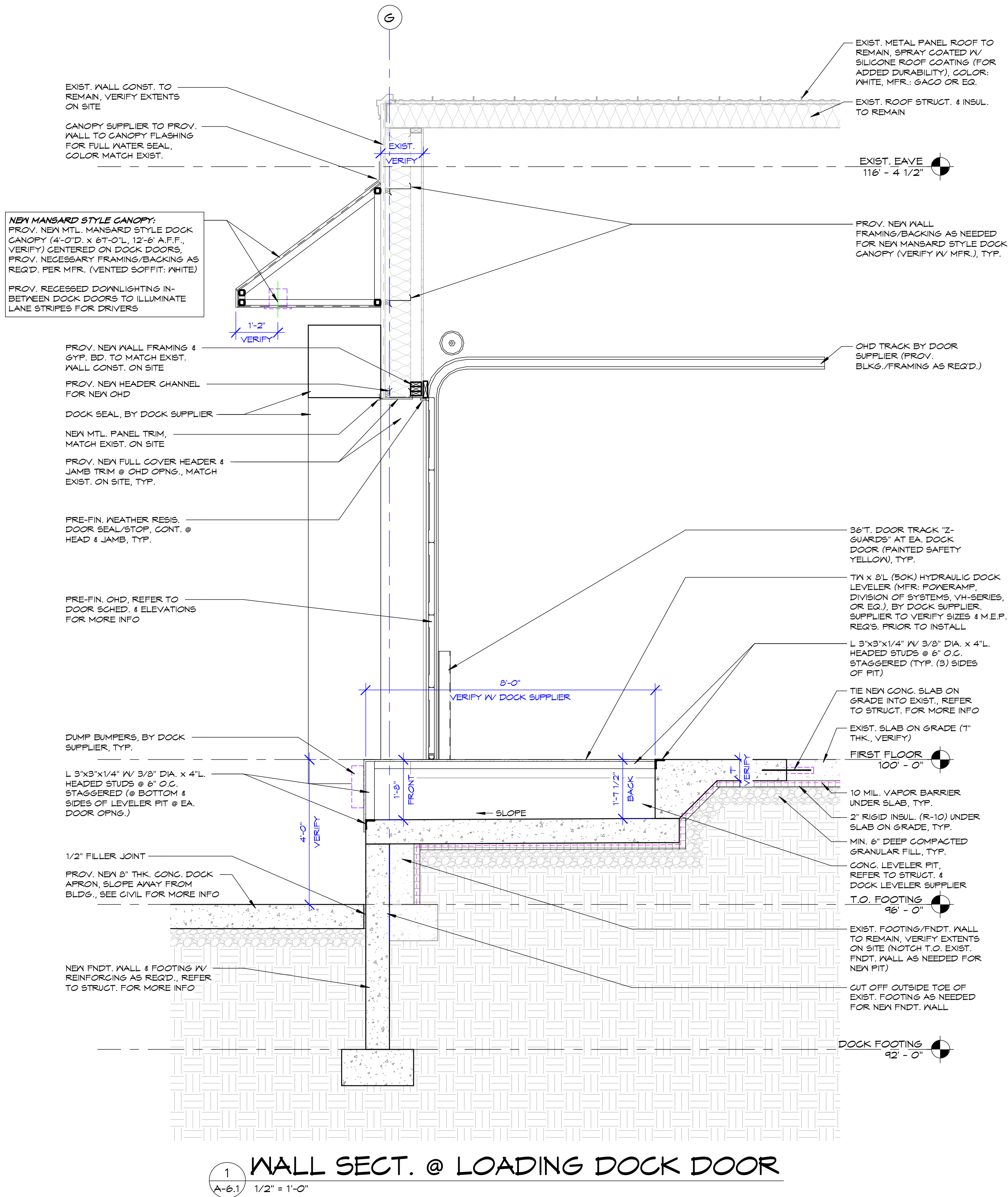
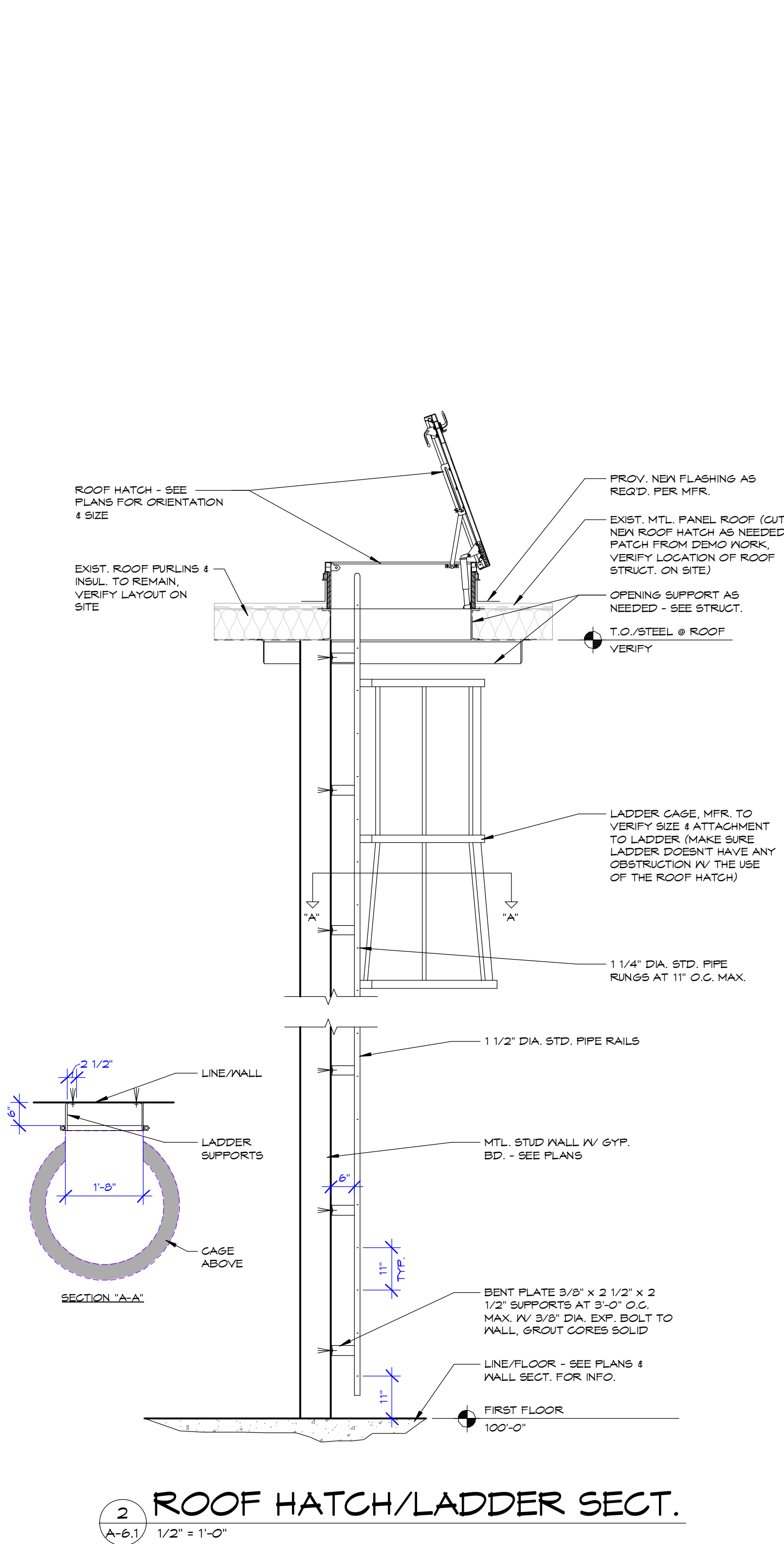
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IMPORTANT STEEL JOIST AND METAL DECK NOTES:
STEEL JOISTS AND METAL FRIMED DECK TO ARRIVE ON SITE,
FRIMED AND PROTECTED FROM THE ELEMENTS TO PREVENT
RUSTING. IF RUSTING OCCURS DURING THE COURSE OF
CONSTRUCTION, THE GENERAL CONTRACTOR WILL BE REQUIRED TO
CLEAN AND RE-PRIME THE RUSTED AREAS (WHETHER THE STEEL
JOISTS AND METAL DECK ARE EXPOSED AND HIDDEN).



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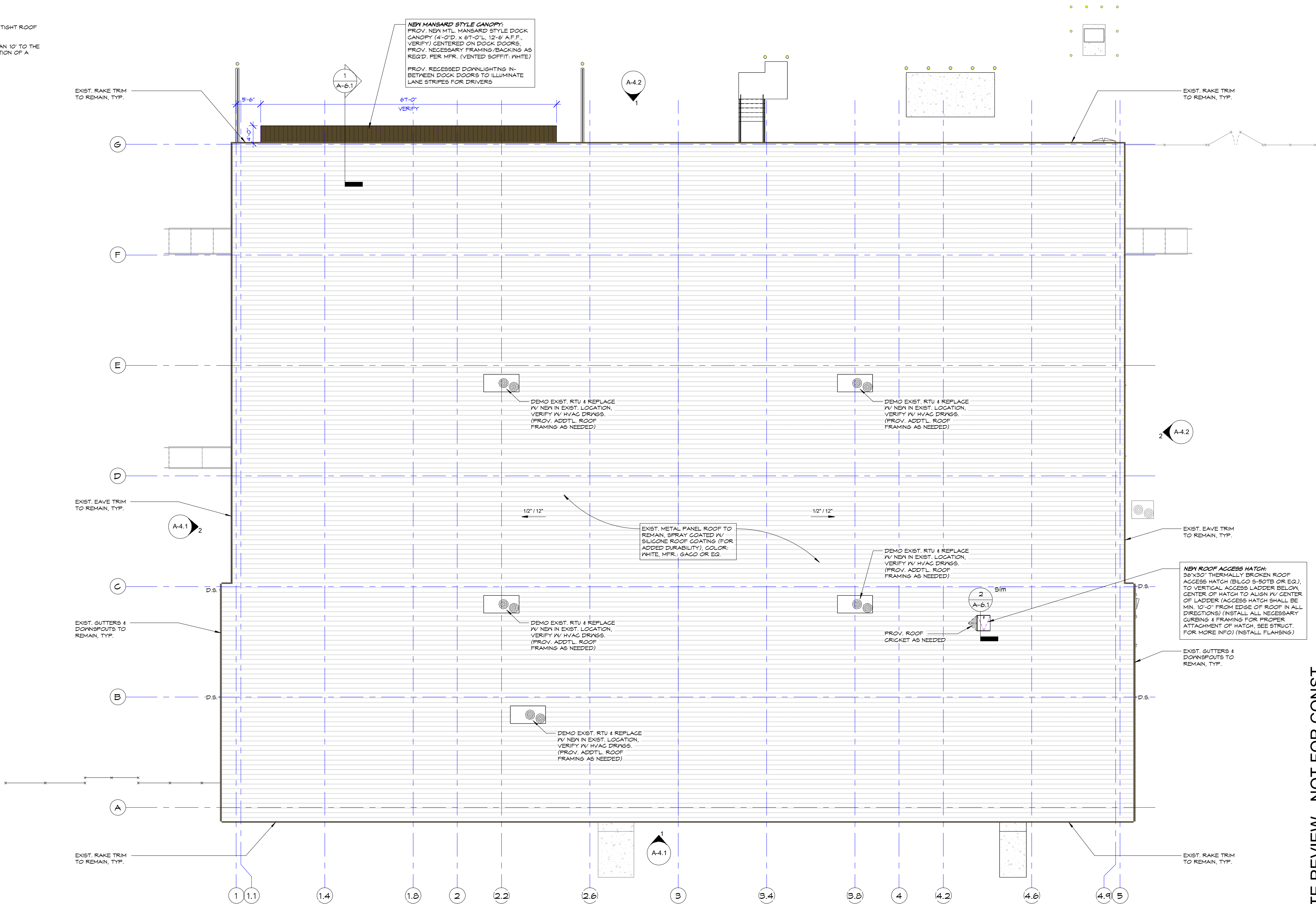
GENERAL ROOF PLAN NOTES:

- REFER TO ROOF PLAN FOR SPECIFIC ROOF MEMBRANE AND ROOFING MATERIALS, TYP.
- TAPERED ROOF INSULATION PITCH IS MINIMUM 1/4" PER FOOT, TYPICAL (IF NEEDED).
- HVAC CONTRACTOR TO COORDINATE FINAL LOCATION & SIZES OF ALL ROOF TOP UNITS AND OPENINGS W/ STEEL SUPPLIER PRIOR TO WORK/JOIST FABRICATION. ALL R.T.U. LOADS TO STRUCTURE SHALL BE VERIFIED WITH STRUCTURAL ENGINEER.
- PROVIDE CURBING, BOOTING, AND TAPERED INSULATION AT ALL HVAC ROOF EQUIPMENT AND ROOF PENETRATIONS, TYP. ROOFING CONTRACTOR TO COORDINATE ALL LOCATIONS WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS, TYP.
- PAINT EXPOSED GAS PIPING
- ROOFING CONTRACTOR RESPONSIBLE FOR INSTALLING A WATER TIGHT ROOF SYSTEM.
- IF DESIGN/ BUILD CONTRACTOR INSTALLS EQUIPMENT CLOSER THAN 10' TO THE ROOF EDGE, THAT CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF A GUARD RAIL SYSTEM.

NOTE:
IF ANY ROOF TOP EQUIPMENT IS CLOSER THAN 10'-0" FROM ROOF PERIMETER, A GUARDRAIL IS REQUIRED (42" MIN. HIGH).

NOTE:
HVAC UNITS ARE ONLY ESTIMATED QUANTITIES, HEIGHTS, LOCATIONS AND TYPE OF EQUIPMENT. FINAL EQUIPMENT SELECTIONS TO BE DETERMINED BY DESIGN/BUILD HVAC CONTRACTOR. FINAL HEIGHTS/LOCATIONS TO BE PROVIDED TO STRUCTURAL ENGINEER AND STEEL JOIST SUPPLIER PRIOR TO FABRICATION OF STEEL JOISTS.

NOTE:
INSTALL ROOF CRICKETS AT ALL ROOF PENETRATIONS, TYP.



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REFLECTED CEILING PLAN NOTES:

- GRID LAYOUT SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY FINAL LAYOUT WITH FIELD CONDITIONS AND OBTAIN OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE.
- ALL INTERIOR FINISHES TO COMPLY WITH STATE/ LOCAL CODES AND ORDINANCES.
- COORDINATE FINAL LAYOUT W/ OWNER, ELEC. CONTRACTOR SHALL COORDINATE ANY CODE REQUIREMENTS.
- ALL EXPOSED ELECTRICAL CONDUIT SHALL BE INSTALLED IN A NEAT AND ORDERLY FASHION.
- ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISHES.
- ALL CONDUIT SHALL BE BURIED IN WALLS WHERE POSSIBLE.
- LIGHTING AND HVAC SHOWN ON THIS PLAN IS FOR LAYOUT ONLY. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PLANS FOR MORE INFORMATION.
- SEE ROOM FINISH SCHEDULE FOR CEILING FINISHES.
- PROVIDE HOLD DOWN CLIPS AT SUSPENDED CEILINGS ASSEMBLIES AT EXTERIOR DOORS AS RECOMMENDED BY CEILING MANUFACTURER.
- REFER TO ELECTRICAL PLANS FOR EXIT LIGHT LOCATIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF ALL EXIT LIGHTS AND MEANS OF EGRESS LIGHTING.
- CONTRACTOR(S) TO COORDINATE FINAL FIXTURE AND EQUIPMENT HEIGHTS TO AVOID INTERFERENCES AND PROVIDE MINIMUM SEPARATION DISTANCE REQUIREMENTS.

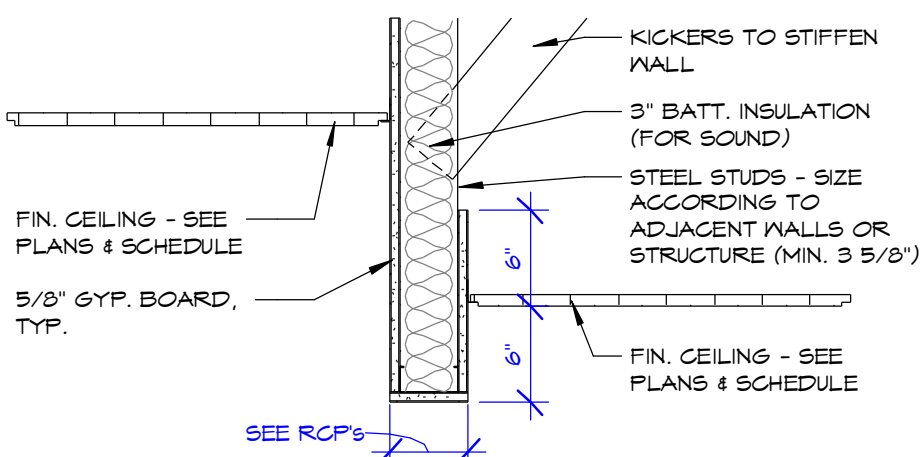
REFLECTED CEILING PLAN LEGEND:

- 2' X 2' CEILING GRID SYSTEM W/ REGULAR TILES, REFER TO ROOM FINISH SCHEDULE
- DRYWALL - AT BULKHEADS/ INT. SOFFITS REFER TO ROOM FINISH SCHEDULE FOR FINISH
- 2' X 2' CEILING GRID SYSTEM W/ VINYL COVERED GYP TILES, REFER TO ROOM FINISH SCHEDULE
- NO CEILINGS - EXPOSED TO EXIST. STRUCTURE ABOVE, REFER TO ROOM FINISH SCHEDULE
- EXTERIOR METAL SOFFIT - SEE PLANS FOR NOTES

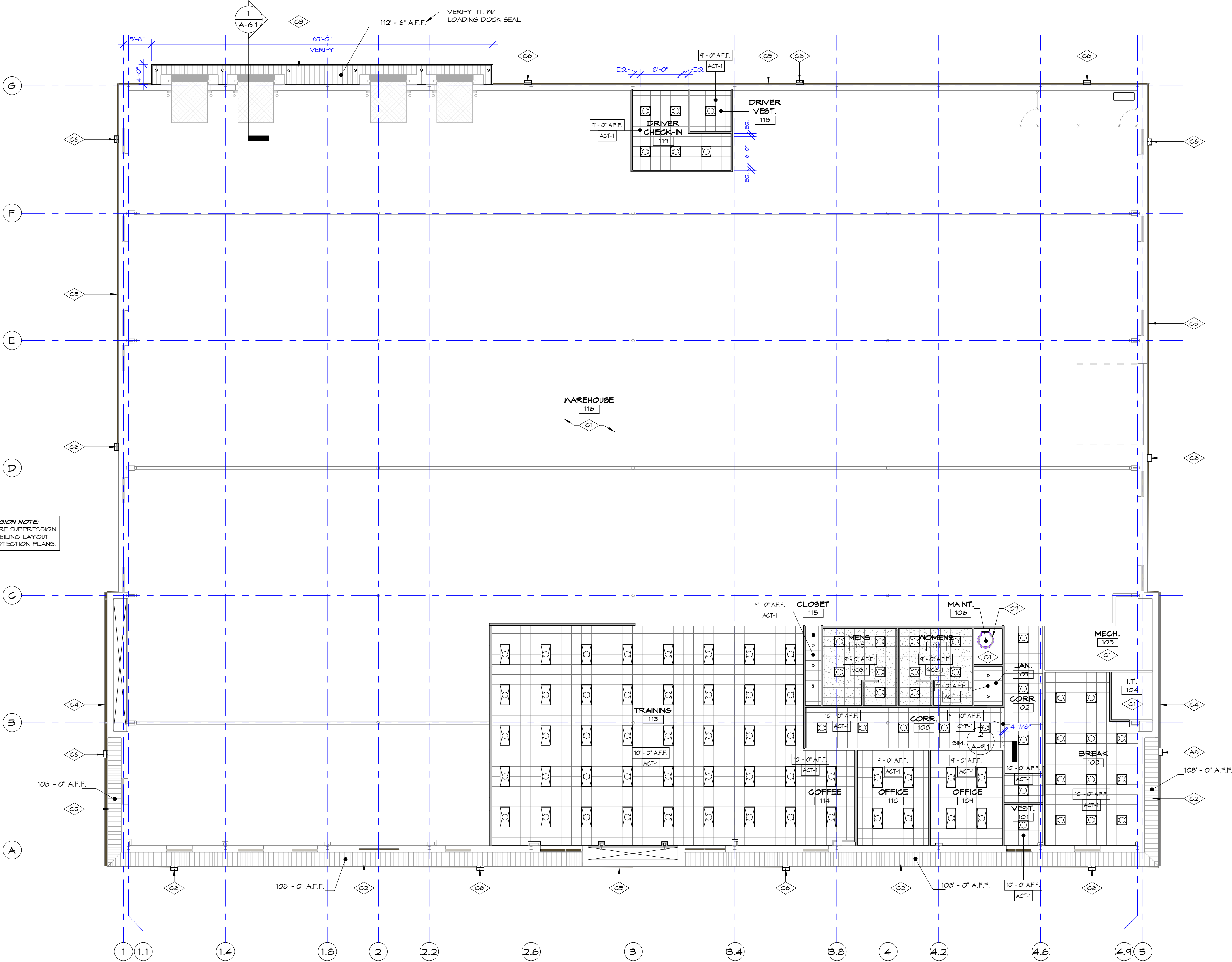
KEYED CEILING PLAN NOTES

C1	NO CEILING, EXPOSED TO ROOF STRUCTURE ABOVE (PAINT AS REQUIRED, REFER TO ROOM FINISH SCHEDULE). VERIFY LIGHTING LAYOUT WITH ELECTRICAL/PHOTOMETRIC PLANS.
C2	EXISTING ROOF SOFFIT TO REMAIN.
C3	NEW MANSARD STYLE CANOPY W/ WHITE VENTED SOFFIT, CENTERED ABOVE LOADING DOCK DOORS. PROVIDE NECESSARY FRAMING/BACKING AS REQUIRED BY MANUFACTURER. PROVIDE RECESSED DOWN-LIGHTING IN BETWEEN DOCK DOORS TO ILLUMINATE LANE STRIPS FOR DRIVERS.
C4	EXISTING GUTTER W/ DOWN-SPOUTS TO REMAIN.
C5	EXISTING RAKE/EAVE TRIM TO REMAIN.
C6	EXTERIOR WALL LIGHTING PACK, REFER TO PHOTOMETRICS/ELECTRICAL FOR MORE INFO.
C7	VERTICAL LADDER WITH CASE UP TO NEW ROOF ACCESS HATCH, SEE ROOF PLANS FOR MORE INFO.

FIRE SUPPRESSION NOTE:
MODIFY EXISTING FIRE SUPPRESSION
SYSTEM TO NEW CEILING LAYOUT.
VERIFY W/ FIRE PROTECTION PLANS.



2 BULKHEAD DETAIL
A-9.1 1" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
A-9.1 3/32" = 1'-0"

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