

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: January 25, 2024

Agenda item: 8a

Appeal Date: January 25, 2024

Applicant: Lee & Pat Brithinee

Address: 568 Burgess Drive
White Lake, MI 48386

Zoning: R1-C Single Family Residential

Location: 547 Burgess Drive
White Lake, MI 48386

Property Description

The approximately 0.31-acre (13,635 square feet) parcel identified as 547 Burgess Drive is located in the Cedar Shores subdivision (Lot 33 and the southerly portion of Lot 34) on Cedar Island Lake and zoned R1-C (Single Family Residential). The proposed house would utilize a private well for potable water and a private septic system for sanitation.

Applicant's Proposal

Lee and Pat Brithinee, the Applicants, are proposing to construct a new three-story house.

Planner's Report

The parcel is nonconforming due to a 2,365 square foot deficiency in lot area; in the R1-C zoning district the minimum lot size requirement is 16,000 square feet. The Applicants are proposing to construct an approximately 5,411 square foot three-story house including an attached three-car garage (25 feet by 30 feet; 750 square feet). The ground floor and middle floor living spaces are each 1,932 square feet in size, and the upper floor is 797 square feet in size.

The maximum building height allowed in the R1-C zoning district is 30 feet or two stories, whichever is less. While the submitted architectural plans show a building height of approximately 25 feet (west/roadside elevation) from established grade (the coversheet of the architectural plans incorrectly notes the building height as 20'-9"), the proposed house is considered three stories. A basement or cellar is counted as a story if over fifty (50) percent of its height is above the level from which the height of the building is measured. A basement is defined by the Zoning Ordinance as a portion of a building partly below grade but so located that the vertical distance from the grade to the basement floor is greater than the vertical distance from the grade to the basement ceiling. The submitted plans propose to alter the grade in order to create a "basement." However, the vertical distance from the established grade (937.5 feet) to the basement floor (936.5 feet) nets one (1) foot; therefore, the proposed basement is a story. In 2020 the Zoning Board of Appeals made an interpretation affirming an artificial grade cannot be established on a site for the purpose of building a structure and basements are determined using existing/natural grade on a site. A variance of one story is requested to exceed the allowed building height.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.5.E	Maximum building height	30 feet or 2 stories, whichever is less	1 story	3 stories
2	Article 3.1.5.E	Minimum lot area	16,000 feet	2,365 square feet	13,635 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variance requested by Lee and Pat Brithinee from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-27-429-004, identified as 547 Burgess Drive, in order to construct a new house that would exceed the allowed building height by one (1) story. A 2,365 square foot variance from the required lot area are also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The plot plan shall be updated to show the proposed lot coverage.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Division.
- An as-built survey shall be required to verify setbacks and lot coverage.

Denial: I move to deny the variances requested by Lee and Pat Brithinee for Parcel Number 12-27-429-004, identified as 547 Burgess Drive, due to the following reason(s):

Postpone: I move to postpone the appeal of Lee and Pat Brithinee *to a date certain or other triggering mechanism* for Parcel Number 12-27-429-004, identified as 547 Burgess Drive, to consider comments stated during this hearing.

Attachments:

1. Variance application dated December 14, 2023.
2. Applicants' written statement dated December 14, 2023.
3. Plot plan dated July 13, 2022.
4. House plans (revision date September 7, 2023).
5. Letter of denial from the Building Official dated October 18, 2023.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A – E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION
Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: Lee & Pat Brithinee PHONE: 248-535-0191

ADDRESS: 568 Burgess Dr.

APPLICANT'S EMAIL ADDRESS: brithinee@comcast.net

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 547 Burgess Dr. PARCEL # 12-27-429-004

CURRENT ZONING: RIC PARCEL SIZE: .31 AC OR 13,635 SQ. FT.

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: variance to build a
walk-out basement or the loft. section 2 grade & basement

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 12-14-2023

RECEIVED

DEC 15 2023

COMMUNITY
DEVELOPMENT
DEPARTMENT

There are two houses within 300 feet of this lot that have walk-out basements. Their addresses are 575 Island Dr., and 560 Burgess Dr. I have included the Oakland County Residential Property Profiles for both of these. The home directly across the street from our property (560 Burgess Dr.) has existing home elevations within inches of our proposed build which include a basement, garage, first floor and loft. We are providing both our proposed elevations and those of 560 Burgess Dr.

Both homes; 575 Island Dr. and 560 Burgess Dr.; were built under the same ordinances and restrictions that are in effect today, and neither property owner had to request a variance to build a basement by creating an "artificial grade". White Lake approved them.

The house at 575 Island Dr. was built eleven years ago. The house at 560 Burgess Dr. was built seventeen years ago. Neither of these homes have created any adverse impact to any surrounding or nearby property.

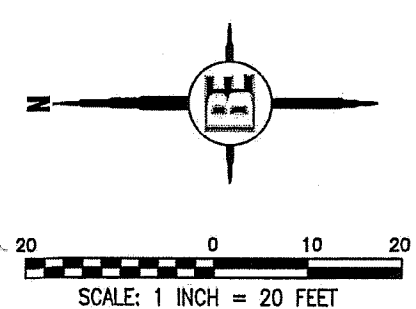
We are not asking to do something that's never been done. We are asking to do something that has been done and done successfully; not once but twice within close proximity to our property.

PLOT PLAN

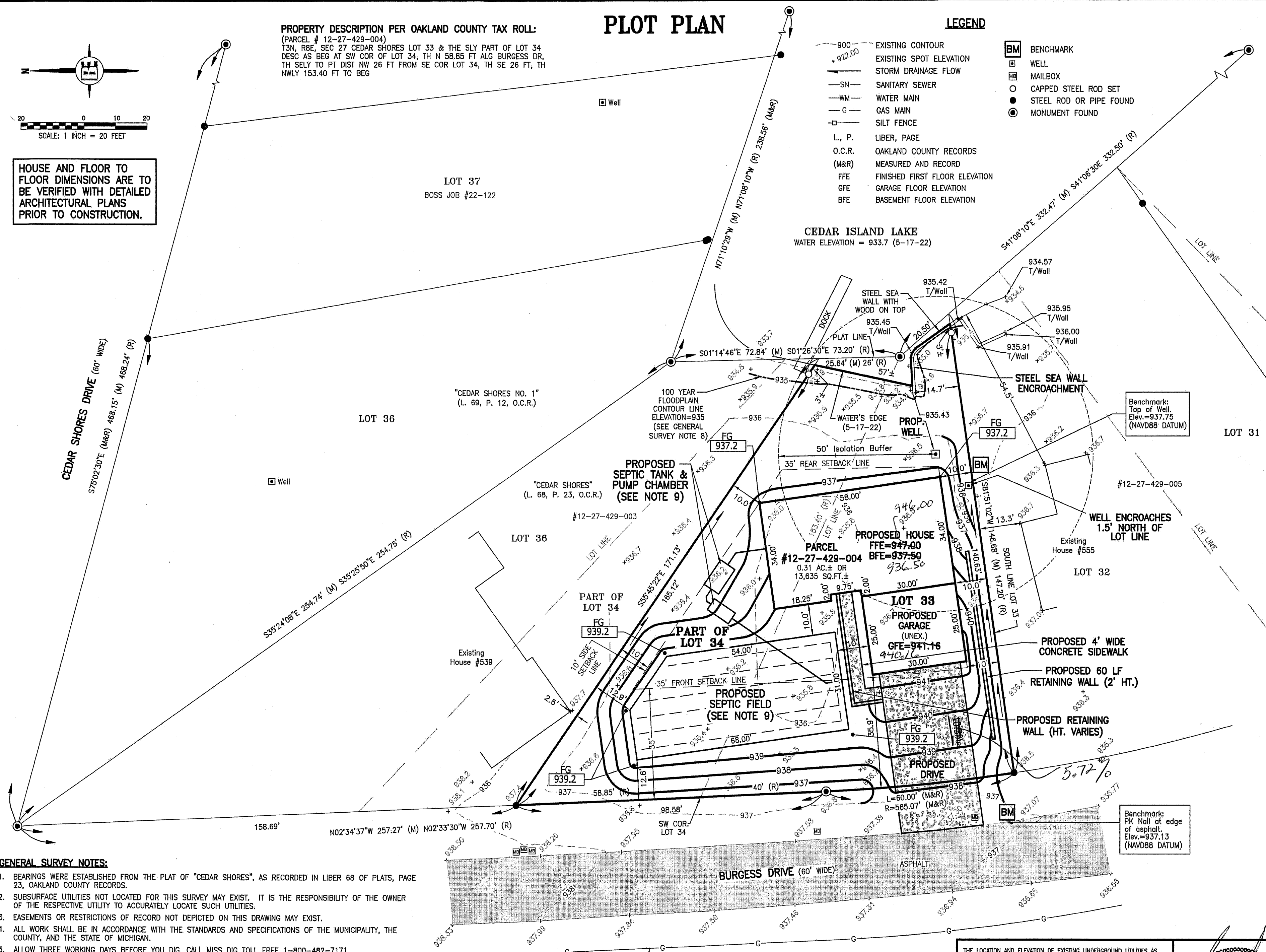
PROPERTY DESCRIPTION PER OAKLAND COUNTY TAX ROLL:
 (PARCEL # 12-27-429-004)
 T3N, R8E, SEC 27 CEDAR SHORES LOT 33 & THE SLY PART OF LOT 34
 DESC AS BEG AT SW COR OF LOT 34, TH N 58.85 FT ALG BURGESS DR,
 TH SELY TO PT DIST NW 26 FT FROM SE COR LOT 34, TH SE 26 FT, TH
 NWLY 153.40 FT TO BEG

LEGEND

- 900 - EXISTING CONTOUR
- + 922.00 - EXISTING SPOT ELEVATION
- - STORM DRAINAGE FLOW
- SN--- - SANITARY SEWER
- WM--- - WATER MAIN
- G--- - GAS MAIN
- S--- - SILT FENCE
- L, P. - LIBER, PAGE
- O.C.R. - OAKLAND COUNTY RECORDS
- (M&R) - MEASURED AND RECORD
- FFE - FINISHED FIRST FLOOR ELEVATION
- GFE - GARAGE FLOOR ELEVATION
- BFE - BASEMENT FLOOR ELEVATION
- BM - BENCHMARK
- W - WELL
- M - MAILBOX
- - CAPPED STEEL ROD SET
- - STEEL ROD OR PIPE FOUND
- ⊙ - MONUMENT FOUND



HOUSE AND FLOOR TO FLOOR DIMENSIONS ARE TO BE VERIFIED WITH DETAILED ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.



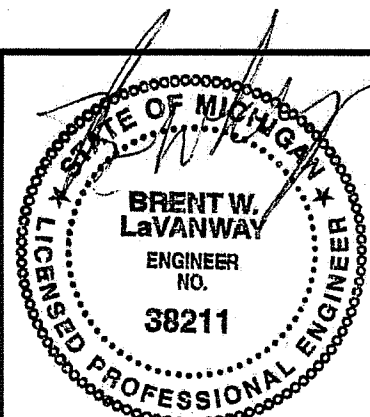
GENERAL SURVEY NOTES:

1. BEARINGS WERE ESTABLISHED FROM THE PLAT OF "CEDAR SHORES", AS RECORDED IN LIBER 68 OF PLATS, PAGE 23, OAKLAND COUNTY RECORDS.
2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
5. ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.
6. ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD88 DATUM)
7. CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
8. MAJORITY OF SUBJECT PROPERTY IS DESIGNATED AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN (ZONE X) AND PART OF SUBJECT PROPERTY IS LOCATED WITH IN THE 1% ANNUAL CHANCE FLOOD PLAN (ZONE AE) WITH A BASE FLOOD ELEVATION OF 935 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM), FOR THE TOWNSHIP OF WHITE LAKE, OAKLAND COUNTY, MICHIGAN, MAP NUMBER 26125C0338F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006 ALONG WITH THE FLOOD INSURANCE STUDY FOR OAKLAND COUNTY.
9. PROPOSED SEPTIC FIELD AND TANKS AS SHOWN ON THIS DRAWING WERE DEPICTED FROM A SEPTIC DESIGN DRAWING PREPARED BY POWELL ENGINEERING & ASSOCIATES, LLC, JOB NO. 21-428, DATED 12-2-21.

Approximate location of 2" S-MP Gas Main as shown on sketch obtained from Consumers Energy website: www.consumersenergy.com/sims

CURRENT ZONING: R1-C (SINGLE FAMILY RESIDENTIAL)
 MINIMUM SETBACK REQUIREMENTS:
 FRONT = 35 FEET
 SIDES = 10 FEET
 REAR = 35 FEET
 ORDINARY HIGH WATER MARK = 25 FEET
 MINIMUM LOT AREA = 16,000 SQ.FT.
 MINIMUM LOT WIDTH = 100 FEET
 MAXIMUM LOT COVERAGE = 20%
 MAXIMUM BUILDING HT. = 30 FEET OR (2) STORIES

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



PROJECT: **PARCEL #12-27-429-004**

PREPARED FOR:
BRITHINEE
 568 BURGESS DRIVE
 WHITE LAKE, MI 48386
 248-535-0191

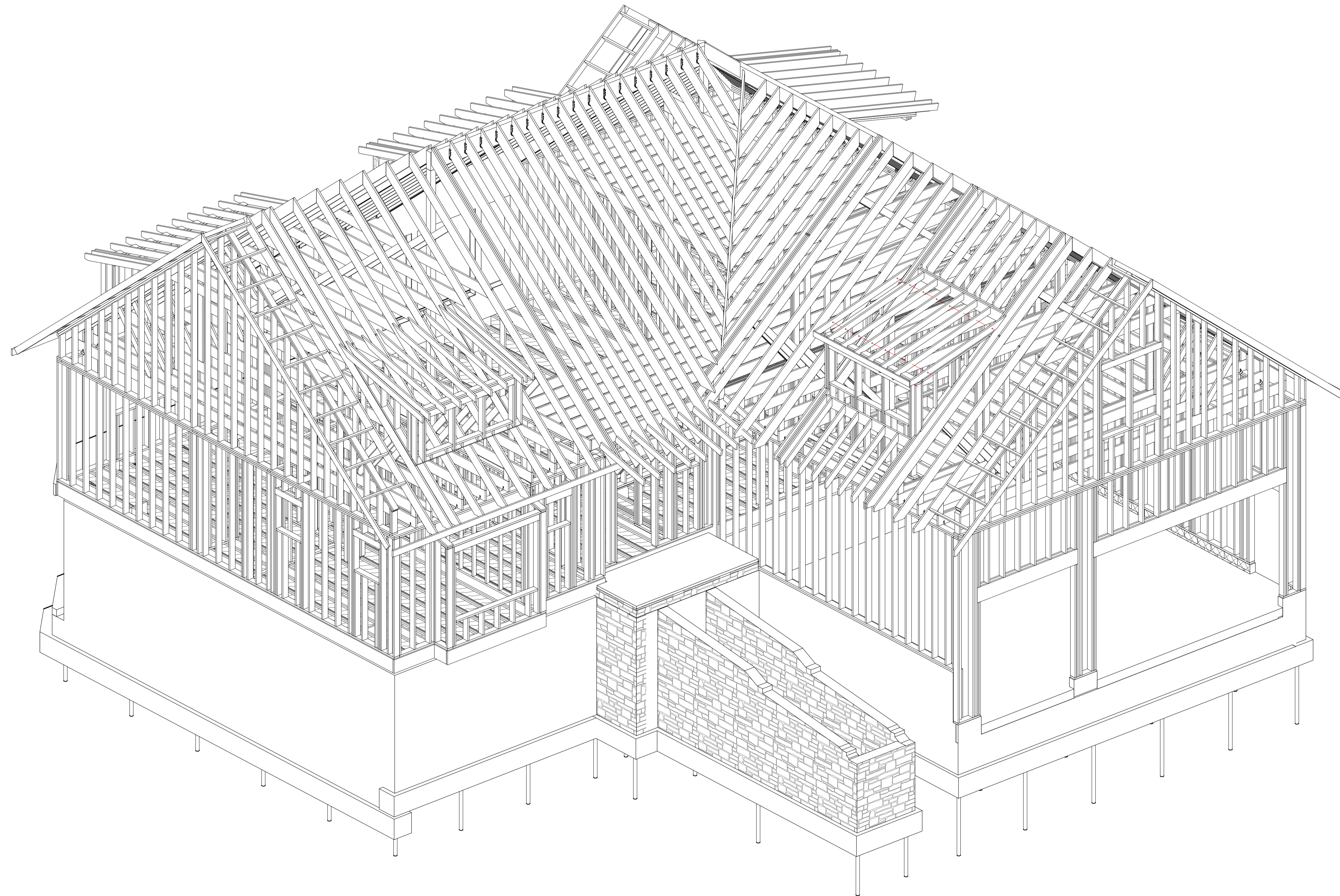
TITLE: **PLOT PLAN**

NO.	BY	REVISION PER	DATE

DRAWN BY: AEB
 FIELD CREW: TG/CZ
 CHECKED BY:
 SCALE: 1" = 20'
 JOB NO. 22-146
 DATE: 7-13-22
 SHEET NO. **1 OF 1**

BE BOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
DORMER OVER GARGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



1
S.O. 3-D FRAMING
SCALE:

J&A ARCHITECTURAL
ENGINEERING

3250 WEST BIG BEAVER RD.
SUITE 510
TROY, MI 48064
P. 248.282.6475
F.248.590.0257

General Public Notice
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PROJECT TITLE:
**LEE & PAT BRITHINEE
RESIDENCE**
SITE ADDRESS:
**568 BURGESS DR,
WHITE LAKE**

PREPARED FOR:
LEE & PAT
ADDRESS:
**568 BURGESS DR,
WHITE LAKE**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

NOTES:
1.

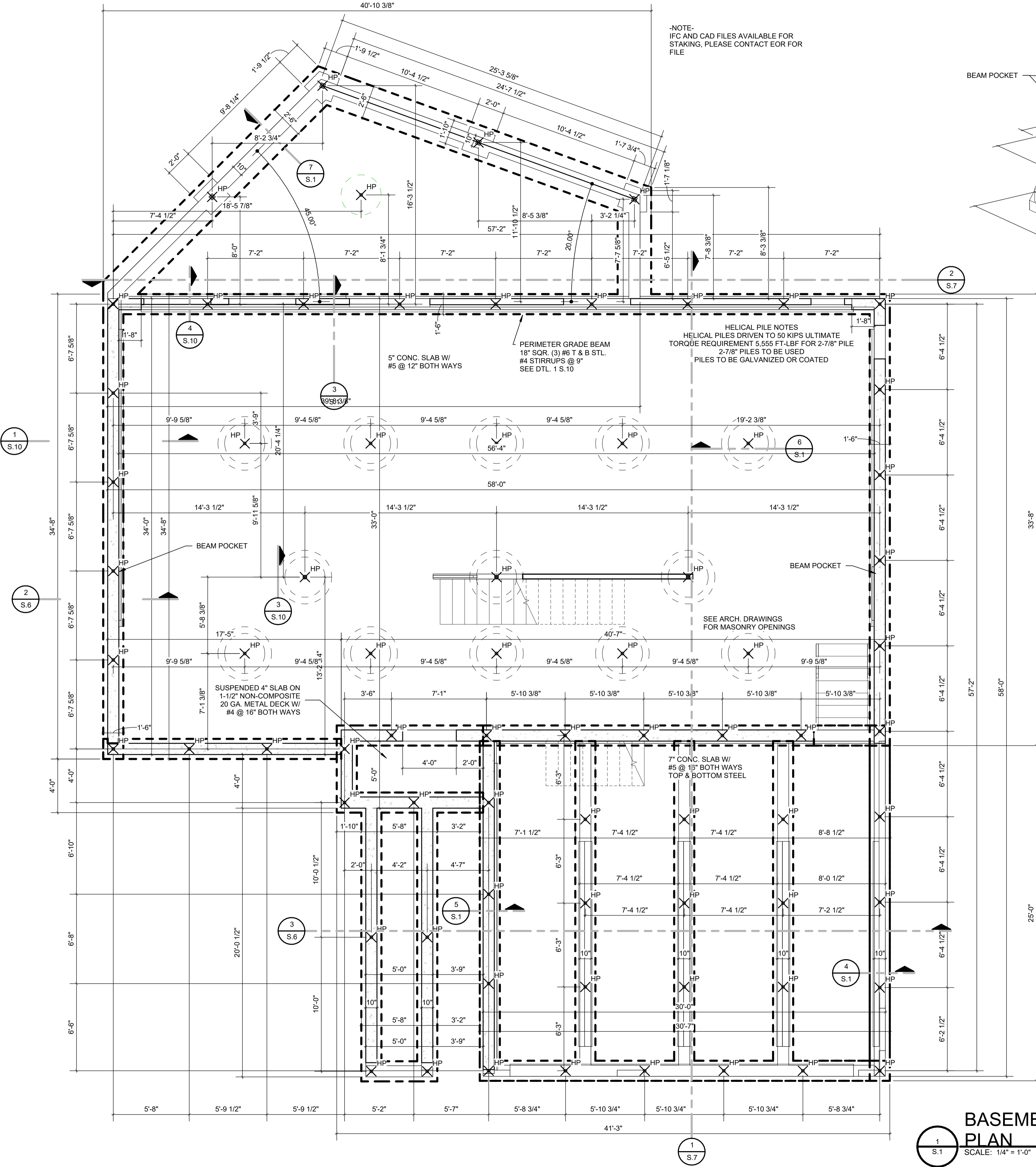
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CHECKED :	SW
PROJECT NO :	23-110

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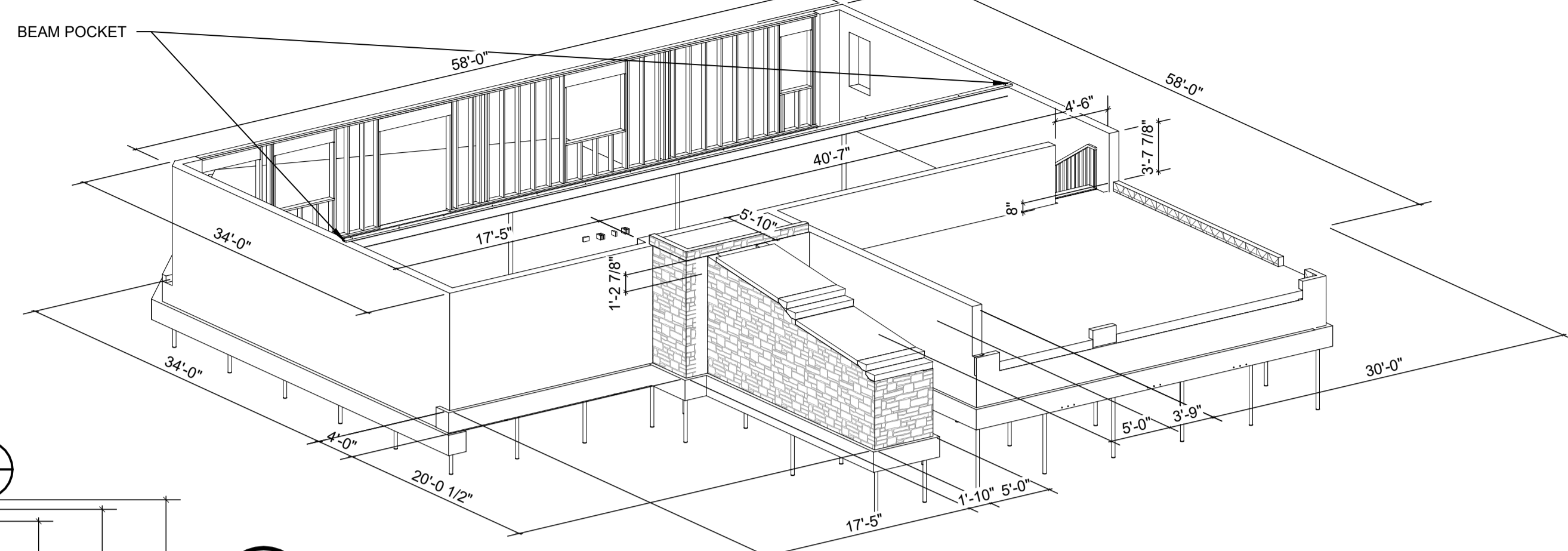
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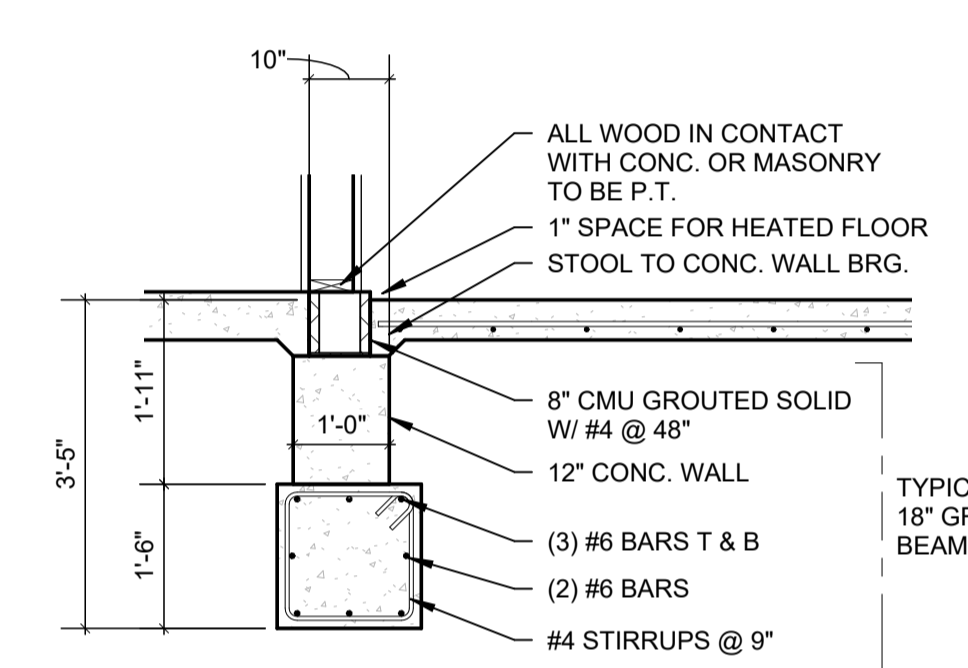


-NOTE-
IFC AND CAD FILES AVAILABLE FOR
STAKING, PLEASE CONTACT EOR FOR
FILE

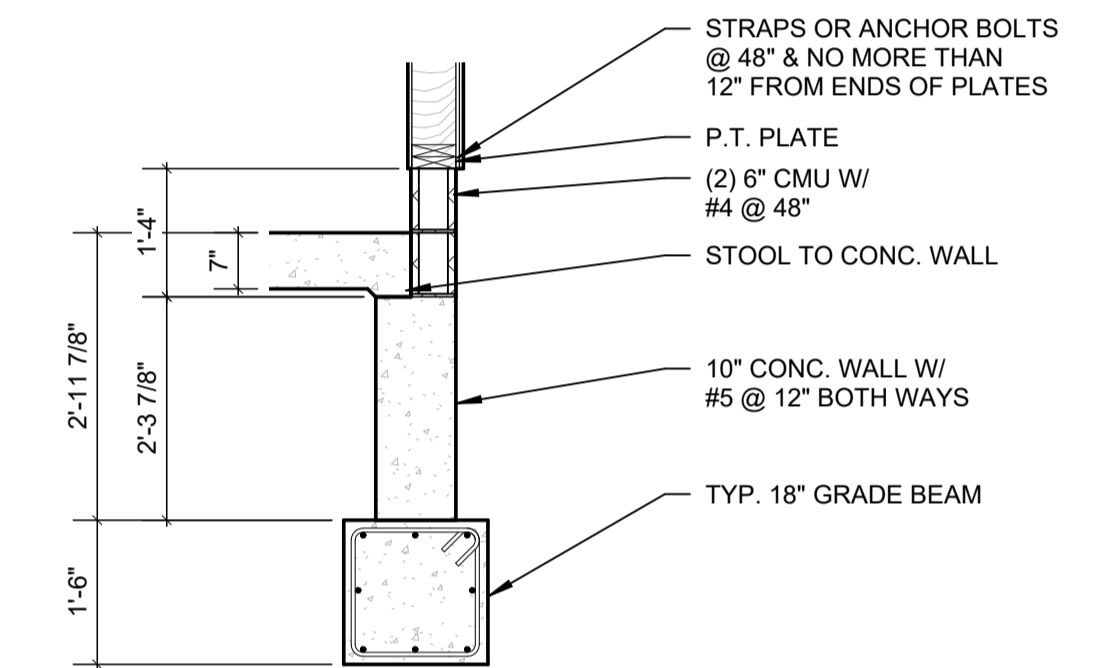
REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
DORMER OVER GARGE CHANGED FROM LAY-ON TO
FUNCTIONAL DORMER



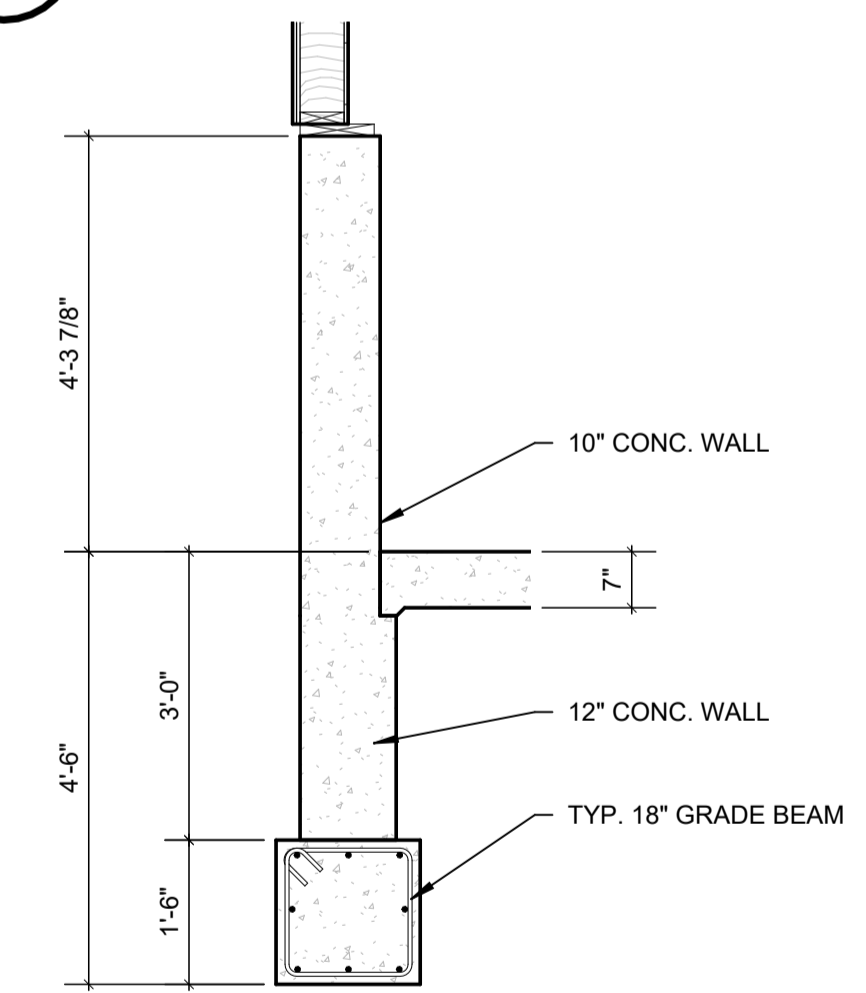
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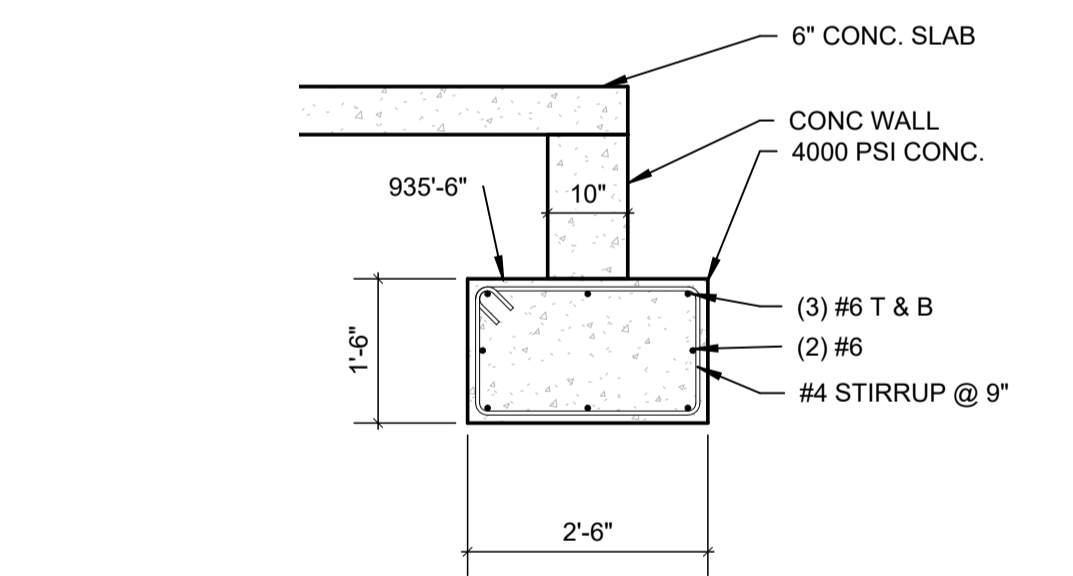
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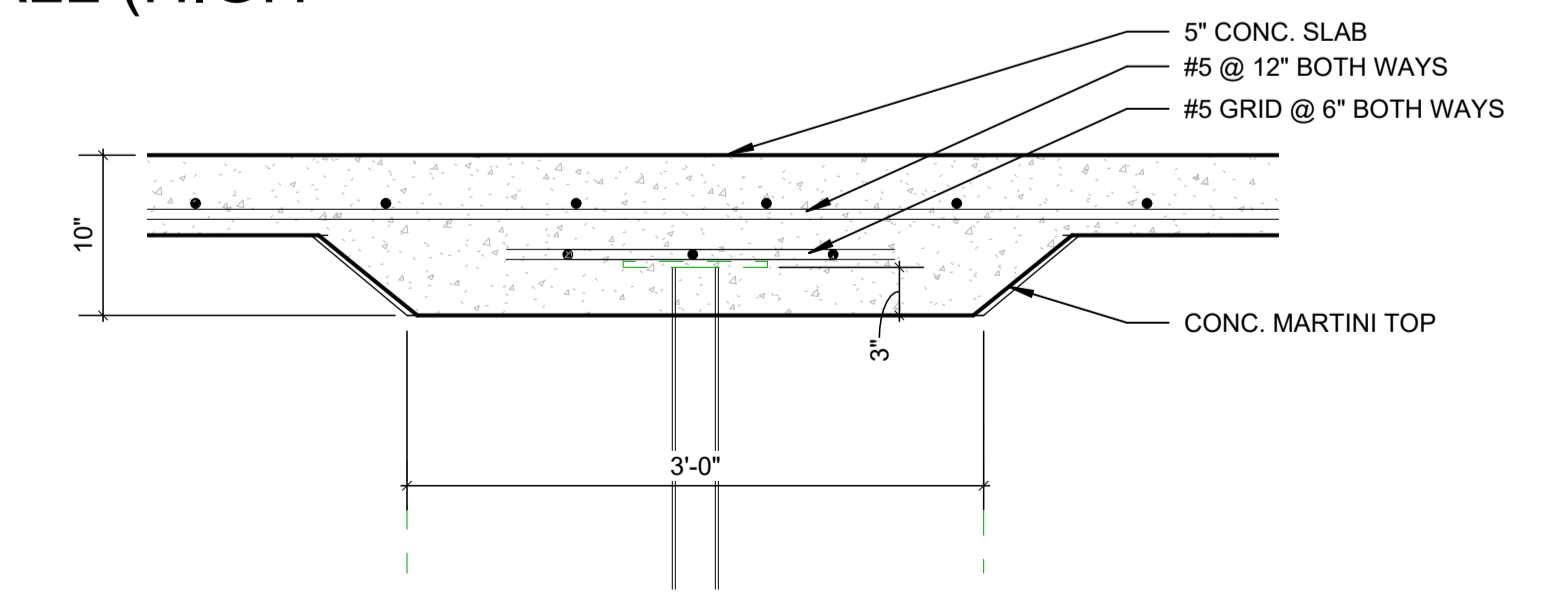
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S.1
SCALE: 1/2" = 1'-0"



7
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SCALE: 1/2" = 1'-0"



6
S.1
SCALE: 1" = 1'-0"

1
S.1
SCALE: 1/4" = 1'-0"

J&A ARCHITECTURAL
ENGINEERING

3250 WEST BIG BEAVER RD.
SUITE 510
TROY, MI 48064
P. 248.282.6475
F. 248.590.0257

PROJECT TITLE:
**LEE & PAT BRITHINEE
RESIDENCE**

SITE ADDRESS:
**568 BURGESS DR,
WHITE LAKE**

PREPARED FOR:
LEE & PAT

ADDRESS:
**568 BURGESS DR,
WHITE LAKE**

ISSUES/REVISIONS DATE
OWNER REVIEW 03/27/2023

NOTES:
1.

PROFESSIONAL IN RESPONSIBLE
CHARGE:

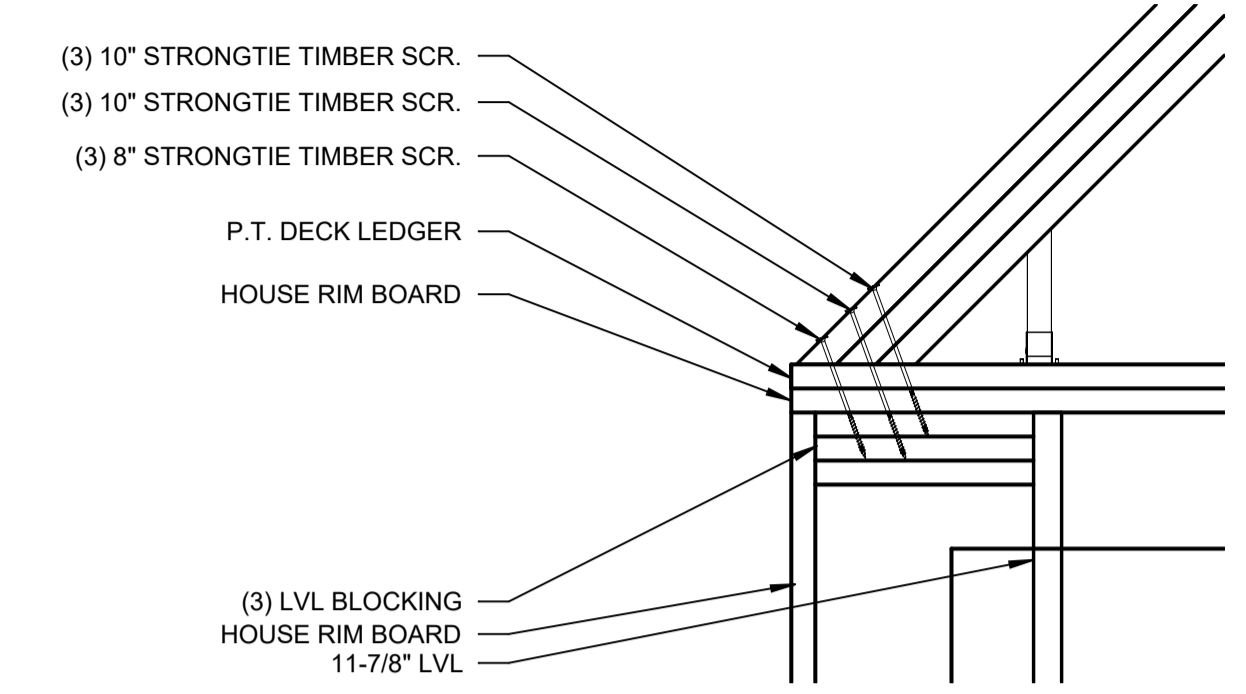
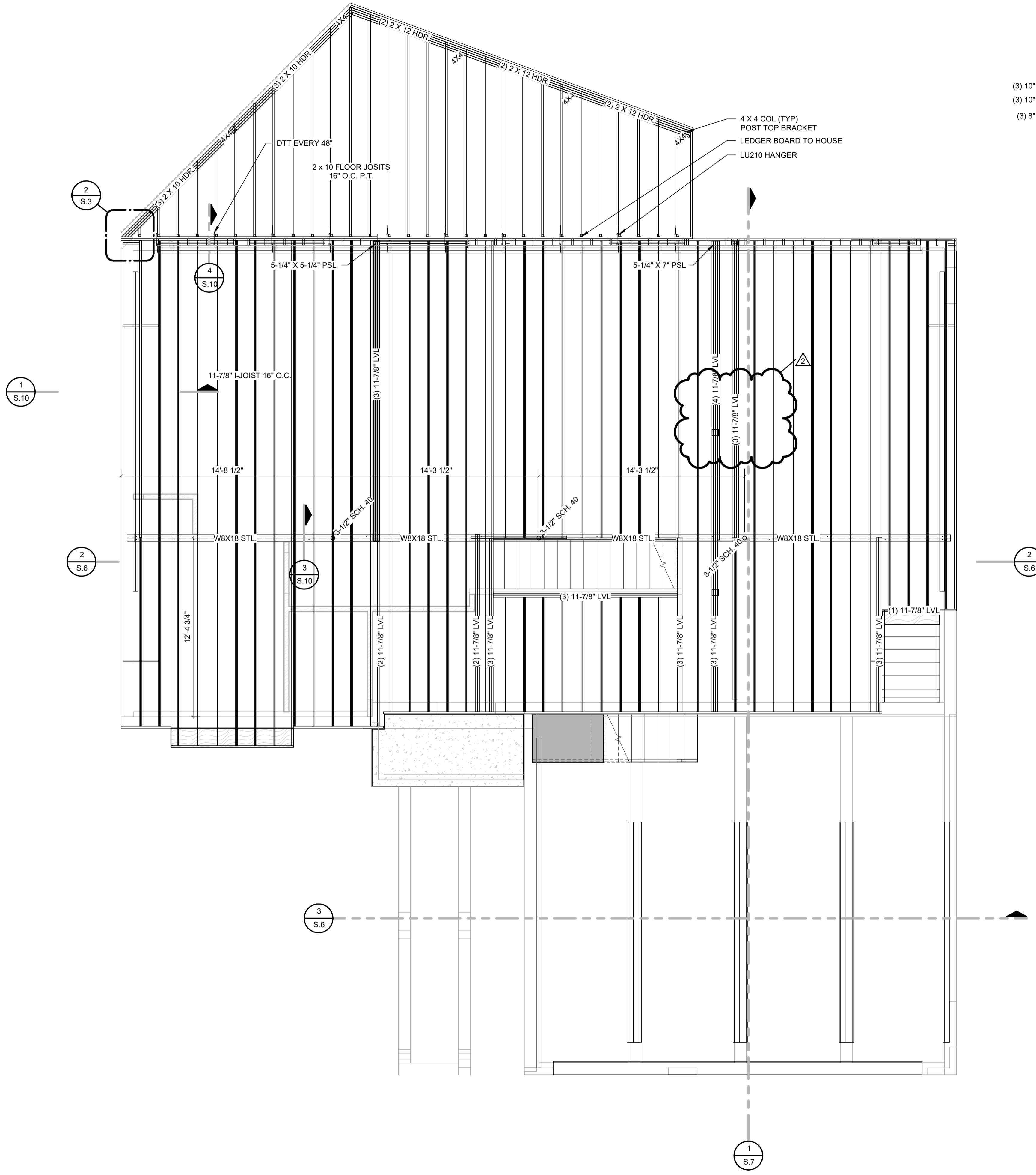
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CHECKED: SW
PROJECT NO: 23-110

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FOUNDATION

SHEET NUMBER:
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SCALE: SEE VIEW

REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
 DORMER OVER GARAGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



DECK CONNECTION DETAIL
 SCALE: 1" = 1'-0"

FRAMING PLAN
 SCALE: 1/4" = 1'-0"

J&A ARCHITECTURAL ENGINEERING
 3250 WEST BIG BEAVER RD.
 SUITE 510
 TROY, MI 48064
 P. 248.282.6475
 F. 248.590.0257

General Conditions
 The client agrees, through this contract, to hold the architect responsible for all structural engineering, design, and construction. The architect shall not be responsible for any errors or omissions, whether or not caused by the architect's negligence. This document is prepared under the supervision of J&A Architectural Engineering.
 © Copyright 2023

PROJECT TITLE:
LEE & PAT BRITHINEE RESIDENCE
 SITE ADDRESS:
568 BURGESS DR, WHITE LAKE

PREPARED FOR:
LEE & PAT
 ADDRESS:
568 BURGESS DR, WHITE LAKE

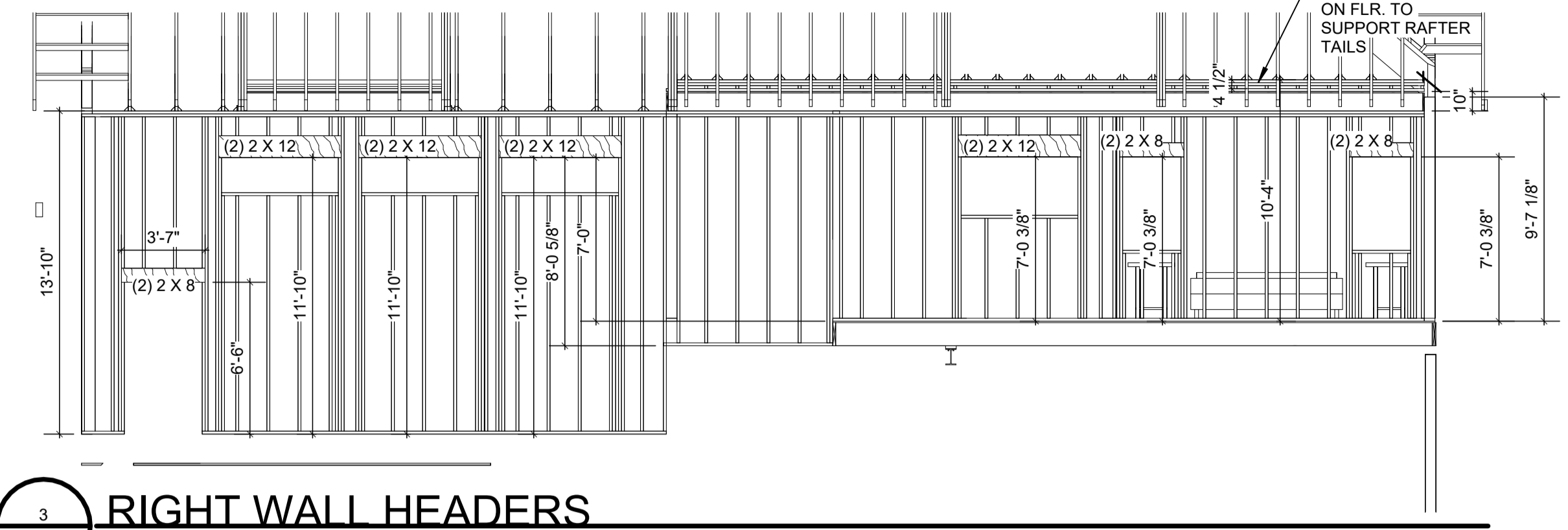
ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

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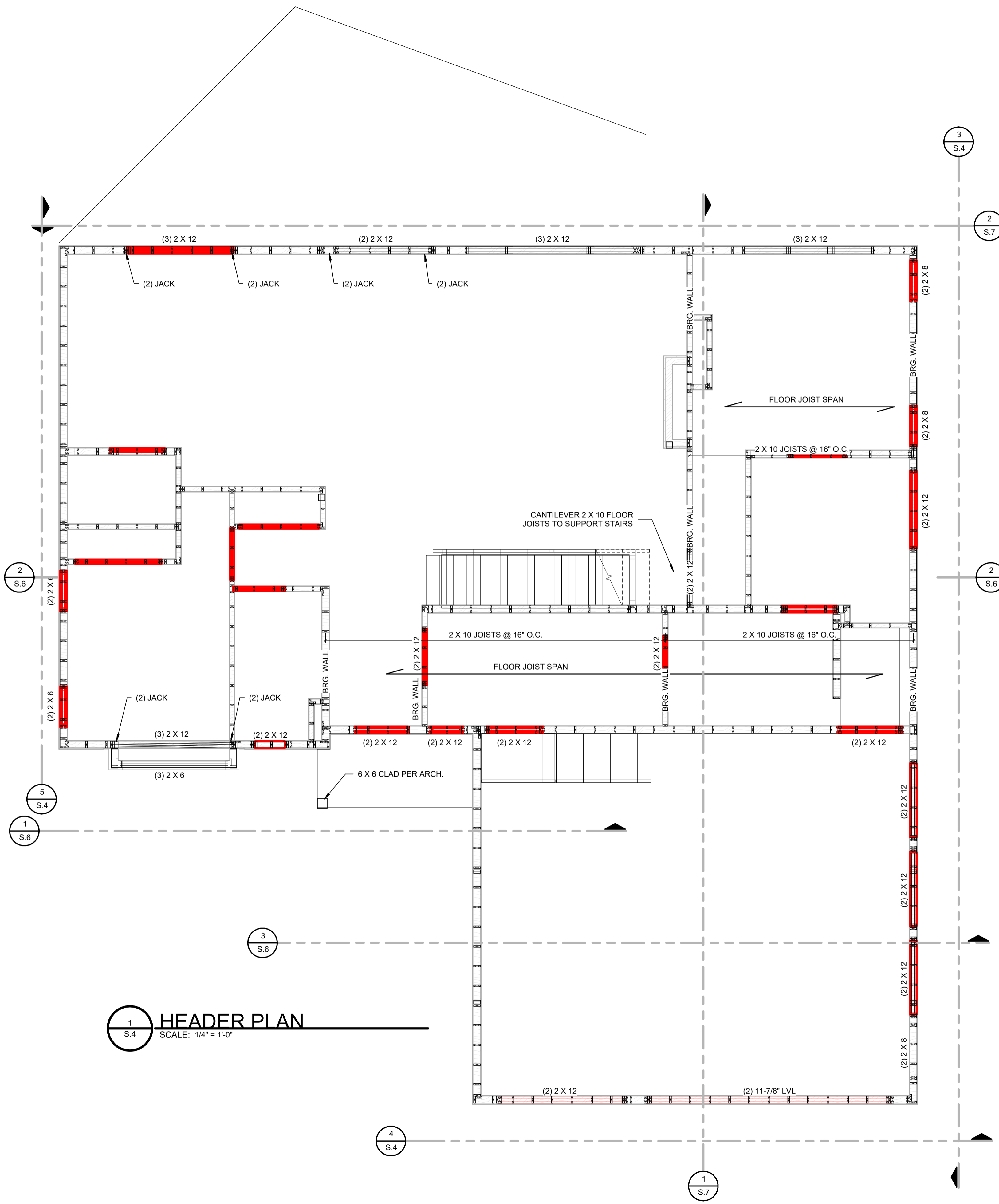
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DATE: 05-08-2023
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 PROJECT NO: 23-110
 SHEET TITLE:
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 SHEET NUMBER:
S.3
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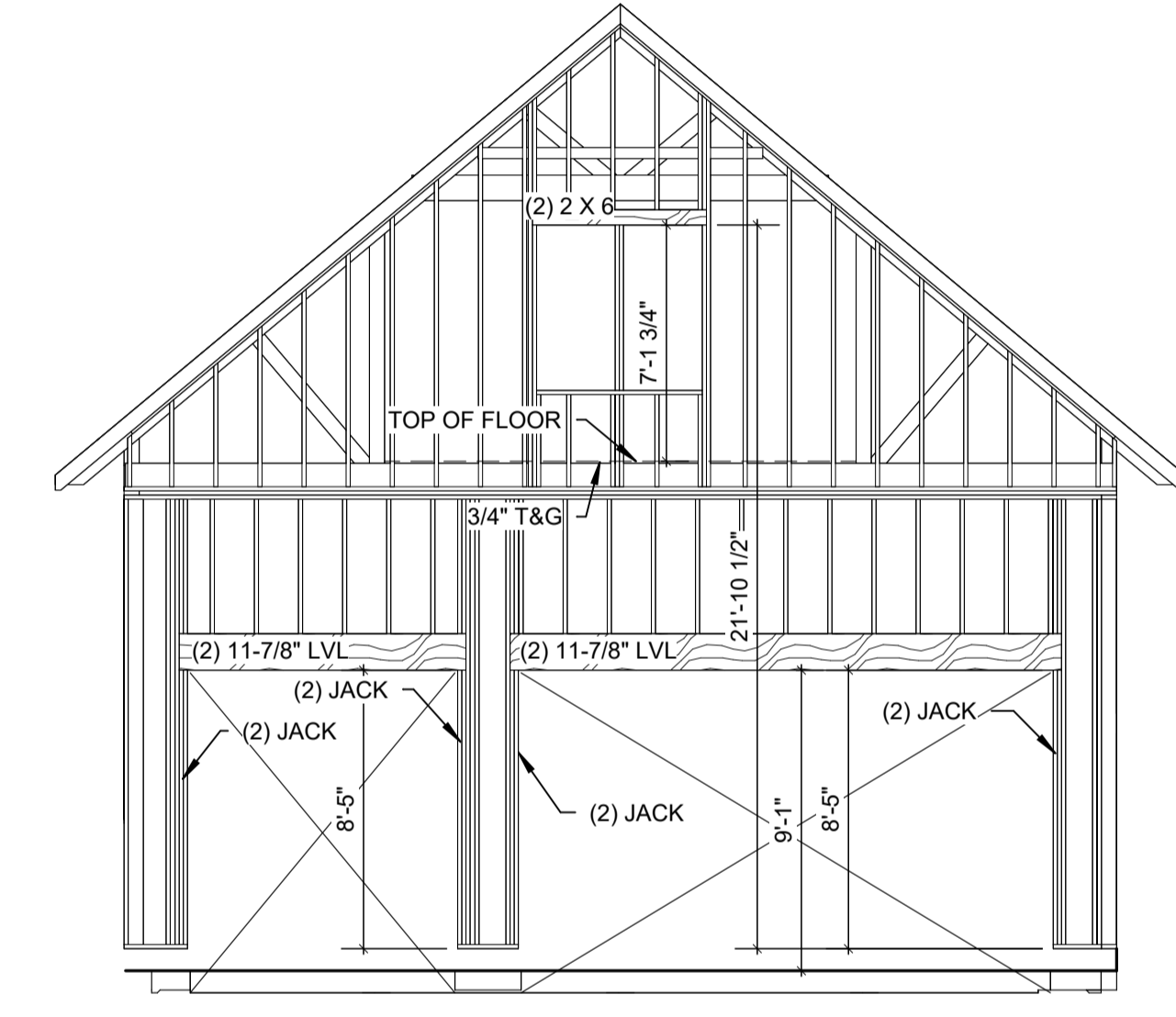
REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
 DORMER OVER GARAGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



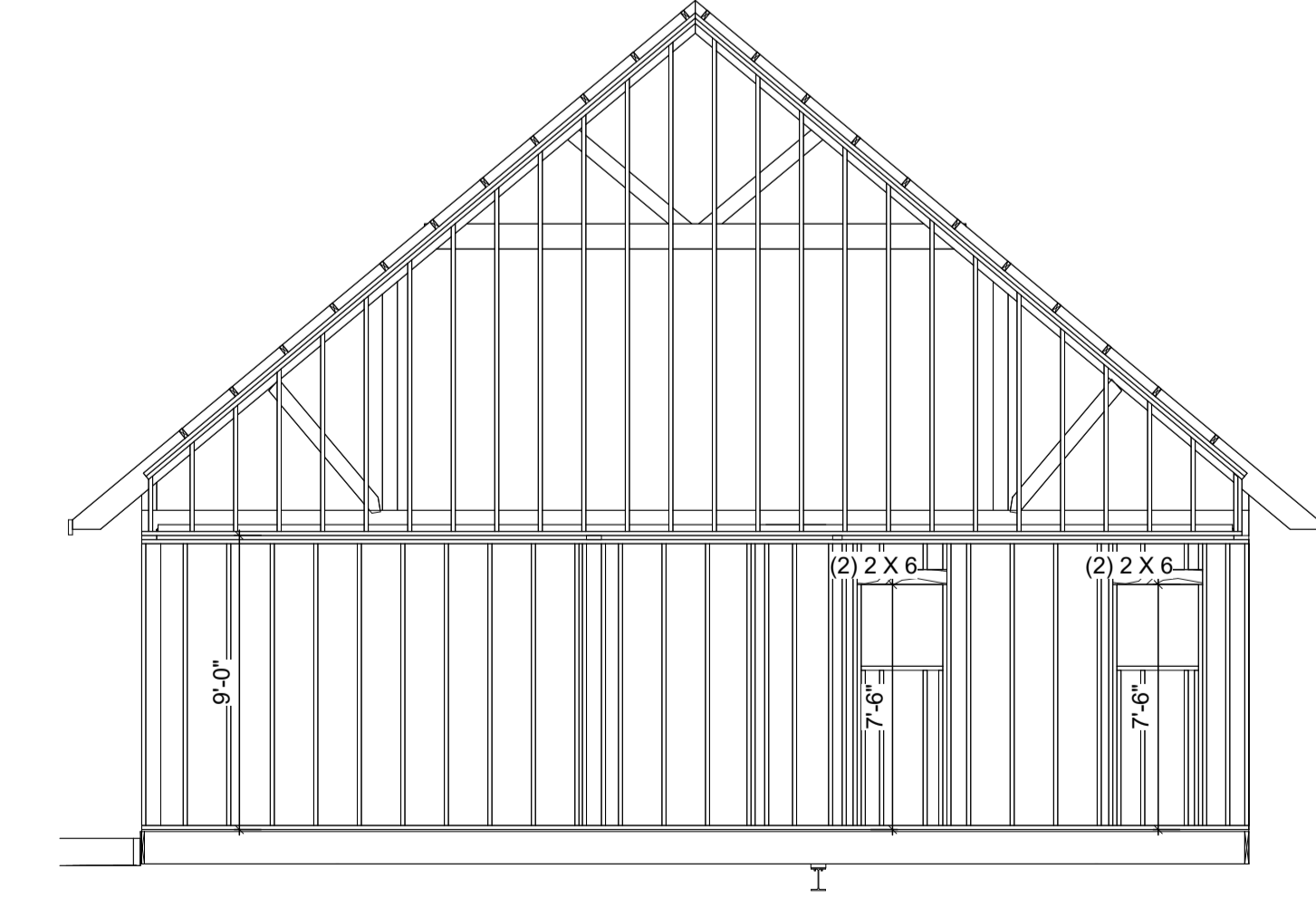
RIGHT WALL HEADERS
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HEADER PLAN
 SCALE: 1/4" = 1'-0"



FRONT HEADERS
 SCALE: 3/16" = 1'-0"



LEFT WALL HEADERS
 SCALE: 3/16" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

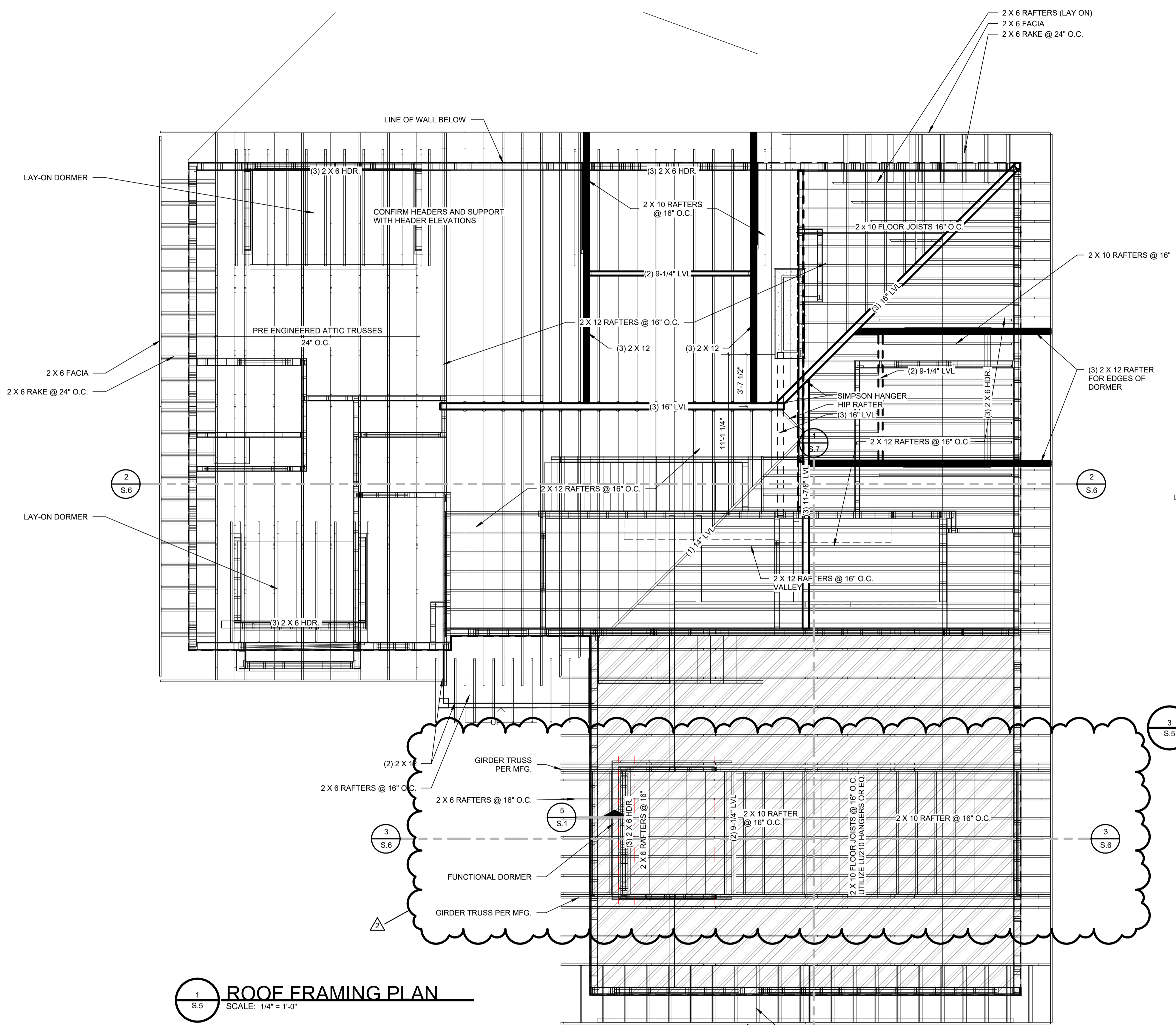
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PROJECT NO.:	23-110

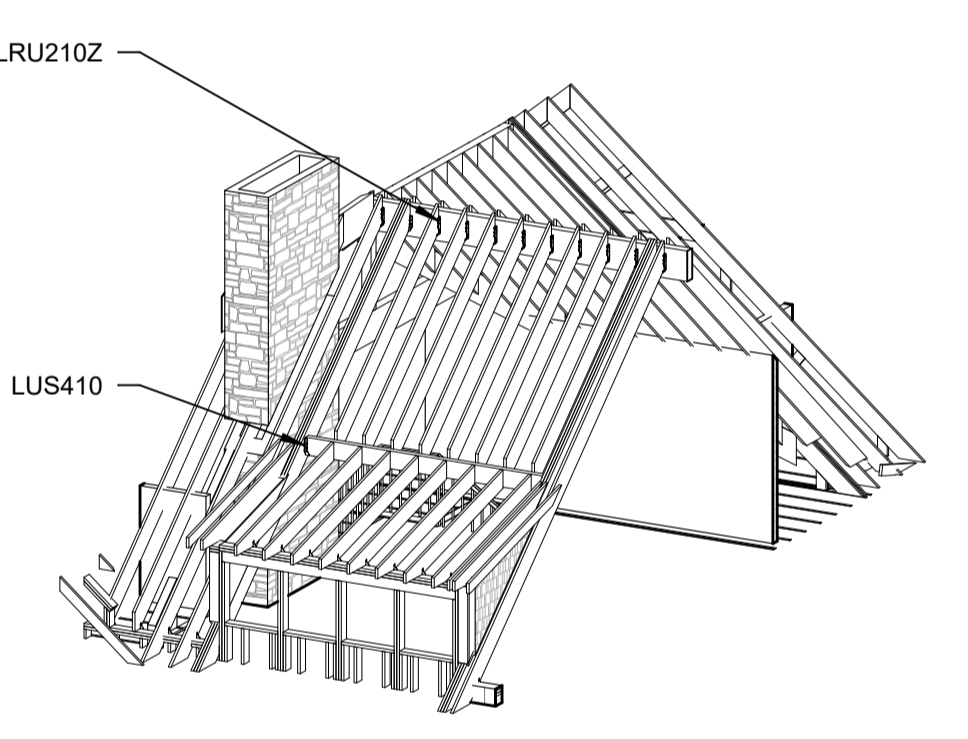
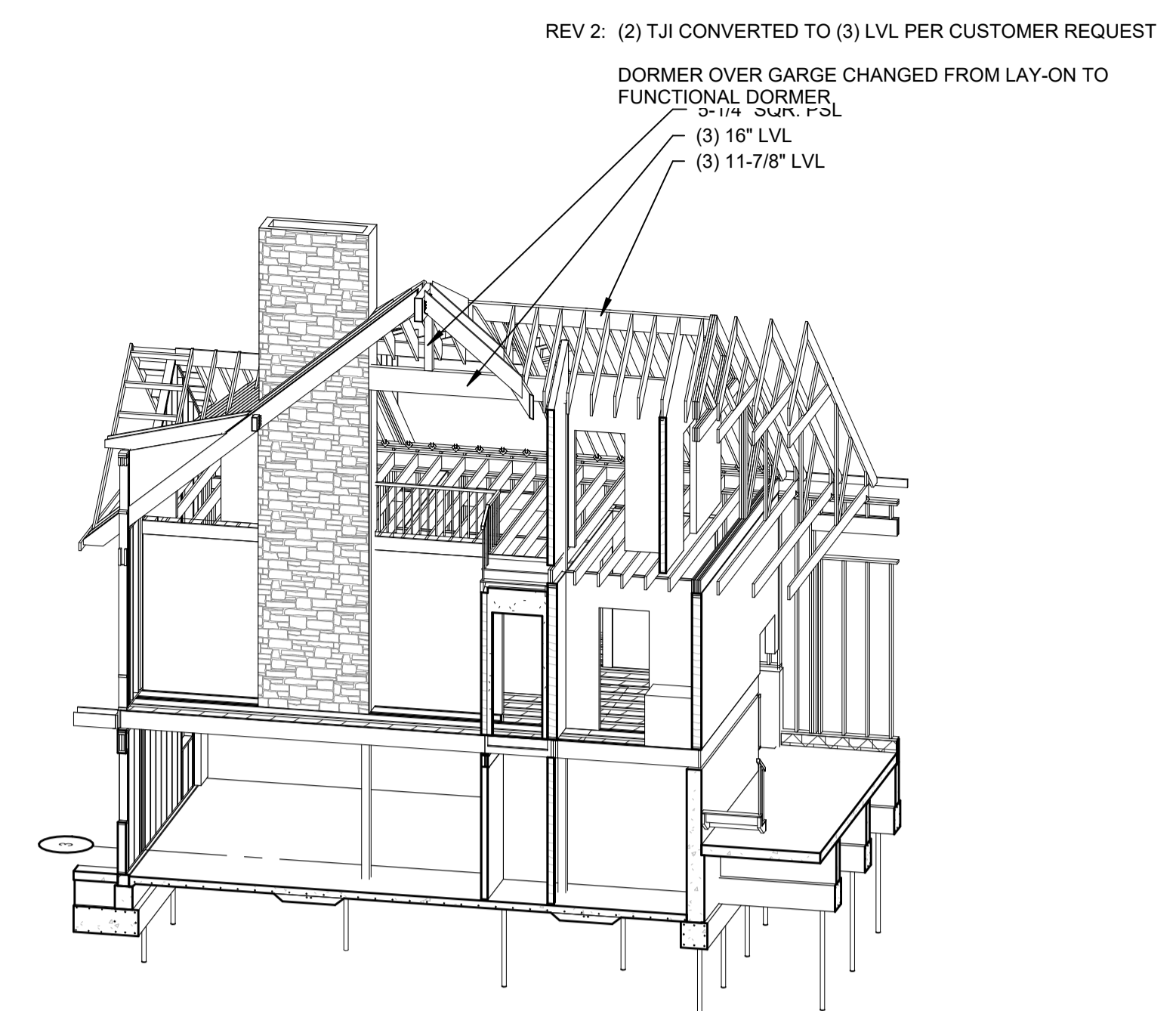
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HEADER PLAN

SHEET NUMBER:
S.4



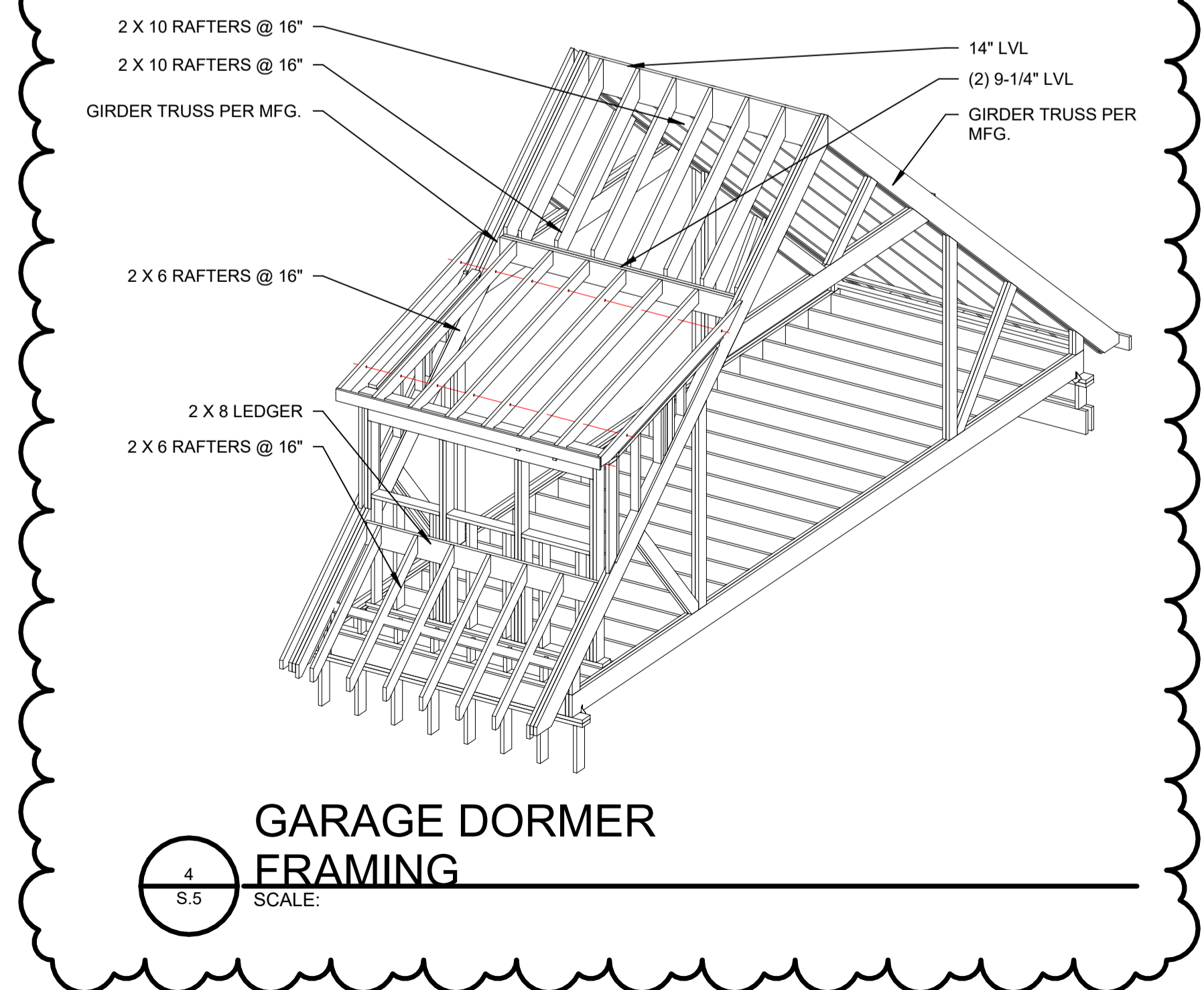
2
S.5
SCALE: 1/4" = 1'-0"

ROOF FRAMING 3-d



3
S.5
SCALE: 1/4" = 1'-0"

ROOF FRAMING 3-D



ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

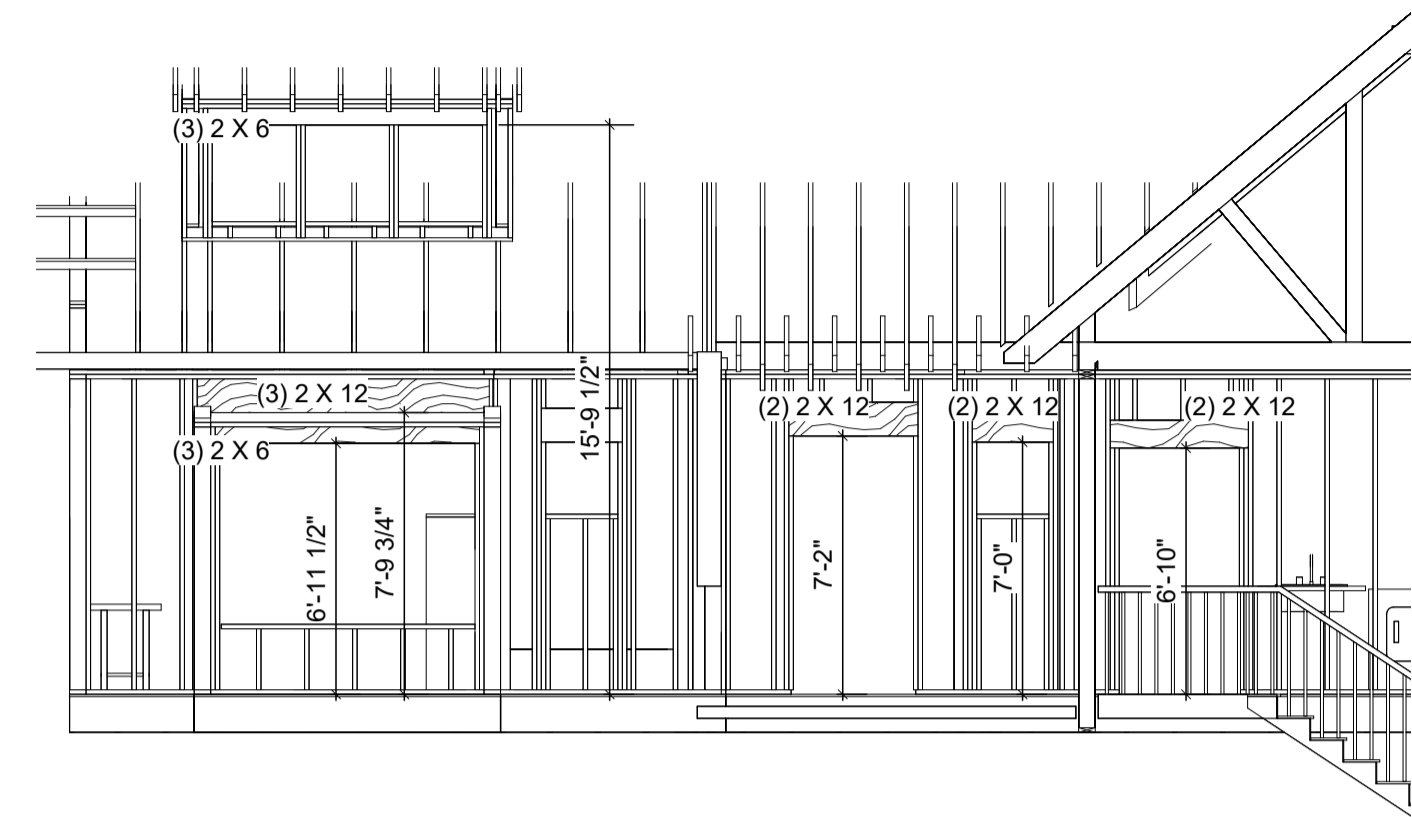
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PROFESSIONAL IN RESPONSIBLE CHARGE:

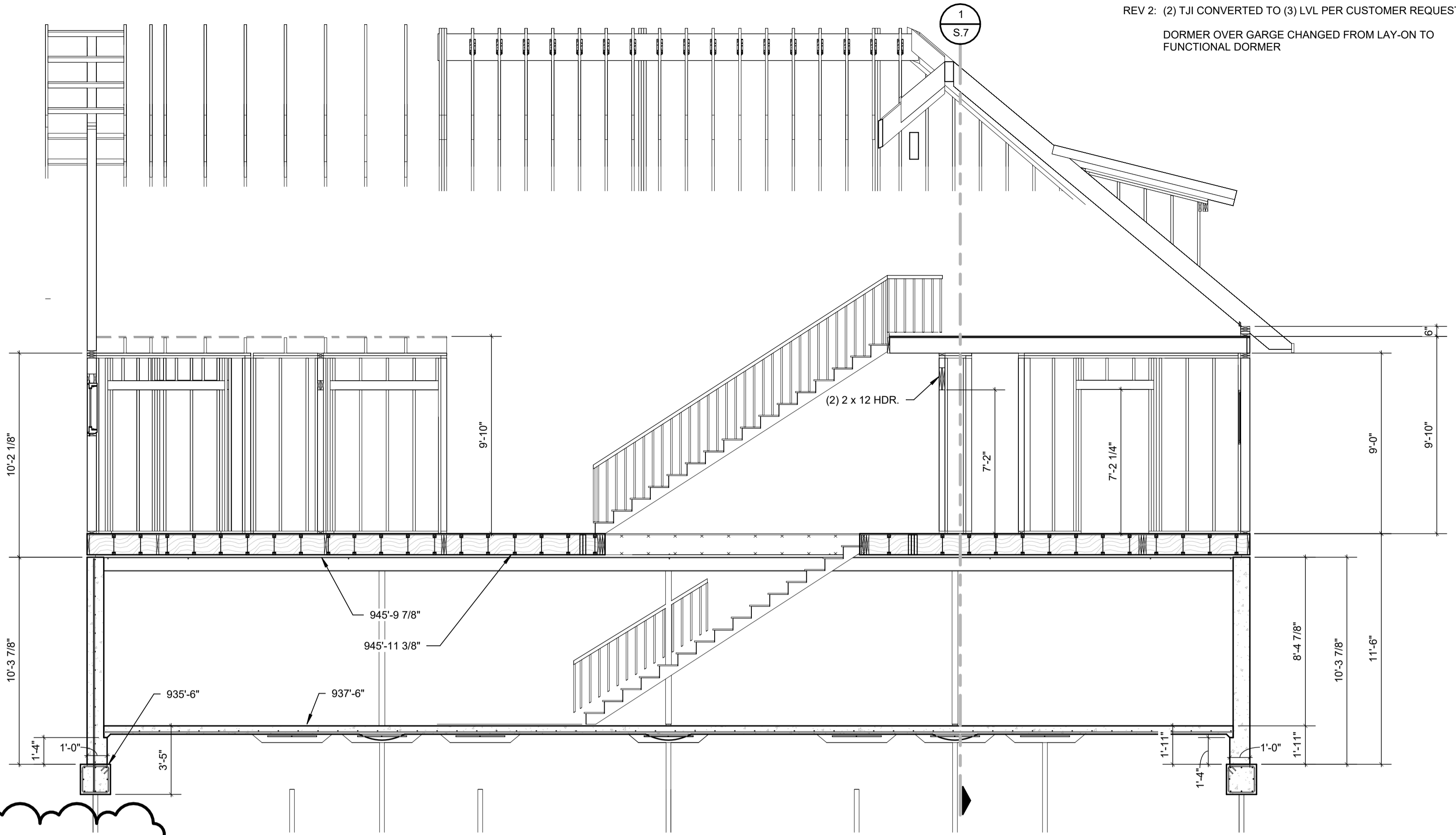
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PROJECT NO.:	23-110

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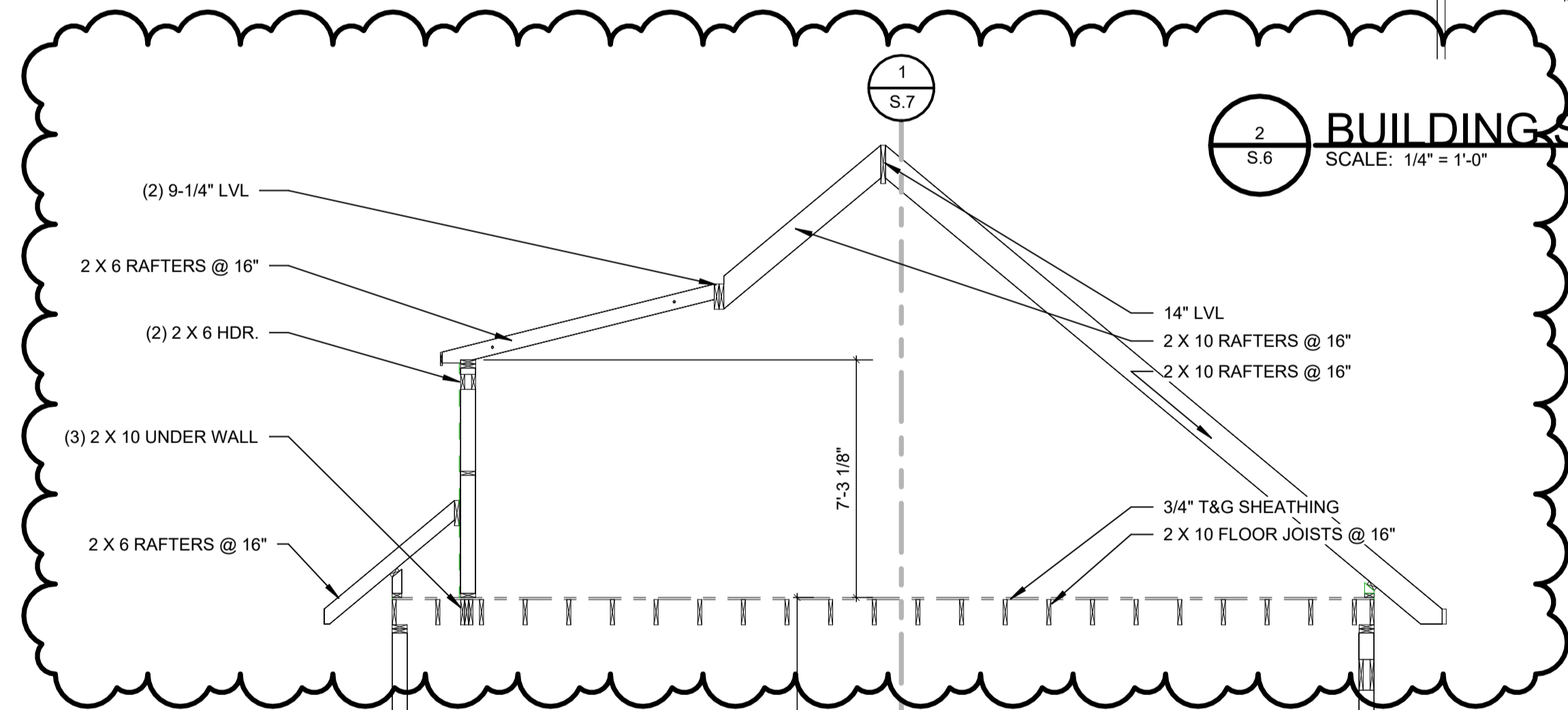
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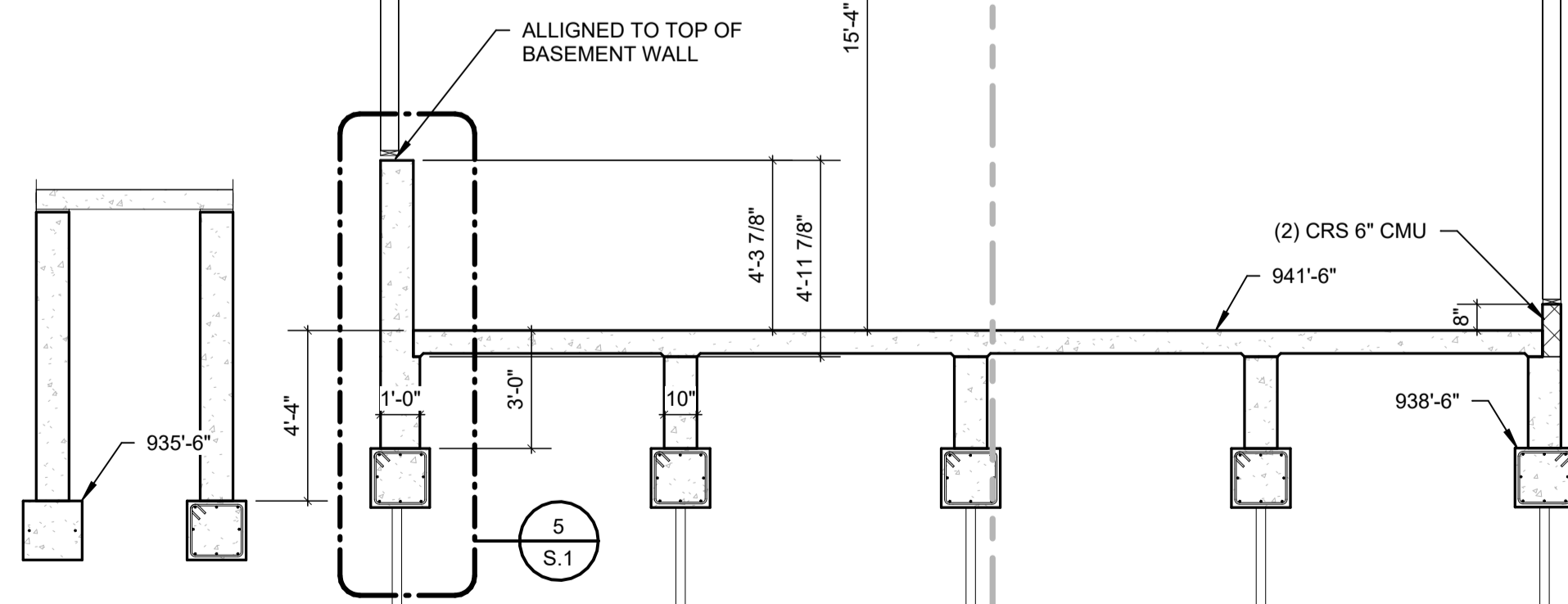
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S.6
FRONT DOOR WALL HEADERS
SCALE: 3/16" = 1'-0"



REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
DORMER OVER GARGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



2
S.6
BUILDING SECTION
SCALE: 1/4" = 1'-0"



3
S.6
GARAGE SECTION
SCALE: 1/4" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

NOTES:
1.

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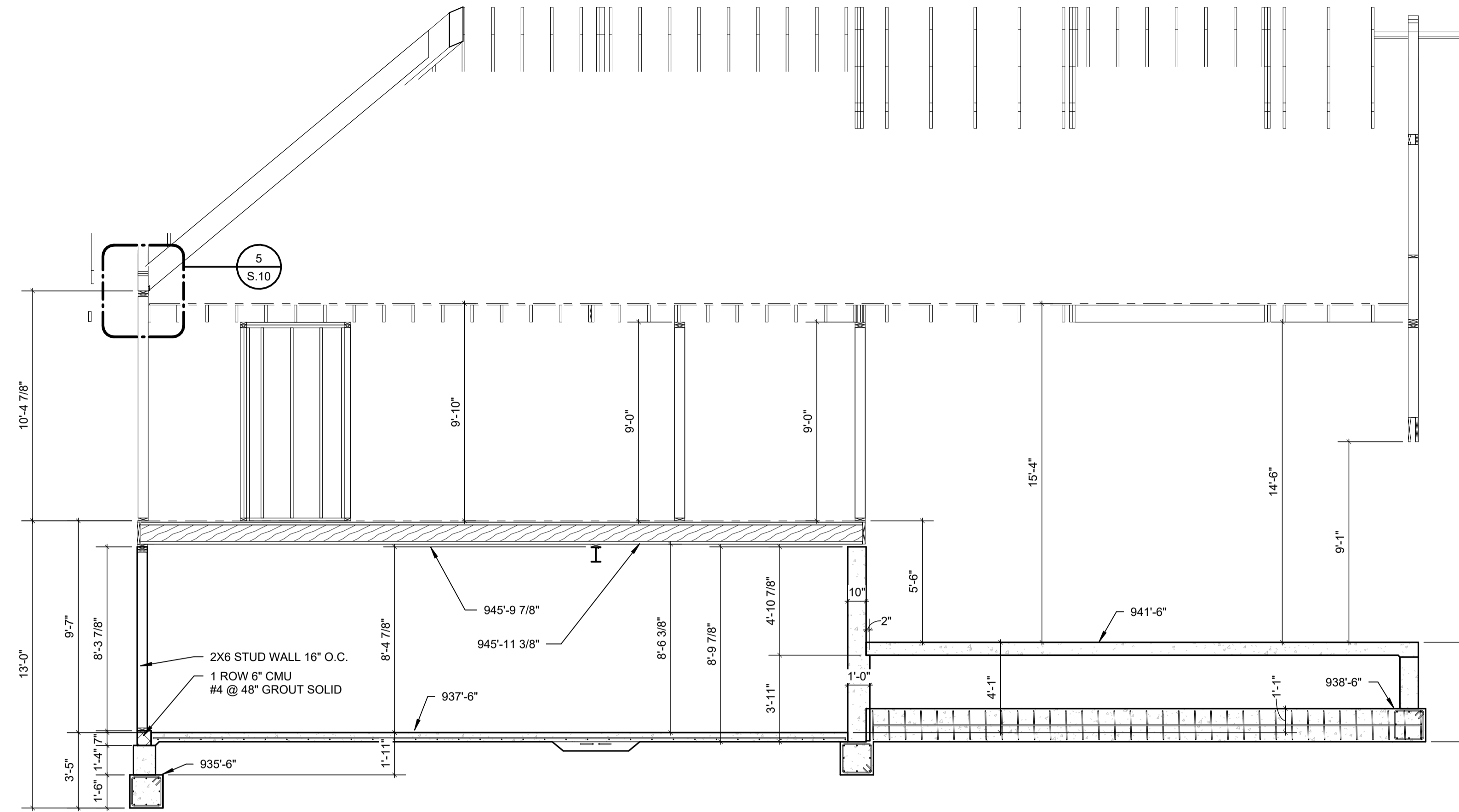
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SECTIONS

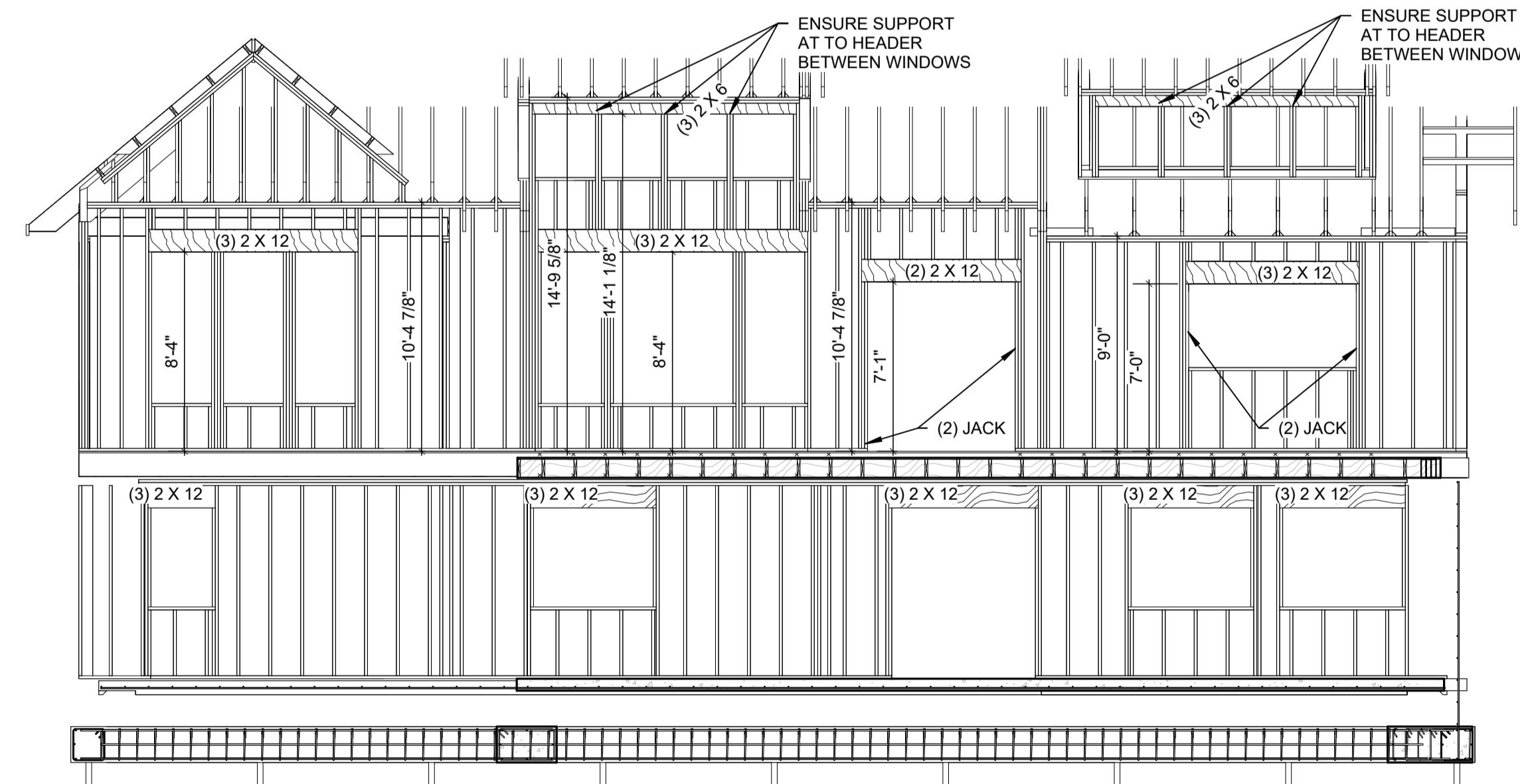
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SCALE: SEE VIEW

REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
 DORMER OVER GARGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



1
S.7
BUILDING SECTION (2)
SCALE: 1/4" = 1'-0"



2
S.7
REAR WALL HEADERS
SCALE: 3/16" = 1'-0"

J&A ARCHITECTURAL ENGINEERING
 3250 WEST BIG BEAVER RD.
 SUITE 510
 TROY, MI 48064
 P. 248.282.6475
 F. 248.590.0257

PROJECT TITLE:
**LEE & PAT BRITHINEE
 RESIDENCE**
 SITE ADDRESS:
**568 BURGESS DR,
 WHITE LAKE**

PREPARED FOR:
LEE & PAT
 ADDRESS:
**568 BURGESS DR,
 WHITE LAKE**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023

NOTES:
 1.

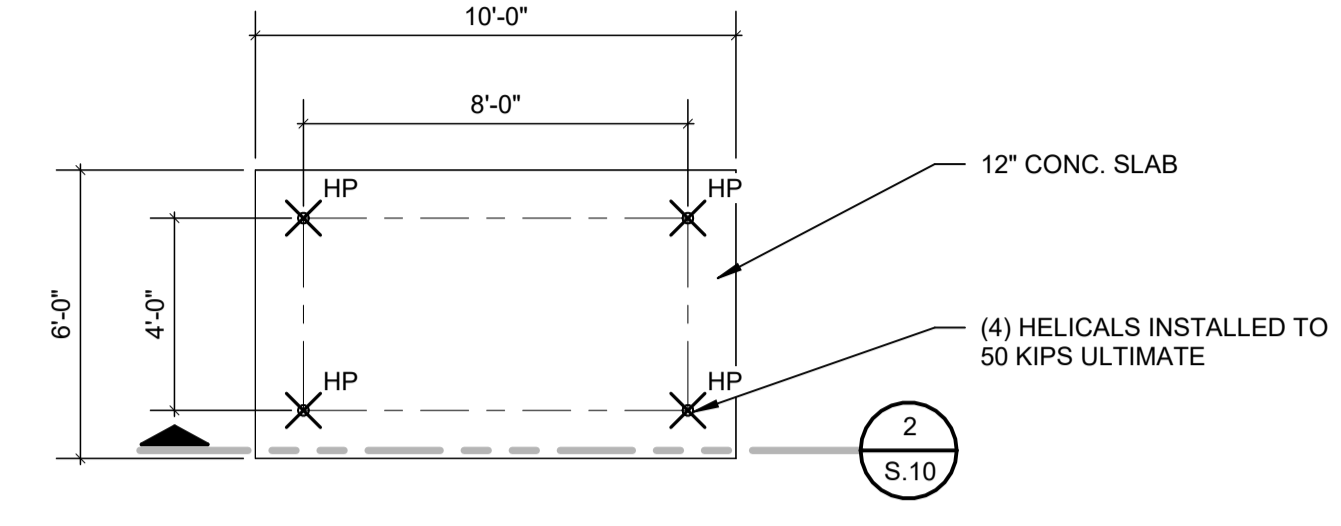
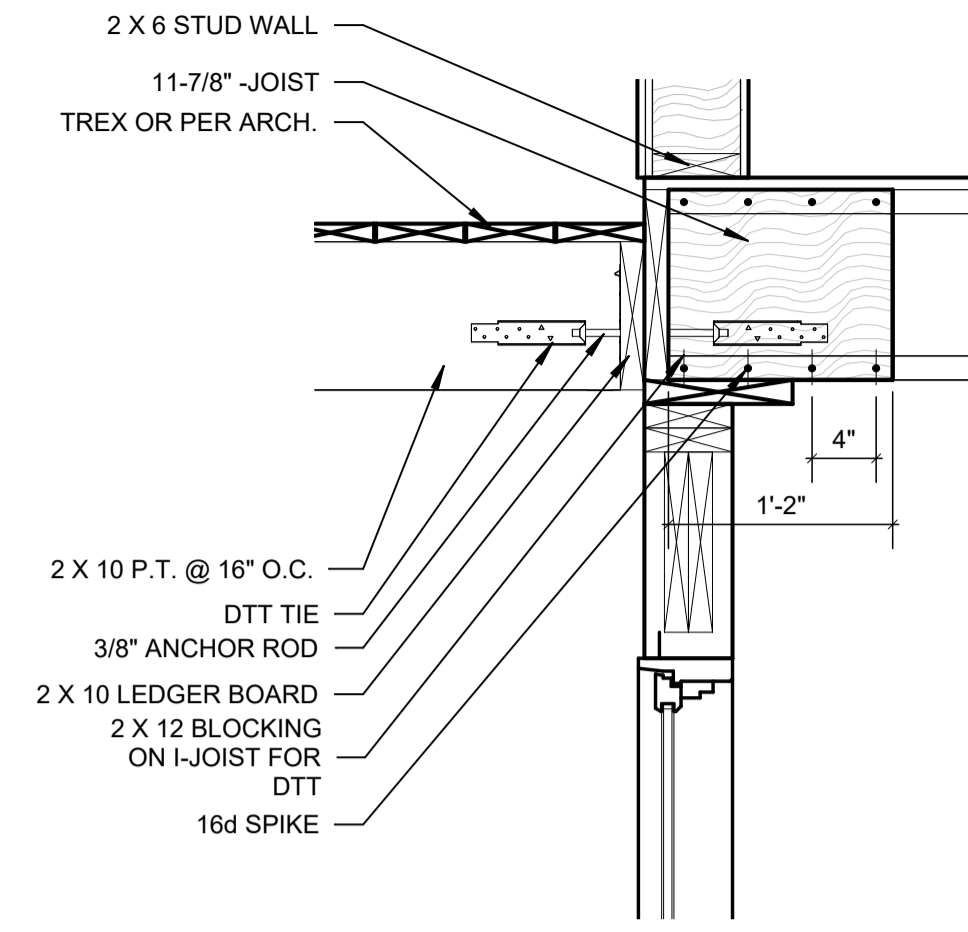
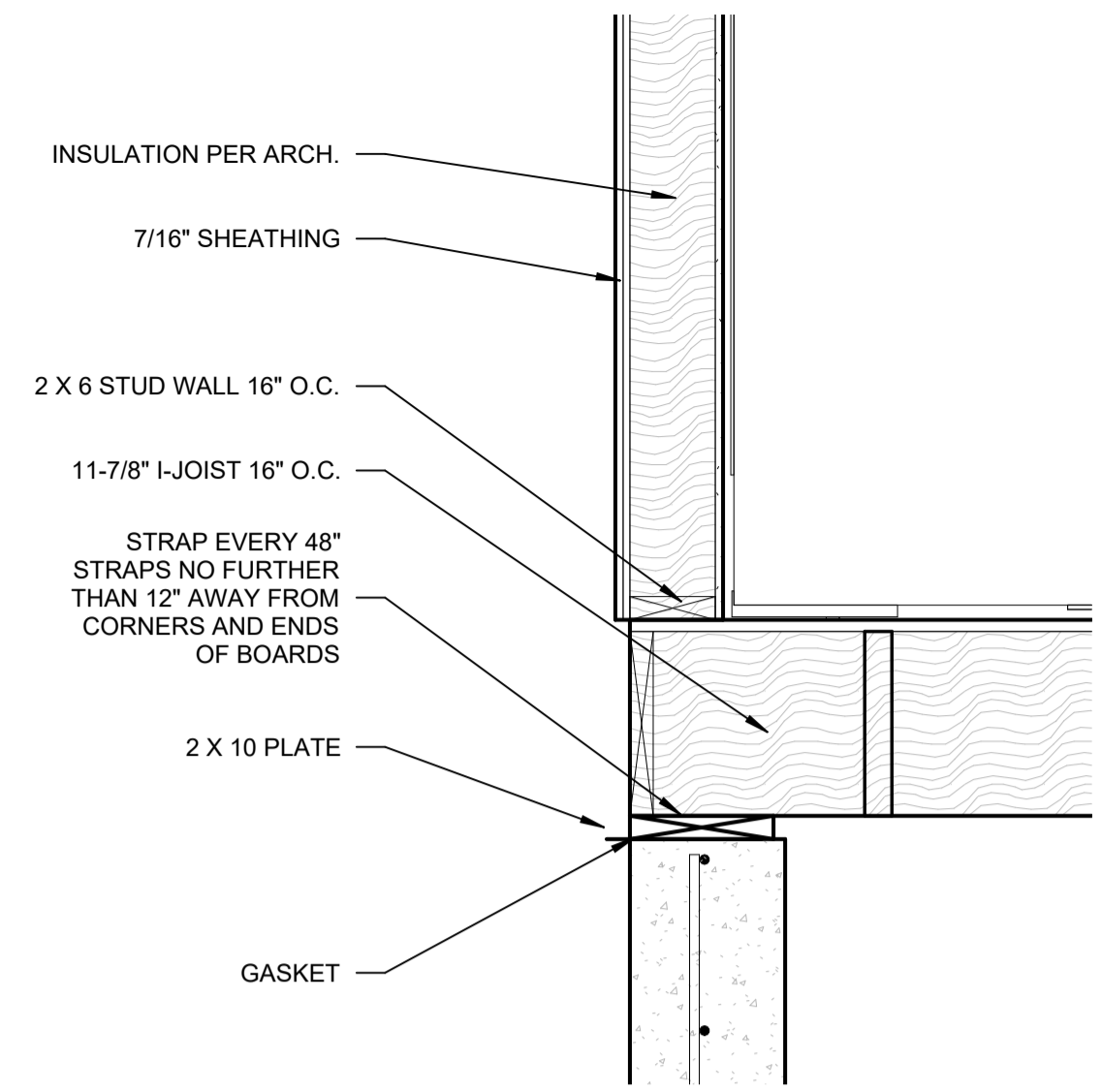
PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE: 05-08-2023
 DRAWN: SW
 CHECKED: SW
 PROJECT NO: 23-110

SHEET TITLE:
SECTIONS

SHEET NUMBER:
S.7
 SCALE: SEE VIEW

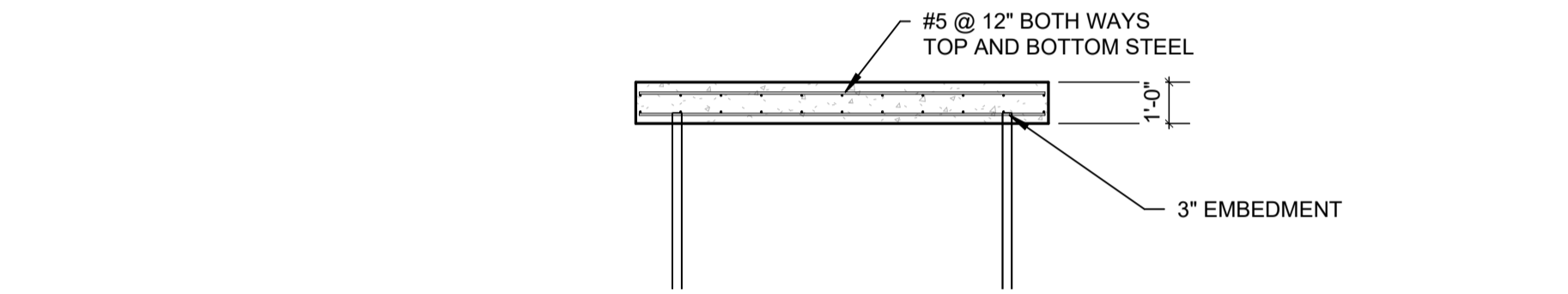
REV 2: (2) TJI CONVERTED TO (3) LVL PER CUSTOMER REQUEST
 DORMER OVER GARAGE CHANGED FROM LAY-ON TO FUNCTIONAL DORMER



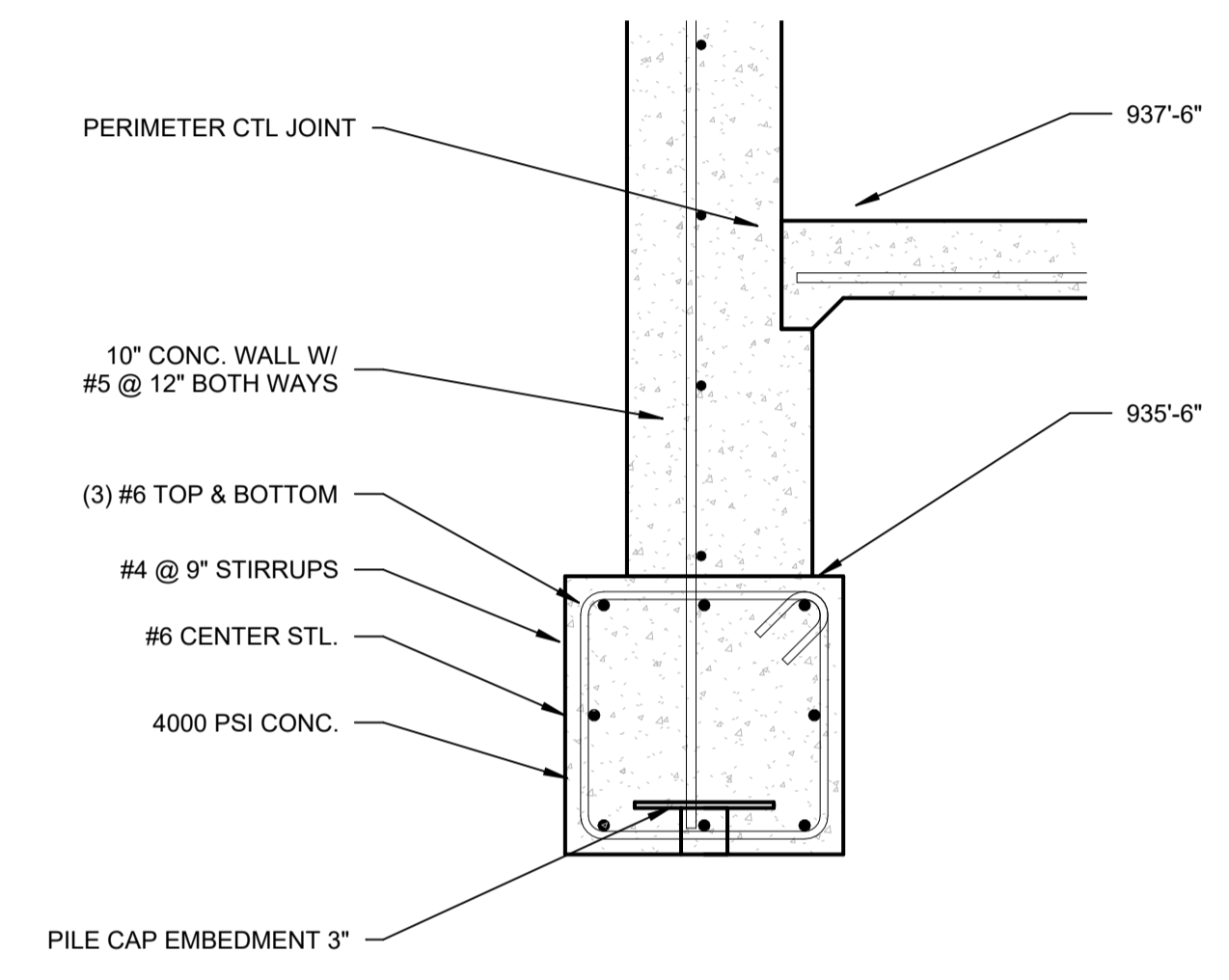
UNDERGROUND EQUIPMENT PAD
 SCALE: 1/4" = 1'-0"

-NOTE-
 USE THIS DETAIL IN (2) LOCATIONS UNDER THE TANK AND UNDER THE PUMP CHAMBER. REF. SEPTIC DESIGN FROM POWELL ENGINEERING AND CIVIL DOCS.

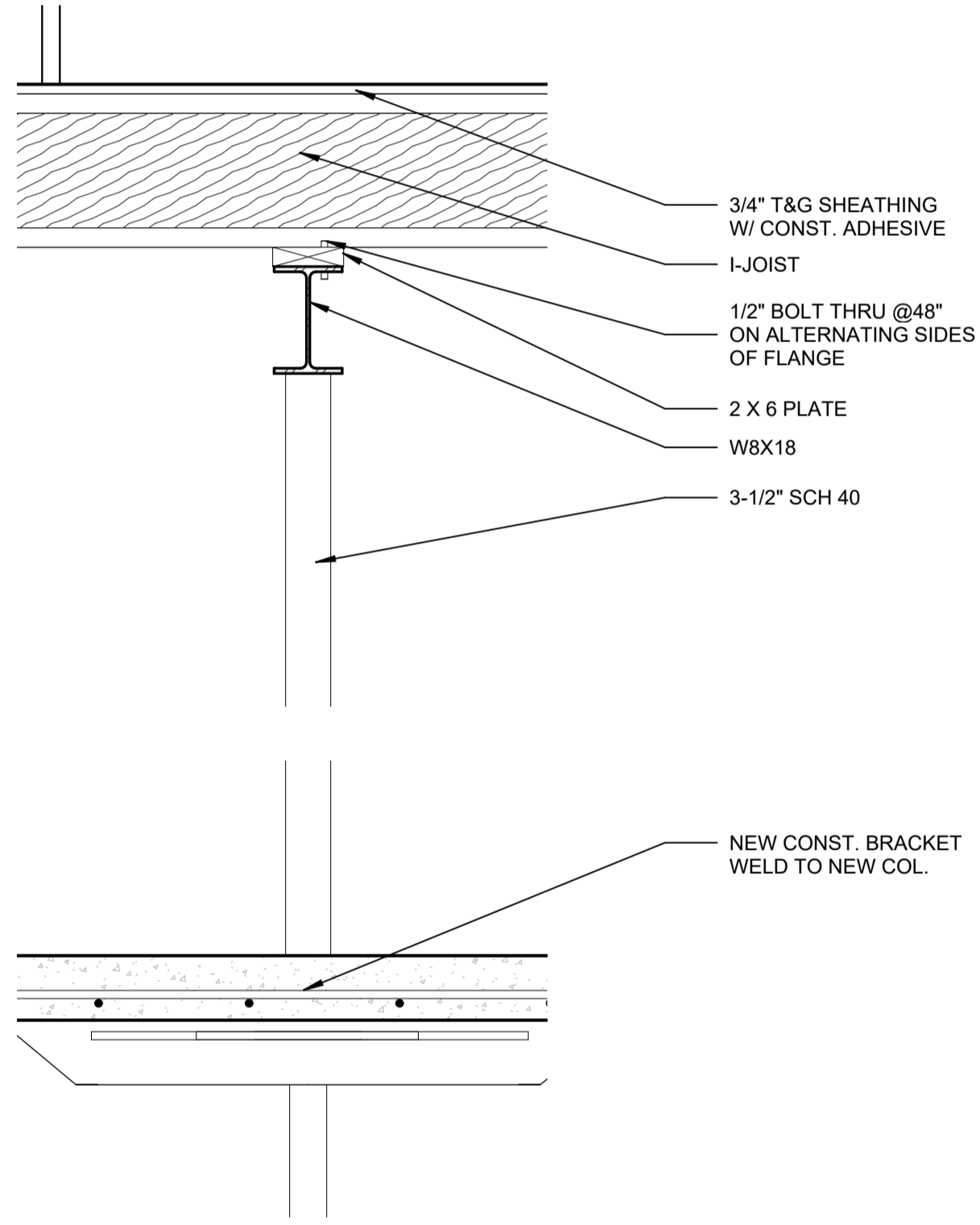
DECK BRACE TIE
 SCALE: 1" = 1'-0"



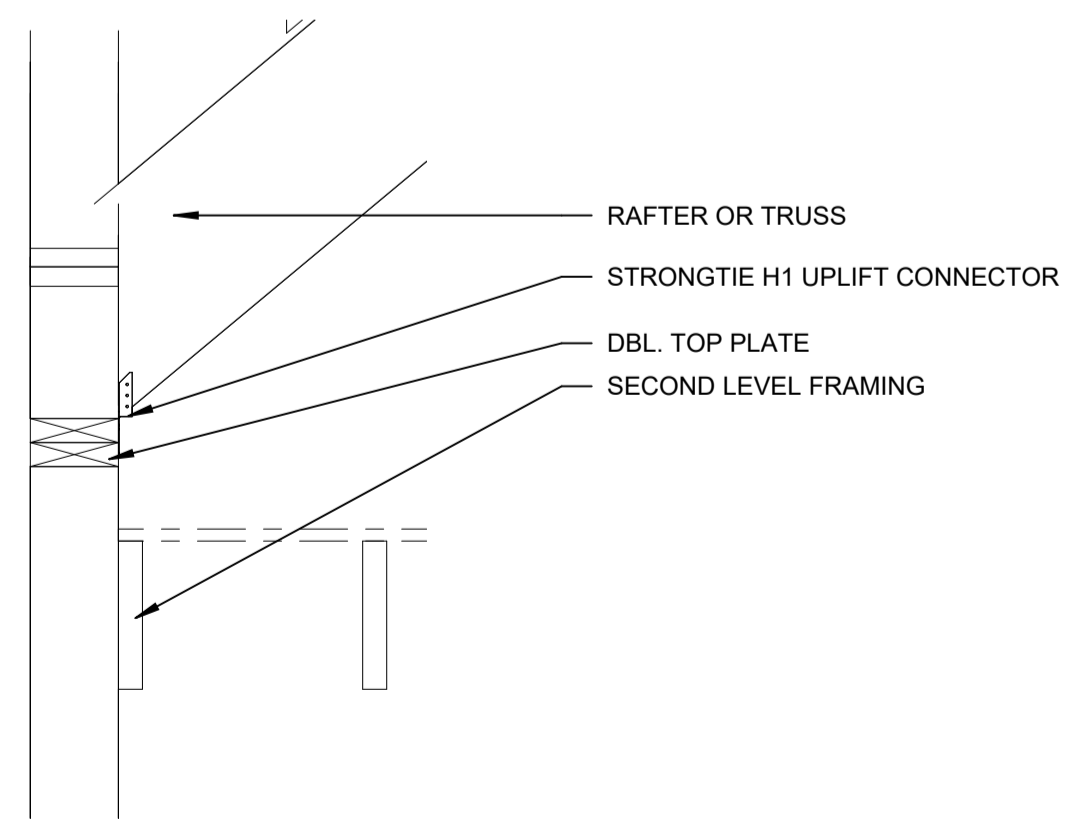
SECTION THROUGH UNDERGROUND EQUIPMENT PAD
 SCALE: 1/4" = 1'-0"



TYPICAL GRADE BEAM DETAIL
 SCALE: 1" = 1'-0"



BASEMENT BEAM SECTION
 SCALE: 1" = 1'-0"



ROOF UPLIFT CONNECTION
 SCALE: 1" = 1'-0"

ARCHITECTURAL ENGINEERING
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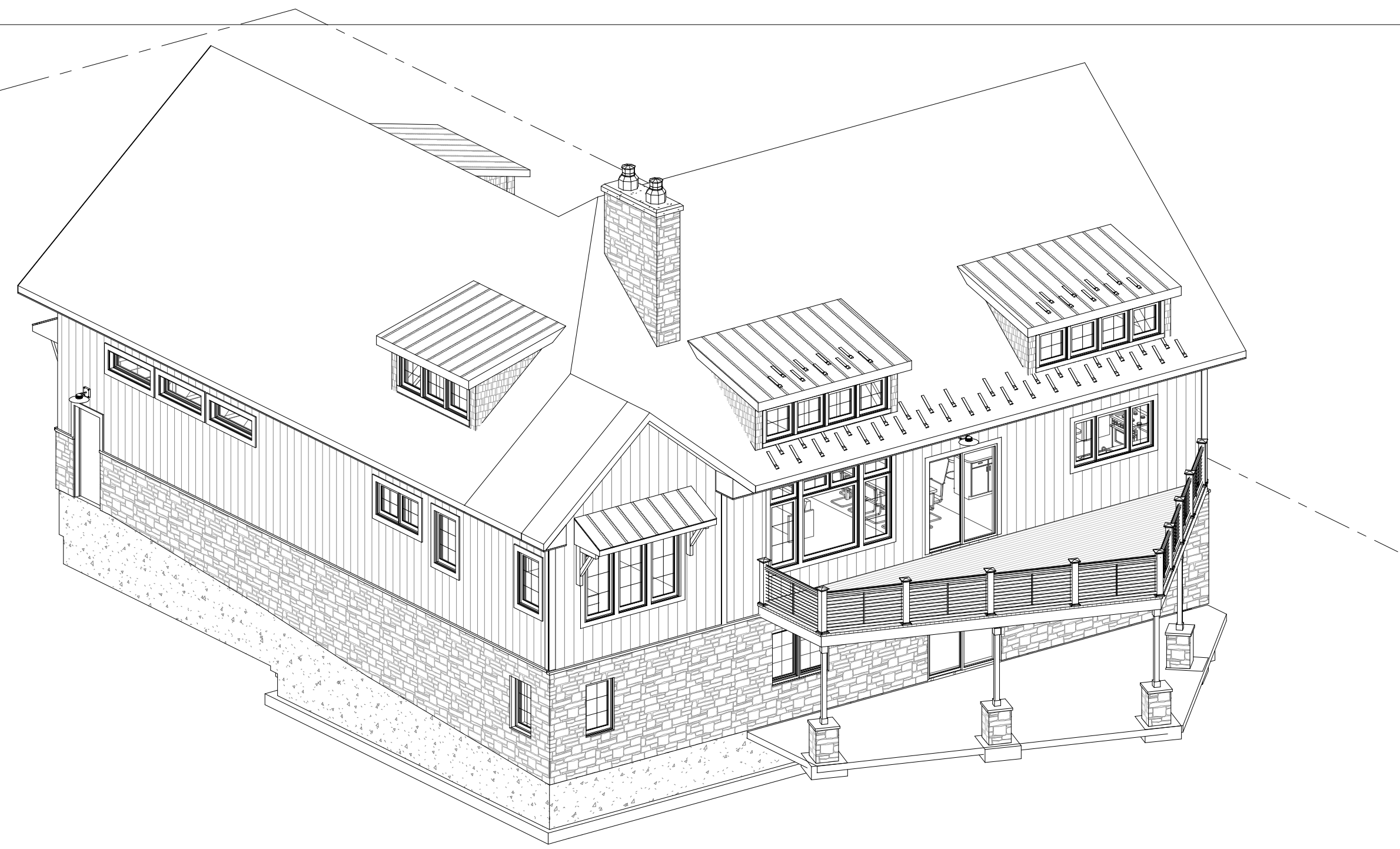
ISSUES/REVISIONS DATE
 OWNER REVIEW 03/27/2023

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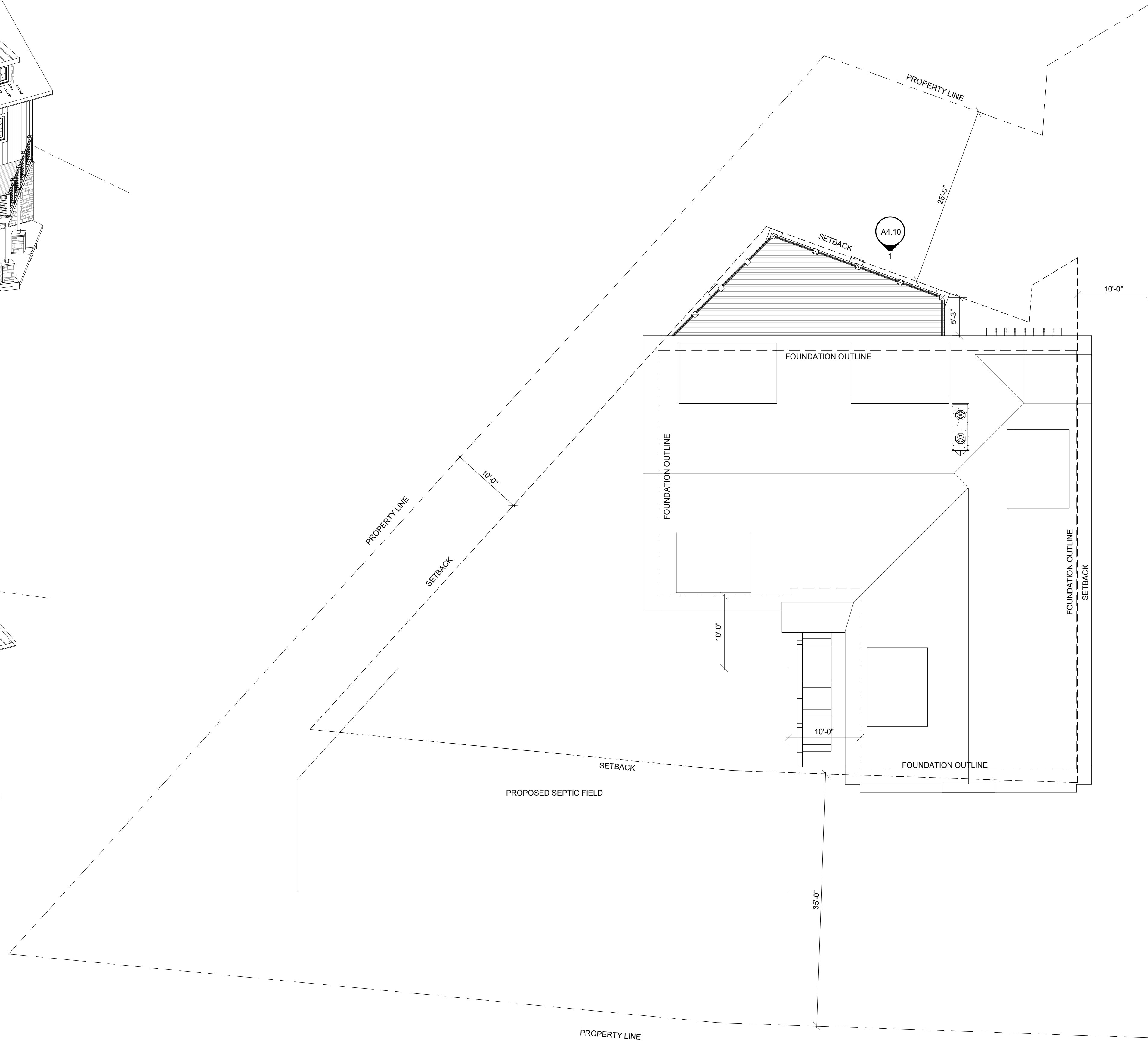
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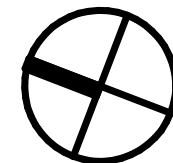
DATE: 05-08-2023
 DRAWN: SW
 CHECKED: SW
 PROJECT NO: 23-110

SHEET TITLE:
DETAILS
 SHEET NUMBER:
S.10
 SCALE: SEE VIEW



TOP OF
BASEMENT WALL
15'-10"



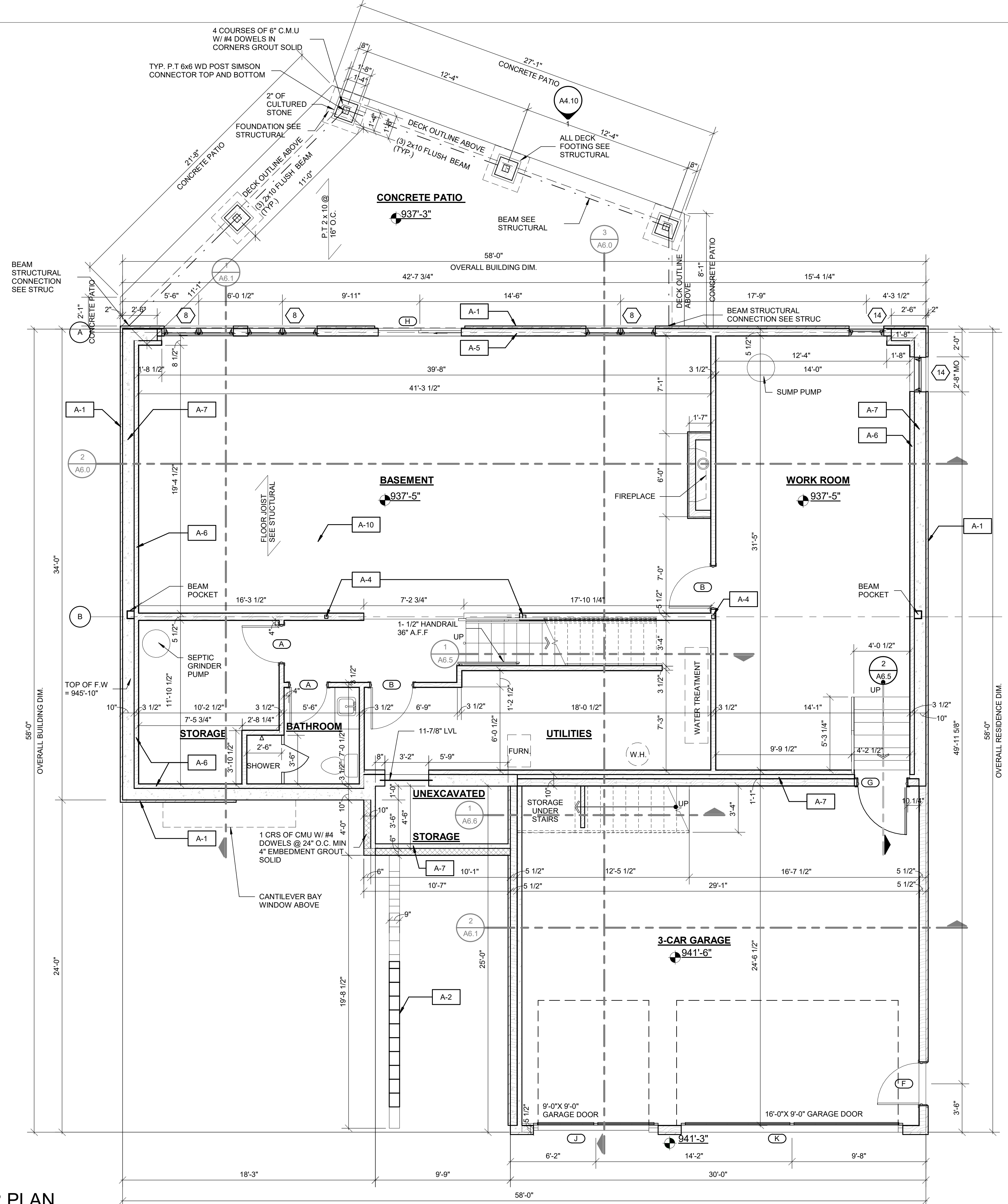
N  1 SITE PLAN
A1.0 1/8" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE
CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO:	23-110
SHEET TITLE:	

BASEMENT FLOOR PLAN
1/4" = 1'-0"



GENERAL FOUNDATION NOTES:

- ANCHOR RODS TO BE ACCURATELY POSITIONED AND HELD SECURELY IN PLACE DURING CONCRETING. ANY ANCHOR ROD OUT OF LOCATION MORE THAN 3/16" INCH WILL BE REJECTED. CONTRACTOR SHALL PROTECT ANCHOR RODS FROM DAMAGE AND SHALL REMOVE ANY CONCRETE OR DEBRIS FROM THE BEARING SURFACE TO ALLOW ERECTION.
- PROTECT SOIL BEARING SURFACES FROM FREEZING PRIOR TO CONCRETE PLACEMENT. PROTECT CONCRETE FROM FREEZING DURING AND AFTER PLACEMENT (MINIMUM 7 DAYS)
- CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS AND UTILITIES FROM DAMAGE RESULTING FROM EXCAVATION OR BACKFILLING DURING THE CONSTRUCTION PERIOD AS REQUIRED.
- CONTRACTOR SHALL PROTECT SIDES OF EXCAVATIONS AS REQUIRED AND EXCAVATION SLOPES SHALL MEET APPLICABLE OSHA, STATE AND LOCAL REGULATIONS.

FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
A-1	2" CULTURED STONE.
A-2	RETAINING WALL SEE STRUCTURAL DRAWINGS FOR FOOTING HELICAL PIERS.
A-4	STEEL COLUMN SEE STRUCTURAL.
A-5	2 x 6 TYPICAL EXTERIOR WALL CONSTRUCTION ON 1 CRS 6" C.M.U W/#4 DOWEL @ 48" O.C. GROUT SOLID. TOP OF C.M.U 937.5".
A-6	2 x 4 STUDS @ 24 O.C W/ R-19 BATT INSULATION W/ KRAFT FACE WARM SIDE ON 1/2" GYPSUM BOARD.
A-7	TYPICAL 10" POURED CONCRETE BASEMENT WALL
A-8	JAMES HARDIE BOARD AND BATTEN
A-9	SHINGLE SIDING
A-10	5" CONC. SLAB SEE STRUCTURAL DRAWINGS
A-11	36" HIGH GUARDRAIL
A-12	5/4" X 6" COMPOSITE DECK
A-13	STAINLESS STEEL CABLE PER 2015 MRC
A-14	2-2 x 4 3" STUD POCKET
A-15	8" DIAMETER DOUBLE WALL ALUMINUM FLUE

J&A ARCHITECTURAL ENGINEERING
3250 WEST BIG BEAVER RD.
SUITE 233
TROY, MI 48064
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F. 248.590.0257

PROJECT TITLE:
LEE & PAT BRITHINEE RESIDENCE
SITE ADDRESS:
**NO ADDRESS CURRENTLY
PARCEL NO. 12-27-429-004**

PREPARED FOR:
LEE & PAT
ADDRESS:
**568 BURGESS DR.
WHITE LAKE TWP.
48386**

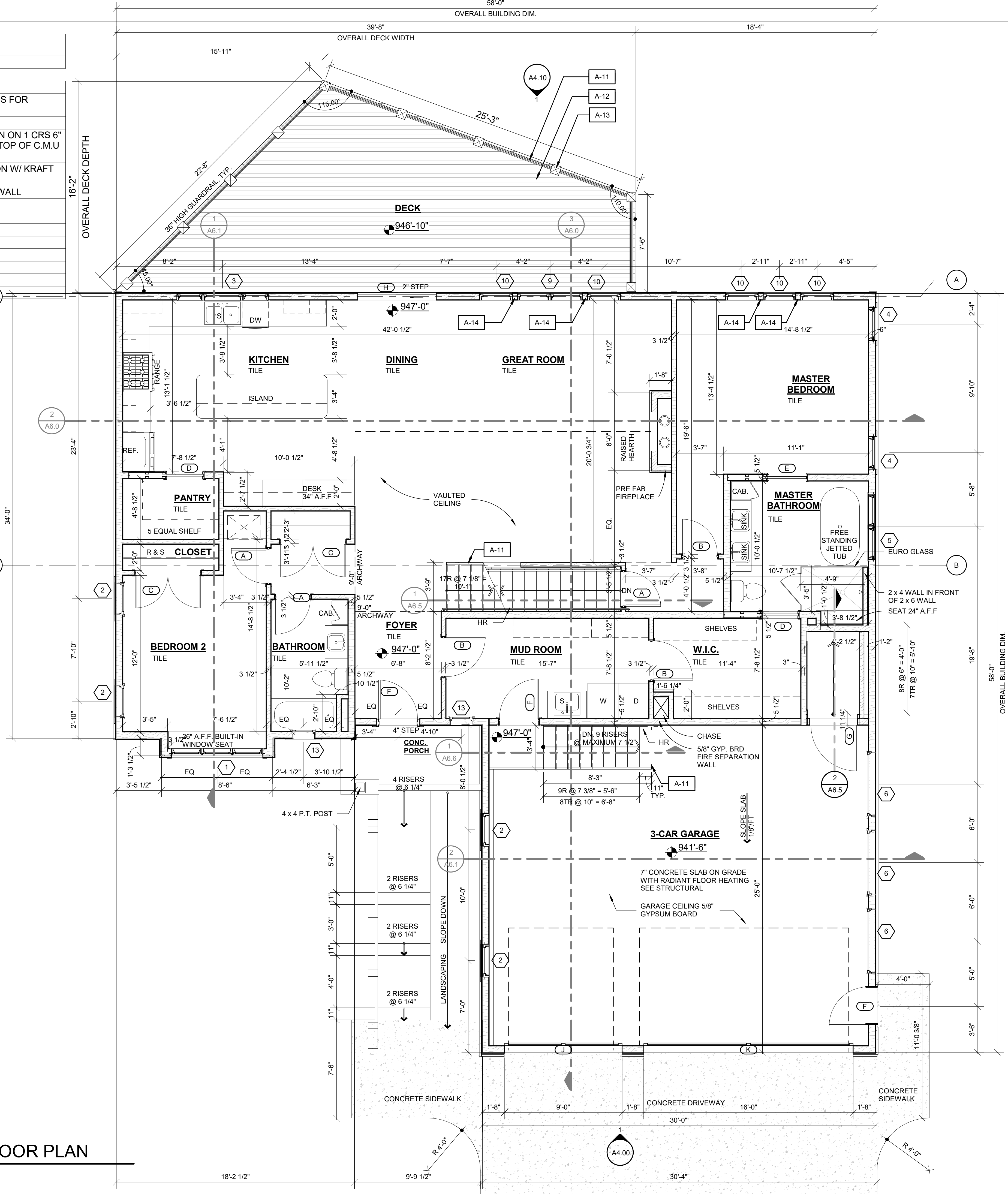
ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

SHEET NUMBER:
A2.0
SCALE: As Indicated

FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
A-1	2" CULTURED STONE.
A-2	RETAINING WALL SEE STRUCTURAL DRAWINGS FOR FOOTING HELICAL PIERS.
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A-12	5/4" X 6" COMPOSITE DECK
A-13	STAINLESS STEEL CABLE PER 2015 MRC
A-14	2-2 x 4 3" STUD POCKET
A-15	8" DIAMETER DOUBLE WALL ALUMINUM FLOOR



GENERAL PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUDS, CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS.
- ALL FINISHES PER OWNER; INSTALLED BY TRADES - COORDINATE PRIOR TO CONSTRUCTION.
- PLUMBING & ELECTRICAL FIXTURES PER OWNER; INSTALLED BY TRADES.
- SHOWER HEADS SHALL BE ROUGHED AT 7'-0" ABOVE THE FINISHED FLOOR SURFACE OF THE SHOWER.
- PLUMBING, MECHANICAL, & ELECTRICAL SYSTEMS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE OWNER.
- ASSUMED SOIL CAPACITY IS 3,000#/SQ FT. THE CONTRACTOR SHALL DETERMINE THE BEARING CAPACITY THROUGH FIELD TESTING.
- PROVIDE SMOKE ALARMS IN EACH BEDROOM & OUTSIDE EACH BEDROOM IN THE IMMEDIATE VICINITY PER 2015 MICHIGAN RESIDENTIAL CODE SEC R313.
- CARBON MONOXIDE DETECTORS SHALL BE PROVIDED ON EACH FLOOR IN ACCORDANCE WITH 2015 MICHIGAN RESIDENTIAL CODE.
- PROVIDE MOLD RESISTANT GYP. BD. IN BATHROOMS.
- PROVIDE CEMENT BACKERBOARD BEHIND ALL CERAMIC TILE.
- COORDINATE BUILT-IN FURNITURE, FINISHES, FIXTURES, TRIM & OTHER SIMILAR DETAILS W/ OWNER.
- PROVIDE ACOUSTICAL BATT INSULATION & CAULK AT ALL BATH WALLS.
- PROVIDE 1 1/2" DROP IN FLOOR AT ALL TILE FLOOR AREA. PROVIDE DOUBLE SILL PLATE AT AREAS OR RAISED FLOOR AND SINGLE SILL PLATE AT AREAS OF DROPPED FLOOR TO ALLOW FOR STONE / TILE AREAS TO ALIGN FLUSH WITH HARD WOOD AREAS.
- PROVIDE EXTERIOR FROST FREE HOSE BIBS AT LOCATIONS DIRECTED BY HOME OWNER.
- PROVIDE SOLID BLOCKING IN WALLS OF ALL WALL MOUNTED ITEMS (CONFIRM ALL WITH HOME OWNER) NOT LIMITED TO THE FOLLOWING:
 - RANGE HOOD
 - CLOSET RODS
 - DOOR STOPS
 - TOWEL BARS
 - TOILET TISSUE HOLDER
 - MIRRORS
- ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8" OF GRADE MUST BE PRESSURE TREATED AS REQUIRED PER SECTION R317 OF 2015 M.B.C.
- PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'D FOR ALL WINDOWS
- CONFIRM DOOR CASING SIZE W/ HOME OWNER AND LOCATE ALL DOORS, PROVIDING SUFFICIENT SPACE FROM ADJACENT WALLS ON HINGE SIDE. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO.
- ATTIC ACCESS OPENING - 22" x 30" CLEAR MIN.

GENERAL FRAMING NOTES:

- HEADERS FOR OPENINGS UP TO 6'-0" LONG SHALL BE MIN. (2) 2X8 AND BEAR ON (2) BUILT-UP COLUMN AT EACH END.
- HEADERS FOR OPENING FROM 6'-0" TO 10'-0" SHALL BE MIN. (2) 2X12 AND SHALL BEAR ON (3) 2X4 BUILT-UP COLUMNS AT EACH END.
- ALL ENGINEERED HEADERS, JOISTS, AND TRUSSES TO BE DESIGNED AND PROVIDED BY MANUFACTURER. CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

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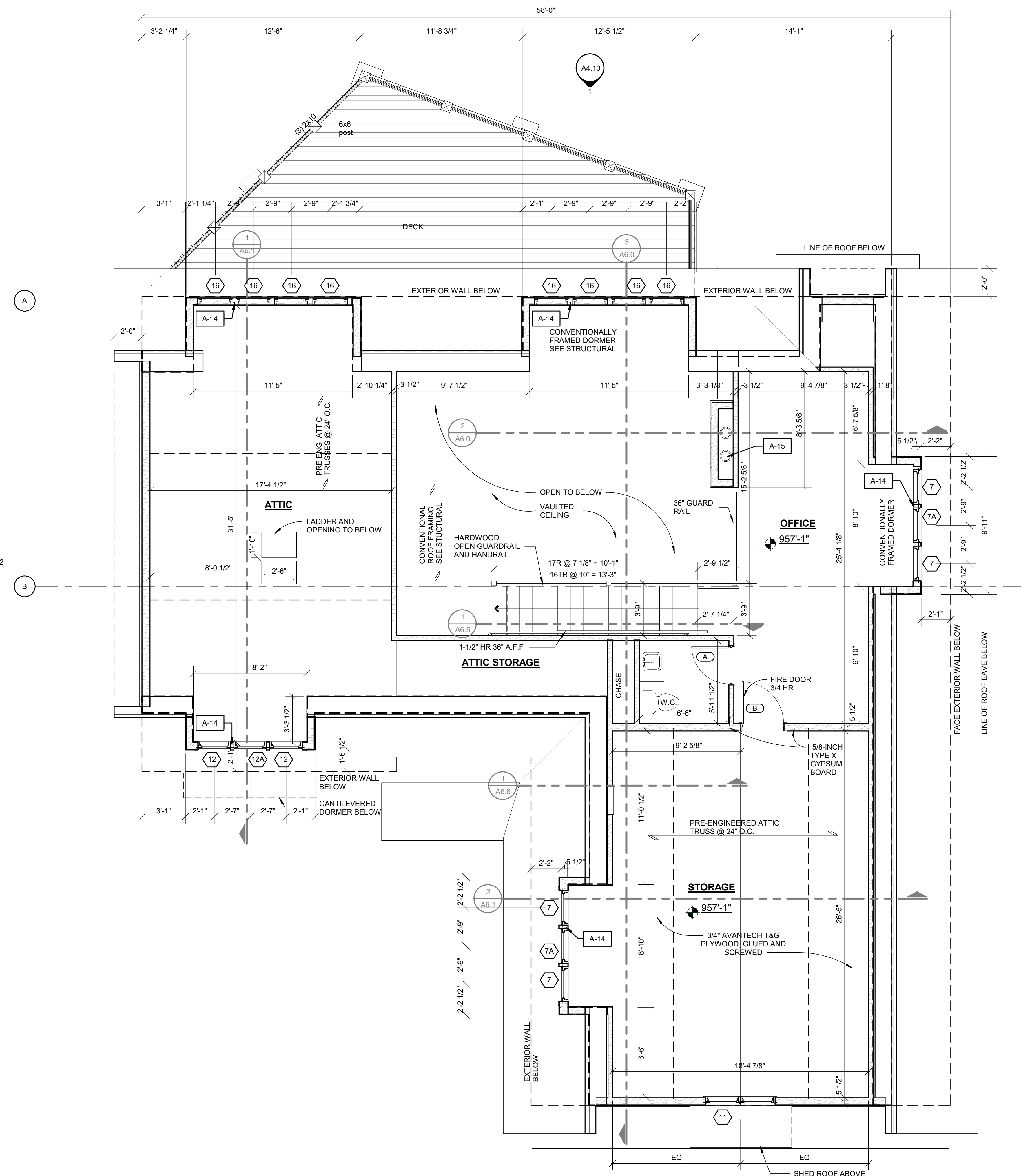
PREPARED FOR:
LEE & PAT
 ADDRESS:
**568 BURGESS DR.
 WHITE LAKE TWP.
 48386**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
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ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

SHEET NUMBER:
A2.1
 SCALE: As indicated



FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
A-1	2" CULTURED STONE.
A-2	RETAINING WALL SEE STRUCTURAL DRAWINGS FOR FOOTING HELICAL PIERS.
A-4	STEEL COLUMN SEE STRUCTURAL.
A-5	2 x 6 TYPICAL EXTERIOR WALL CONSTRUCTION ON 1 CRS 6" C.M.U W/#4 DOWEL @ 48" O.C. GROUT SOLID. TOP OF C.M.U 937.5".
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A-12	5/4" X 6" COMPOSITE DECK
A-13	STAINLESS STEEL CABLE PER 2015 MRC
A-14	2-2 x 4 3" STUD POCKET
A-15	8" DIAMETER DOUBLE WALL ALUMINUM FLUE

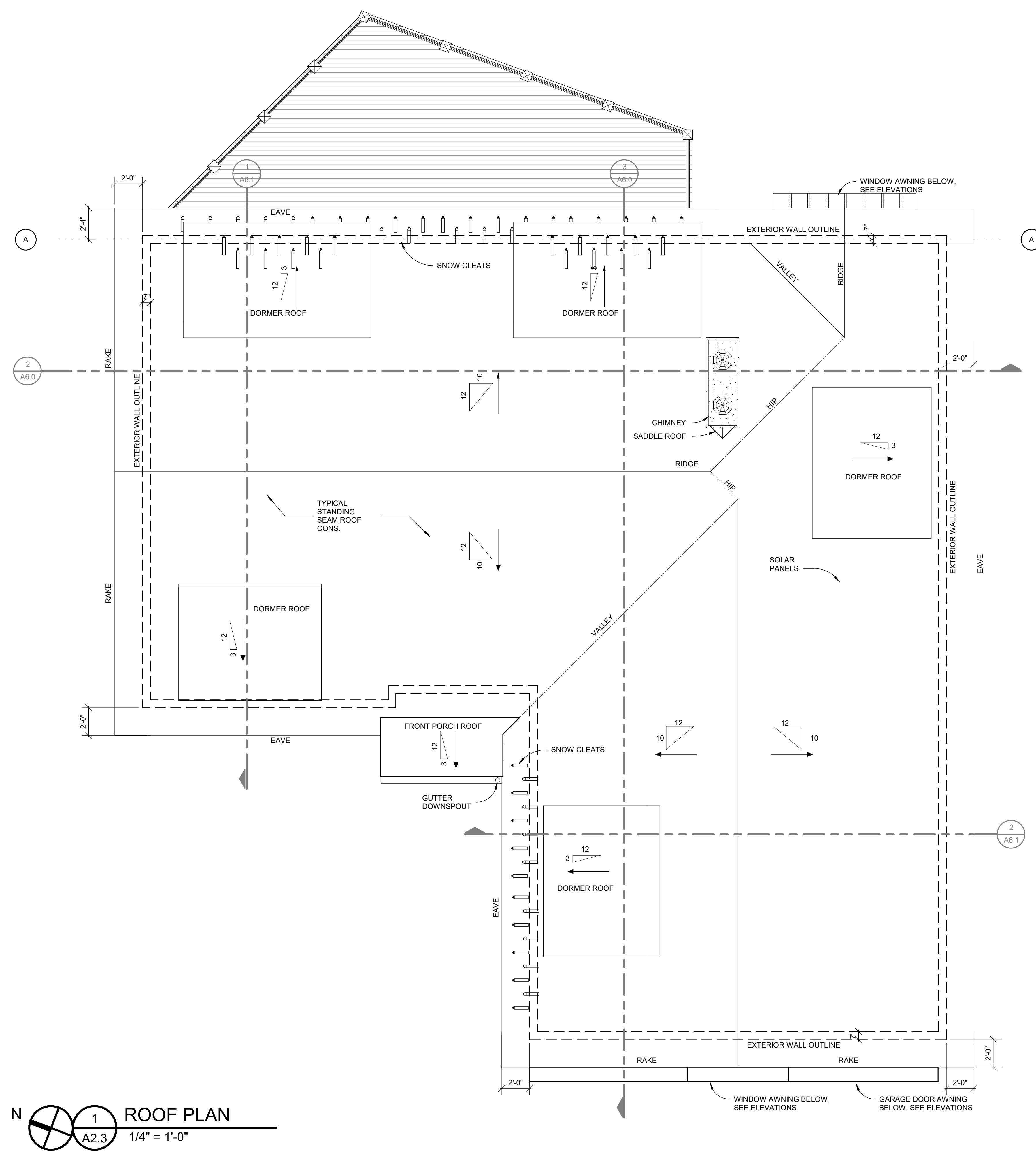
1 SECOND FLOOR PLAN
 A2.2 1/4" = 1'-0"


ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
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CHECKED:	AM
PROJECT NO:	23-110
SHEET TITLE:	

(2)



N  1 ROOF PLAN
 A2.3 1/4" = 1'-0"

- GENERAL ROOF NOTES:**
1. FLASH ALL ROOF PENETRATIONS AS REQ'D PER CODE.
 2. LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM STREET.

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 RESIDENCE**
 SITE ADDRESS:
**NO ADDRESS CURRENTLY
 PARCEL NO. 12-27-429-004**

PREPARED FOR:
LEE & PAT
 ADDRESS:
**568 BURGESS DR.
 WHITE LAKE TWP.
 48386**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

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DATE:	04-03-2023
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SHEET TITLE:	

SHEET NUMBER:
A2.3
 SCALE: As indicated

WINDOW SCHEDULE					
MARK	SIZE	SILL	TYPE	GLAZING	NOTES
1	7'-0" x 5'-0"	2'-0"	CASEMENT/FIXED/CASEMENT	INSULATED - DOUBLE PANE / LOW-E	MULLED, ALL WINDOWS 2'-4" EQUAL WIDTH
2	2'-6" x 2'-6"	4'-8"	AWNING	INSULATED - DOUBLE PANE / LOW-E	
3	7'-0" x 3'-6"	3'-3"	CASEMENT/FIXED/CASEMENT	INSULATED - DOUBLE PANE / LOW-E	2 CASEMENTS 2'-0" W W/ FIXED MIDDLE 3'-0" W
4	2'-6" x 4'-0"	2'-10"	CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
5	5'-0" x 2'-6"	4'-4"	DOUBLE CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
6	5'-0" X 1'-6"	10'-11"	AWNING	INSULATED - DOUBLE PANE / LOW-E	
7	2'-6" X 2'-6"	3'-6"	CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
7A	2'-6" X 2'-6"	3'-6"	FIXED	INSULATED - DOUBLE PANE / LOW-E	
8	5'-0" x 4'-0"	2'-8"	DOUBLE CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
9	5'-0" x 6'-4"	1'-9"	FIXED W/ TRANSOM	INSULATED - DOUBLE PANE / LOW-E	MULLED, 2 EQ. WIDTH TRANSOMS, 16" HEIGHT
10	2'-6" x 6'-4"	1'-9"	CASEMENT W/ TRANSOM	INSULATED - DOUBLE PANE / LOW-E	MULLED, TRANSOM 16" HEIGHT
11	5'-0" x 5'-0"	1'-9"	DOUBLE CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
12	2'-4" x 2'-6"	3'-6"	CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
12A	2'-4" x 2'-6"	3'-6"	FIXED	INSULATED - DOUBLE PANE / LOW-E	
13	2'-0" x 1'-10"	5'-0"	AWNING	INSULATED - DOUBLE PANE / LOW-E	
14	2'-6" x 4'-0"	2'-8"	CASEMENT	INSULATED - DOUBLE PANE / LOW-E	
15	NOT USED				
15A	NOT USED				
16	2'-6" X 2'-6"	1'-8"	FIXED	INSULATED - DOUBLE PANE / LOW-E	

DOOR SCHEDULE			
MARK	SIZE	TYPE	NOTES
A	2'-8" x 7'-0"	SOLID WOOD	
B	3'-0" x 7'-0"	SOLID WOOD	
C	(2)2'-6" x 7'-0"	SOLID WOOD	
D	2'-10" x 7'-0"	POCKET	
E	3'-0" x 7'-0"	POCKET	
F	3'-0" x 7'-0"	EXTERIOR INSULATED	PROVIDE MINIMUM 20MIN. FIRE RATING FOR DOORS LOCATED BETWEEN GARAGE AND INTERIOR LIVING SPACE
G	3'-6" x 7'-0"	EXTERIOR INSULATED	PROVIDE MINIMUM 20MIN. FIRE RATING FOR DOORS LOCATED BETWEEN GARAGE AND INTERIOR LIVING SPACE
H	6'-0" x 7'-0"	SLIDING	
I	NOT USED		
J	9'-0" x 9'-0"	INSULATED OVERHEAD DOOR	
K	16'-0" x 9'-0"	INSULATED OVERHEAD DOOR	



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Sheet / Window Schedule
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PARCEL NO. 12-27-429-004**

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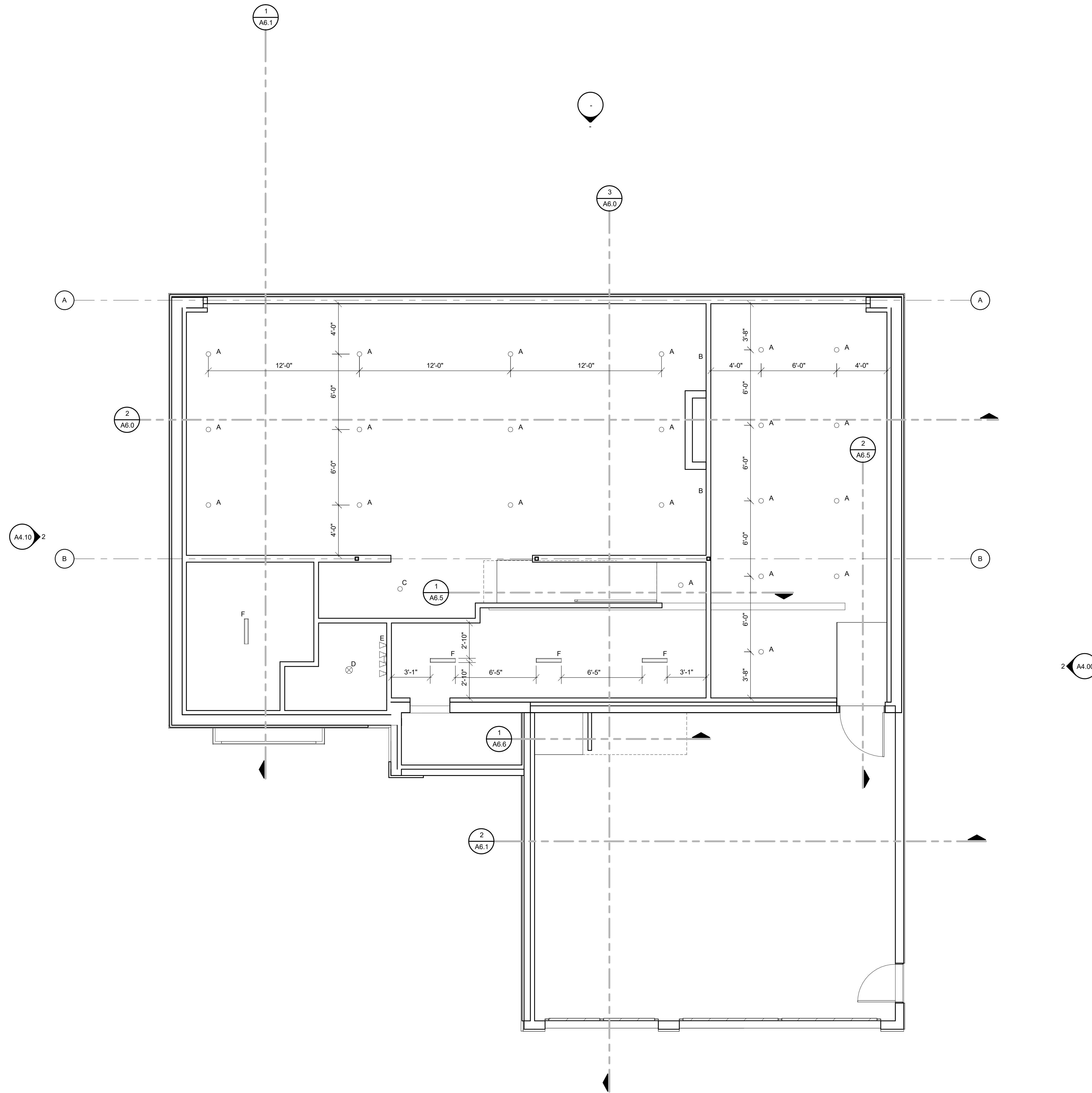
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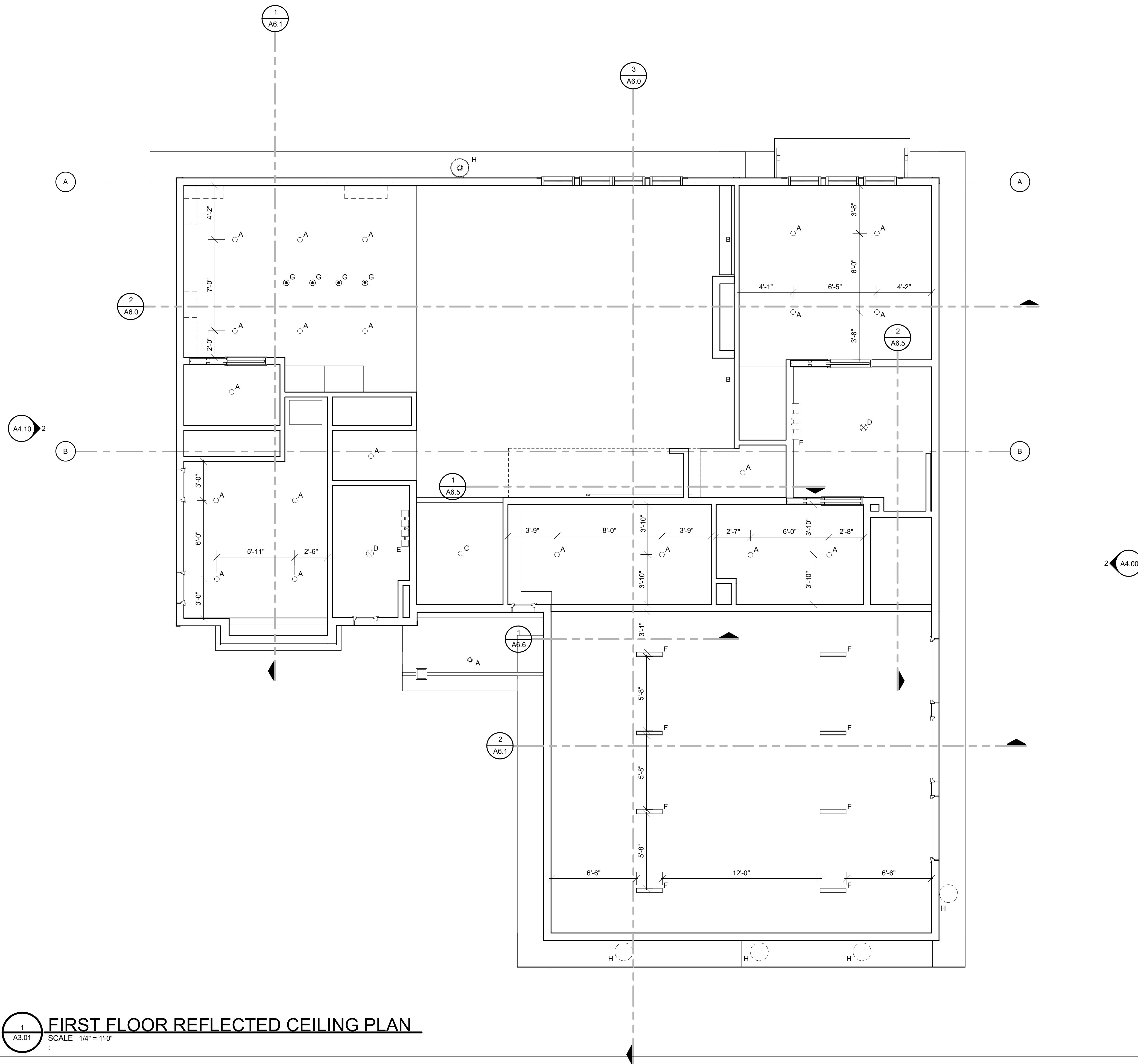
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A2.4
SCALE: 1/2" = 1'-0"

LIGHTING SCHEDULE			
MARK	SIZE	TYPE	QUANTITY
A	3.5" DIAMETER	DOWNLIGHT	22
B	8" H x 7" W x 4" D	WALL MOUNTED SCONCE	2
C	5" DIAMETER	PENDANT	1
D	6" DIAMETER	CEILING MOUNTED	1
E	9" H x 33" W x 7" D	4 LIGHT VANITY FIXTURE	1
F	24" L x 4" W	RECTANGULAR RECESSED	4



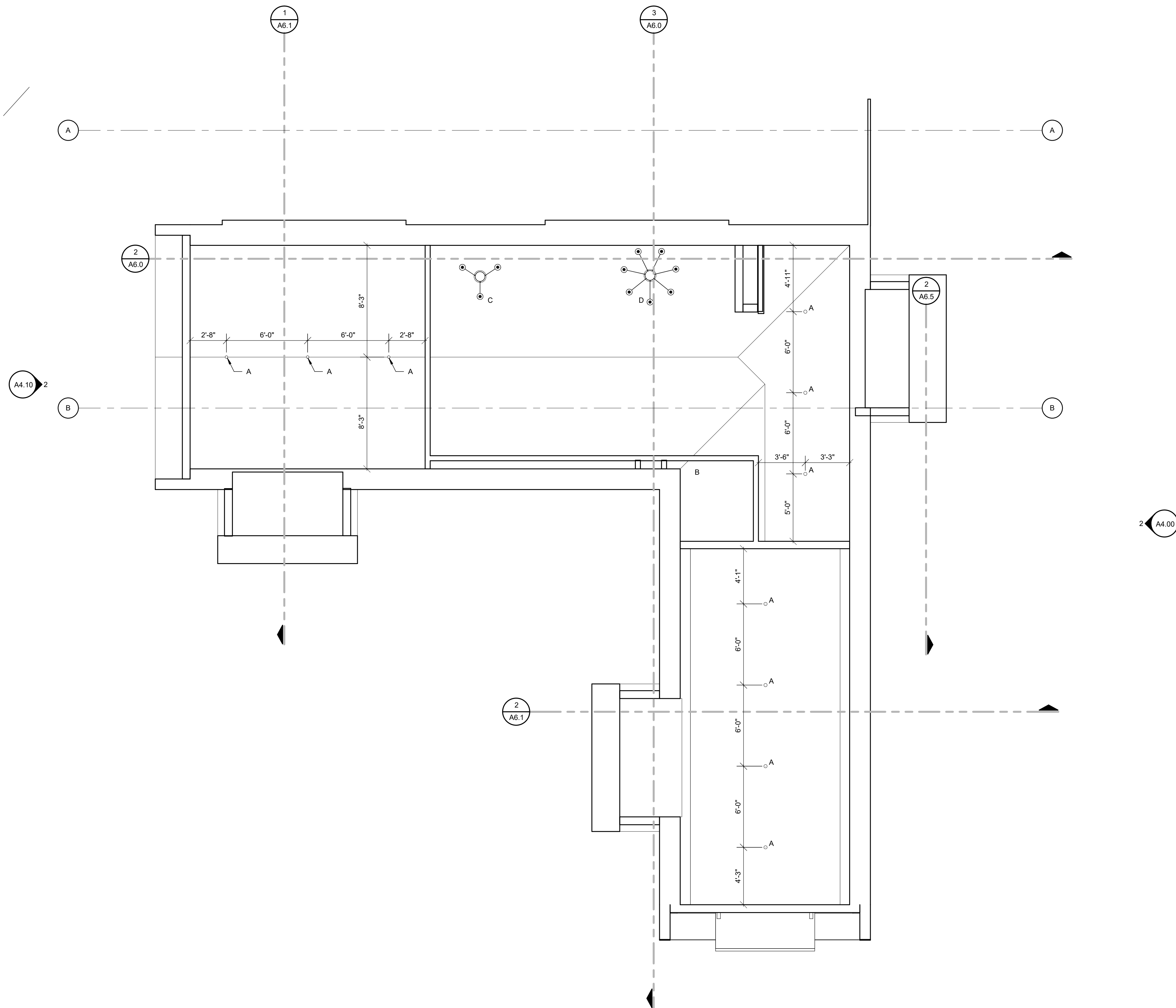
1
A3.00 **BASEMENT REFLECTED CEILING PLAN**
SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE			
MARK	SIZE	TYPE	QUANTITY
A	3.5" DIAMETER	DOWNLIGHT	22
B	8" H x 7" W x 4" D	WALL MOUNTED SCONCE	2
C	5" DIAMETER	PENDANT	1
D	6" DIAMETER	CEILING MOUNTED	2
E	9" H x 33" W x 7" D	4 LIGHT VANITY FIXTURE	2
F	24" L x 4" W	RECTANGULAR RECESSED	8
G	5" DIAMETER	TRANSPARENT PENDANT LAMP	4
H	5" DIAMETER	EXTERIOR SCONCE	5

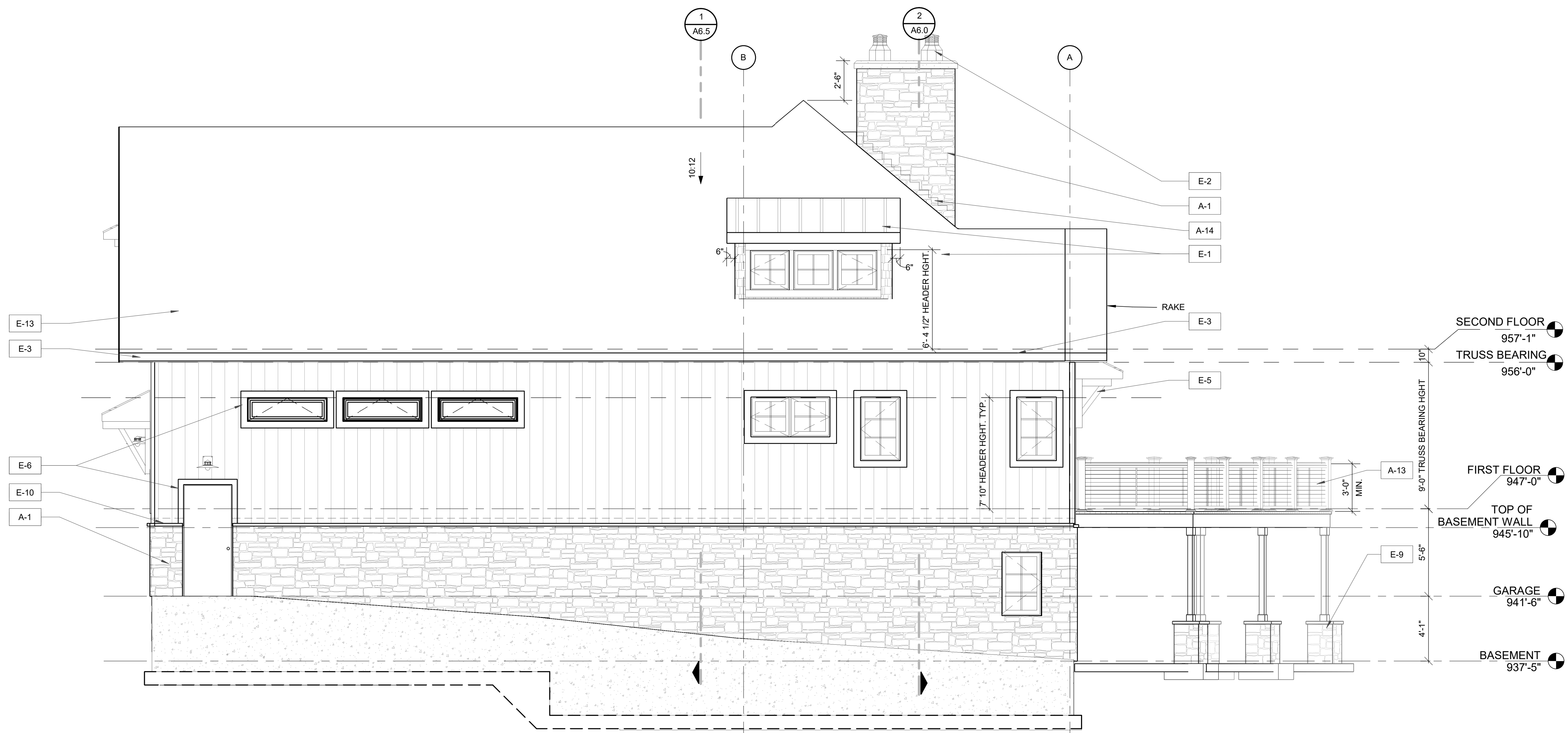


1
A3.01 **FIRST FLOOR REFLECTED CEILING PLAN**
SCALE 1/4" = 1'-0"

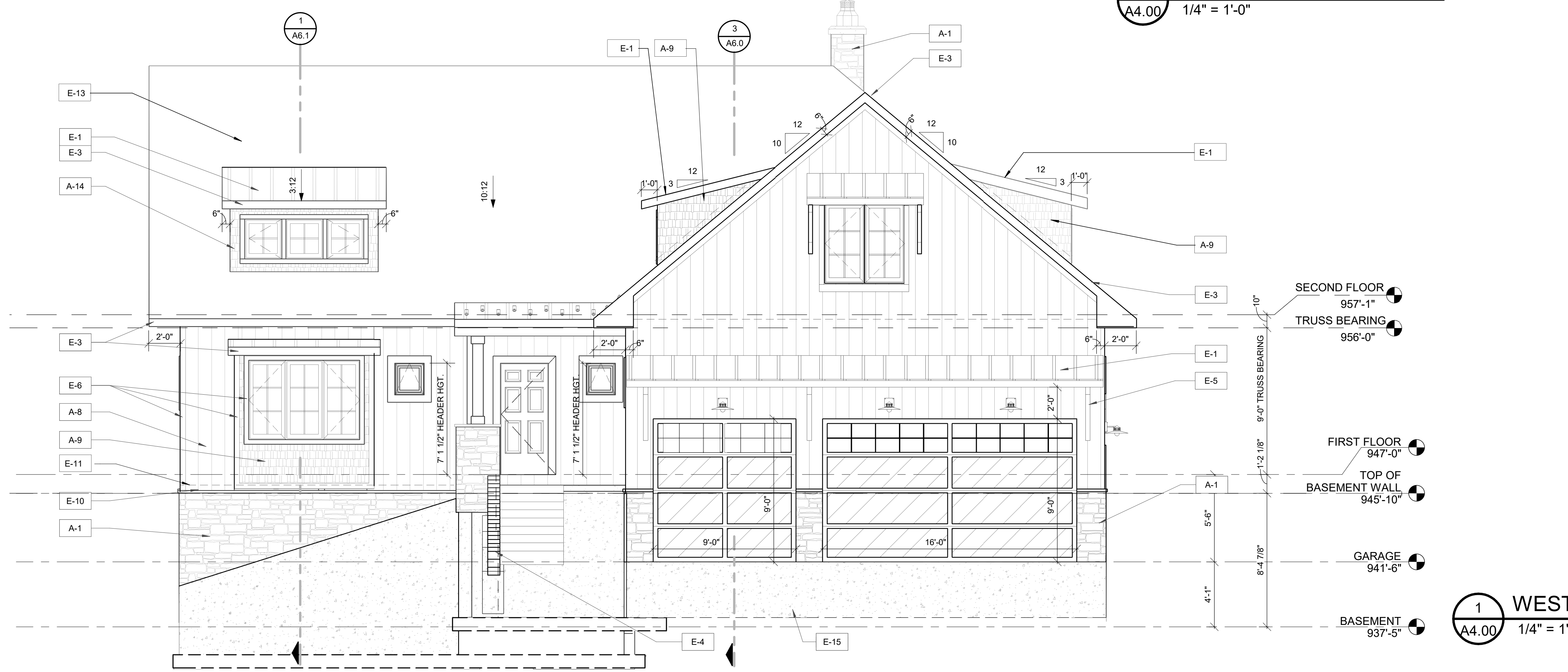
LIGHTING SCHEDULE			
MARK	SIZE	TYPE	QUANTITY
A	3.5" DIAMETER	INCANDESCENT LIGHT BULB	10
B	9" H x 33" W x 7" D	4 LIGHT VANITY FIXTURE	1
C	5" DIAMETER	3 LIGHT TRANSPARENT PENDANT FIXTURE	1
D	5" DIAMETER	7 LIGHT TRANSPARENT PENDANT FIXTURE	1



1 SECOND FLOOR REFLECTED CEILING PLAN
A3.02 SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION
 A4.00 1/4" = 1'-0"



1 WEST ELEVATION
 A4.00 1/4" = 1'-0"

ELEVATION LEGENDS	
Key Value	Keynote Text
E-1	STANDING SEAM METAL ROOF
E-2	STAINLESS CHIMNEY CAPS
E-3	6" JAMES HARDIE FASCIA AND RAKE BOARD
E-4	12" STANDARD UNLOCK PISA STANDARD RETAINING WALL AND CAP STONE ON TOP, SEE MANUFACTURER FOR SPECIFICATIONS
E-5	WOOD BRACKET
E-6	4" WIDE JAMES HARDIE TRIM BOARD
E-9	6"X6" P.T. POST, 2" THICK CAST CONCRETE CAP ON 4 COURSES OF 6" CMU ON ENGINEER FOOTING, SEE STRUCTURAL PLANS
E-10	CULTURED SILL CAP STONE 2" TALL
E-13	ASPHALT SHINGLES
E-15	CONCRETE FOOTING SEE STRUCTURAL DRAWINGS

EXTERIOR FINISH KEYNOTES	
Key Value	Keynote Text
A-1	2" CULTURED STONE.
A-8	JAMES HARDIE BOARD AND BATTEN
A-9	SHINGLE SIDING
A-13	STAINLESS STEEL CABLE PER 2015 MRC
A-14	2-2 x 4 3" STUD POCKET

J&A ARCHITECTURAL ENGINEERING
 3250 WEST BIG BEAVER RD.
 SUITE 233
 TROY, MI 48064
 P. 248.282.6475
 F. 248.590.0257

PROJECT TITLE:
LEE & PAT BRITHINEE RESIDENCE
 SITE ADDRESS:
**NO ADDRESS CURRENTLY
 PARCEL NO. 12-27-429-004**

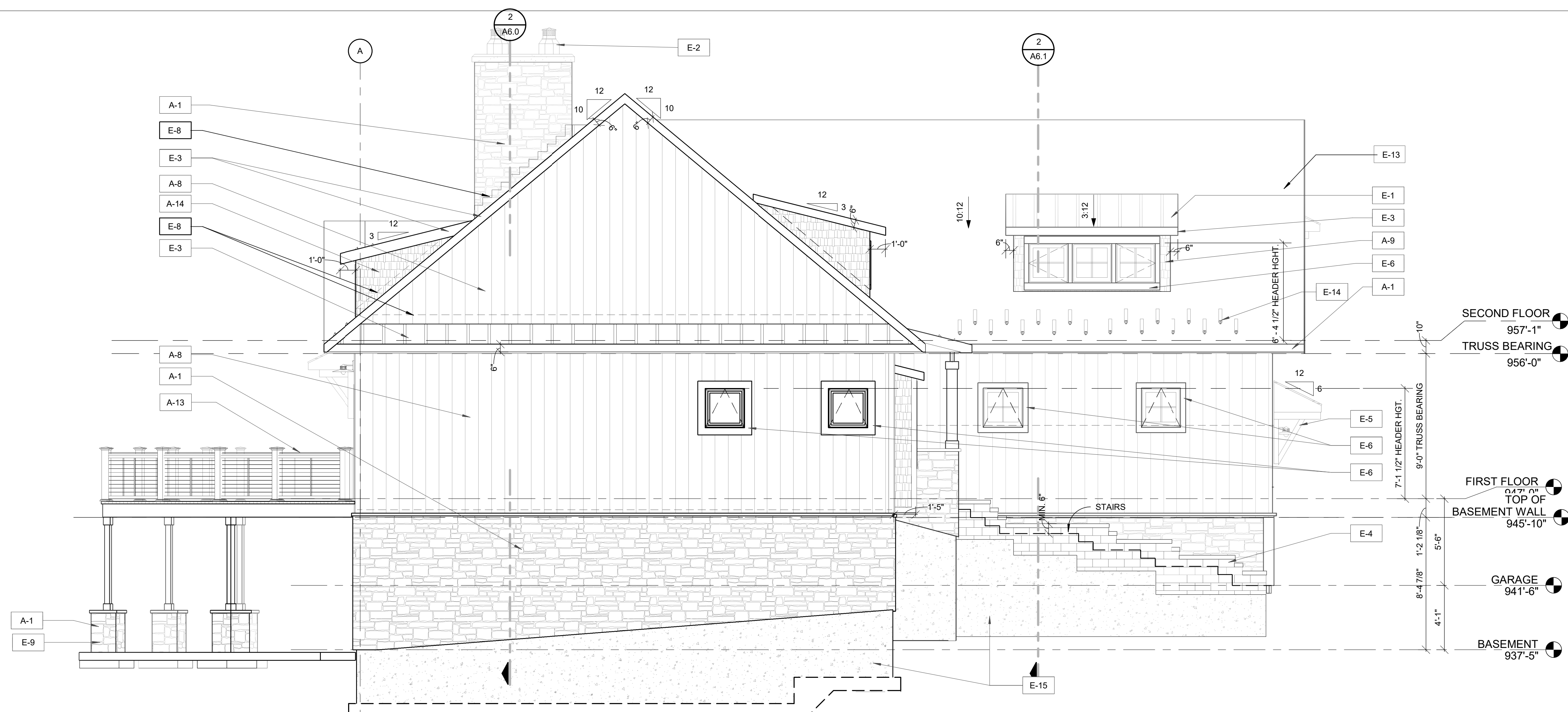
PREPARED FOR:
LEE & PAT
 ADDRESS:
**568 BURGESS DR.
 WHITE LAKE TWP.
 48386**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

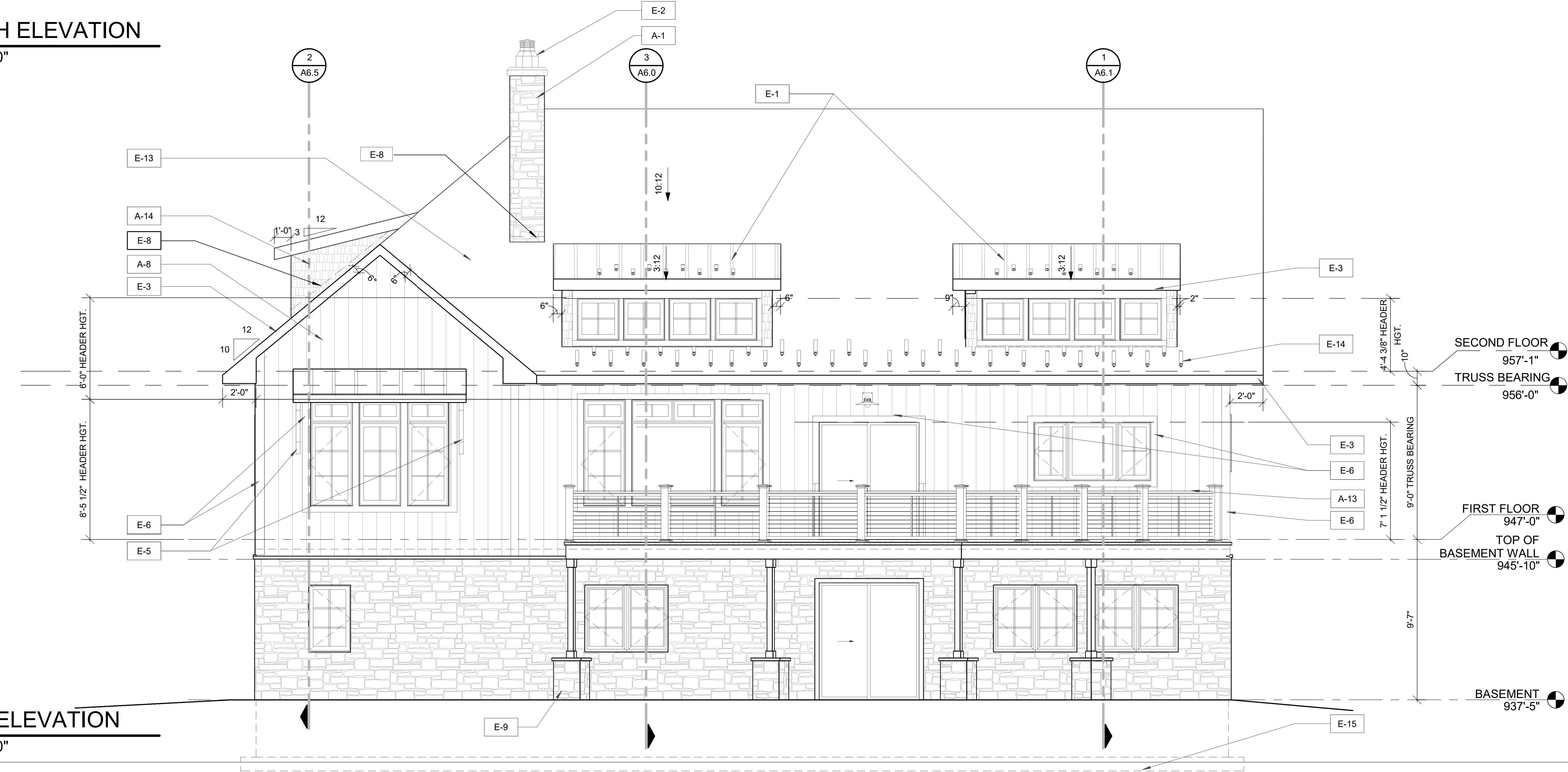
PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

SHEET NUMBER:
A4.00
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 A4.10 1/4" = 1'-0"



1 EAST ELEVATION
 A4.10 1/4" = 1'-0"

ELEVATION LEGENDS	
Key Value	Keynote Text
E-1	STANDING SEAM METAL ROOF
E-2	STAINLESS CHIMNEY CAPS
E-3	6" JAMES HARDIE FASCIA AND RAKE BOARD
E-4	12" STANDARD UNILOCK PISA STANDARD RETAINING WALL AND CAP STONE ON TOP, SEE MANUFACTURER FOR SPECIFICATIONS
E-5	WOOD BRACKET
E-6	4" WIDE JAMES HARDIE TRIM BOARD
E-9	6"X6" P.T. POST 2" THICK CAST CONCRETE CAP ON 4 COURSES OF 6" CMU ON ENGINEER FOOTING, SEE STRUCTURAL PLANS
E-13	ASPHALT SHINGLES
E-14	2 ROWS OF SNOW CLEATS, ROWS ALTERNATING
E-15	CONCRETE FOOTING SEE STRUCTURAL DRAWINGS

EXTERIOR FINISH KEYNOTES	
Key Value	Keynote Text
A-1	2" CULTURED STONE.
A-8	JAMES HARDIE BOARD AND BATTEN
A-9	SHINGLE SIDING
A-13	STAINLESS STEEL CABLE PER 2015 MRC
A-14	2-2 x 4 3" STUD POCKET

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ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

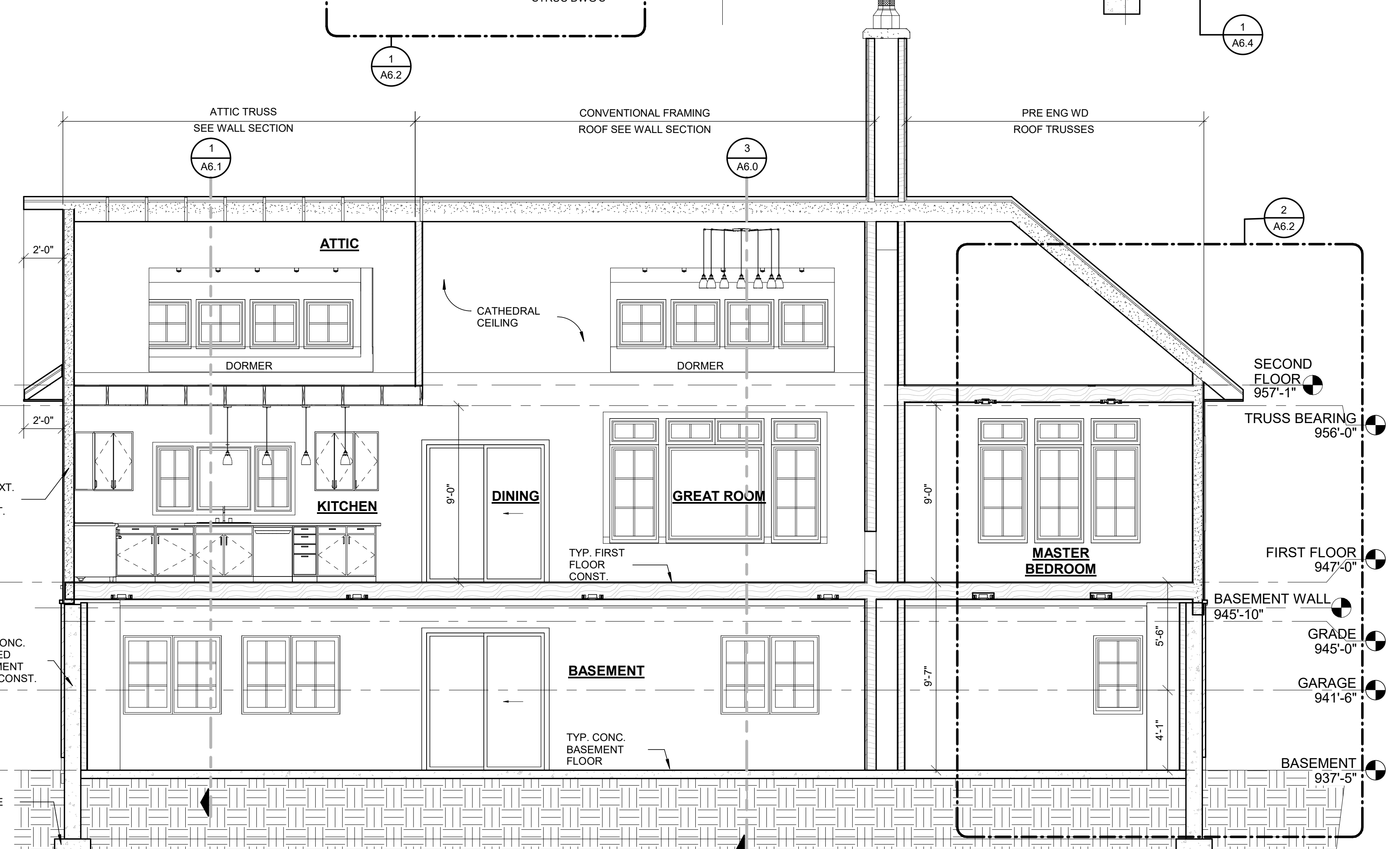
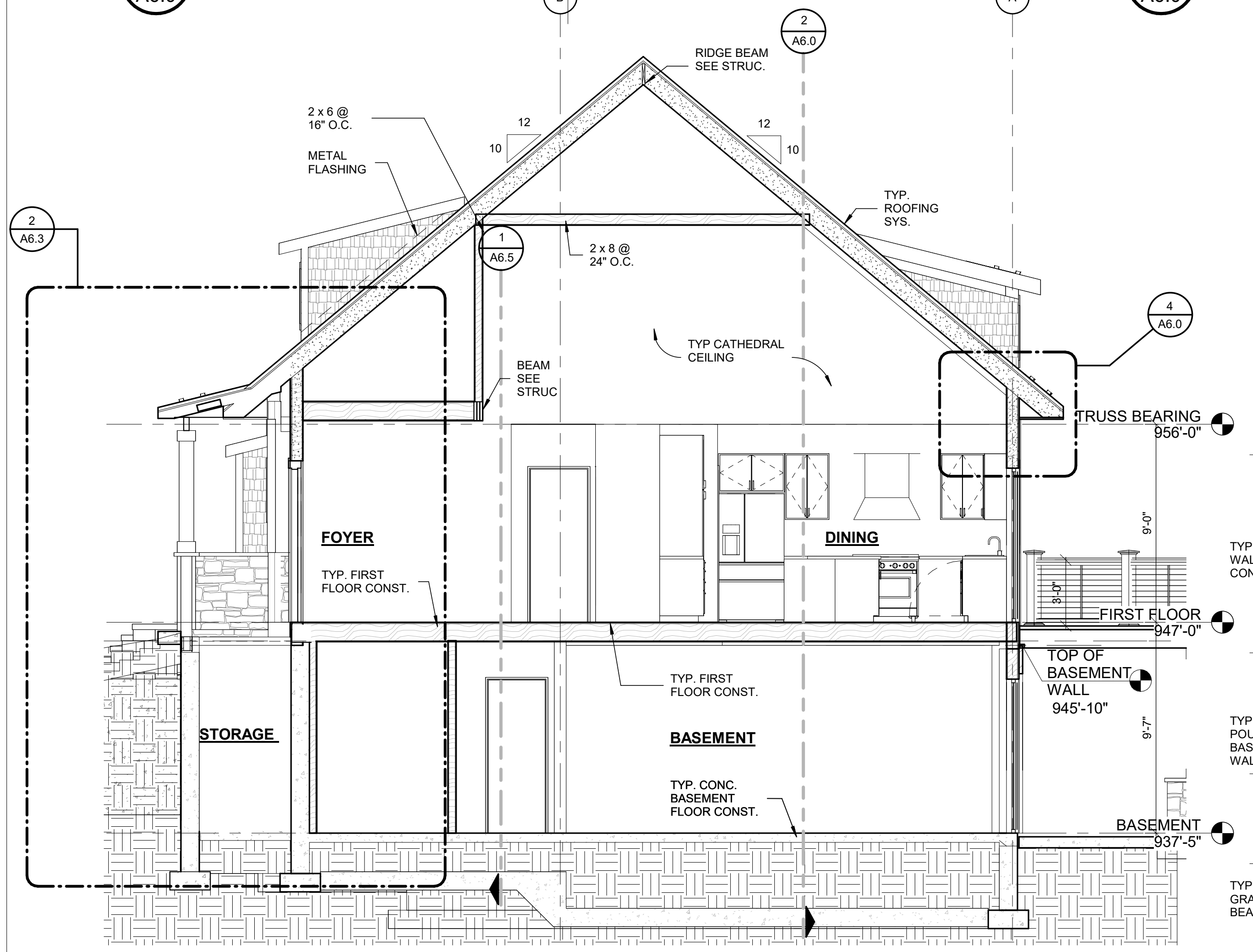
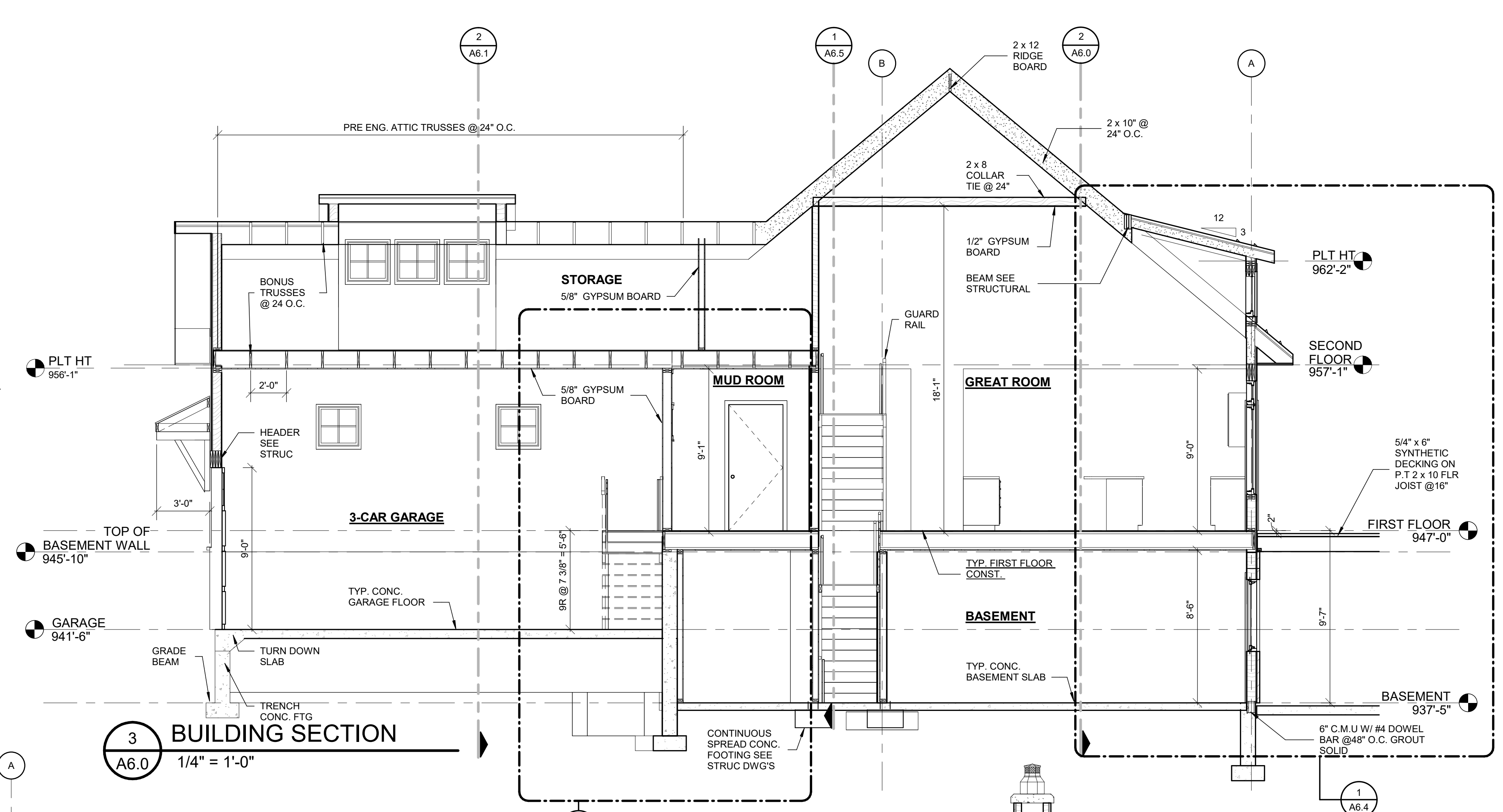
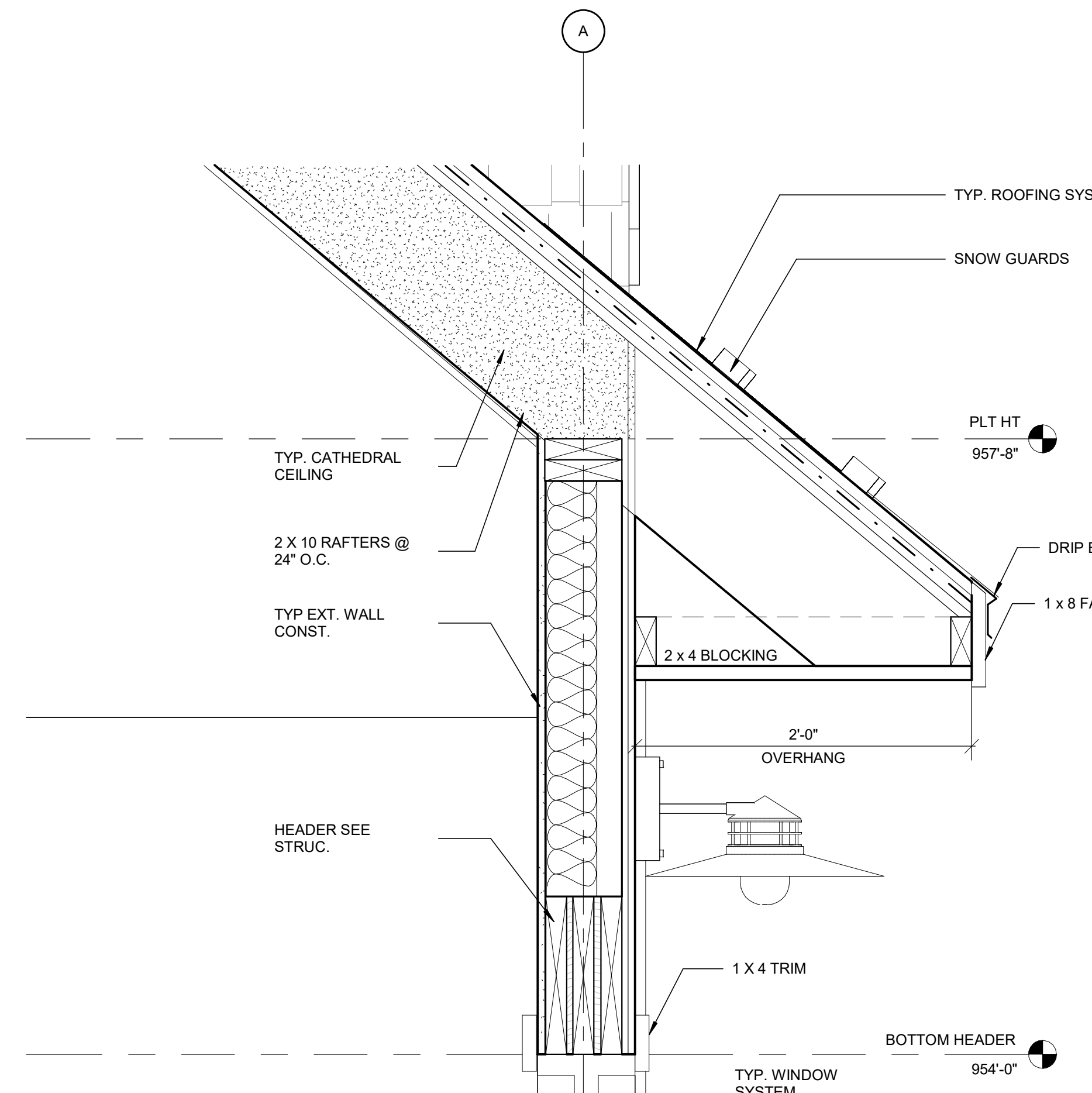
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DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

SHEET NUMBER:
A4.10
 SCALE: 1/4" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
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PROJECT NO.:	23-110
SHEET TITLE:	

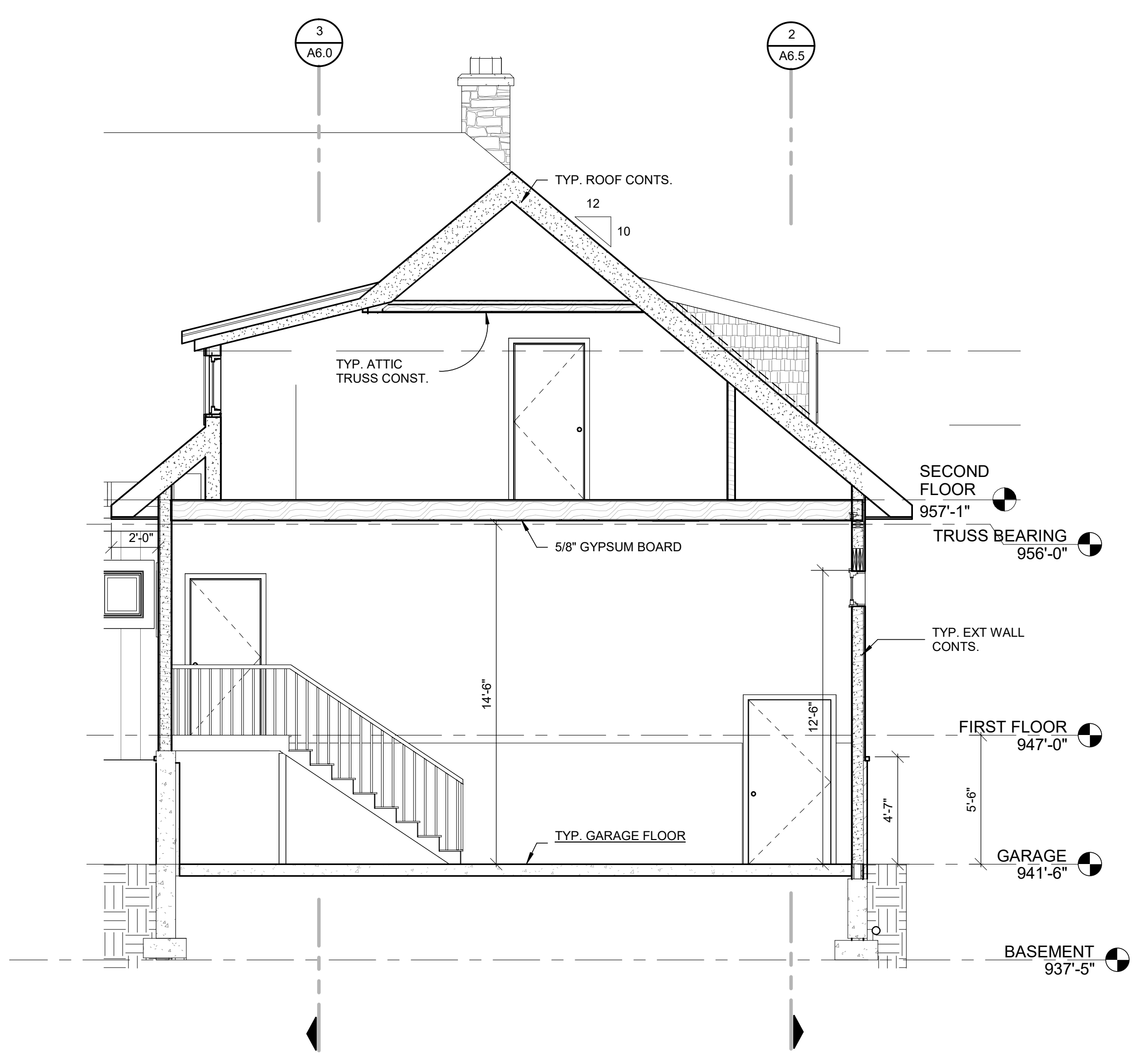


ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

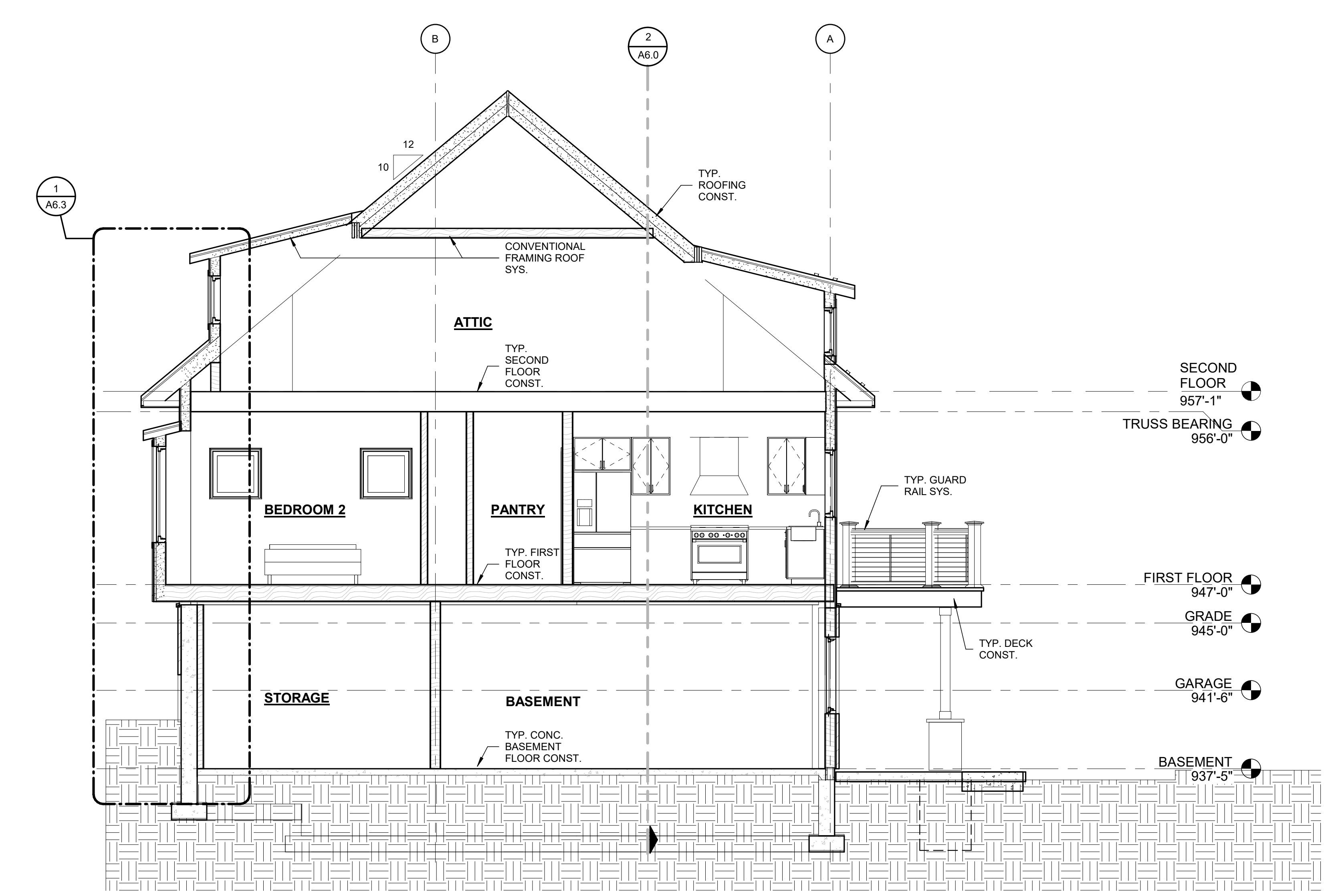
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DATE: 04-03-2023
DRAWN: JZ
CHECKED: AM
PROJECT NO: 23-110
SHEET TITLE:

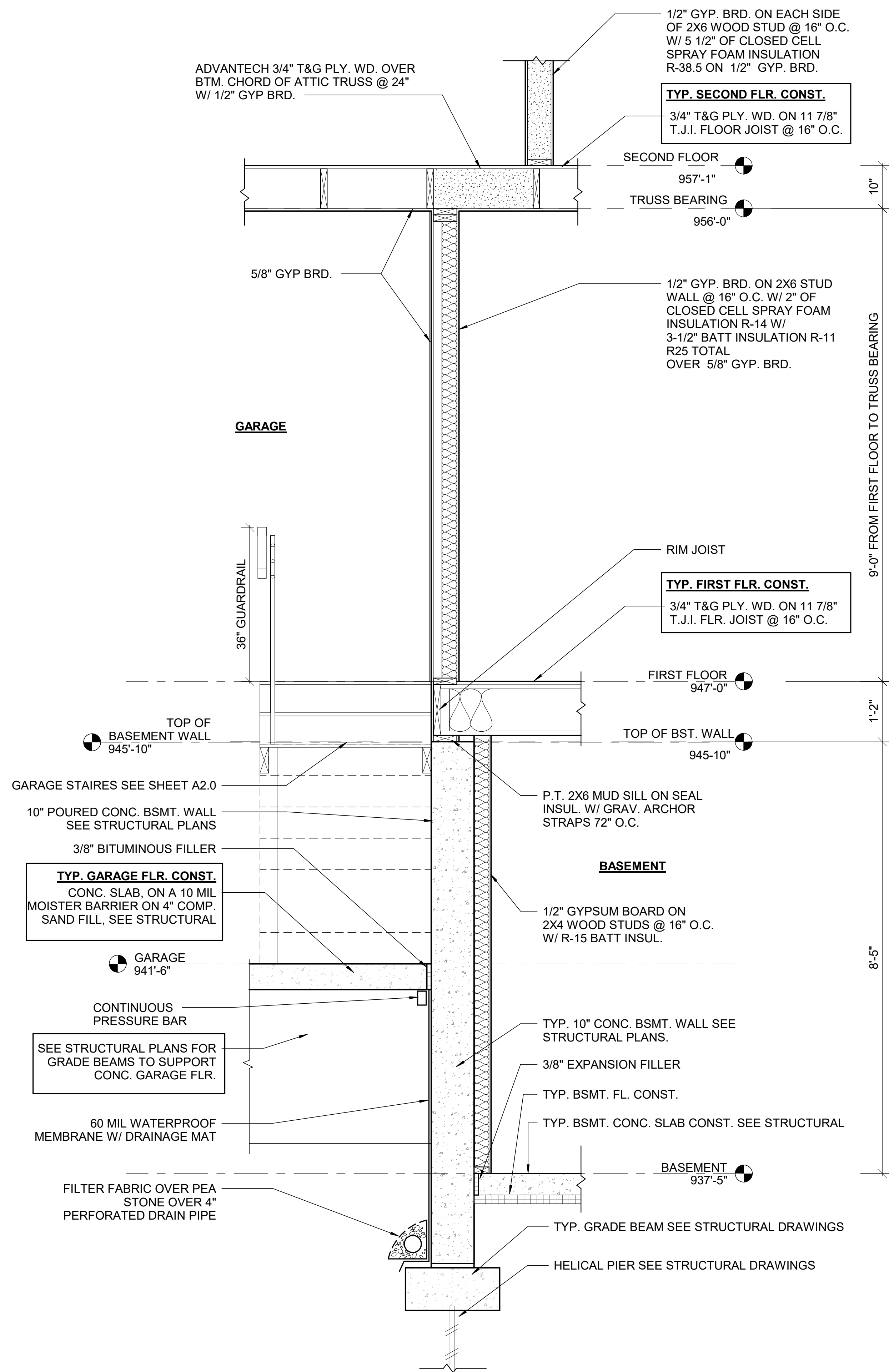
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SCALE: 1/4" = 1'-0"



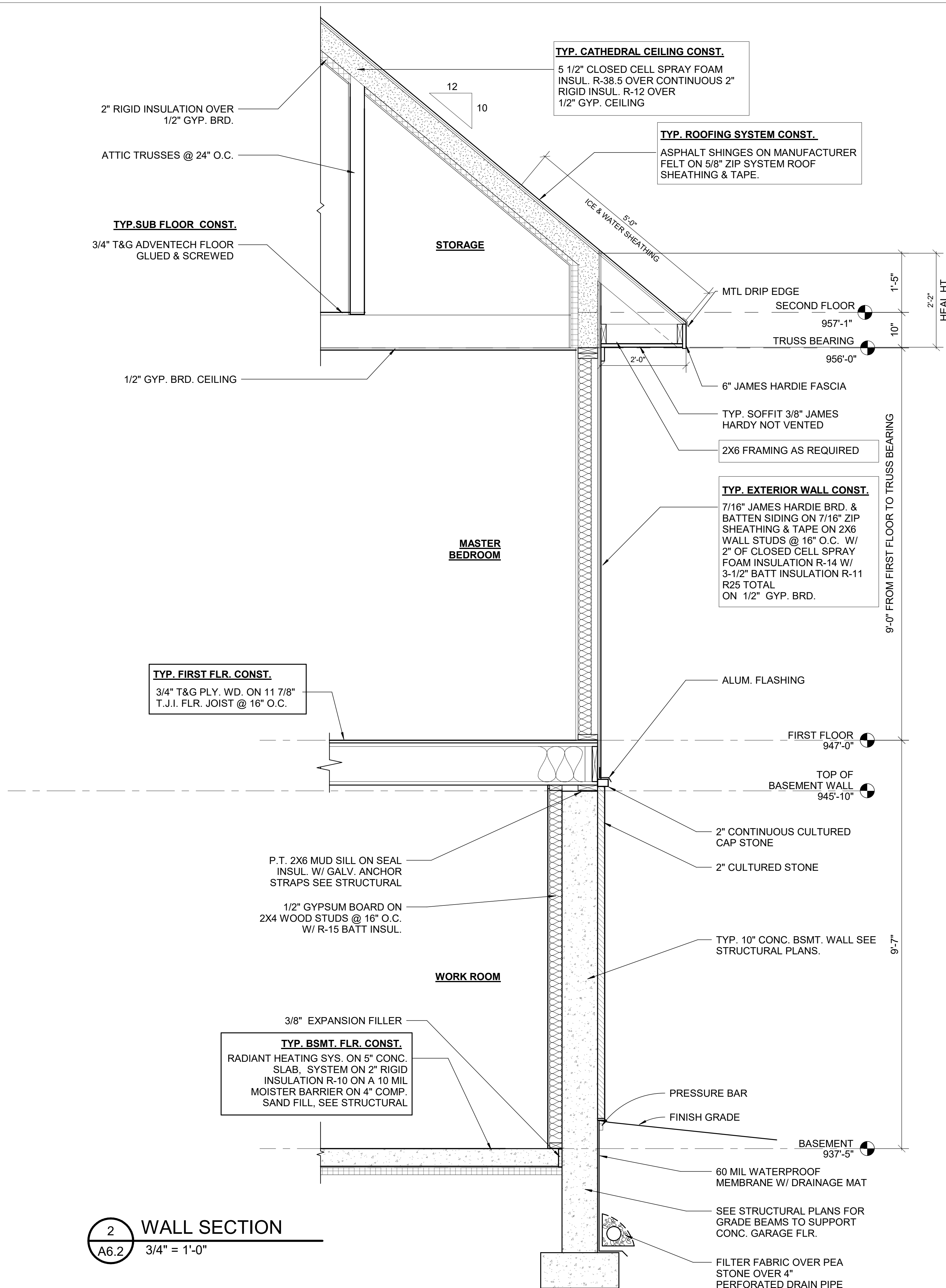
2 BUILDING SECTION
A6.1 1/4" = 1'-0"



1 BUILDING SECTION
A6.1 1/4" = 1'-0"



1 WALL SECTION
A6.2 3/4" = 1'-0"



2 WALL SECTION
A6.2 3/4" = 1'-0"

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PROJECT TITLE:
LEE & PAT BRITHINEE RESIDENCE
SITE ADDRESS:
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PARCEL NO. 12-27-429-004**

PREPARED FOR:
LEE & PAT
ADDRESS:
**568 BURGESS DR.
WHITE LAKE TWP.
48386**

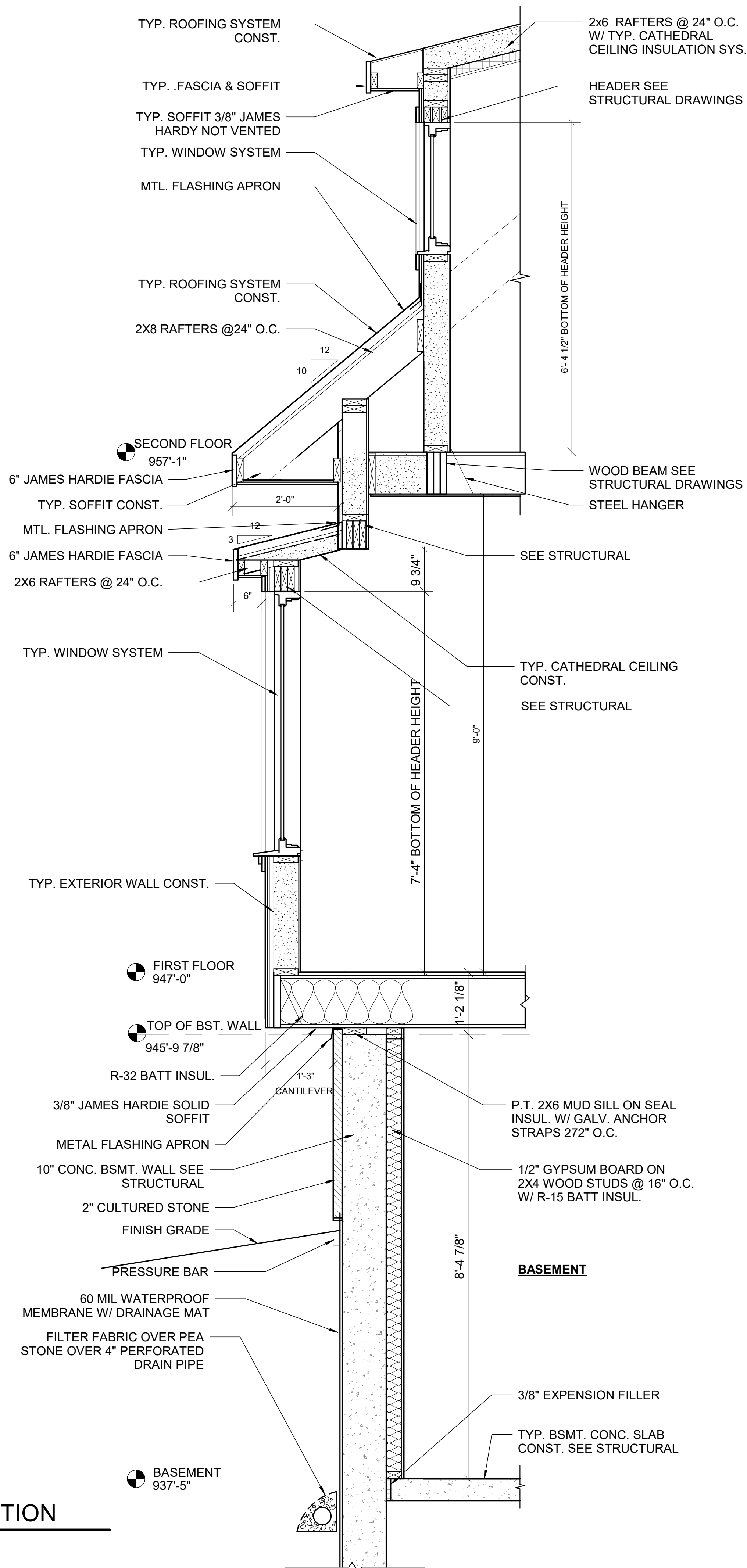
ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

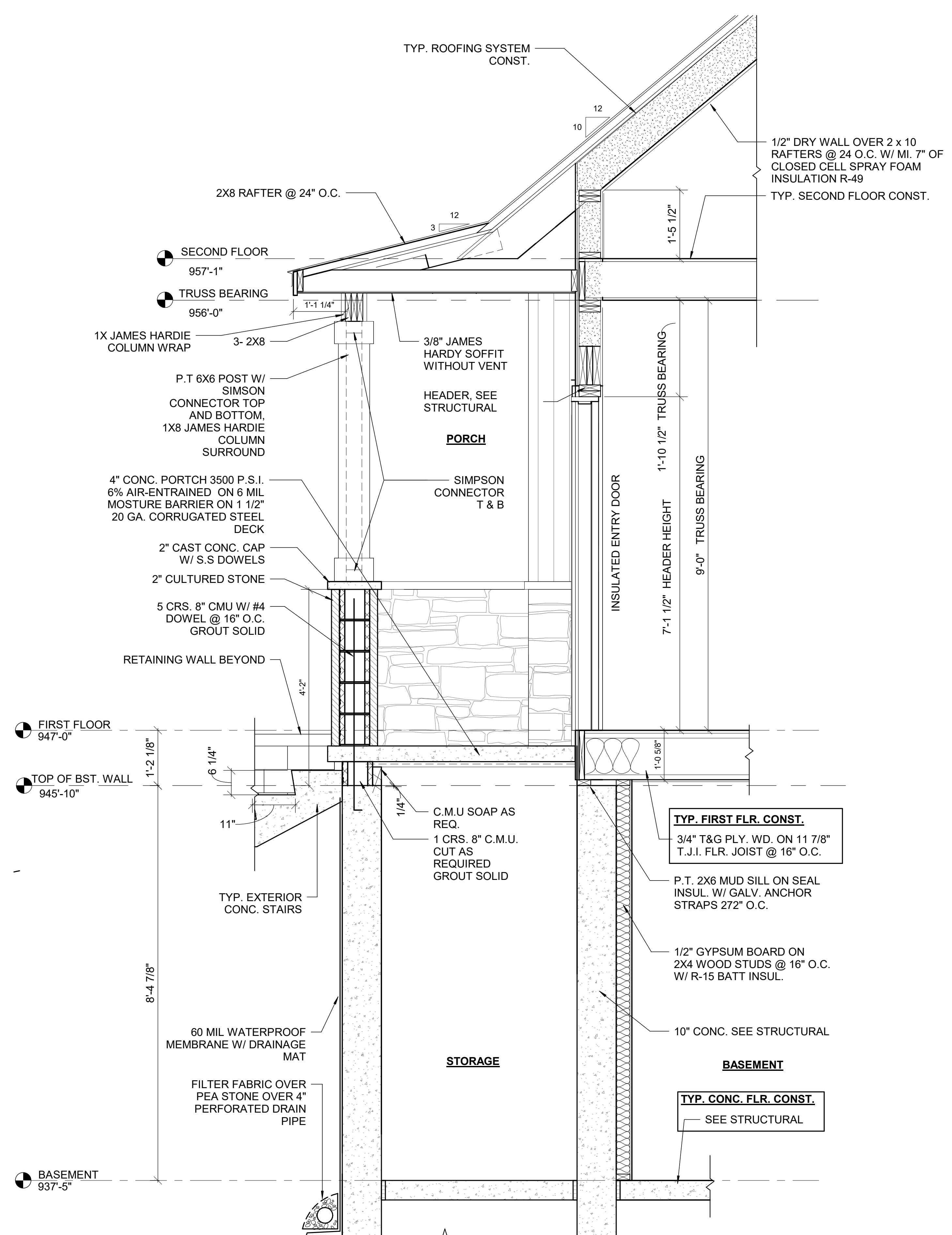
DATE: 04-03-2023
DRAWN: JZ
CHECKED: AM
PROJECT NO: 23-110
SHEET TITLE:

SHEET NUMBER:
A6.2

SCALE: 3/4" = 1'-0"



1 WALL SECTION
A6.3 3/4" = 1'-0"

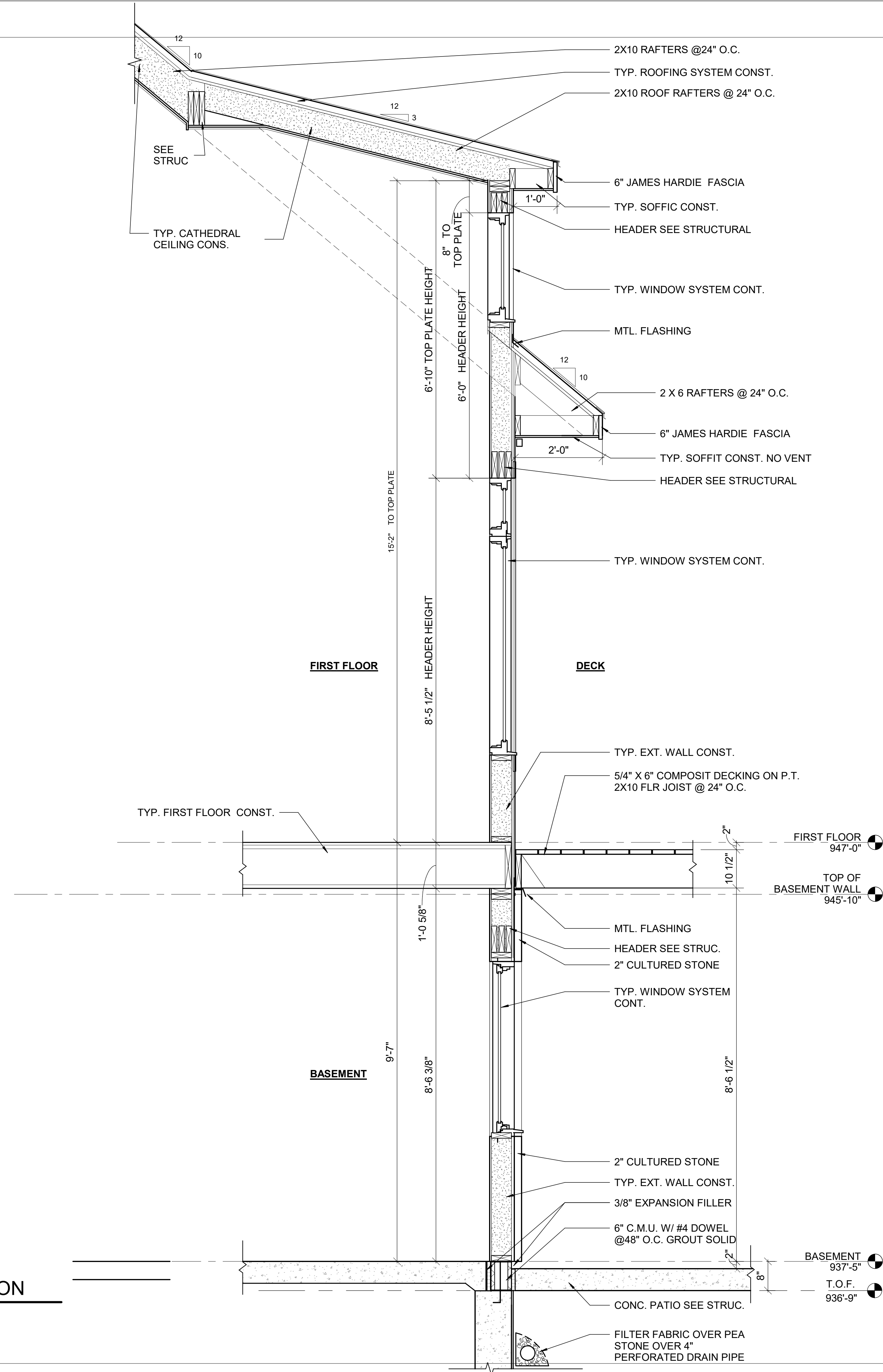


2 WALL SECTION
A6.3 3/4" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	



1 WALL SECTION
 A6.4 3/4" = 1'-0"

Standard Professional Engineer Seal
 The State of Michigan requires that all professional engineers and architects registered in the State of Michigan must obtain and maintain a valid license to practice their profession. This drawing was prepared by the undersigned professional engineer, J&A ARCHITECTURAL ENGINEERING, who is duly licensed in the State of Michigan. The information presented on this drawing is the property of J&A ARCHITECTURAL ENGINEERING. © Copyright 2023

PROJECT TITLE:
LEE & PAT BRITHINEE RESIDENCE
 SITE ADDRESS:
**NO ADDRESS CURRENTLY
 PARCEL NO. 12-27-429-004**

PREPARED FOR:
LEE & PAT
 ADDRESS:
**568 BURGESS DR.
 WHITE LAKE TWP.
 48386**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
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ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

SHEET NUMBER:
A6.4
 SCALE: 3/4" = 1'-0"

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PROJECT TITLE:
**LEE & PAT BRITHINEE
RESIDENCE**
SITE ADDRESS:
**NO ADDRESS CURRENTLY
PARCEL NO. 12-27-429-004**

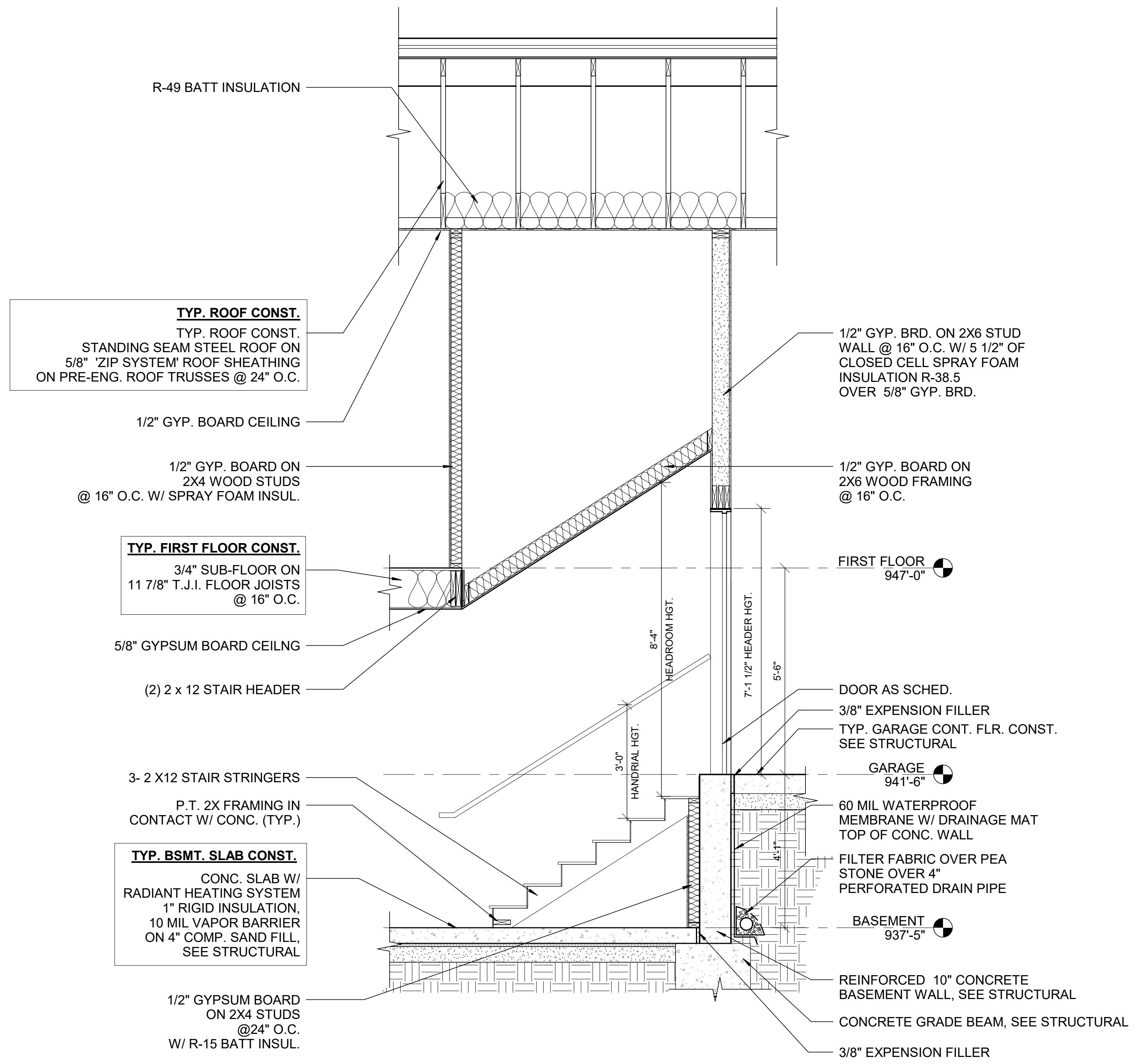
PREPARED FOR:
LEE & PAT
ADDRESS:
**568 BURGESS DR.
WHITE LAKE TWP.
48386**

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

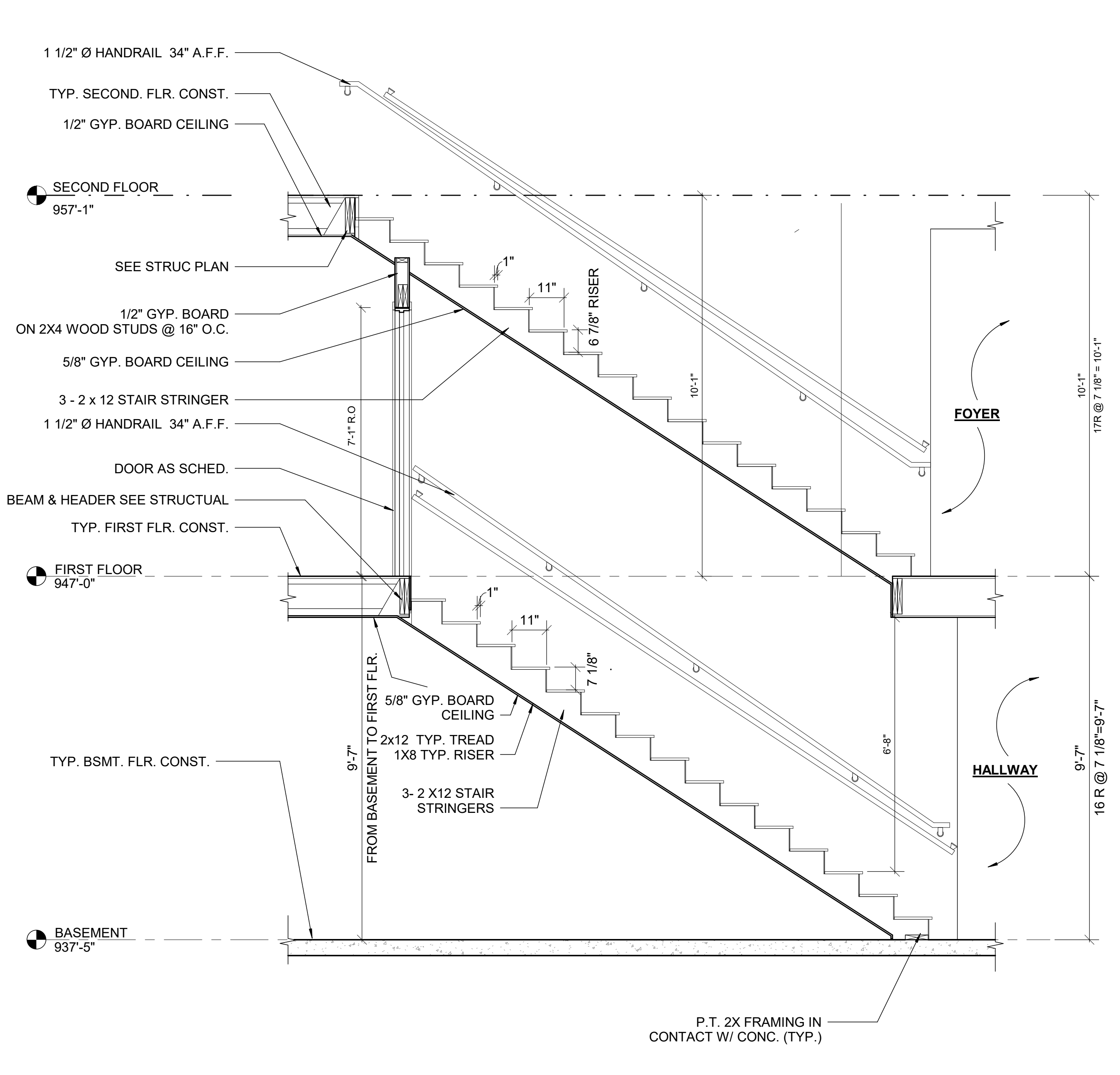
PROFESSIONAL IN RESPONSIBLE
CHARGE:

DATE:	04-03-2023
DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110
SHEET TITLE:	

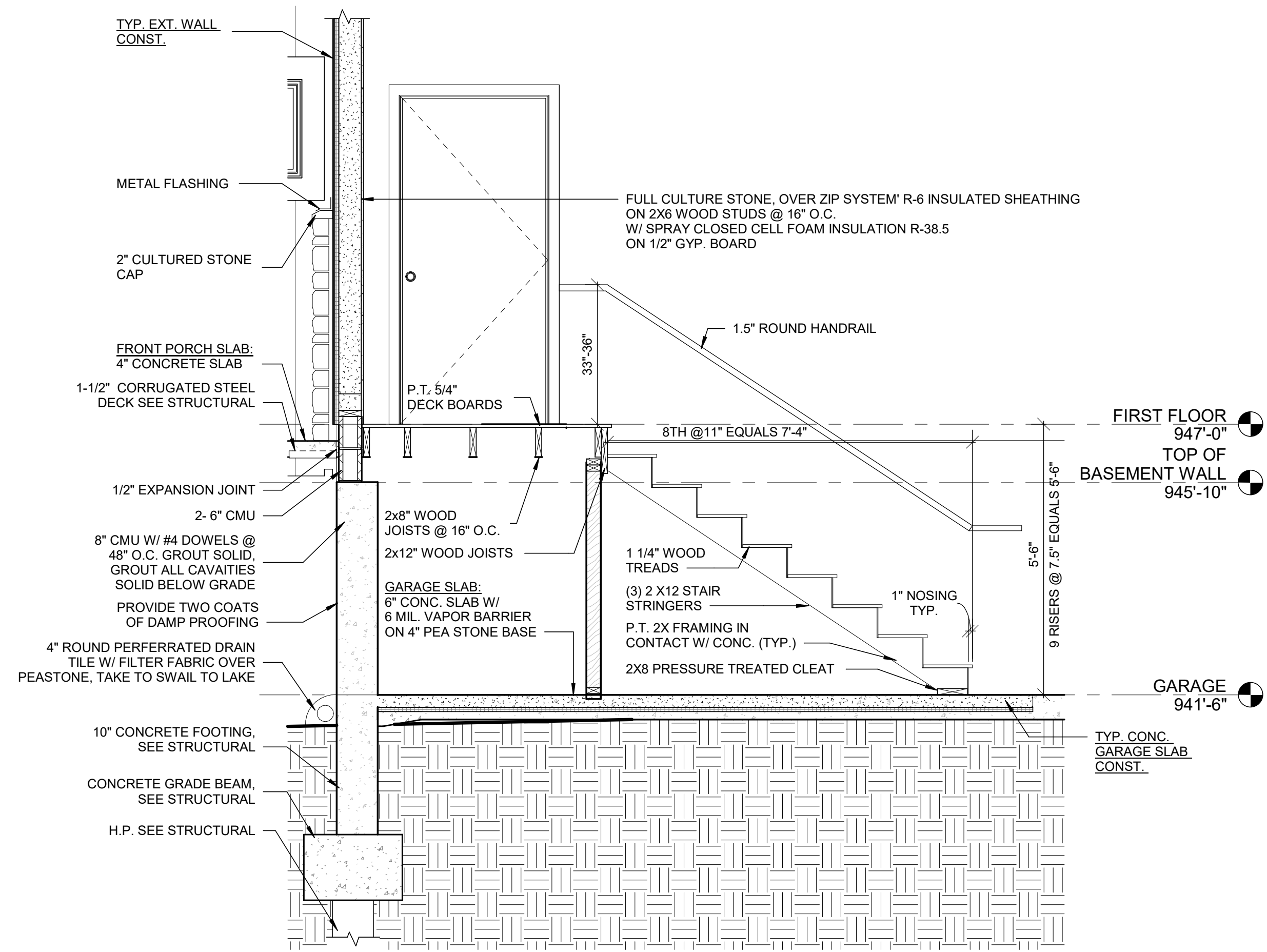
SHEET NUMBER:
A6.5
SCALE: 1/2" = 1'-0"



2 STAIR SECTION
A6.5 1/2" = 1'-0"



1 STAIR SECTION
A6.5 1/2" = 1'-0"



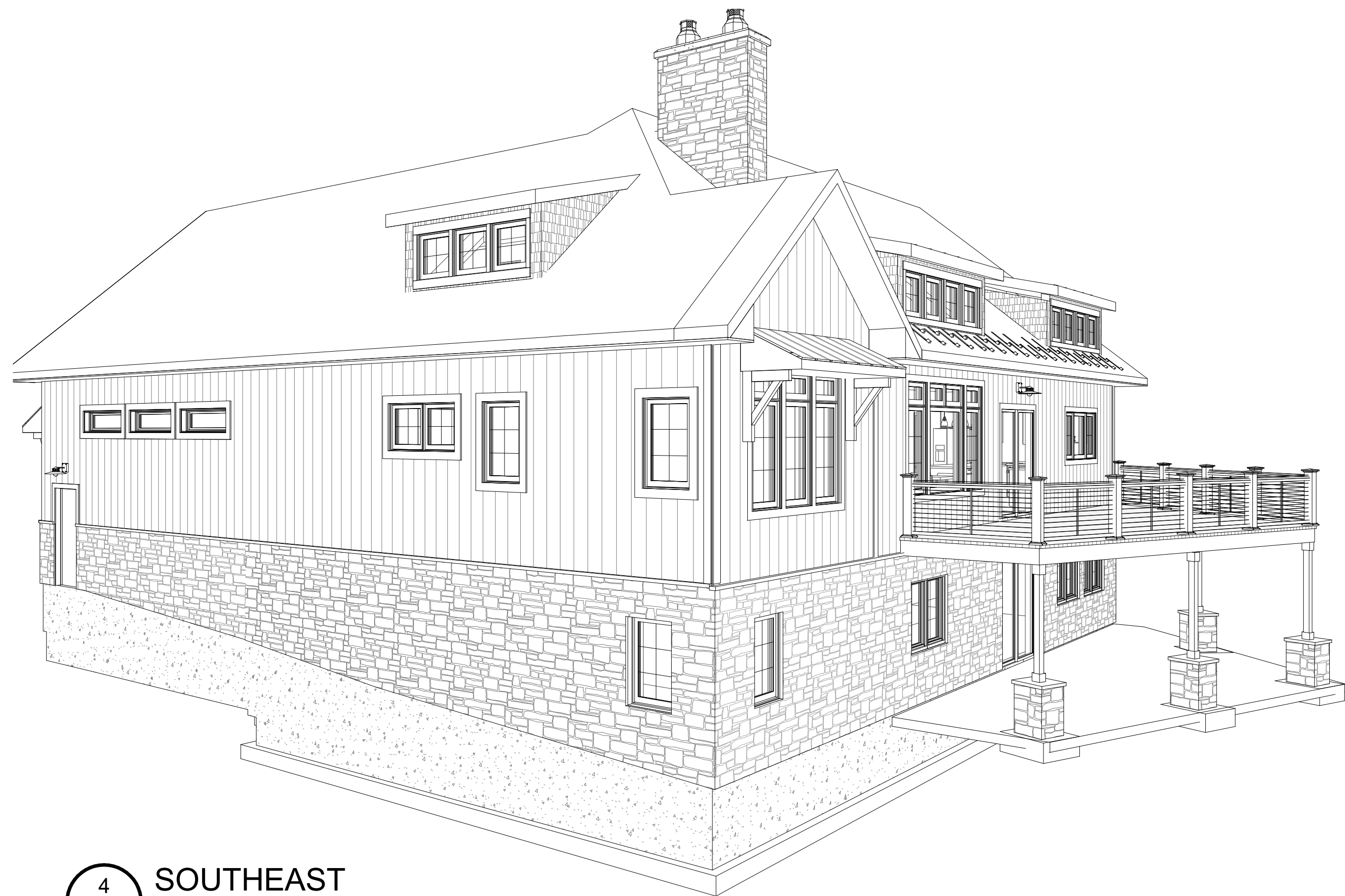
1 STAIR SECTION
 A6.6 1/2" = 1'-0"

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE
 CHARGE:

DATE: 04-03-2023
 DRAWN: JZ
 CHECKED: AM
 PROJECT NO: 23-110
 SHEET TITLE:

SHEET NUMBER:
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 SCALE: 1/2" = 1'-0"



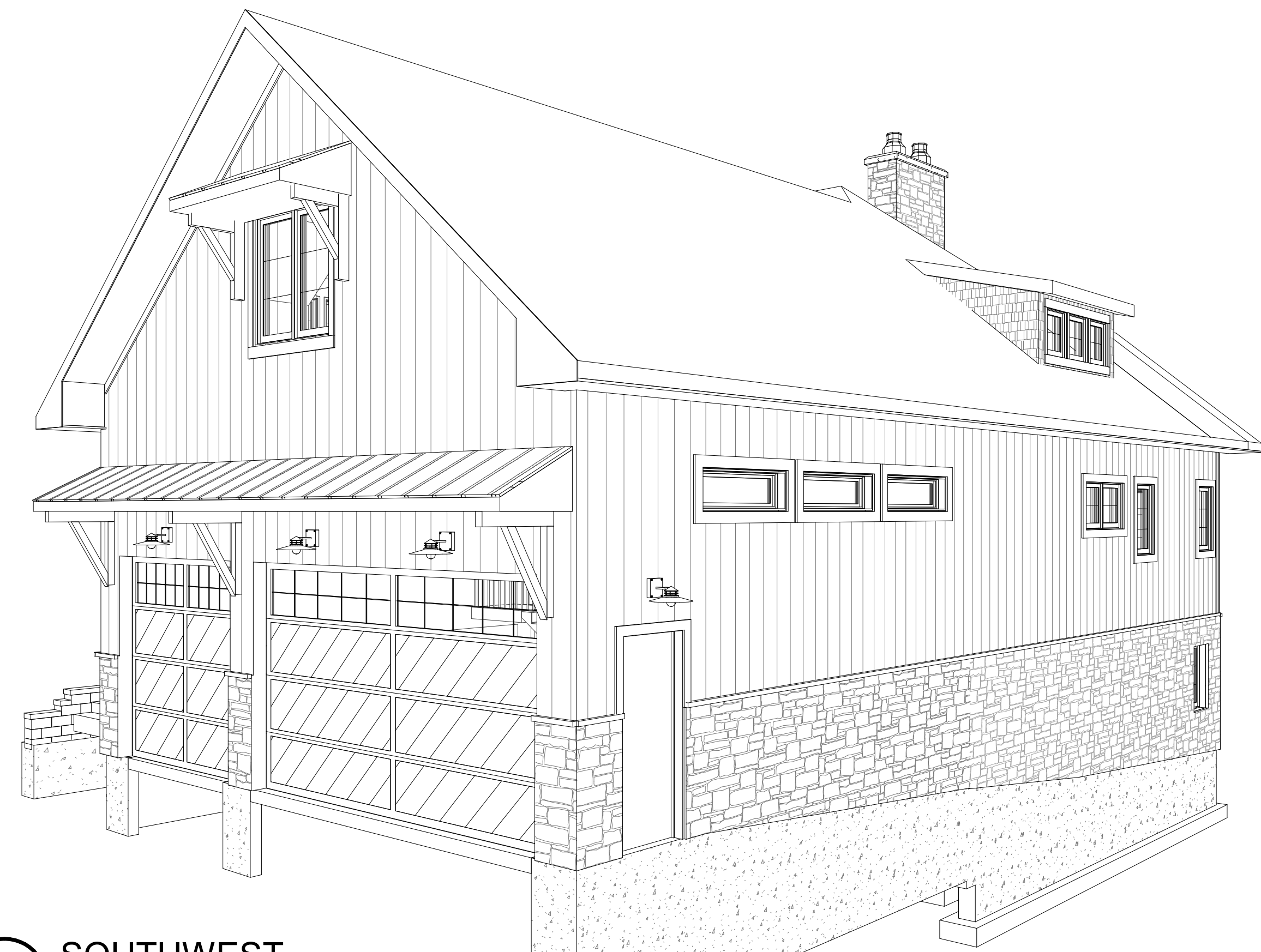
4 SOUTHEAST
A7.0



3 NORTHEAST
A7.0



2 NORTHWEST
A7.0



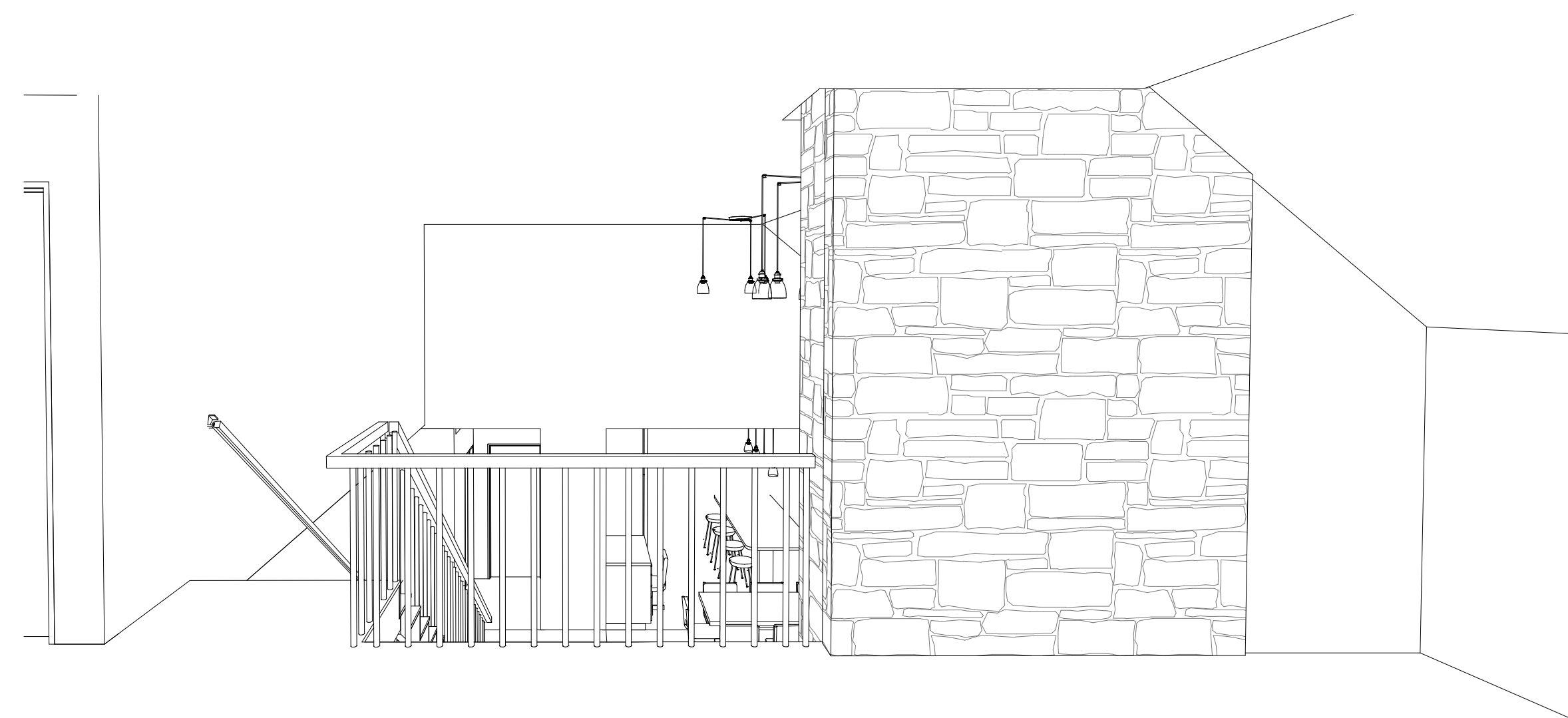
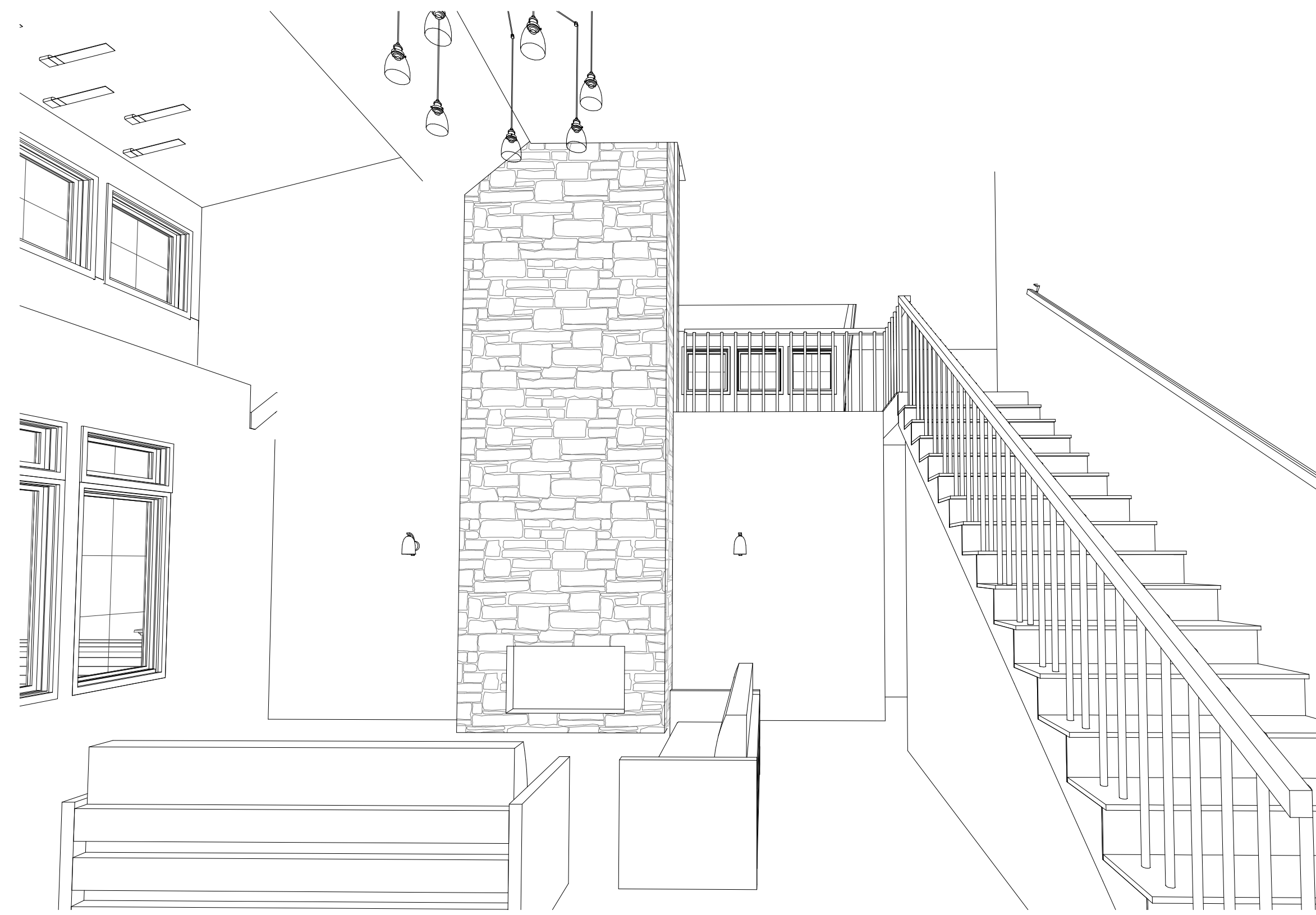
1 SOUTHWEST
A7.0

ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
PERMIT APPLICATION	05/30/2023
ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE
CHARGE:

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DRAWN:	JZ
CHECKED:	AM
PROJECT NO.:	23-110

SHEET NUMBER:
A7.0
SCALE:



ISSUES/REVISIONS	DATE
OWNER REVIEW	03/27/2023
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ADDENDUM 1	09/07/2023

PROFESSIONAL IN RESPONSIBLE
CHARGE:

DATE: 04-03-2023
DRAWN: JZ
CHECKED: AM
PROJECT NO: 23-110
SHEET TITLE:

SHEET NUMBER:
A7.1
SCALE:

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

October 18, 2023

Mintzer Building Co
Sterling Mintzer
4683 Ravinewood Dr
Commerce Twp, MI 48382

Re: 547 Burgess Dr

Based on the submitted plans, the basement wall system would be considered a third story and does not satisfy the White Lake Township Clear Zoning Ordinance.

Article 2 of the White Lake Township Clear Zoning Ordinance states:

GRADE. *The established "Grade" of the street or sidewalk shall be the elevation of the top of curb at the mid-point of the front of the lot. Where no curb exists, the grade shall be the elevation of the centerline of the street at the mid-point of the front of the lot.*

BASEMENT. *A portion of a building partly below grade but so located that the vertical distance from the grade to the basement floor is greater than the vertical distance from the grade to the basement ceiling.*

An artificial grade cannot be established on the site for the purpose of building a structure. Since no curb is present, and according to the engineer's plot plan, "Grade" would be measured as 937.5 ft. The proposed basement finished floor is also 937.5 ft. That being the case, the vertical distance from established grade to the basement floor nets 0 ft, and in turn would make the proposed basement a 3rd story. R1-C zoning limits the stories above grade to 2 stories.

A variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance would be required to consider this application.

Sincerely,

Nick Spencer, Building Official
White Lake Township