

TO: Zoning Board of Appeals

FROM: David J. Waligora, AICP, Senior Planner

DATE: August 18, 2026

RE: 8333 Colony Ridge Drive – Rear Yard Setback Variance

Agenda item: 8C

Appeal Date: August 27, 2026

Applicant:
Creative Design Build
Stephen Bonamy
3195 Orchard Lake Road
Keego Harbor, MI 48320

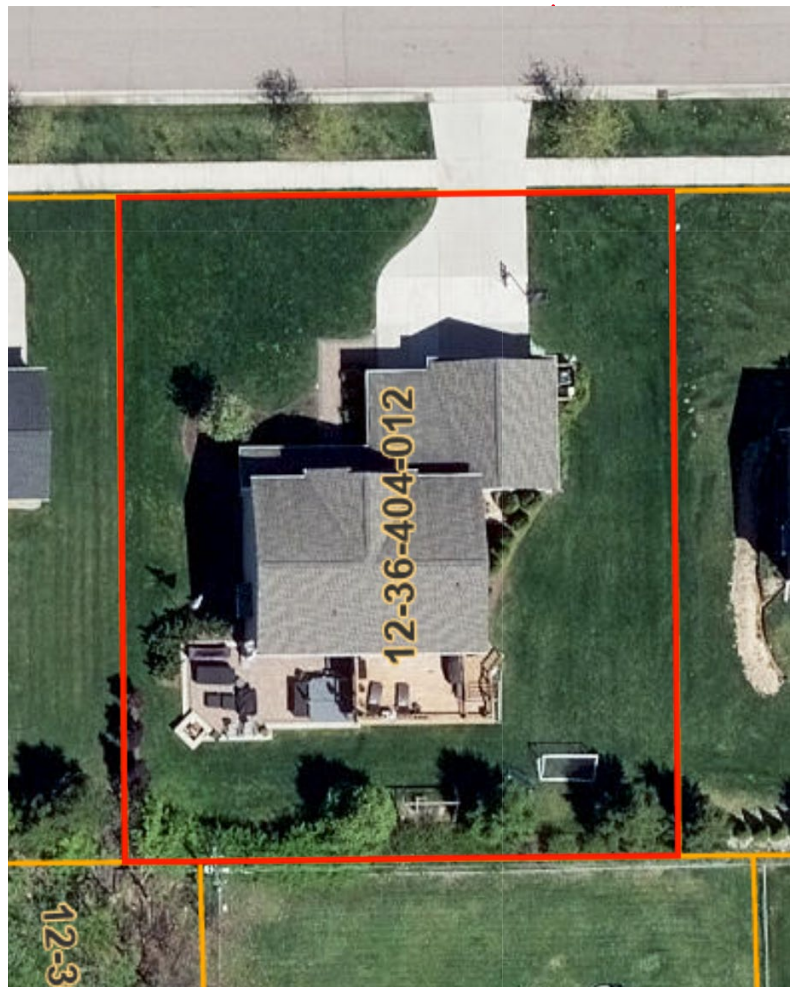
Owner: David Bonamy and
Arran Bonamy

Address: 8333 Colony Ridge
Drive

Parcel #: 12-36-404-012

Location: Colony Ridge Site
Condominium

Zoning: R1-D, Single Family
Residential



Property Description and Platting History

The subject property, identified as Parcel No. **12-36-404-012** and addressed as **8333 Colony Ridge Drive**, consists of approximately **0.276 acres** and is located within the **Colony Ridge Site Condominium**. The parcel is zoned **R1-D, Single Family Residential** and contains approximately **100.05 feet of frontage** with an average depth of approximately **120 feet**.

The site is developed with a **2,261-square-foot, two-story single-family dwelling constructed in 2015**, an attached garage, and an existing **335-square-foot treated wood deck** located along the rear elevation of the residence. The property is served by public water and sanitary sewer.

The existing deck extends into the required rear yard setback for primary structures. Under the applicable provisions of the Zoning Ordinance, an uncovered deck may project into a required rear yard. The proposed improvement, however, includes the installation of a permanent roof structure and screened enclosure attached to the principal dwelling. As a result, the proposed improvement is subject to the rear yard setback applicable to the principal structure rather than the encroachment provisions applicable to an uncovered deck.

Applicant's Proposal

The applicant proposes to construct a permanent roof structure and screened enclosure over the existing rear deck, creating a covered three-season living area attached to the principal dwelling. The proposed improvement would generally utilize the existing deck footprint and would not involve a substantial expansion of the deck itself. The submitted plans identify the improvement as a covered deck with a roof structure and show full-height screened walls, structural roof posts, recessed lighting, a ceiling fan, and a spiral stair connection to the rear yard.

The existing deck is located approximately **24.1 feet** from the rear property line. Based on the submitted survey, the proposed roof structure would be located approximately **23 feet 2 inches** from the rear property line. The R1-D zoning district requires a minimum **30-foot rear yard setback** for the principal structure. Accordingly, the applicant is requesting a **6-foot-10-inch rear yard setback variance** to permit the proposed roofed enclosure.

The applicant states that the proposed roof is intended to provide shade and weather protection for the existing outdoor living area and that reducing the roofed area to comply with the required setback would substantially diminish its intended function. The applicant further notes that the existing deck has occupied its current location for approximately ten years and that the proposed improvement has received approval from the applicable homeowners' association.

Zoning Analysis

The subject property is zoned **R1-D, Single Family Residential**, which requires a minimum **30-foot rear yard setback** for the principal structure.

Section **3.10, Attached Decks, Porches, and Patios in Residential Districts**, permits an **uncovered, unenclosed deck, porch, patio, or paved terrace** to project into a required rear yard setback. Section 3.10.A expressly limits this allowance by providing that the permitted encroachment shall not be interpreted to include or permit **fixed canopies**. The Ordinance therefore distinguishes between an open deck or similar improvement and a permanently covered structure.

The existing rear deck is located approximately **24.1 feet** from the rear property line and may occupy that portion of the required rear yard pursuant to Section 3.10. The applicant now proposes to construct a permanent roof structure and screened enclosure over the deck. Because the proposed improvement would no longer constitute an uncovered and unenclosed deck, it is not eligible for the rear yard encroachment permitted by Section 3.10.A.

Instead, the proposed roofed structure is attached to the principal dwelling and is subject to the setback requirements applicable to the principal structure. Based on the submitted survey, the proposed roof structure would be located approximately **23 feet 2 inches** from the rear property line, where a minimum setback of **30 feet** is required. The applicant is therefore requesting a **6-foot-10-inch rear yard setback variance**.

The requested variance is specifically associated with the addition of the permanent roof and enclosure rather than the existing location of the deck. While the deck may remain within the required rear yard under Section 3.10, the proposed conversion of that area into a covered three-season space changes the zoning classification of the improvement and subjects it to the principal-structure setback.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance requested by **David and Arran Bonamy**, from Section **3.1.6.E** of the White Lake Township Zoning Ordinance for Parcel Number **12-36-404-012**, identified as **8333 Colony Ridge Drive**, to permit the construction of a roofed and screened three-season structure attached to the principal dwelling with a rear yard setback of approximately **23 feet 2 inches**, where **30 feet** is required.

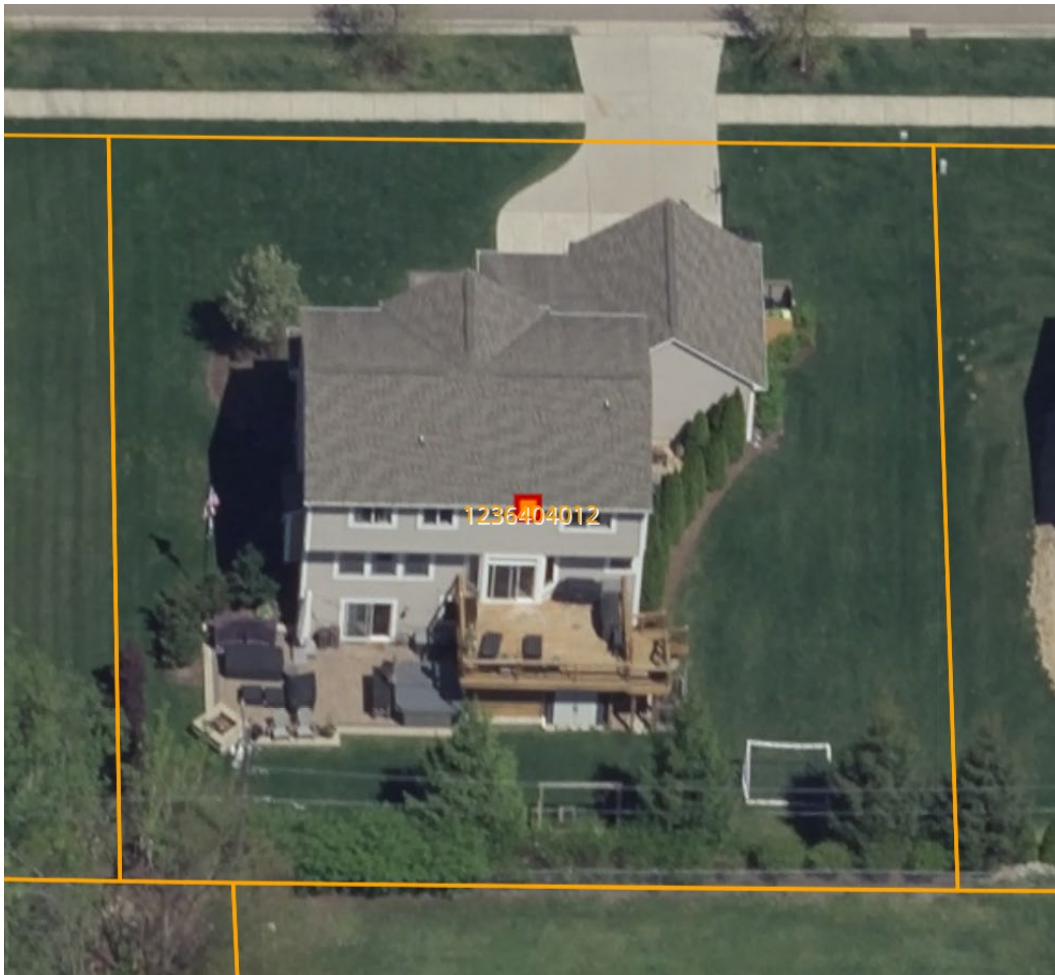
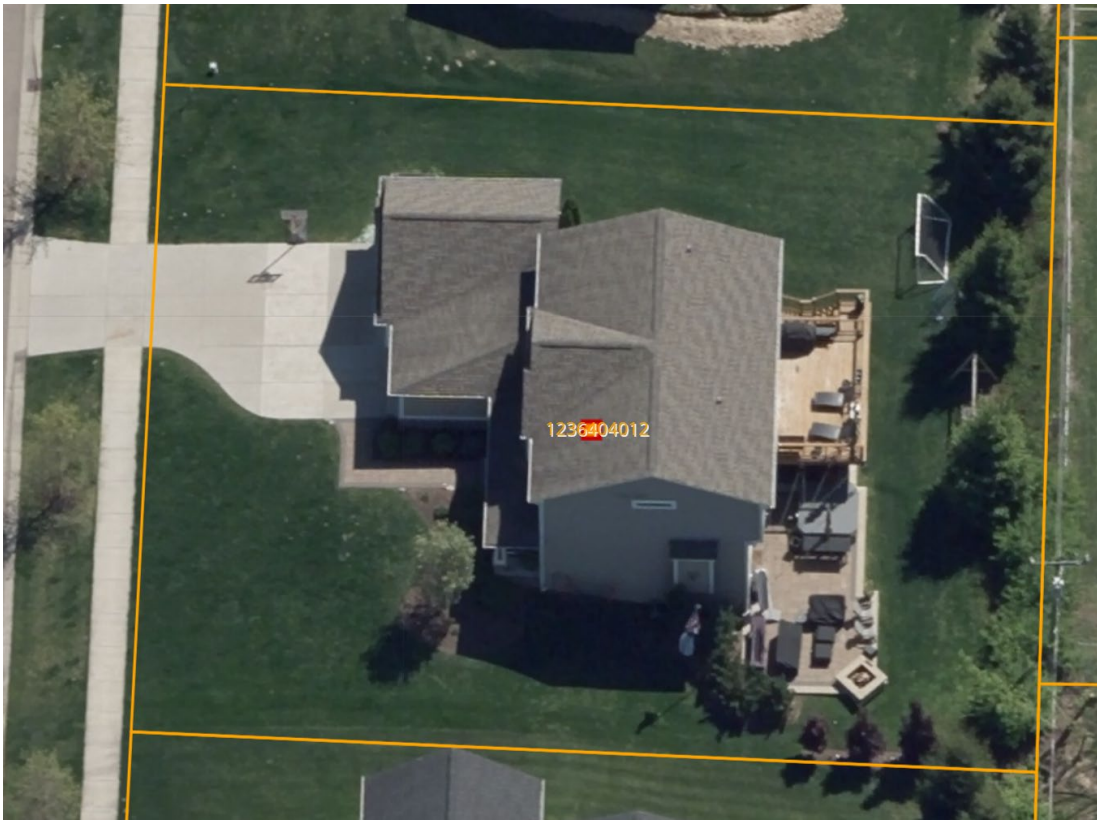
This approval grants a **6-foot-10-inch rear yard setback variance**, subject to the following conditions:

1. The applicant shall obtain all necessary permits and approvals from the White Lake Township Building Division and any other agency having jurisdiction.
2. Construction shall be substantially consistent with the certified survey dated **July 15, 2026**, and the architectural plans submitted with the variance application, except as may be required to comply with the conditions of this approval.
3. The approved roof structure shall maintain a minimum rear yard setback of **23 feet 2 inches**. No portion of the roofed or enclosed structure shall extend farther into the required rear yard without additional approval from the Zoning Board of Appeals.
4. Any expansion, alteration, or enclosure of the approved structure that increases the degree of nonconformity shall be subject to further review and approval as required by the Zoning Ordinance.

Motion for Denial

I move to deny the variance requested by **David and Arran Bonamy** from Section **3.1.6.E** of the White Lake Township Zoning Ordinance for Parcel Number **12-36-404-012**, identified as **8333 Colony Ridge Drive**, to permit the construction of a roofed and screened three-season structure attached to the principal dwelling with a rear yard setback of approximately **23 feet 2 inches**, where **30 feet** is required.

The motion is based on the findings made by the Zoning Board of Appeals under the applicable variance standards of **Section 7.37** and the reasons stated during the public hearing.



WHITE LAKE TOWNSHIP



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION AGENT: STEPHEN BONAMY (CREATIVE DESIGN BUILD)
(BUILDER)

NAME: DAVID BONAMY (owner) PHONE: [REDACTED]

ADDRESS: 3195 ORCHARD LK RD.

INTEREST IN PROPERTY: ☐ PROPERTY OWNER ☒ BUILDER ☐ OTHER: _____

PROPERTY INFORMATION

ADDRESS: 8333 Colony Ridge Dr. ZONING: _____

VALUE OF IMPROVEMENT: \$ 40,000 SEV OF EXISTING STRUCTURE: \$ _____

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

SEE ATTACHED:

APPLICATION FEE: ☐ \$440 ☐ \$550

APPLICANT'S SIGNATURE: [Signature] AGENT (STEPHEN BONAMY)

DATE: 7.28.26

REVISED 5/2025

HOME owner [Signature] 7.28.26
DAVID BONAMY

WHITE LAKE TOWNSHIP COMMUNITY DEVELOPMENT
248-698-3330 X 5



3195 Orchard Lake Road
Keego Harbor, MI 48320
248.631.4151
Creativebp.com

To White Lake Township Zoning Board,

Zoning Board of Appeals: on behalf of the Bonamy Residence,
8333 Colony Ridge Dr. White Lake, Mi 48386

7.28.2026

To whom it may concern,

See the attached package for the Zoning Board of appeals variance request to install a roof above an existing deck that will extend in to the rear yard setback of 8333 Colony Ridge Dr.

Included in this package:

ZBA Application with fee

Site Plan, Proposed Plan, Structure Details

Existing Site Images

Concept Renderings

Should any additional information be needed please feel free to call or email.

Sincerely,

A handwritten signature in black ink, appearing to read 'S Bonamy', with a stylized flourish at the end.

Stephen Bonamy
248.320.5626
Stephen@creativebp.com



3195 Orchard Lake Road
Keego Harbor, MI 48320
248.631.4151
Creativebp.com

7.28.2026

To whom it may concern,

The Bonamy family, owners of 8333 Colony Ridge Drive, has retained Creative Design Build to design and construct a roof structure over their existing rear deck. As part of this project, we are respectfully requesting a variance to allow the proposed roof to encroach 6 feet 10 inches into the required 30-foot rear yard setback.

The proposed roof will be constructed entirely over the existing deck and will not reduce the current setback from the rear property line. During the design process, we explored multiple alternatives that would comply with the required setback; however, each option significantly reduced the usable covered area, making the structure impractical for its intended purpose.

The homeowners are seeking this improvement to provide much-needed shade and weather protection for their outdoor living space. Because the home faces south, the rear deck receives direct sunlight throughout the day, making it uncomfortable during much of the outdoor season. Traditional shade solutions, such as umbrellas, have proven ineffective due to the orientation of the neighboring homes, which creates a wind tunnel effect. As a result, umbrellas and patio furniture have repeatedly been displaced or damaged by strong winds.

The unique placement of the home on the lot, combined with the required rear setback, creates a practical difficulty that limits the reasonable use and enjoyment of the existing deck. The requested variance is therefore necessary to allow the homeowners to improve the functionality of an established outdoor living area without expanding its footprint.

The proposed roof will have no adverse impact on neighboring properties, as the existing deck has remained in its current location for approximately ten years. The project simply enhances an existing structure by adding a roof, rather than increasing the size of the deck or creating additional encroachment. Furthermore, the project has received approval from the homeowners' association, demonstrating that it is compatible with the surrounding neighborhood.

For these reasons, we believe the request satisfies the intent of the Zoning Ordinance and the standards for granting a variance. We respectfully ask the Zoning Board of Appeals to approve the requested variance, allowing the homeowners to construct a roof over their existing deck and create a more functional and enjoyable outdoor living space.

Should any additional information be needed please feel free to call or email.

Sincerely,

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Stephen Bonamy

248.320.5626 Stephen@creativebp.com

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

July 1, 2026

David Bonamy
8333 Colony Ridge Dr
White Lake, MI 48386

Re: Proposed Covered Deck Structure

Based on the submitted plans, the proposed covered deck structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum rear yard setback of 30 ft

The proposed reconstructed deck and roof addition will have an approximate 21'-11" ft rear yard setback where 30 ft is required

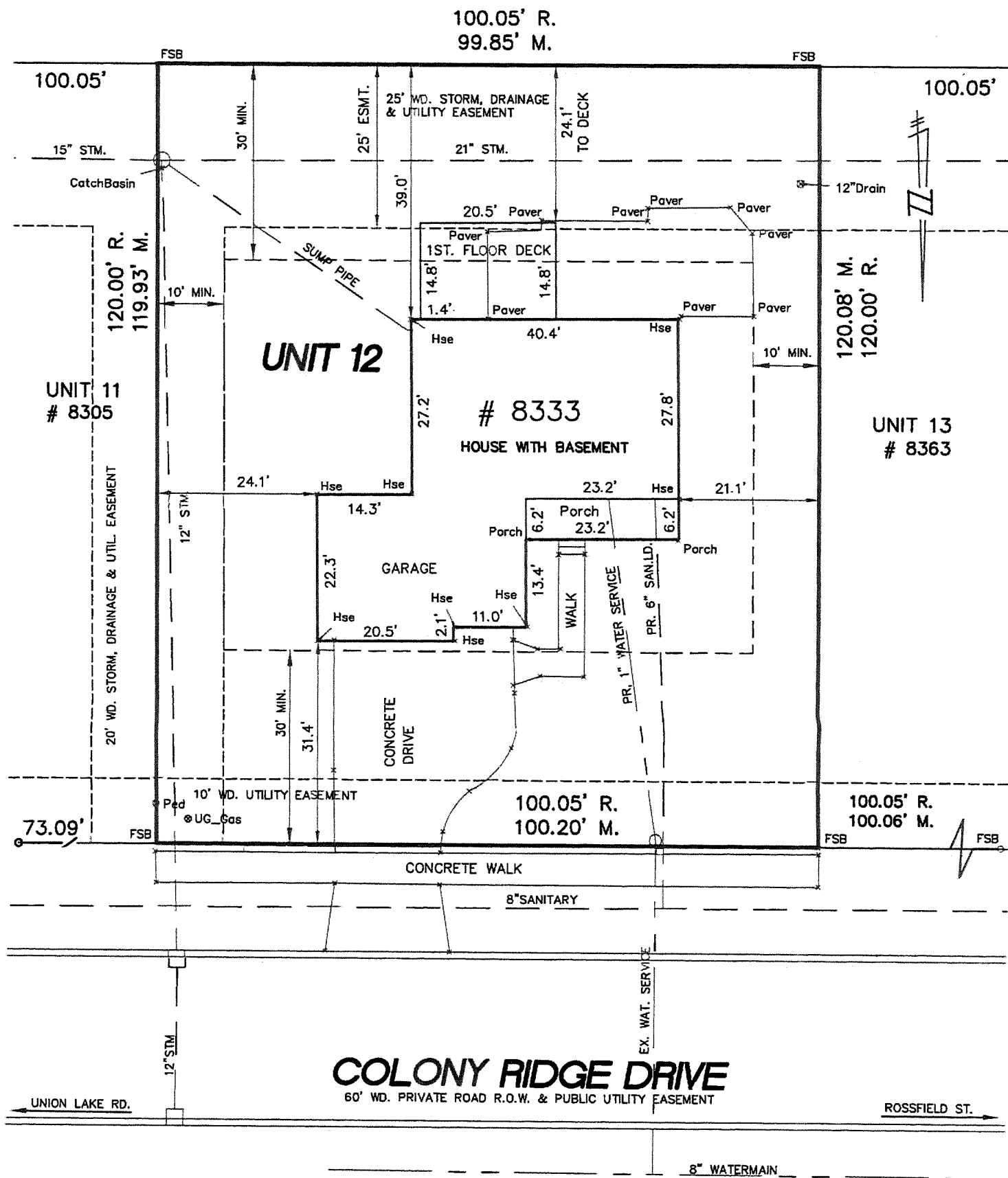
Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the July 23rd Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than June 25th at 4:30 PM. ***Be advised, a certified boundary and location survey showing existing structures, proposed structures and setback dimensions may be required by the ZBA.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

UNIT 12 "COLONY RIDGE"

SITE CONDOMINIUM, ACCORDING TO THE MASTER DEED RECORDED IN LIBER 37762, PAGES 74 THROUGH 134, INCLUSIVE, OAKLAND COUNTY RECORDS, AS AMENDED AND DESIGNATED AS OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 1877. TOGETHER WITH RIGHTS IN COMMON ELEMENTS AND LIMITED COMMON ELEMENTS, AS SET FORTH IN THE ABOVE MASTER DEED (AND AMENDMENTS THERETO) AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED. SIDWELL NO. 12-36-404-012 #8333 COLONY RIDGE DRIVE



LOT SURVEY LEGEND:

R. RECORD DISTANCE
M. MEASURED DISTANCE
FSB FOUND STEEL BAR

MINIMUM SETBACKS:
FRONT = 30 FEET
REAR = 30 FEET
SIDE = 10' MIN. EACH

LOT SURVEY

CLIENT: DAVID BONAMY
8333 COLONY RIDGE DRIVE
WHITE LAKE, MI. 48386

DATE:
7-15-26

JOB NO.:
26-07-002

SCALE:
1"=20'



691 WING STREET
Plymouth, Mi. 48170
ph. 800.221.5263
ph. 734.455.5501
fax 877.837.5267

www.ambitsurveyors.com

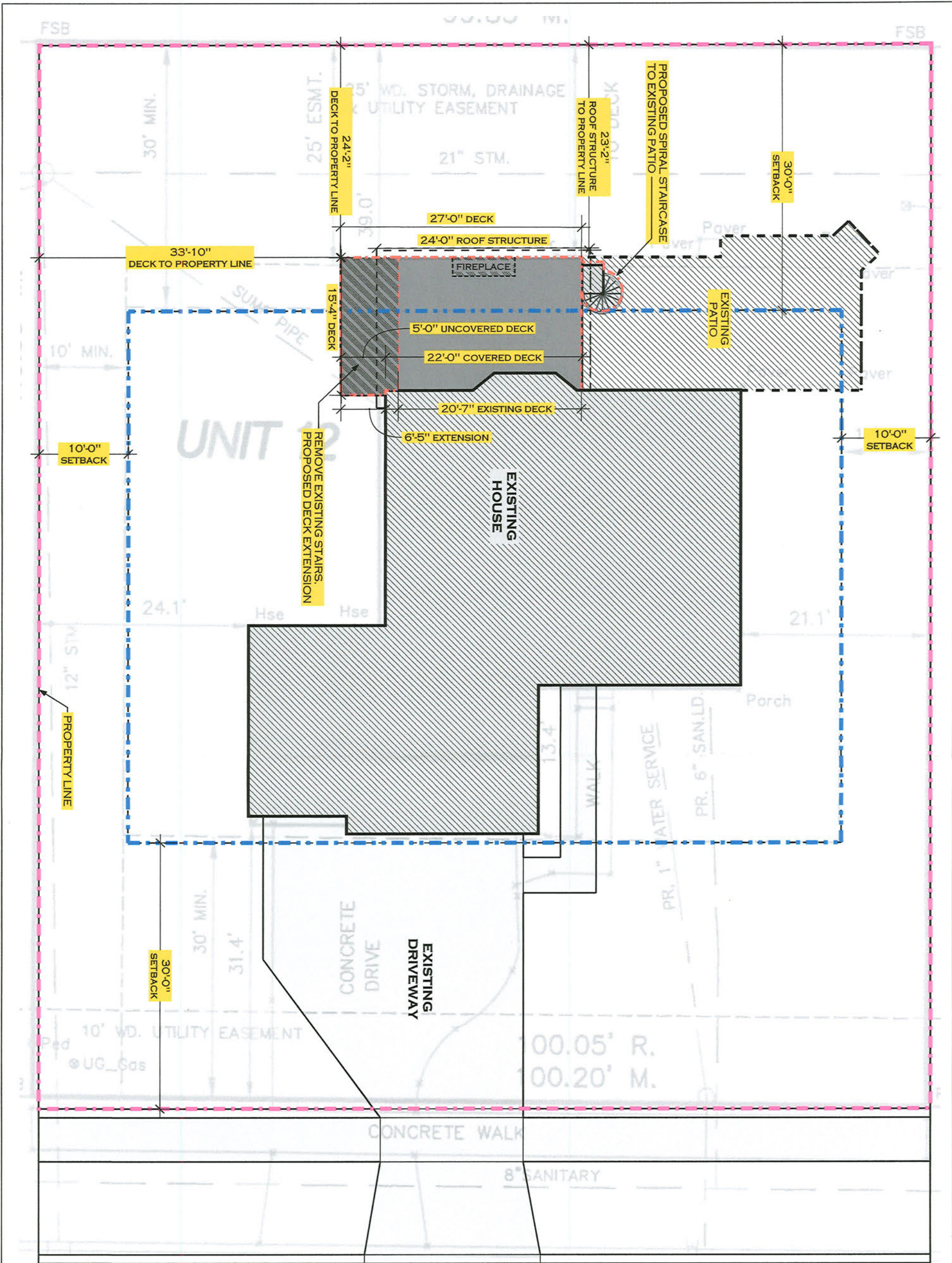
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PPP

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UTILITY WARNING
Know what's below.
Call before you dig.



A	01	Site Plan Scale: 3/32" = 1'-0"	David Bonamy 8333 Colony Ridge Dr., White Lake, MI 48386	 CREATIVE DESIGN BUILD 3195 Orchard Lake Rd. Keego Harbor, MI 48320 Phone: 248.631.4151 Email: info@creativebp.co	REVISIONS	
					MM/DD/YY	REMARKS
					1	
					2	
					3	
					4	
					5	

CLIENT SIGNATURE

Date

CREATIVE REPRESENTATIVE

Date



1
A2

EXISTING DECK



2
A2

PROPOSED - RENDERINGS



REVISIONS

MM/DD/YY	REMARKS
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CREATIVE
DESIGN BUILD

3195 Orchard Lake Rd.
Keego Harbor, MI 48320
Phone: 248.631.4151
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David Bonamy
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White Lake,
MI 48386

Proposed Renderings

A

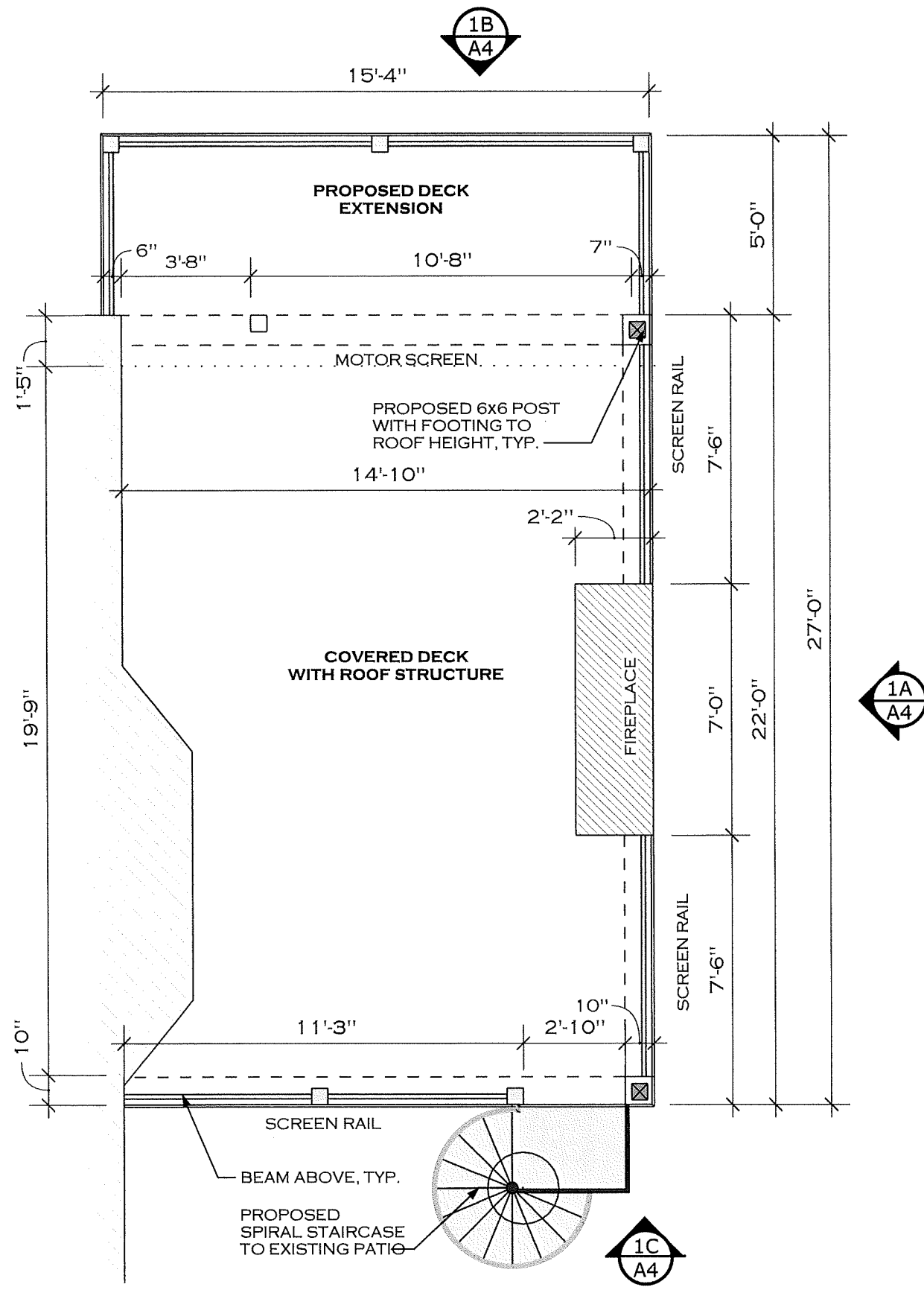
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CLIENT SIGNATURE

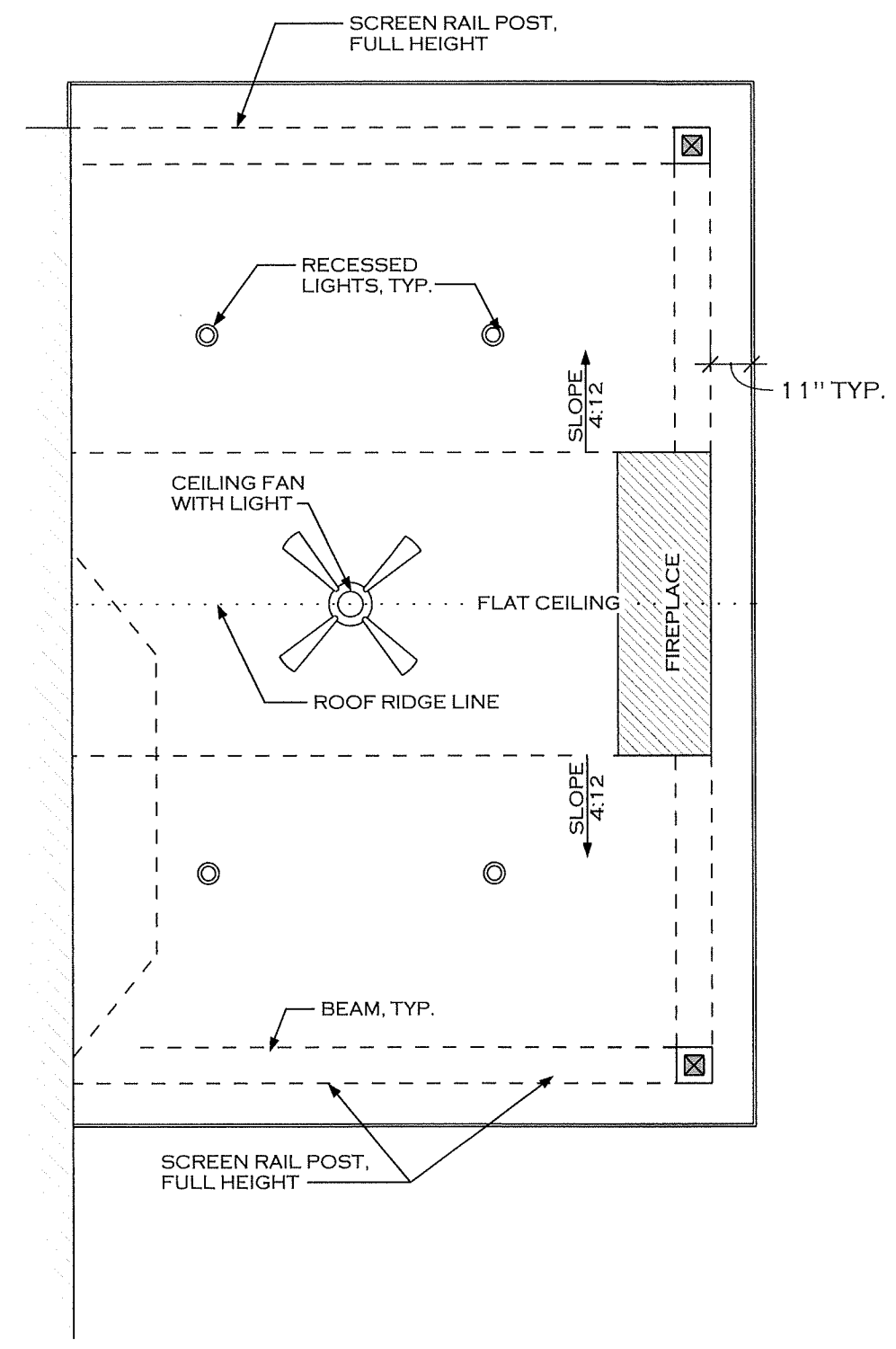
CREATIVE REPRESENTATIVE

Date

Date



1 PLAN
A3 Scale: 1/4"=1'-0"



2 REFLECTED CEILING PLAN
A3 Scale: 1/4"=1'-0"

REVISIONS

MM/DD/YY	REMARKS
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David Bonamy
8333 Colony Ridge Dr.,
White Lake,
MI 48386

Plan and Elevations

A 03

CLIENT SIGNATURE

Date

CREATIVE REPRESENTATIVE

Date

WHITE LAKE TOWNSHIP
7525 HIGHLAND RD
WHITE LAKE, MI 48383-2938
United States
Phone : (248) 698-3300

Received From: DAVID BONAMY
Date: 08/04/2026 Time: 10:50:45 AM
Receipt: 0000237421
Cashier: CTRSAM

ZBA

ITEM REFERENCE	AMOUNT

FEEZBA ZBA/ ZONING BOARD OF APPEALS	
ZBA/ ZONING BOARD OF APPEALS	\$440.00

TOTAL	\$440.00
 CHECK 1307	 \$440.00
Total Tendered:	\$440.00
 Change:	 \$0.00

WHITE LAKE TOWNSHIP



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DATE: 7-28-26

REVISED 5/2025

HOME owner [Signature] 7-28-26
DAVID BONAMY

WHITE LAKE TOWNSHIP COMMUNITY DEVELOPMENT
248-698-3330 X 5



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Keego Harbor, MI 48320
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Creativebp.com

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Zoning Board of Appeals: on behalf of the Bonamy Residence,
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July 1, 2026

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8333 Colony Ridge Dr
White Lake, MI 48386

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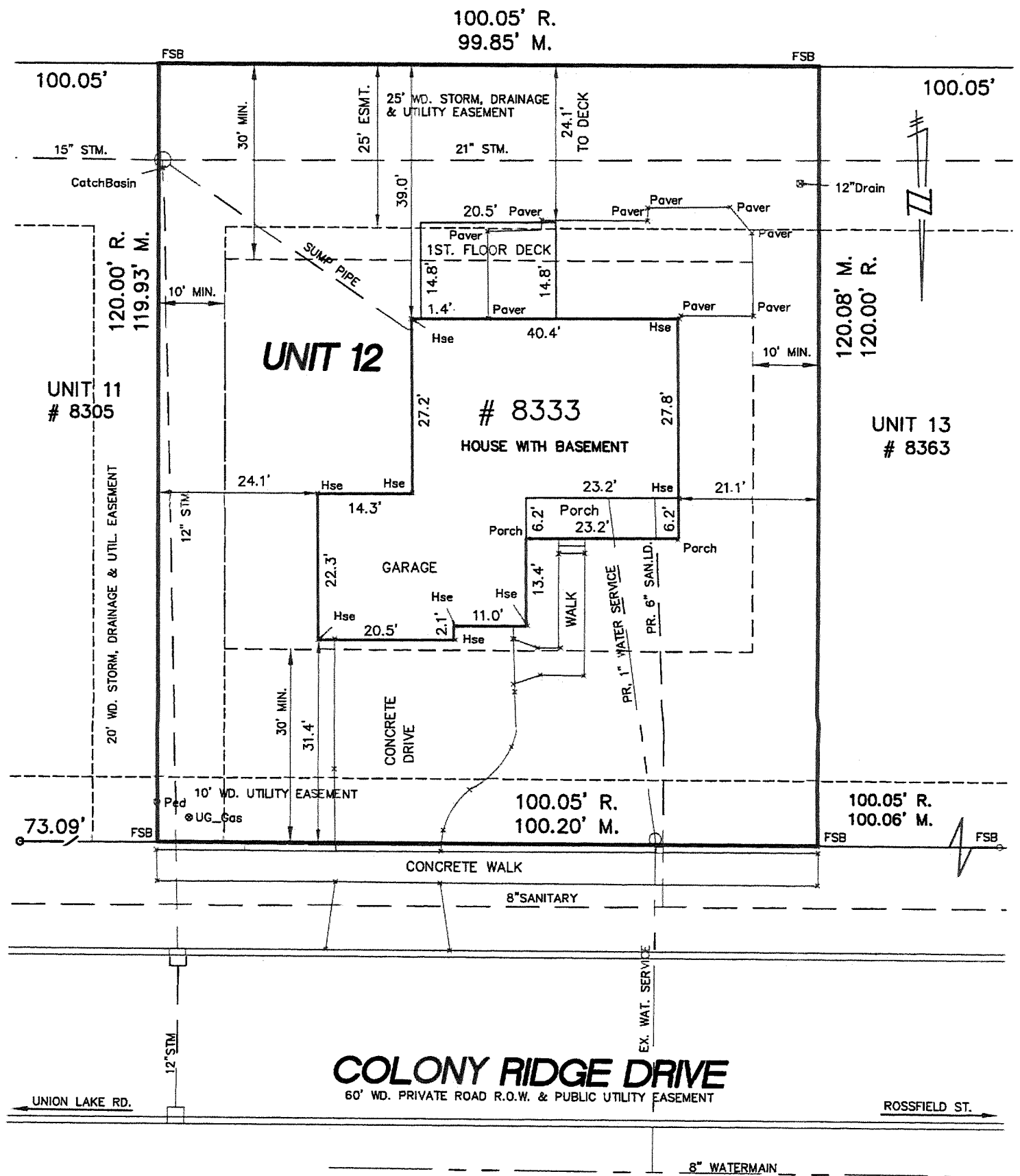
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COLONY RIDGE DRIVE
60' WD. PRIVATE ROAD R.O.W. & PUBLIC UTILITY EASEMENT

LOT SURVEY LEGEND:

R. RECORD DISTANCE
M. MEASURED DISTANCE
FSB FOUND STEEL BAR

MINIMUM SETBACKS:
FRONT = 30 FEET
REAR = 30 FEET
SIDE = 10' MIN. EACH

LOT SURVEY

CLIENT: DAVID BONAMY
8333 COLONY RIDGE DRIVE
WHITE LAKE, MI. 48386

DATE:
7-15-26
JOB NO.:
26-07-002
SCALE:
1"=20'



691 WING STREET
Plymouth, Mi. 48170
ph. 800.221.5263
ph. 734.455.5501
fax 877.837.5267
www.ambitsurveyors.com

DRAWN BY:
GW
CHECK:
PPP
SHEET:
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UTILITY WARNING
Know what's below.
Call before you dig.



1
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EXISTING DECK



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A2

PROPOSED - RENDERINGS



REVISIONS

MM/DD/YY	REMARKS
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DESIGN BUILD

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David Bonamy
8333 Colony Ridge Dr.,
White Lake,
MI 48386

Proposed Renderings

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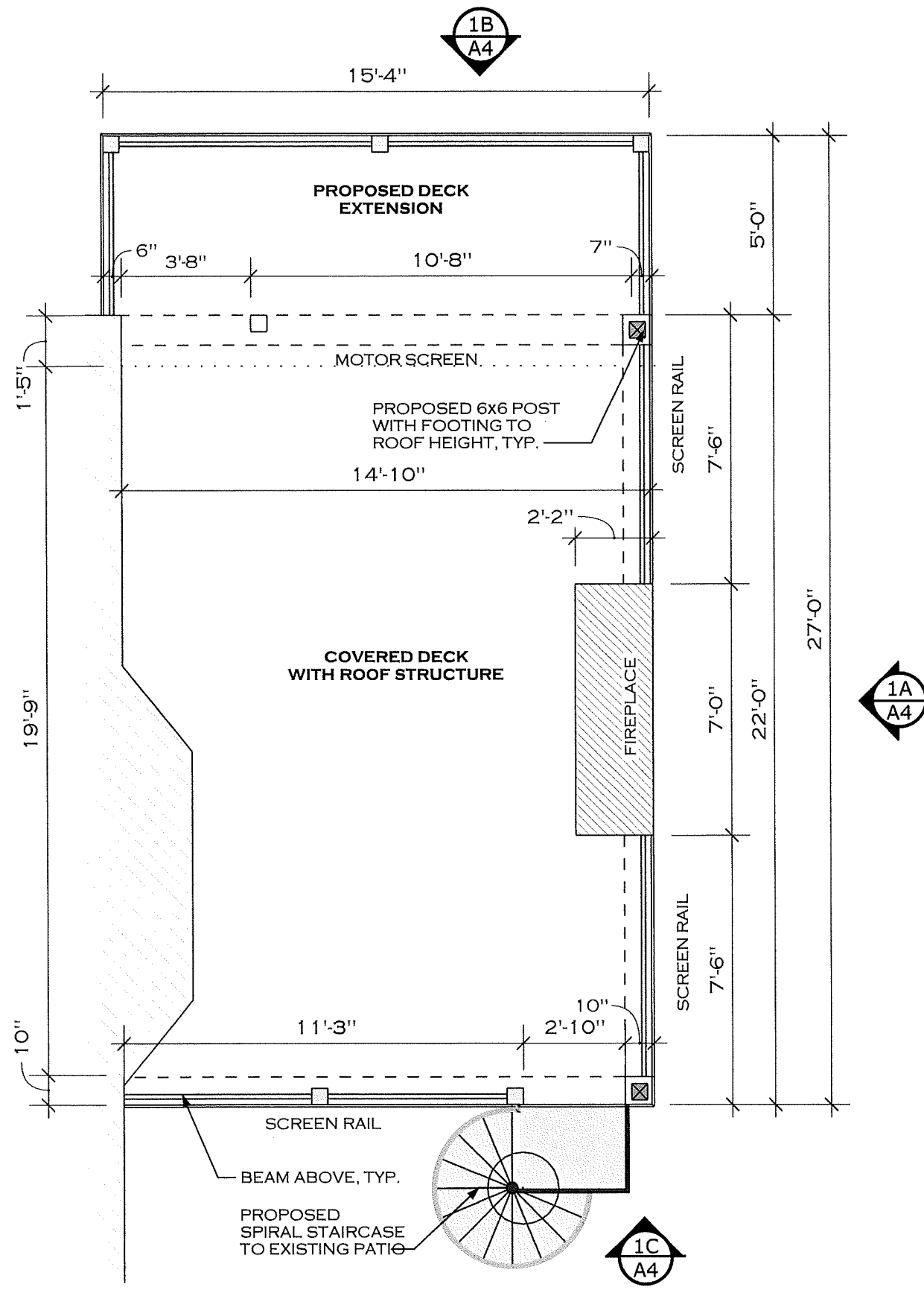
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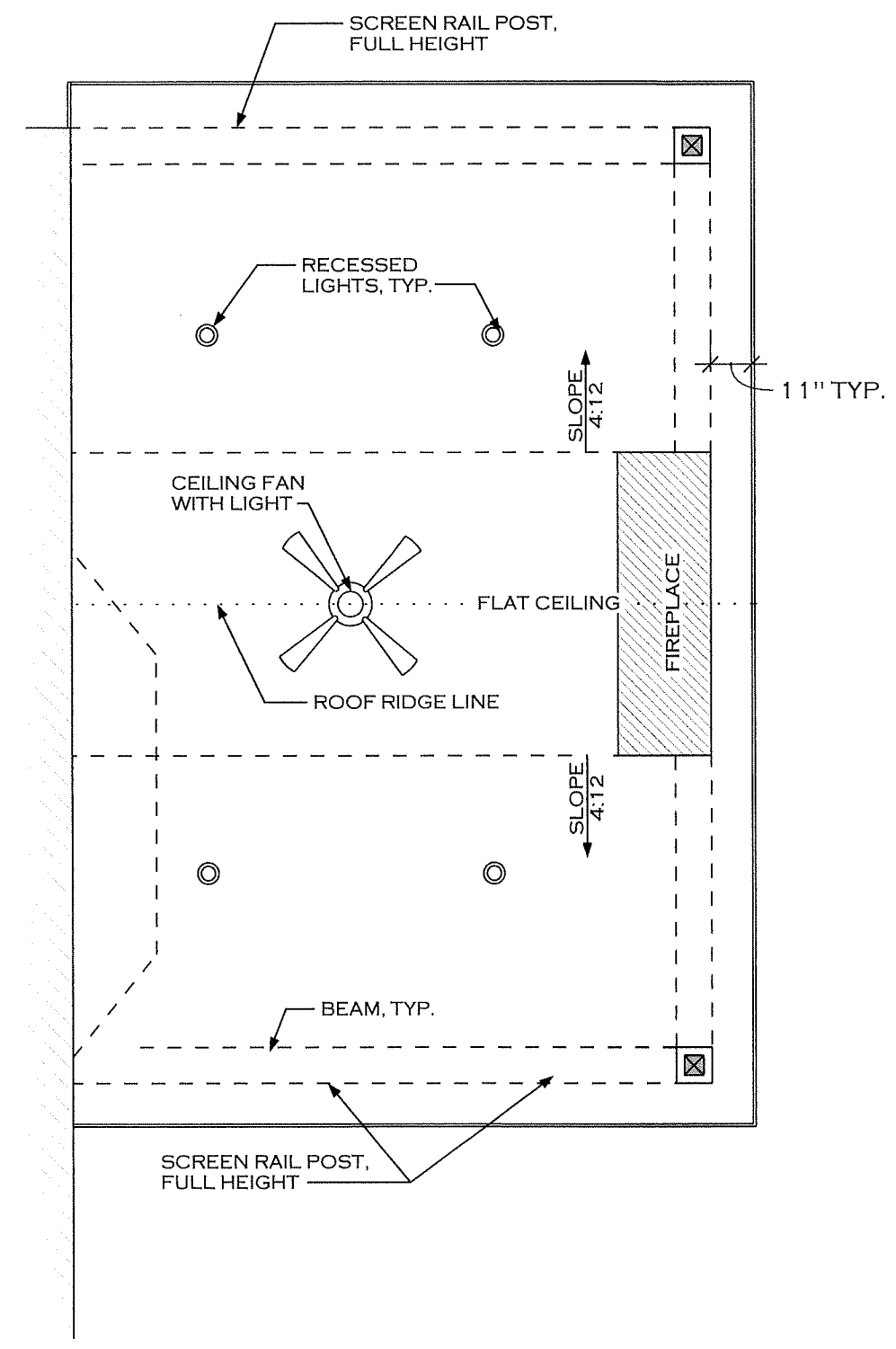
CREATIVE REPRESENTATIVE

Date

Date



1 PLAN
A3 Scale: 1/4"=1'-0"



2 REFLECTED CEILING PLAN
A3 Scale: 1/4"=1'-0"

REVISIONS

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Plan and Elevations

A

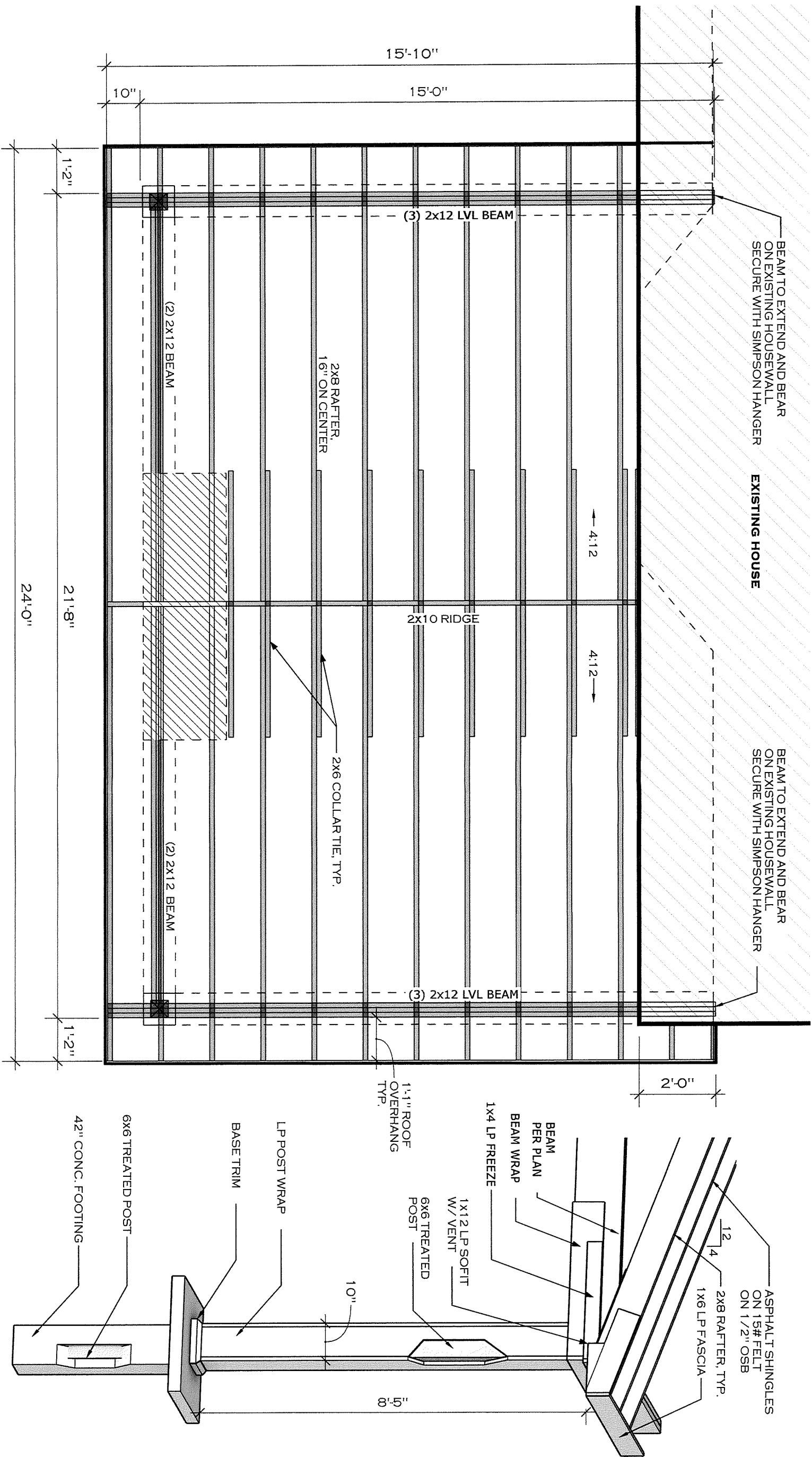
03

CLIENT SIGNATURE

Date

CREATIVE REPRESENTATIVE

Date



1 REFLECTED CEILING PLAN
A6 Scale: 3/8"=1'-0"

2 TYPICAL POST DETAIL
A6 Scale: 3/4"=1'-0"

REVISIONS	
MM/DD/YY	REMARKS
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Roof Framing Plan & Details