

**WHITE LAKE TOWNSHIP  
INTER-OFFICE MEMORANDUM  
COMMUNITY DEVELOPMENT DEPARTMENT**

**DATE:** January 11, 2022

**TO:** Rik Kowall, Supervisor  
Township Board of Trustees

**FROM:** Sean O'Neil, AICP  
Community Development Director

**SUBJECT: Taco Bell  
Preliminary Site Plan Approval**  
Property described as parcel number 12-20-276-036, located at the northeast corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.07 acres, currently zoned (PB) Planned Business District.

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The above request is now ready for Township Board Consideration. The matter was considered by the Planning Commission at their regular meeting of January 6, 2022 at which time, after the public hearing, the **Planning Commission recommended approval with conditions** of the proposed preliminary site plan.

Please find enclosed the following related documents:

- Draft minutes from the Planning Commission meeting held on January 6, 2022.
- Review letter prepared by the Township Engineering Consultant, Mike Leuffgen, dated October 15, 2021.
- Review letter prepared by the Township Planning Consultant, Kathleen Jackson, dated October 17, 2021.
- Review letter prepared by the Township Fire Marshal, Jason Hanifen, dated October 7, 2021.
- Review letter prepared by the Township Director of Public Services, Aaron Potter, dated October 16, 2021.
- Memo prepared by the Township Assessor, Jeanine Smith, dated October 1, 2021
- Site plan application.
- Authorization letter from Meijer, Inc.
- Site plan prepared by L+A Architects, Inc, dated September 29, 2021.
- Color elevations.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

October 15, 2021

Sean O' Neil  
Community Development Department  
Charter Township of White Lake  
7525 Highland Road  
White Lake, Michigan 48383

**RE: Taco Bell Preliminary Site Plan Review – 1<sup>st</sup> Review**

Ref: DLZ No. 2145-7233-16

Design Professional: L+A Architects Inc.  
A.I.A./Kem-Tec

Dear Mr. O' Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned plan dated September 29, 2021. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

**General Site Information**

This 1.069 acre site is located at the northeast corner of M-59 and Bogie Lake Road.

**Site Improvement Information:**

- Construction of a 2,235 sf fast food restaurant.
- Associated paved and curbed parking area.
- ADA parking and barrier free access ramps.
- Water and sanitary sewer service.
- Storm water management facilities.

We offer the following comments with respect to our review:

**General**

1. The Nonexclusive Access Easement at the rear of the property will need to be amended to reflect the new location of the proposed access aisle.

### Paving/Grading

1. All proposed barrier free ramps and ADA parking spaces will need to meet ADA standards in terms of slopes and dimensions; further details will be required at the time of Final Site Plan/Final Engineering Plan submittal.
2. Preliminary grading of the site has been proposed and demonstrates general drainage patterns; additional grades for greenspace areas will be required at time of Final Site Plan/Final Engineering Plan review to ensure positive drainage on entire site.
3. The existing sidewalk along Bogie Lake Road may require maintenance in some areas as it appears at least one area may need repair (north of sanitary MH#20074).
4. Plan sheet C3.1 shows the turning radius profile for a 40' long fire truck and the path necessary for navigating the site. Please note the plans indicate the truck would be required to turn around by backing into the hatched area on the south side of the parking lot. We defer further comment to the Township Fire Department.

### Watermain

1. We defer to the Fire Department with regard to any items related to fire suppression including hydrant spacing. Note there is an existing fire hydrant near the south east corner of the subject property.
2. Plans show a 1.5" copper service lead for the building which satisfies the level of detail required for this submittal. The plans indicate the service tap will be made via tapping sleeve and well; please note that a well is not required for the service lead connection.

### Sanitary Sewer

1. A proposed 6" sanitary sewer lead has been indicated along with a 1000-gallon grease trap meeting the level of detail required for this level of submittal. Please note that the wastewater flowing through the grease trap shall only come from the kitchen, an additional lead for black water shall come from the building and connect to the proposed sewer lead downstream of the grease trap.

### Stormwater Management

1. Many of the existing utility structures are double labeled making them difficult to read and identify, please review and revise as necessary.
  2. Please show existing off site storm sewer to clarify ultimate stormwater discharge point. Plans reference the Meijer plans and subject property being part of the Meijer drainage district, however, existing storm sewer shown on the plans does not appear to connect to the Meijer storm system.
  3. Please clarify if stormwater treatment will be accomplished within the existing Meijer detention system or if pre-treatment will be required prior to stormwater leaving the site.
-

4. The plan shows a proposed connection of an 18" diameter storm pipe to the existing 12" diameter storm sewer. We question the basis for this design and note that the intent on the site shall not be to restrict storm water flows which would result in parking lot detention. Please clarify.

### **Recommendation**

The plan demonstrates engineering feasibility and we therefore recommend approval of the Preliminary Site Plan subject to the above items being addressed at the time of Final Site Plan/Final Engineering Plan submittal. To help facilitate our review of the Final Site Plan /Final Engineering Plan, please provide a response letter addressing the above comments.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan



Michael Leuffgen, P.E.  
Department Manager



Victoria Loemker, P.E.  
Senior Engineer

Cc: Justin Quagliata, Community Development, *via email*  
Hannah Micallef, Community Development, *via email*  
Aaron Potter, DPS Director, White Lake Township, *via email*  
Jason Hanifen, Fire Marshall, White Lake Township, *via email*



# MCKENNA

October 17, 2021

Sean O'Neil – Community Development Director  
Charter Township of White Lake  
7525 Highland Road  
White Lake, MI 48383

**Subject:** Taco Bell  
Preliminary Site Plan Review #2  
Zoned: Planned Business (PB) District

**Applicant(s):** Greg Lautzenheiser, L & A Architects

**Location:** 6305 Highland Road  
Meijer Outlot  
North side of Highland Road, east of Bogie Lake Road

Dear Mr. O'Neil:

We have received an application for preliminary site plan review for a 1.07 acre vacant outlot on the existing Meijer property. There is not an address for this site and its parcel number is 12-20-276-033. The site is currently zoned Planned Business District (PB). The petitioner is proposing a new 2,235 square foot drive-thru fast food restaurant.



Approximate site boundaries. Source: Oakland County Property Gateway

**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

☎ 248.596.0920  
☎ 248.596.0930  
**MCKA.COM**

**Communities for real life.**



**COMMENTS**

1. **Existing Conditions.** The conditions of the site and the surrounding area are summarized below:

Location	Existing Land Use	Master Plan	Existing Zoning
Site	Vacant	Planned Business	Planned Business
North	Recreation	PB – N of proposed parcel ROS – N of entire parcel	GB – N of proposed parcel PD – N of entire parcel
East	Commercial	Planned Business	General Business
South	Commercial – across Highland Rd. <sup>1</sup>	Planned Business	Planned Business
West	Transportation/Utility Communication	Planned Business	Planned Business

<sup>1</sup>The southern most portion of the site, across Highland Road has utilities (i.e. sanitary lift station, electrical panels) on it.

- 2. **Proposed Use.** The applicant is proposing a 2,235 square foot, one-story drive thru restaurant, which is a permitted use within the Planned Business district.
- 3. **Building Placement; Architecture and Design.** The site and the building comply with the setback requirements for the PB District. Architecture and design are covered under number 11, below.

Applicable Requirement	Required by the Zoning Ordinance in the PB District or specific for the proposed use	Proposed/Existing
<b>Front Yard Setback</b>	60 feet	77'-8" (Highland Rd.) 33'-5" (Bogie Lake Rd.) <sup>1</sup>
<b>Side Yard Setback</b>	TBD by Planning Commission	33'-5" (west) 75'-7" (east)
<b>Rear Yard Setback</b>	TBD by Planning Commission	174'-11"
<b>Building Height</b>	35 feet or 2 stories	23'
<b>Minimum Lot Area</b>	10 acres	1.069 acres <sup>2</sup>
<b>Minimum Lot Width</b>	TBD by Planning Commission	137.67 feet
<b>Lot Coverage</b>	Governed by parking, loading, landscaping, etc.	<u>Not provided</u>

<sup>1</sup> See note number 10; under specific use standards

<sup>2</sup> The proposed parcel is part of a development agreement

- 4. **Site Circulation and Parking.** The site does not have a curb cut on to Highland Road; rather it is accessed from a curb cut off of Bogie Lake Road and a proposed shared access easement with the McDonald's to the east. Because of the location of the drive thru lane in relation to the Bogie Lake Road entrance, there may be a traffic conflict. The petitioner should address this at final site plan review. There is a possibility of vehicles backing up onto Bogie Lake Road to enter the drive thru lane and blocking the fire lane. The alternative (with



the current curb cut location) is to have cars that are entering off of Bogie Lake Road to turn right, circle around the building and enter the drive thru lane from the northeast side of the property.

The parking spaces on the far east side of the site are 17' in length and about a 5' wide (presumably landscaped) area. The Zoning Ordinance allows parking spaces that are 17' if they abut a sidewalk or landscaped area at least 7' wide. As proposed, the landscaped area is only 5' in width. A 6" concrete curb and gutter is provided abutting all parking areas, at the end of all parking areas and stalls in accordance with the Zoning Ordinance. The proposed drive thru lane is 24' wide; the Zoning Ordinance requires a 25' wide lane. **The petitioner needs to address the landscaped area adjacent to the 17' parking spaces and the drive thru lane width.**

Fast food restaurant uses are required to have one parking space for every 75 square feet of gross floor area. A total of 30 spaces are required. The site plan proposes 37 spaces on site, including two barrier free spaces on the east side of the site, closest to the building in compliance with the Zoning Ordinance.

Additionally, restaurants operating drive-thru windows with indoor seating are required to provide eight (8) stacking spaces. The applicant has provided 9 stacking spaces, which satisfies this requirement.

5. **Pedestrian Circulation.** Per Section 5.21 of the Zoning Ordinance, a six (6) foot wide public sidewalk is required along Bogie Lake Road, and an eight (8) foot wide sidewalk is required along Highland Road. A sidewalk currently exists along each road, although **the petitioner needs to provide the width of those sidewalks.**
6. **Landscaping and Screening.** A landscape plan was not provided with the submitted application materials. The applicant notes in the site information & standards section (sheet A0.5) that 13,040 sq. ft. of landscaping is provided, meeting the 6,987 sq. ft. required. In the 3D renderings provided with the application, landscaping elements are depicted. The applicant should submit a landscape plan indicating location, type, size, and maintenance of the plant material at the time of final site plan review.
7. **Lighting.** Section 5.18(G) of the Zoning Ordinance includes the standards for outdoor lighting. A photometric plan was submitted, although no details were provided for lighting mounted on the building. The Zoning Ordinance does not require a review of the lighting plan until final site plan review. As proposed, the pole lights appear to meet the Zoning Ordinance requirements with the exception of a 1.1 foot-candle at the Bogie Lake curb cut and a 1.1 foot-candle on the northeast property line. Additionally, the photometric site plan indicates that the average foot-candle level in the parking and drive areas is 5.28. **The Zoning Ordinance allows a maximum foot candle average of 2.0.** A thorough review, including building mounted fixtures, will have to be conducted at final site plan review. Details were not supplied as to the outdoor light fixtures that are mounted on the building. Additionally, the petitioner is proposing a "purple light wall washer" on the Highland Road, Bogie Lake Road and east elevations. The Planning Commission should determine whether or not this type of lighting is appropriate.
8. **Signs.** Section 5.9 of the Zoning Ordinance regulates signs. The following signs are proposed:
  - One, 25' high pylon sign is proposed at the southeast corner of the site, along Highland Road. Per the First Amendment to the Development Agreement (for the Meijer Development), only one freestanding sign can be located within the area of the Meijer 72-acre development. That sign is constructed and



located along the Highland Road frontage. Taco Bell, or another tenant in this outlot, can have signage on this multi-tenant sign.

- Highland Road frontage: One wall sign on the corner tower that consists of the logo bell and the words, "Taco Bell", internally illuminated.
- East elevation (main entrance): One logo bell and a separate "Taco Bell" individual letter sign located above the canopy; both internally illuminated. Two mural type signs, illuminated from above, 4' x 8' in size.
- West (Bogie Lake Road) Elevation: One wall sign that consists of the logo bell and the words, "Taco Bell", internally illuminated. One mural type sign, illuminated from above, 4' x 8' in size.
- Rear elevation: One, internally illuminated wall sign that reads, "Taco" "Bell logo" then "Bell"

**The petitioner needs to provide the area of the (Highland Road) frontage in order to calculate the permitted area of wall signage.** Additionally, a maximum of one wall sign is permitted for each principal building, although instances where a parcel has frontage on two streets, an additional wall sign may be permitted on the building facing the secondary thoroughfare, which is no greater than 5% of the wall area on which the sign is placed.

Per the Zoning Ordinance, area, quantity, location and dimensions of all signs are required the Preliminary Site Plan. Signage details, including the remaining standards of Section 5.9, are required on the Final Site Plan. **If the Planning Commission approves the preliminary site plan, it should be subject to resolution of the above notes and subject to the submission of all of the required information, per Section 5.9.**

9. **Trash Disposal.** The site plan indicates a trash enclosure will be located to the rear of the building, adjacent to the loading and unloading area. The enclosure is 9'-5" x 26' and is located on a 7" thick concrete pad. The proposed enclosure consists of plastic lumber pickets and is 5'-9" in height. **The Zoning Ordinance requires enclosures to be between 6' and 8' in height.** The gate consists of the same plastic lumber pickets. The Zoning Ordinance requires trash storage enclosures to be constructed of the same decorative masonry materials as the building which they are accessory to. The petitioner needs to revise the material and the height of the enclosure and fence to meet the Zoning Ordinance requirements as noted in section 5.19(N)(i).
10. **Specific Use Standards.** Section 4.17 highlights five standards which restaurants operating drive-thru windows must satisfy prior to approval.
  - a. **A front yard setback of at least sixty (60) feet shall be required.** Though the applicant satisfies this requirement adjacent to Highland Road, they do not comply with this requirement adjacent to Bogie Lake Road. If the Planning Commission deems it appropriate to only consider the Highland Road yard as a "front yard," the proposed layout would be in compliance with the Zoning Ordinance.
  - b. **Entrance and exit drives shall be at least one hundred (100) feet from any street intersection and two hundred (200) feet from any residential district.** The existing drive approach on Bogie Lake Road appears to be more than 100 feet from the Highland and Bogie Lake Road intersection, but the dimension is not specifically noted on the plan. From aerial photos, the site does not appear to be adjacent to any residential districts within 200 feet, but this should be confirmed on the site plan itself. The Zoning Ordinance Section 6.8.B requires preliminary site plan submittals to show both existing zoning and the zoning of adjacent parcels.





- c. **An outdoor lighting plan shall specify the type of fixtures to be used, light intensity, and method of shielding the fixtures so that light does not project onto adjoining properties or on any public or private street or right-of-way. Dropped fixtures shall not be allowed.** See notations above regarding lighting.
- d. **An obscuring fence, screen wall, or land form buffer shall be provided in accordance with the provisions of Section 5.19 on all sides abutting a residential district.** The site has no sides abutting a residential district.
- e. **Adequate off-street waiting space shall be provided to prevent drive-through customers from waiting on a public or private street.** The applicant has provided one more stacking space than the minimum required by the Zoning Ordinance, although as noted above, the petitioner should address the possibility of traffic congestion on site due to the drive thru traffic, and ways to address it, through directional signage, relocation of the drive thru ordering board and/or other mitigating efforts.

#### 11. Architectural Character Requirements (property located on Highland Road Corridor)

The bulk of the exterior consists of gray Hardie plank siding (although on the elevations, it appears beige, the specifications indicate that it is a gray color). A “corner tower” is located on the southwest corner of the building and consists of 18” wide painted panels with the appearance of a rusted metal. Above each bank of windows, is a purple Hardie reveal panel. A black metal Hardie trim board “outlines the purple panels, and top and corners of the building. On the east elevation, black Hardie panels frame the entrance as well as the murals and the wall signage. The west elevation also consists of the gray Hardie plank and purple and black panels interspersed on the façade. The cooler and freezer are located in the rear of the restaurant and are contained in a projection that extends 8’ from the rear façade and is 21’-9 ½” in length and 13’ in height. The rear elevation consists of the gray Hardie plank siding on the rear wall and black Hardie panels on the cooler and freezer projection.

In accordance with the Highland Road Corridor Plan the development must meet the following requirements:

- a. **Exterior building materials shall be composed primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass, or equivalent materials.** The building does not consist primarily of these materials. The petitioner needs to address this item.
- b. **Building should address the street with entrances, windows, and architectural features facing the street. No overhead doors shall face the street, unless approved by the Planning Commission based upon a finding that the door is recessed back from the front facade and properly screened from public view.** The primary entrance is on the east elevation although there is an entrance door on the Highland Road frontage. The west (Bogie Lake Road) elevation only has the drive thru windows and two small windows adjacent to the corner tower. The petitioner needs to address this also.
- c. **Buildings should be designed with varied architectural details to provide visual interest.** The building does have varied architectural details, albeit of (primarily) inferior materials.



- d. **All buildings shall have windows at eye level. Windows should cover at least thirty (30%) percent of the front facade. Reflective glass may be permitted for office uses but shall not be used for retail stores. The windows shall not be obscured at any time, except by signage as permitted in Section 5.9.** This requirement appears to have been met partially, although the petitioner needs to provide calculations on the final site plan. The west (Bogie Lake Road) elevation should have more windows to meet the spirit of this requirement.
- e. **Side and Rear Facade Design. Wherever a side or rear facade is visible from a street, or if parking is located at the side or rear of a building, the facade shall be designed to create a pleasing appearance, using materials and architectural features similar to those present on the front of the building.** The Bogie Lake Road elevation needs to meet this requirement as it is visible from a major road and lacking in an overall pleasing appearance.
- f. **Mechanical Equipment, including but not limited to heating, ventilating and air conditioning equipment, and antennas, shall be placed in an inconspicuous location or screened from view.** The petitioner needs to address this item. Mechanical equipment is visible on all elevations and it does not appear that there is any screening.
- g. **Lighting shall be shielded from adjacent property and designed to reflect continuity with the pedestrian orientation of the area. Floodlights, wall pack units, and other types of unshielded lights, and lights where the lens or bulb is visible outside of the light fixture are not permitted except in service areas where the lights will not generally be visible by the public or adjacent residential properties. Lights underneath canopies must be fully recessed into the canopy to minimize glare from the light source.** A detailed lighting plan with specifications on all light fixtures must be submitted at final site plan review.

## RECOMMENDATION

As noted above, there are several issues, which require correction or clarification. Once the issues are adequately addressed, then we would recommend that the Planning Commission recommend preliminary site plan review approval to the Township Board.

If you have any questions about this report or require additional information, please do not hesitate to contact us.

Respectfully submitted,

**McKENNA**

Kathleen M. Jackson  
Senior Principal Planner

cc: Mr. Sean O'Neil, AICP  
Mr. Justin Quagliata  
Ms. Hannah Micallef



Fire Department  
Charter Township  
of White Lake

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## Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 10/07/2021

Project: Taco Bell (Meijer Outlet)

File #: Not shown

Date on Plans: 9/29/2021

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The Fire Department has the following comments with regards to the 2<sup>nd</sup> review of preliminary site plans for the project known as Taco Bell.

1. This Plans as submitted has satisfied the requirements of the Fire Department.

Jason Hanifen  
Fire Marshal  
Charter Township of White Lake  
(248)698-3993  
[jhanifen@whitelaketwp.com](mailto:jhanifen@whitelaketwp.com)

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



## WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES

7525 Highland Road, White Lake, Michigan 48383-2900, (248) 698-7700, [www.whitelaketwp.com](http://www.whitelaketwp.com)

October 16, 2021

Sean O'Neil  
Planning Director  
Charter Township of White Lake  
7525 Highland Road  
White Lake, MI 48383

### Re: Taco Bell Preliminary Site Plan Review

Sean,

I defer to the Township Engineer for the review of this preliminary Site Plan with the following exceptions:

Note 11 on sheet C5.0 indicates that the Township shall connect services 2 inch and smaller. While the Township can provide the connection, an 20 % admin fee will be charged per ordinance. It will usually be less expensive for the developer to use their own properly licensed and bonded contractor for the connection which we will inspect.

A plumbing fixture schedule or drain schedule were not provided with this plan set. Sheet numbering suggests that this will be forthcoming with future submittals. Below are preliminary estimates of connection and permit fees that will be required prior to the issuance of a building permit. These estimates will be updated through the planning process and ultimately as-built:

#### Preliminary Water Fees Estimate (not including tapping cost to be determined):

New Water Service Permit and Inspection	\$75.00
Irrigation System Permit and Inspection	\$50.00
Capital Connection Fee for 1.5"	\$2,607.15
Meter	\$392.70
Transmitter	\$96.00
Flanges	\$100.00
Meter Installation	\$75.00

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**Total** **\$3,395.85**

Preliminary Sanitary Fees Estimate:

Commerce Twp. WWTP Connection Fee	\$11,785.00
White Lake Capital Connection Fee (\$2100 per REUx 7.8 REUs)	\$16,380.00
Oakland County Inspection Permit	\$200.00
White Lake Plumbing Permit	\$50.00

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**Total** **\$28,410.00**

Please contact me if you have any questions.

Sincerely,



Aaron Potter  
DPS Director  
White Lake Township

# Memo

**To:** Sean O'Neil, Planning

**From:** Jeanine A Smith

**Date:** October 1, 2021

**Re:** Project Name: Taco Bell

Parcel Number: 12-20-276-033

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**Comments:** Please note current parcel number for this property.

This plan is part of a much larger parcel. If the intent is to divide this parcel an application must be made at the Assessing Department.



CHARTER TOWNSHIP OF WHITE LAKE

SITE PLAN AND PLAT REVIEW APPLICATION

White Lake Township Community development Department, 7525 Highland Road, White Lake Michigan 48383 (248)698.3300 x163

**APPLICANT AND PROPERTY INFORMATION**

Applicant: GREG LAUTZENHEISER (L+A ARCHITECTS)  
Phone: (248) 524-4700 Fax: (248) 524-9740  
Address: 441 S. LIVERNOIS RD., ROCHESTER HILLS MI, 48307  
(Street) (City) (State) (Zip)  
Applicant's Legal Interest in Property: ARCHITECT FOR PROPOSED PROPERTY OWNER  
Property Owner: MEIJER, INC. Phone: SEE ATTACHED  
Address: \_\_\_\_\_ TITLE COMMITMENT  
(Street) (City) (State) (Zip)

**PROJECT INFORMATION**

Project Name: TACO BELL Parcel I.D. No.: TBD  
Proposed Use: FAST FOOD RESTAURANT Current Zoning: PB  
Existing Use: VACANT LAND Parcel Size: 1.069 AC Floor Area / No. of Units 2235

**TYPE OF DEVELOPMENT**

Subdivision       Site Condominium       Commercial  
 Multiple Family       Special Land Use       Industrial  
 Adult Entertainment

**SITE PLAN SUBMITTAL CHECKLIST**

PDF File and One Paper Copy (sealed) as required by Zoning Ordinance 58  
 Application Review Fees  
\* PLANS WILL NOT BE ACCEPTED UNLESS FOLDED \*

**REQUIRED SIGNATURES**

Matthew Smith \_\_\_\_\_ 9/29/21  
(Signature of Property Owner) (Date)  
Greg Lautzenheiser \_\_\_\_\_ 9/29/2021  
(Signature of Applicant) (Date)



**Meijer Real Estate**

Matthew Levitt  
Real Estate Manager  
2350 3 Mile Rd NW  
Grand Rapids, MI 49544  
Telephone: (616) 791-3909  
[matt.levitt@meijer.com](mailto:matt.levitt@meijer.com)

September 29, 2021

Mr. Justin Quagliata  
White Lake Township  
7525 Highland Rd  
White Lake, MI 48383

Re: Meijer 227 White Lake Twp – Authorization for Submission

Dear Mr. Quagliata:

Please accept this letter on behalf of Meijer, Inc. authorizing Greg Lautzenheiser of L+A Architects, Inc. to submit a Site Plan Application on behalf of Meijer, Inc. for the parcel as described in the attached legal description of the proposed land division. If there are any additional questions, please do not hesitate to contact me directly.

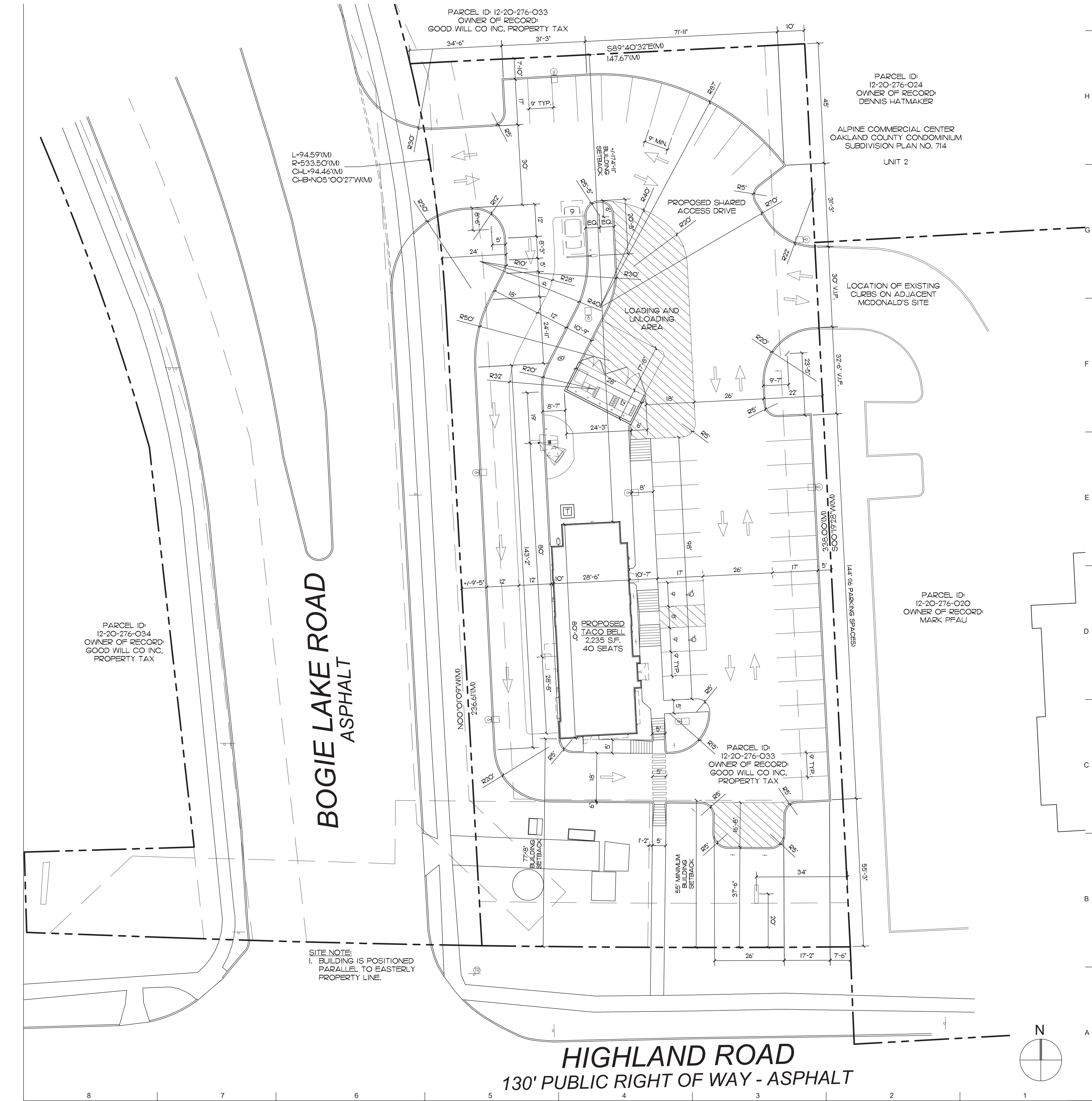
Sincerely,

A handwritten signature in black ink that reads "Matthew Levitt". The signature is written in a cursive, flowing style.

Matthew Levitt  
Real Estate Manager  
Meijer, Inc.







PARCEL ID: 12-20-276-033  
OWNER OF RECORD:  
GOOD WILL CO INC, PROPERTY TAX

PARCEL ID:  
12-20-276-024  
OWNER OF RECORD:  
DENNIS HATMAKER

ALPINE COMMERCIAL CENTER  
OAKLAND COUNTY CONDOMINIUM  
SUBDIVISION PLAN NO. 714  
UNIT 2

LOCATION OF EXISTING  
CURBS ON ADJACENT  
MCDONALD'S SITE

PARCEL ID:  
12-20-276-020  
OWNER OF RECORD:  
MARK PFALI

PARCEL ID:  
12-20-276-033  
OWNER OF RECORD:  
GOOD WILL CO INC,  
PROPERTY TAX

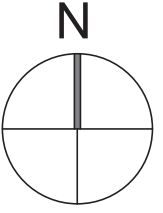
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R=533.50'(M)  
CH=L+94.46'(M)  
CB=N05°00'27"W(M)

PARCEL ID:  
12-20-276-034  
OWNER OF RECORD:  
GOOD WILL CO INC,  
PROPERTY TAX

BOGIE LAKE ROAD  
ASPHALT

HIGHLAND ROAD  
130' PUBLIC RIGHT OF WAY - ASPHALT

SITE NOTE:  
1. BUILDING IS POSITIONED  
PARALLEL TO EASTERLY  
PROPERTY LINE.



SITE PLAN 1"=20'-0" 1



**L + A**  
ARCHITECTS  
INC. A.I.A.

441 S. LIVERNOIS ROAD  
SUITE 265  
ROCHESTER HILLS, MI 48307  
PHONE: (248) 524-4700 FAX: (248) 524-9746

PROJECT # 20023

DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: END. MED40  
PLAN VERSION: MARCH 2020  
BRAND DESIGNER:  
SITE NUMBER:  
STORE NUMBER:  
PA/PM:  
DRAWN BY.:  
JOB NO.:

GREAT LAKES  
TACO, L.L.C.  
6305 Highland Road (M-59)  
White Lake Twp., Michigan 48383

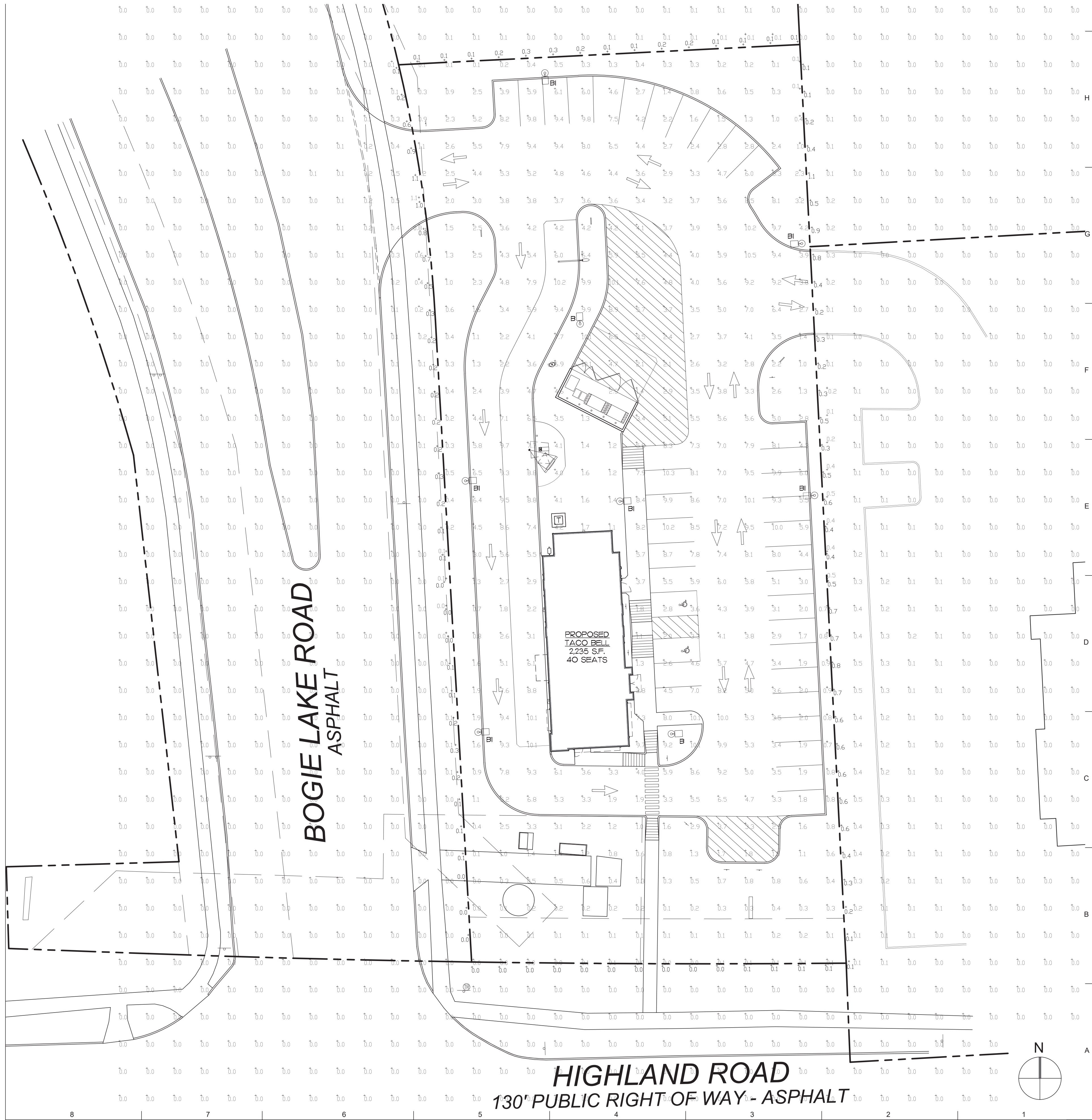


ENDEAVOR 2.0  
DIMENSIONAL  
SITE PLAN

**A0.6**

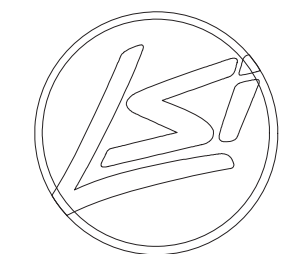
NOT USED N.T.S. B

PLOT DATE: 9/29/2021



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



10000 ALLIANCE RD. CINCINNATI, OHIO 45242 USA  
(513) 793-3800 \* FAX (513) 793-6023

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCULATIONS @ GRADE	Illuminance	Fc	1.02	10.5	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.29	1.1	0.0	N.A.	N.A.
DRIVING & PARKING SUMMARY	Illuminance	Fc	5.28	10.5	1.1	4.80	9.55

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
⊙	2	B	SINGLE	SLM-LED-30L-SIL-FT-50-70CRI-SINGLE-20' MH	1,000	1,000	1,000	31922	232
⊙	6	B1	SINGLE	SLM-LED-30L-SIL-FT-50-70CRI-IL-SINGLE-20' MH	1,000	1,000	1,000	20027	232



**L + A**  
ARCHITECTS  
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PROJECT # 20023

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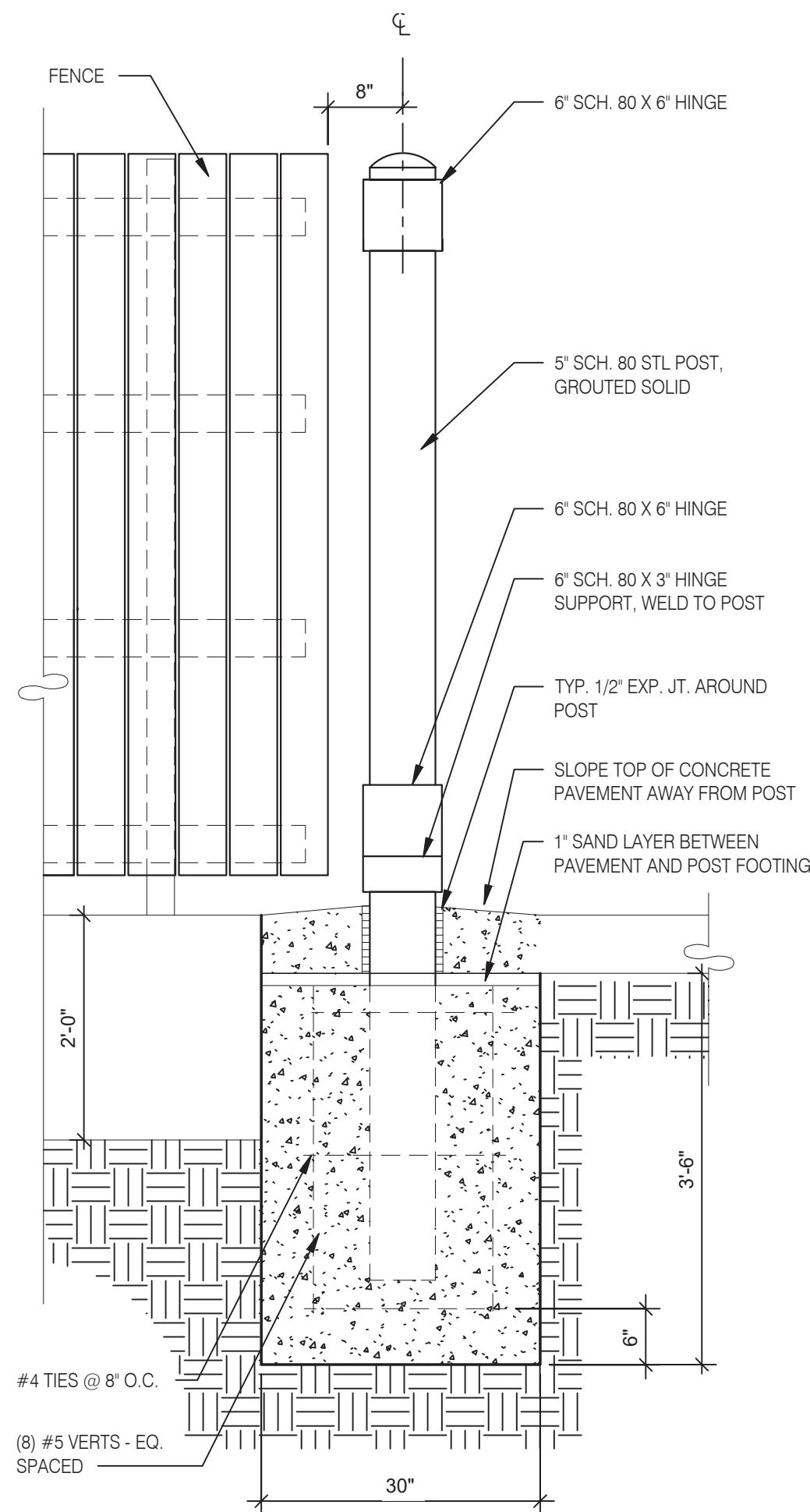
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PLAN VERSION: MARCH 2020  
BRAND DESIGNER:  
SITE NUMBER:  
STORE NUMBER:  
PA/PM:  
DRAWN BY:.  
JOB NO.:

GREAT LAKES  
TACO, L.L.C.  
6305 Highland Road (M-59)  
White Lake Twp., Michigan 48383



ENDEAVOR 2.0  
PHOTOMETRIC  
SITE PLAN

**A0.7**



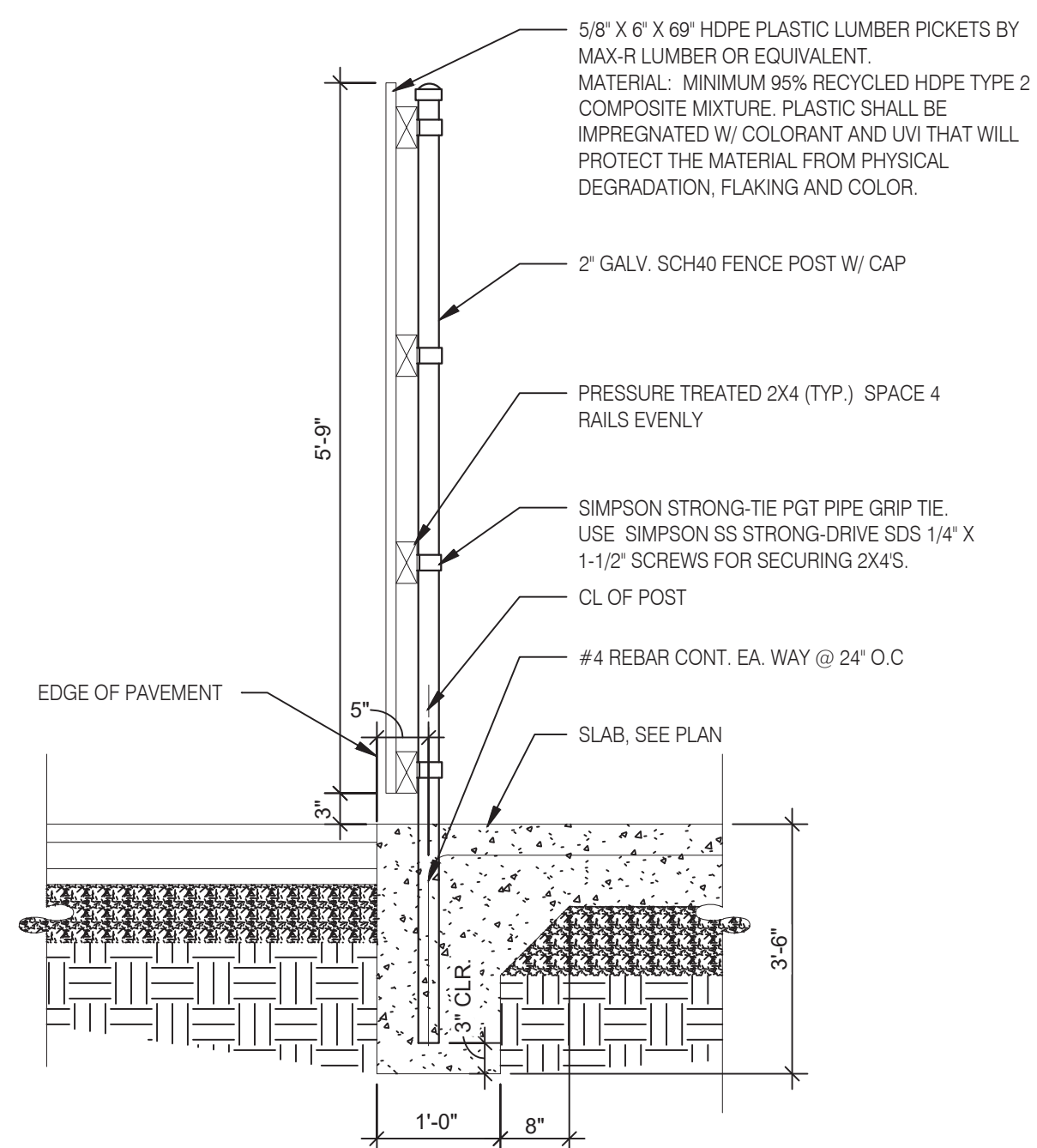
**GATE POST FOOTING** 3/4" = 1'-0" **H**

**GATE HARDWARE:** ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

**GATE STOP:** MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

**GATE NOTES:** (4) EQUAL WIDE x 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X 1 1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

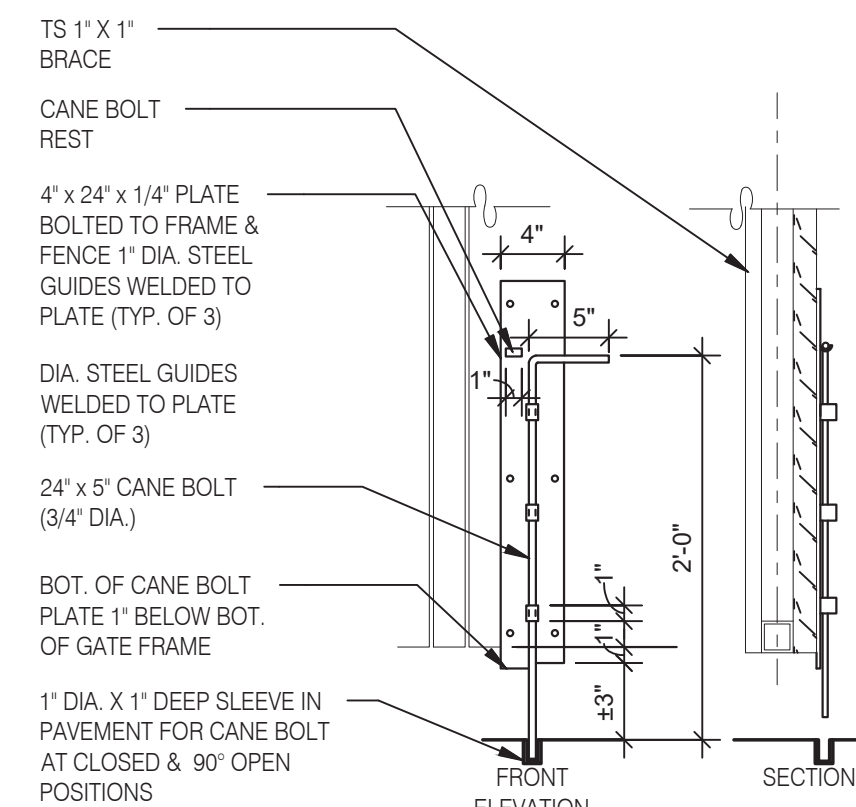
**ENCLOSURE NOTES** N.T.S. **G**



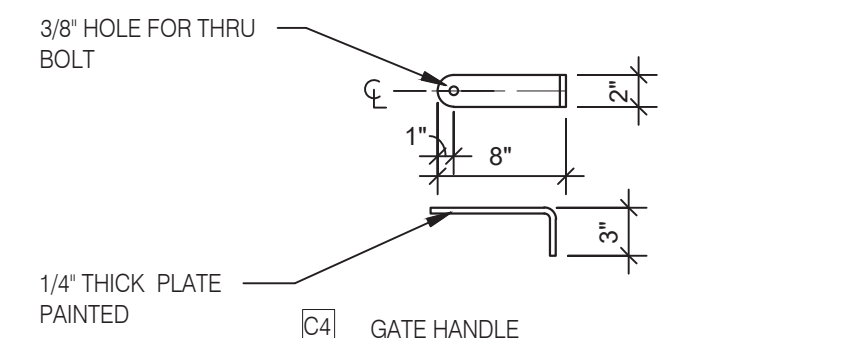
**FENCE SECTION** 3/4" = 1'-0" **F**

SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME COLOR	SHERWIN WILLIAMS	SW 7055 ENDURING BRONZE
2	PIPE BOLLARDS	SHERWIN WILLIAMS	CAUTION YELLOW
3	HDPE LUMBER	MAX. R	LIGHT BROWN TEXTURE

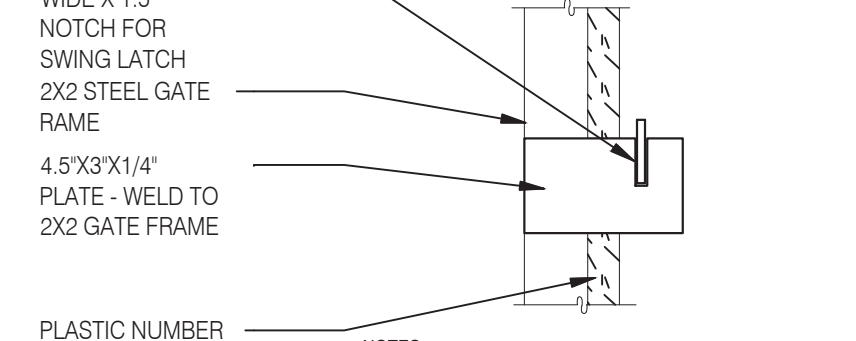
**SCHEDULE** N.T.S. **E**



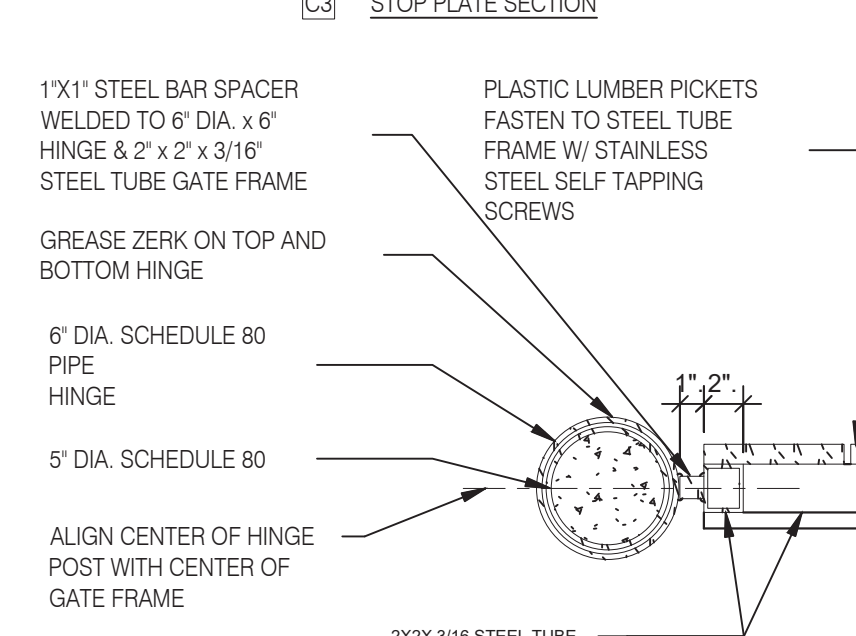
**C3** CANE BOLT (1 PER GATE)



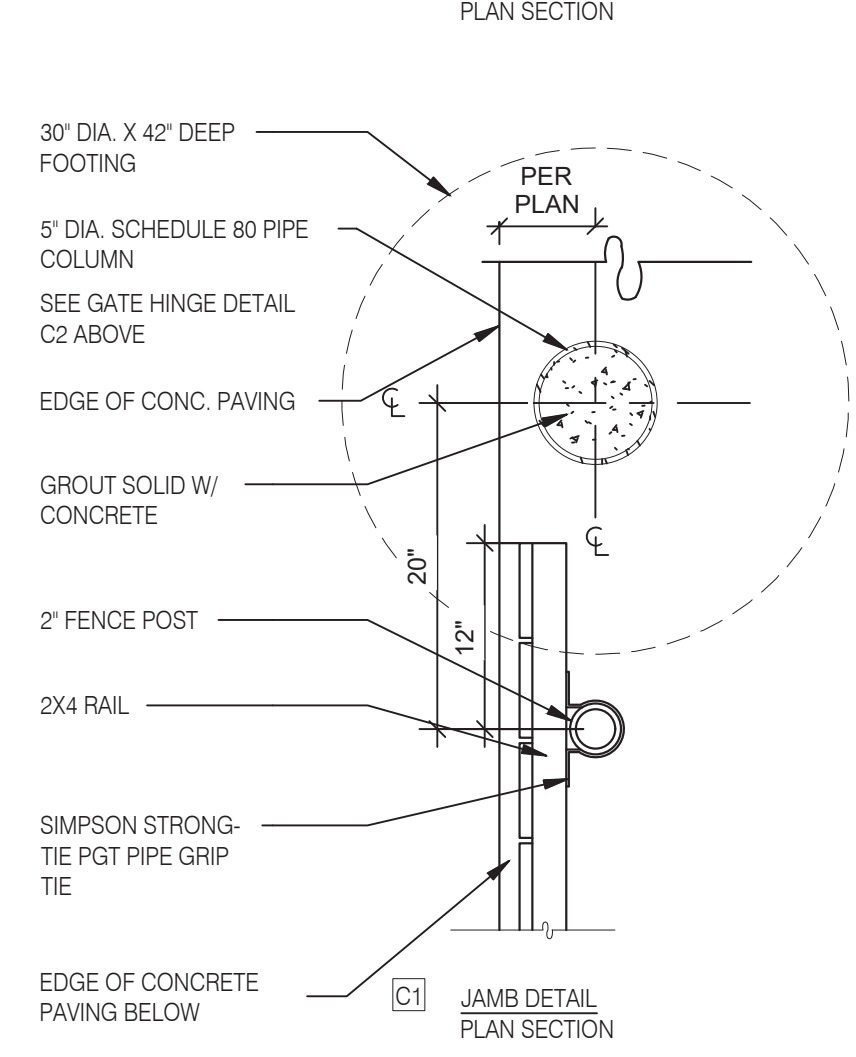
**C4** GATE HANDLE



**C3** STOP PLATE SECTION

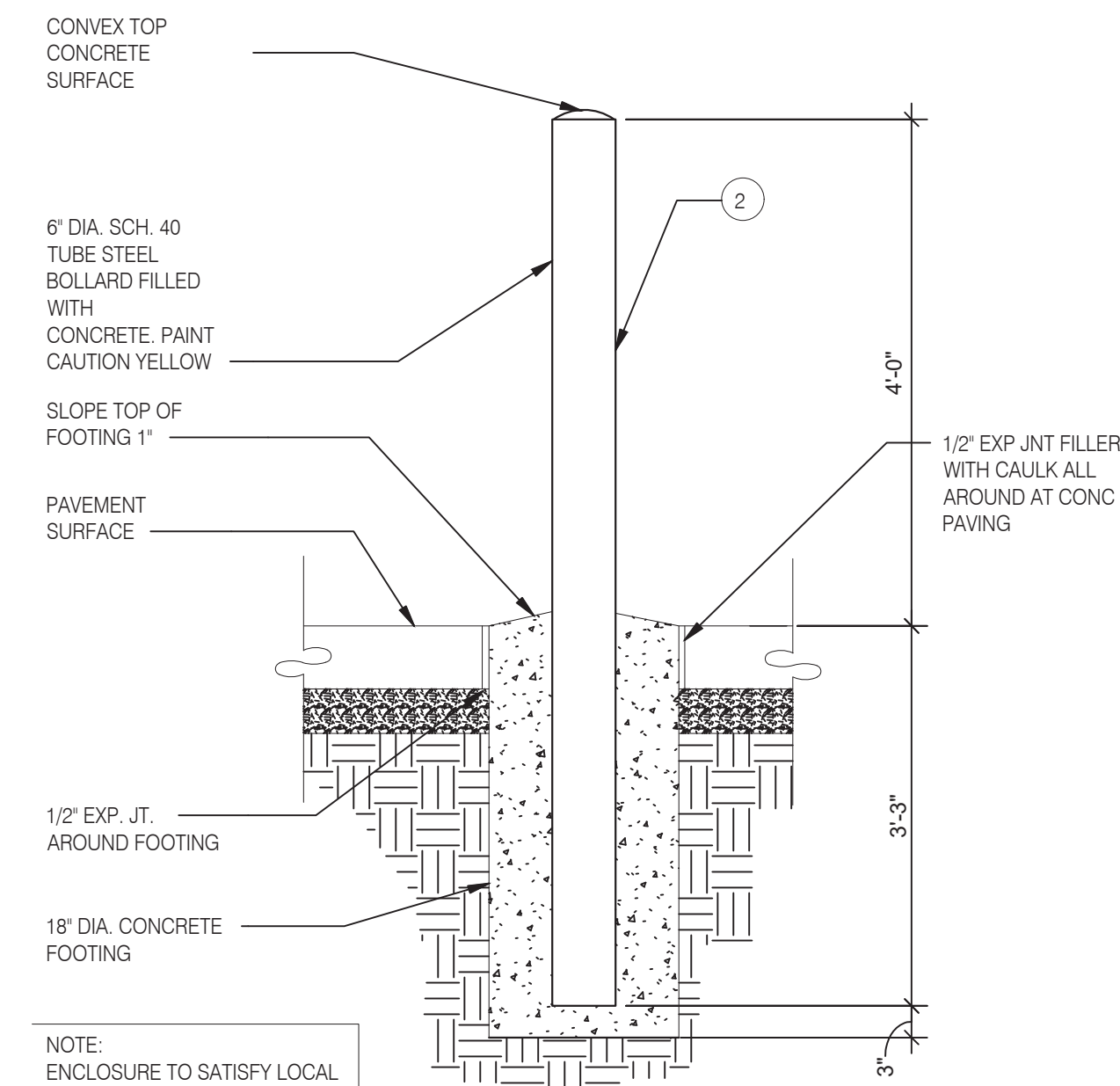


**C2** GATE HINGE DETAIL PLAN SECTION



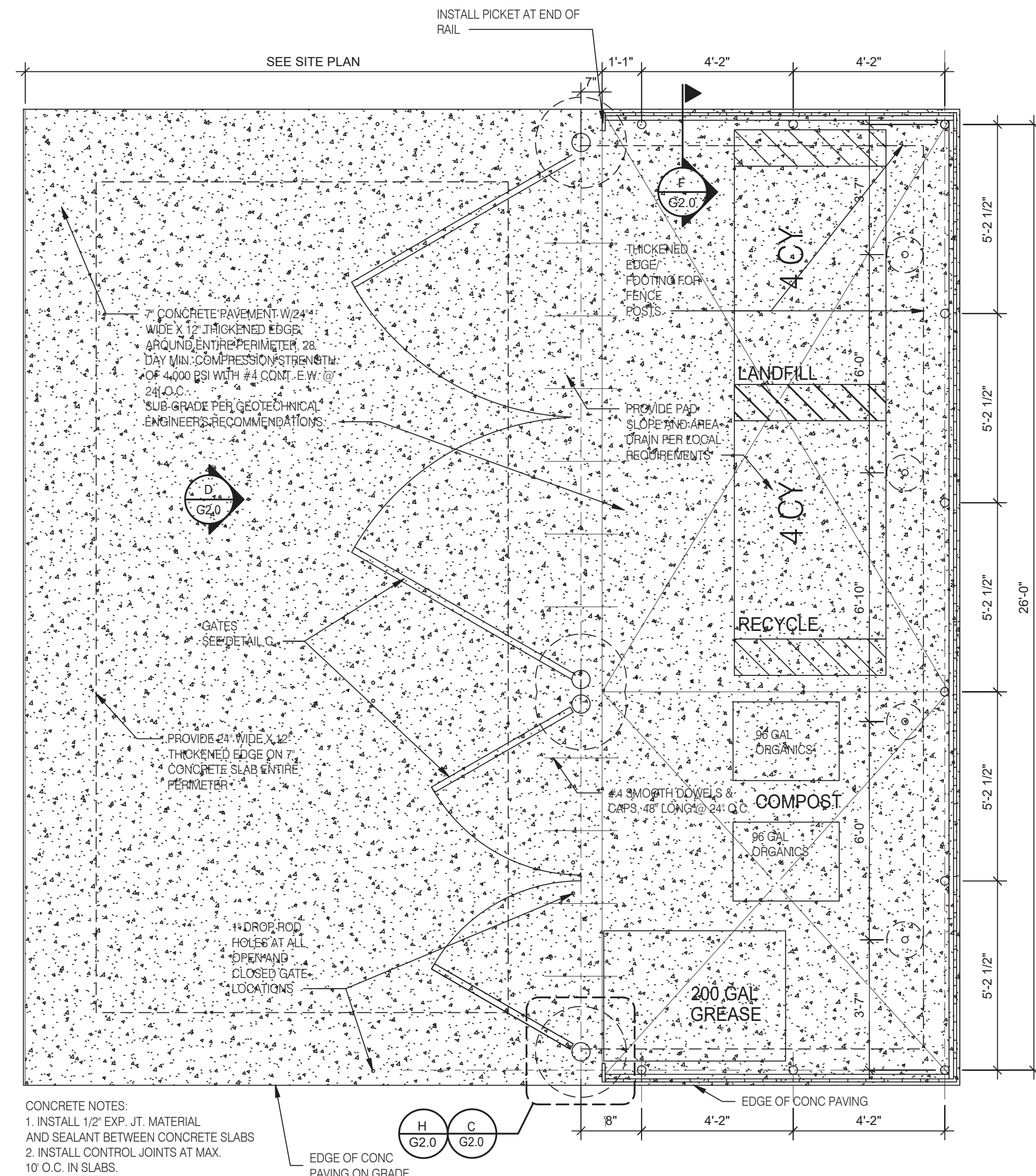
**C1** JAMB DETAIL PLAN SECTION

**GATE DETAILS** N.T.S. **C**



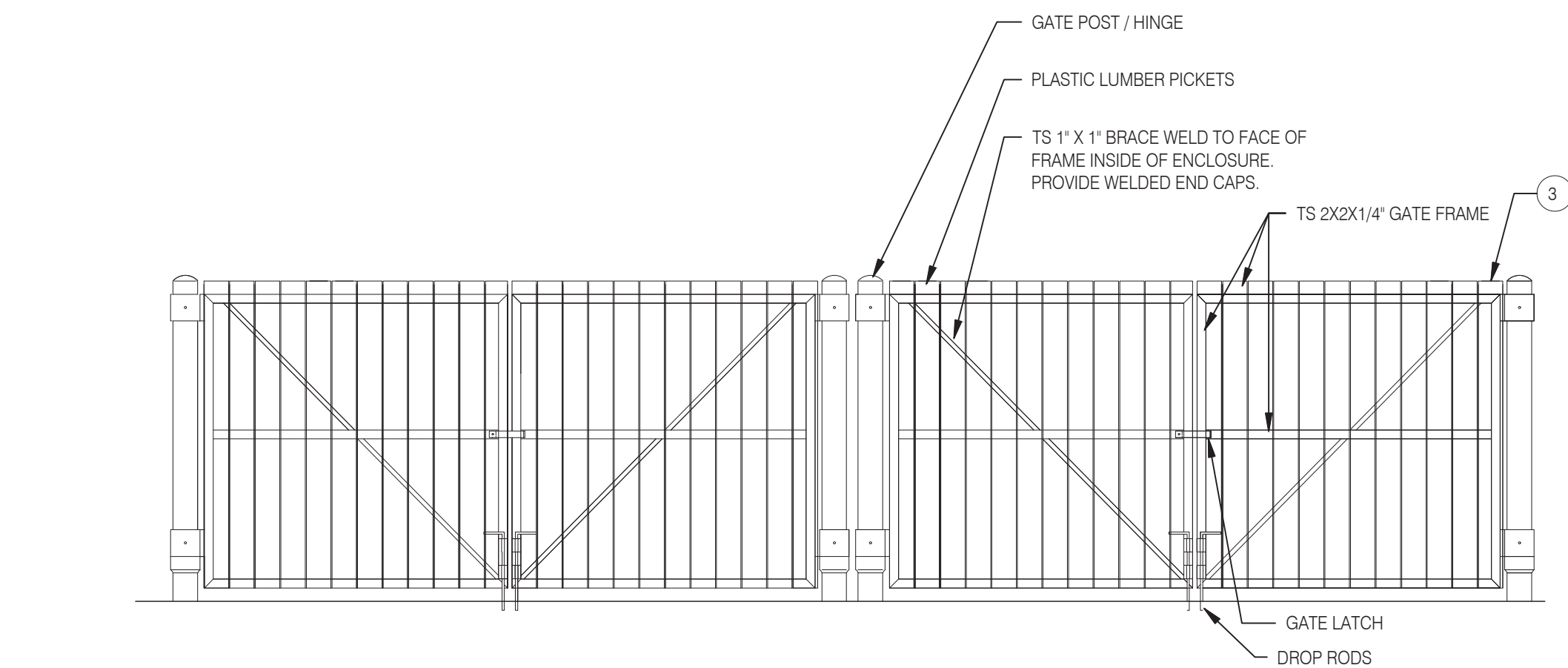
**1** GUARDPOST BOLLARD DETAIL

**TRASH ENCLOSURE BOLLARD DETAILS** 3/4" = 1'-0" **B**



**CONCRETE NOTES:**  
 1. INSTALL 1/2" EXP. JT. MATERIAL AND SEALANT BETWEEN CONCRETE SLABS  
 2. INSTALL CONTROL JOINTS AT MAX. 10' O.C. IN SLABS.

**TRASH LAYOUT** 3/8" = 1'-0" **A**



**FRONT ELEVATION** N.T.S. **D**



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 PROJECT # 20023

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**PA/PM:**  
**DRAWN BY:.**  
**JOB NO.:**

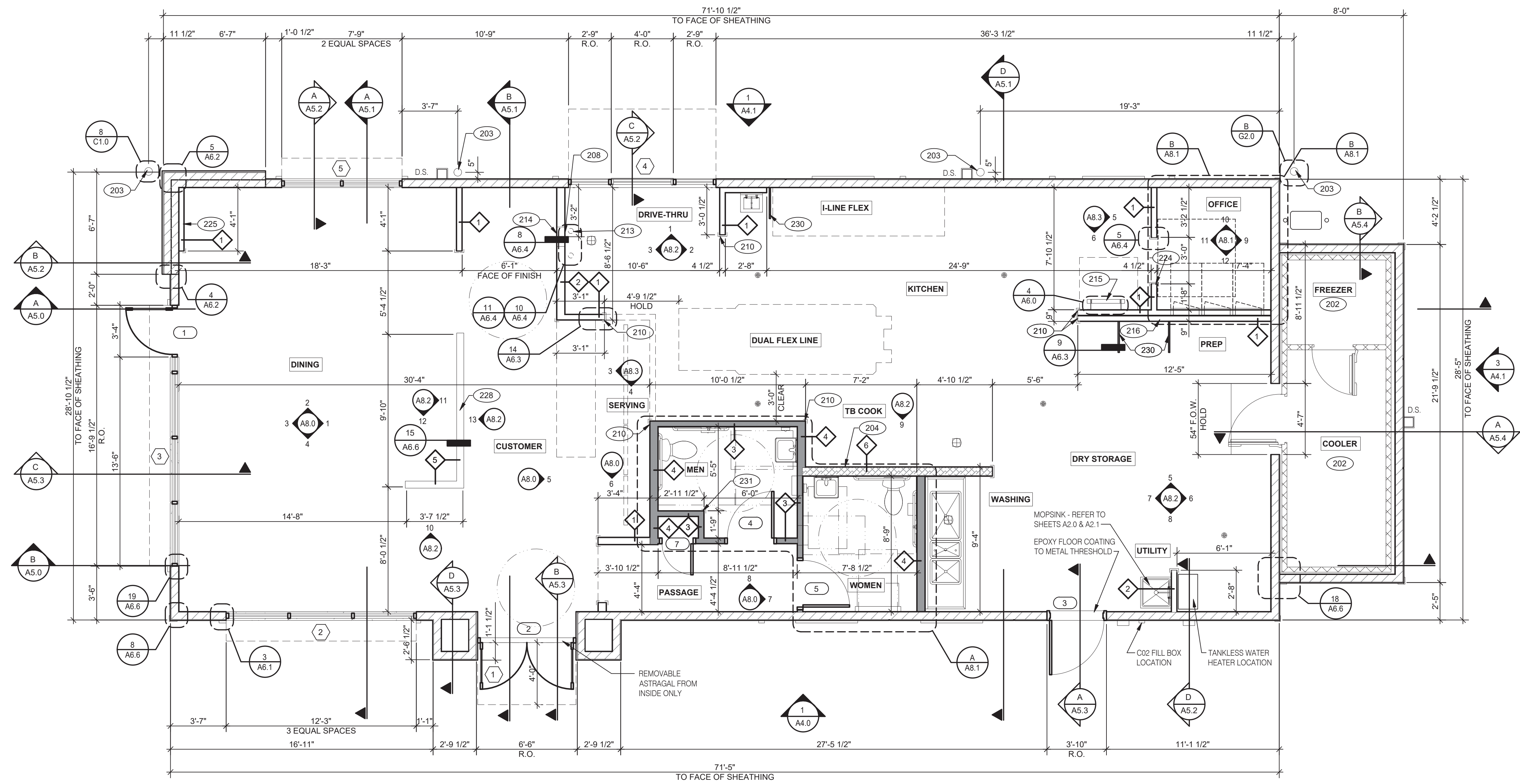
**GREAT LAKES TACO, L.L.C.**  
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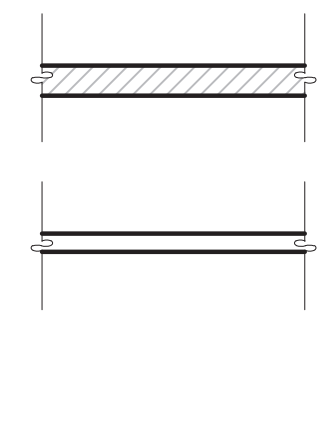
**ENDEAVOR 2.0 TRASH ENCLOSURE DETAILS**

**G2.0**

**PLOT DATE:** 9/29/2021



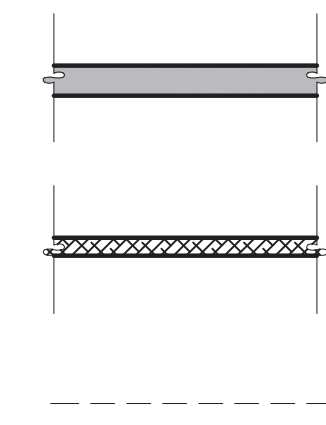
**FLOOR PLAN** 1/4" = 1'-0" **1**



**TYPICAL EXTERIOR WALL:**  
2X6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE 2 LAYERS OF GRADE 'D' 60 lb BUILDING PAPER.

**TYPICAL INTERIOR WALL:**  
WD STUDS AT 16" O.C. AS INDICATED

1 2X4 WOOD STUDS  
2 2X6 WOOD STUDS



**INTERIOR SOUND-RATED WALL:**  
TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.

3 2X4 WOOD STUDS 4 2X6 WOOD STUDS

**HOOD WALL:**  
INTERIOR NON-COMBUSTIBLE WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. EXTEND MIN. 18" BEYOND END OF HOOD. METAL STUD FRAMING. REFER TO DETAIL 2M3.0 FOR EXTENT OF S.S. PANEL.

6 6" METAL STUD

DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION.

**LOW WALL:**  
2X4 WD STUDS AT 16" O.C. AS SCHEDULED (SEE DETAIL 15/A6.6)

5 2X4 WOOD STUDS

**WALL HEIGHTS:**  
ALL INTERIOR NON-BEARING WALLS GO TO BOTTOM OF TRUSS, U.O.N. REFER TO STRUCTURE.

**WALL SUBSTRATES:**  
- DINING ROOM:  
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HEIGHT U.O.N. SEE 6 & 8/A6.3 (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)  
- KITCHEN WALLS AND DINING ROOM CLOSET:  
1/2" CEMENT WALLBOARD FROM T.O. SLAB T.O. 12" A.F.F. AT 12" A.F.F., USE 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDE SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4/A6.3.  
- RESTROOM WALLS:  
5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED.  
- ALL OTHER FRAME WALL CONDITIONS:  
1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULE.

**WALL LEGEND** **E**

**DIMENSIONS:**  
A. ALL DIMENSIONS NOTED ARE TO FACE OF CONCRETE FOUNDATION, FACE OF SHEATHING ON EXTERIOR WALLS, AND FACE OF FINISH ON INTERIOR WALLS U.O.N.  
B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQUIRED. NET CLEARANCE FROM FACE OF WALL / WAJNSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

**WINDOWS / DOORS:**  
A. SEE SHEET A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.  
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

**FINISH SUBSTRATES:**  
A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.  
B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.  
C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

**DECOR:**  
A. SEE A2.0 FOR SEATING PLAN AND DETAILS.  
B. SEE A7.0 FOR FLOOR FINISHES.  
C. SEE A8.0 - A8.3 FOR WALL FINISHES.  
D. SEE A7.1 FOR CEILING FINISHES.

**GENERAL:**  
A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC AND (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. FOR ADDITIONAL INFORMATION SEE SHEET A2.0  
B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.

**FLOOR PLAN NOTES** **D**

202 NO FRP BEHIND W-059 WALK-IN COOLER/FREEZER.  
203 PIPE BOLLARD. SEE DETAIL.  
204 HOOD WALL, SEE WALL LEGEND.  
208 KEEP CLEAR FOR UTILITIES & SYRUP LINES.  
210 S.S. CORNER GUARD/WALL CAP [TM-2], TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER.  
213 SYRUP LINE CHASE (ABOVE).  
214 14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER.  
215 ROOF LADDER.  
216 ADD SECOND 2X4 WALL ON KITCHEN SIDE.  
224 CASED OPENING, REFER TO DETAIL 5/A6.4  
225 FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS AT 16" O.C.  
228 LOW WALL, BY G.C. COORDINATE WITH STRUCTURAL DRAWINGS.  
230 STAINLESS STEEL SPLASH GUARD.  
231 CORNER GUARD TILE SCLUTER.

**KEY NOTES** **B**



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PROJECT # 20023

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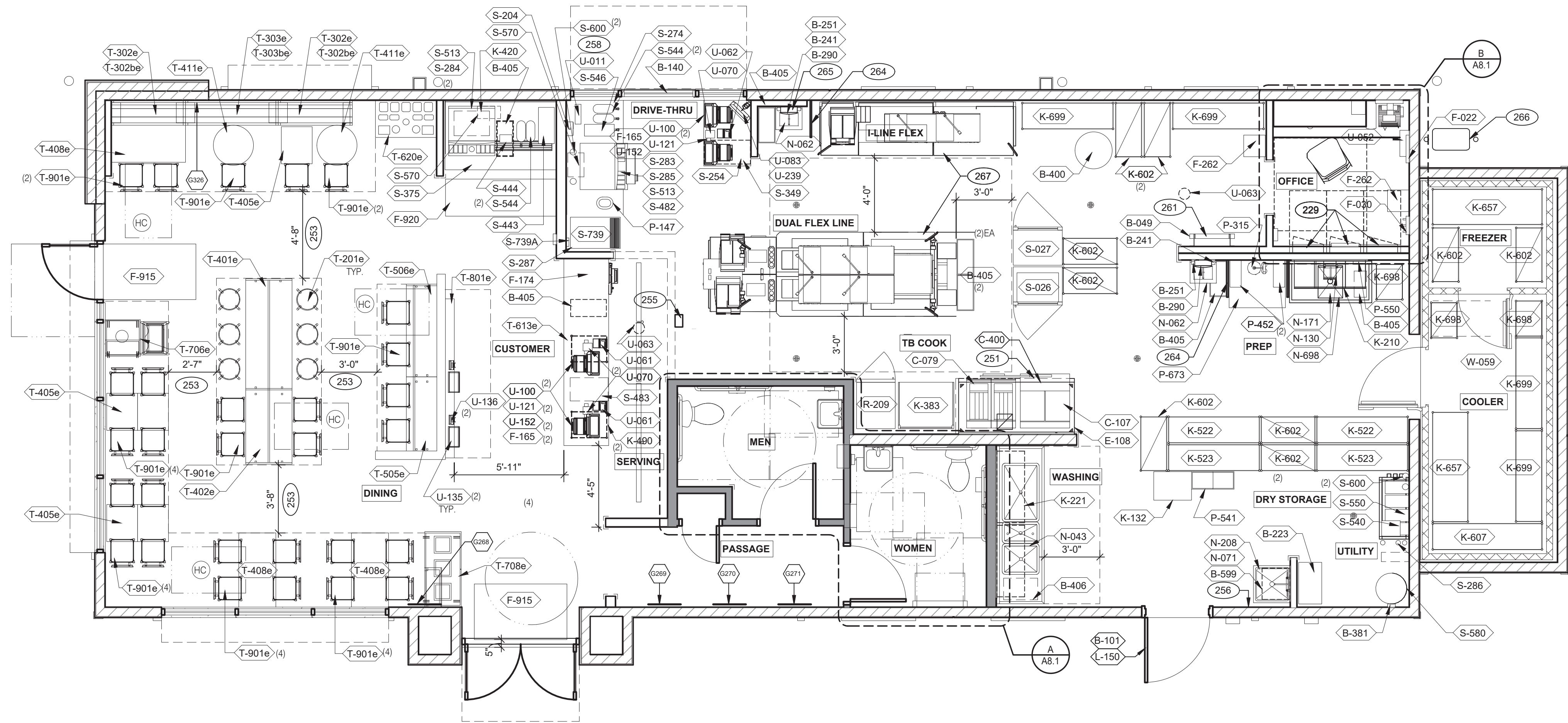
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White Lake Twp., Michigan 48383



**ENDEAVOR 2.0 FLOOR PLAN**

**A1.0**

PLOT DATE: 9/29/2021



NTD:  
 OPTIONAL: ROLL-A-SHADE INFINITY SYSTEM  
 MATERIAL: SHEERWEAVE 2390 5% CHARCOAL  
 FASCIA SYSTEM: DARK BRONZE

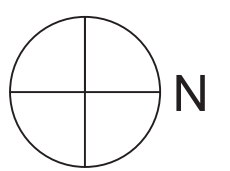
CONTACT - RIC BERG  
 951.245.5077 EXT. 113  
 RIC.BERG@ROLLASHADE.COM



**L + A**  
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**EQUIPMENT AND SEATING PLAN** 1/4" = 1'-0" **A**

TAG	QTY	ITEM DESCRIPTION
T-105	5	RETRO CHAIR - 18
T-201e	6	BARREL BARSTOOL - 29 PURPLE WOOD SEAT
T-302be	2	BENCH BACK REST - 48"
T-302e	2	BENCH SEAT - 48"
T-303be	1	BENCH BACK REST - 60"
T-303e	1	BENCH SEAT - 60"
T-401e	1	HUB TABLE - 72" - HIGH TOP
T-402e	1	HUB TABLE - 48" - ADA
T-405e	5	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
T-408e	3	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
T-411e	2	SS TABLE - 24 DIA X 30 - 2 TOP
T-415	1	SS TABLE - 24 DIA X 30 - 2 TOP
T-416	2	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
T-505e	1	COUNTER TOP - 48" X 20" X 30"
T-506e	1	COUNTER TOP - 60" X 20" X 30"
T-613e	1	POS COUNTER 121 - 3 POS

**FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.**

TAG	QTY	ITEM DESCRIPTION
T-620e	1	CONDIMENT COUNTER - RECTANGLE
T-706e	1	WASTE ENCLOSURE - SINGLE
T-708e	1	WASTE ENCLOSURE - 3 STREAM
T-801e	1	KIOSK 1/2 TOWER
T-901e	29	CHAIR - LAMINATE SEAT
T-903	4	BENCH SEAT - 48"
T-904	3	BENCH SEAT - 60"

QTY.	NAME	FAMILY	FRAME OR MURAI	SIZE	LOCATION
1	HYPNOTIZE ME BELL	D	M01	H6'-4" x W17'-6"	SEE A8.0
1	CAMO PATTERN	D	F01	28x40	SEE A8.0
1	CAMO PATTERN	D	F02	28x40	SEE A8.0
1	CAMO PATTERN	D	F01	28x40	SEE A8.0

**ARTWORK SCHEDULE**

- DECOR**  
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITY  
 2. (HC) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	53
COLD STORAGE	26
FROZEN STORAGE	12

**SHELVING QUANTITIES**

- 229 ELECTRICAL PANELS.  
 251 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).  
 253 MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS. 32" AT DOORWAYS AND CASSED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).  
 255 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.  
 256 PULL STATION @ 3'-8" A.F.F.  
 258 COORDINATE LOCATION OF HORIZONTAL PVC SYRUP CHASE THRU WALL TO COUNTER.  
 261 ROOF LADDER WITH BILCO LADDER UP SAFETY POST.  
 264 SPLASH GUARD.  
 265 AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.  
 266 GAS METER.  
 267 FOR DUAL-FLEX LINE AND I-FLEX LINE SUB-EQUIPMENT SEE SHEET A8.3.

**GENERAL NOTES**

**C1**

(XXX)

**KEY NOTES**

**B**

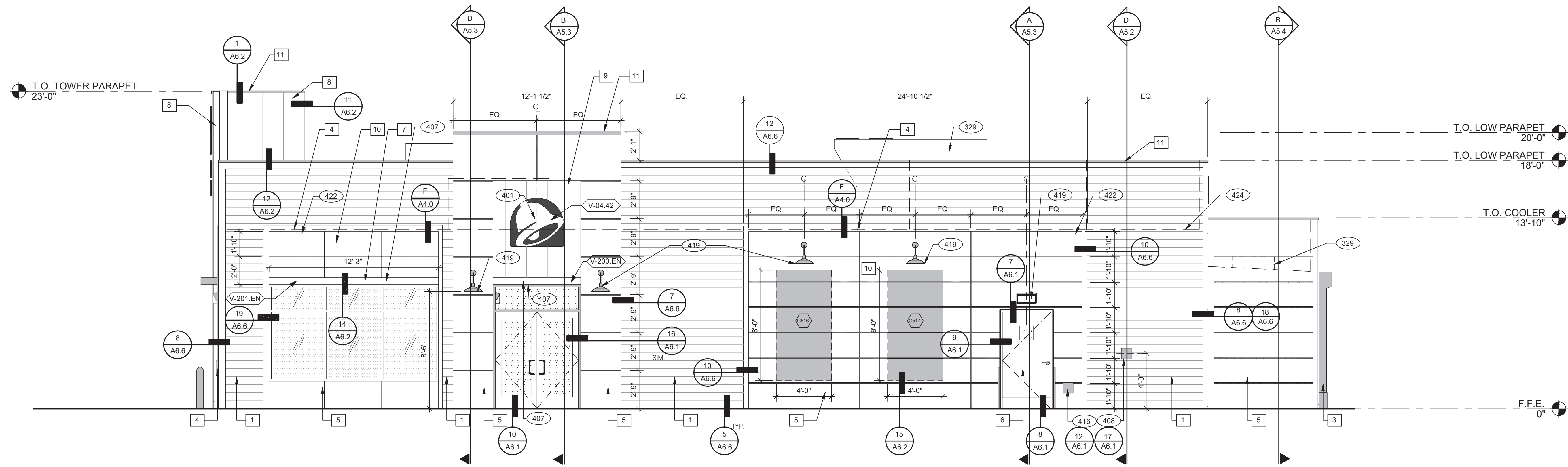
**GREAT LAKES TACO, L.L.C.**  
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**ENDEAVOR 2.0 EQUIPMENT AND SEATING PLAN**

**A2.0**

PLOT DATE: 9/29/2021



**FRONT ELEVATION** 1/4" = 1'-0" **1**



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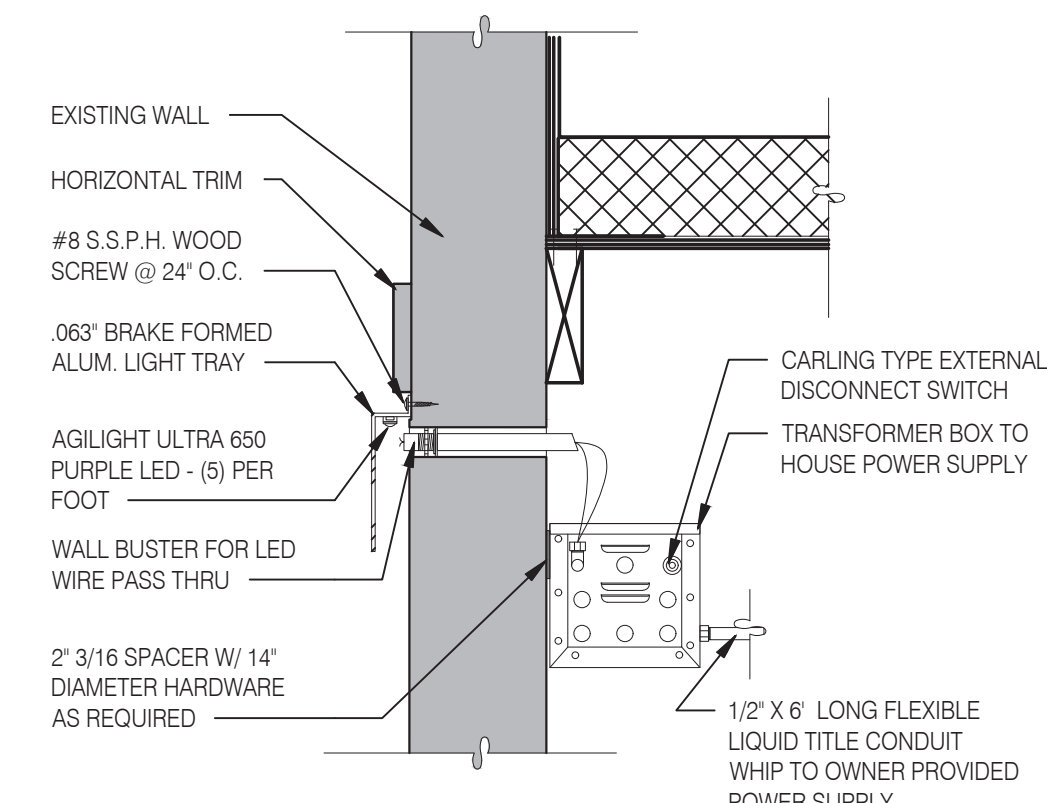
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**ENDEAVOR 2.0**  
**EXTERIOR**  
**ELEVATIONS**

**A4.0**  
 PLOT DATE: 9/29/2021



**LED WALL WASHER DETAIL** **F**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
<b>TOWER</b>			
V-09.14W	2	14\"/>	

**SIGNAGE** **E**

**MISCELLANEOUS**  
 A. SEE SHEET A1.1 \"/>

**SEALERS (REFER TO SPECS)**  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) TO ENSURE BUILDING AND CANOPY.

**CRITICAL DIMENSIONS**  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

**NOTE:** NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

**GENERAL NOTES** **C**

SYMBOL	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
6516	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
6517	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
6516	HYPNOTIZE ME BELL	D	M02	48x96	A4.1
6517	HYPNOTIZE ME BELL	D	M02	48x96	A4.1

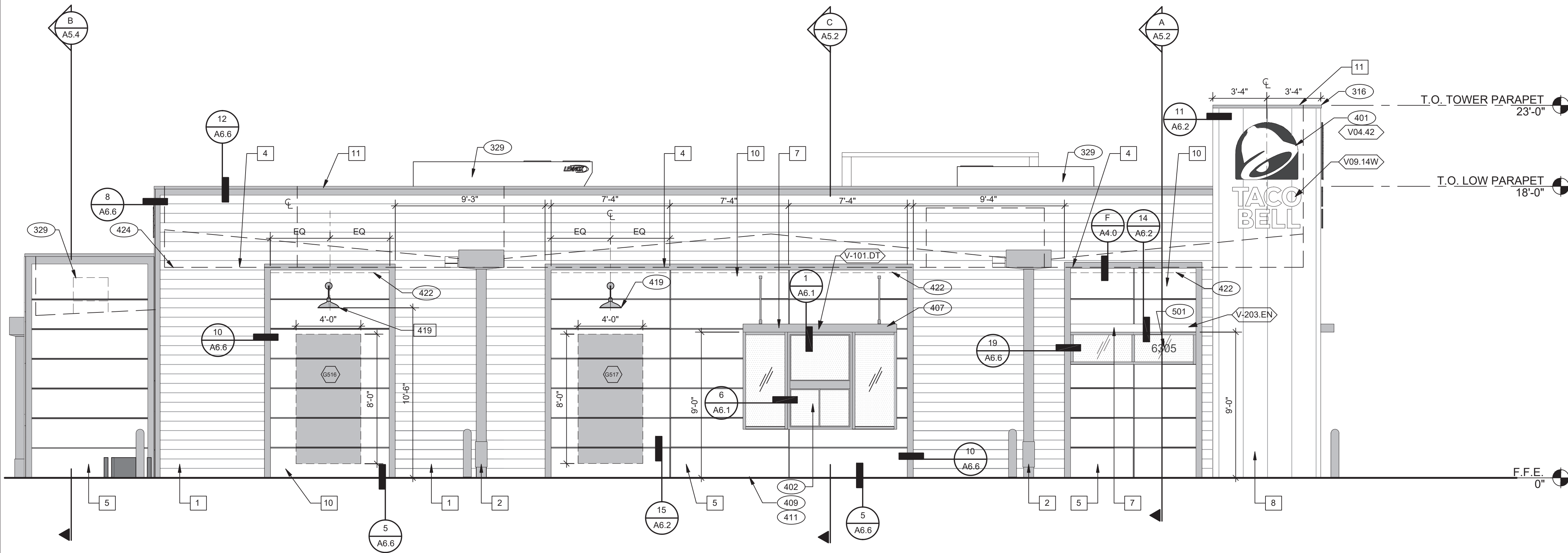
**PAINTING**  
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
 PRIMER: 1 COAT SW A24W8300  
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.  
 A-100 EXTERIOR LATEX SATIN.

**PAINT NOTES** **A**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144L X 8.25\"/>		

**EXTERIOR FINISH SCHEDULE** **D**

**KEY NOTES** **B**



REAR ELEVATION 1/4" = 1'-0" 1

- SEE SHEET A4.0 FOR FINISH SCHEDULE
- 316 METAL PARAPET CAP.
  - 329 MECHANICAL UNIT, SEE ROOF PLAN.
  - 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
  - 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
  - 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
  - 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
  - 411 CONCRETE CURB.
  - 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
  - 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
  - 424 LINE OF ROOF BEYOND.
  - 501 BUILDING ADDRESS NUMBER - OPAQUE APPLIQUE ON OUTSIDE OF GLAZING WHITE COLOR - ARIAL TYPEFACE 6" HEIGHT.



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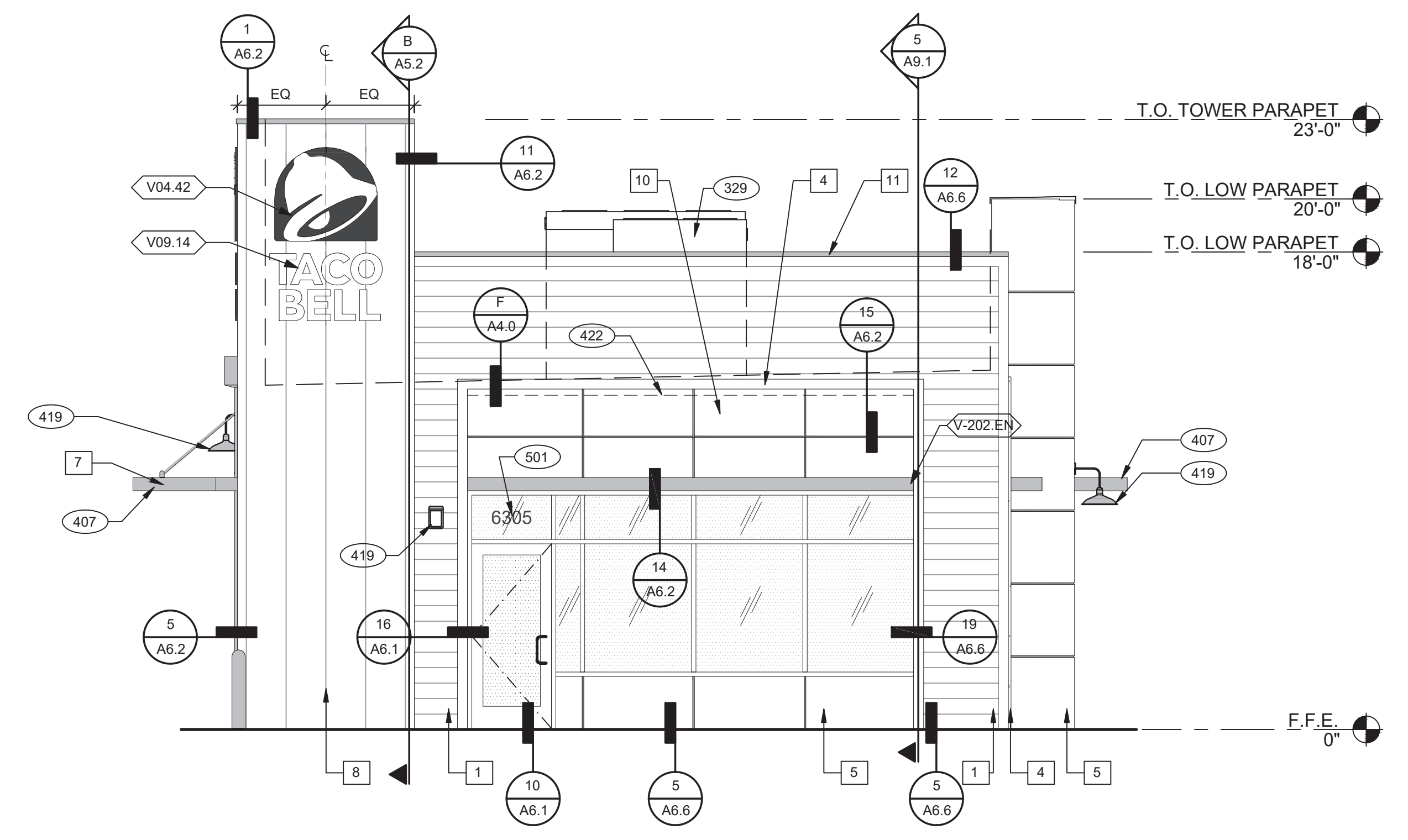
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 6305 Highland Road (M-59)  
 White Lake Twp., Michigan 48383



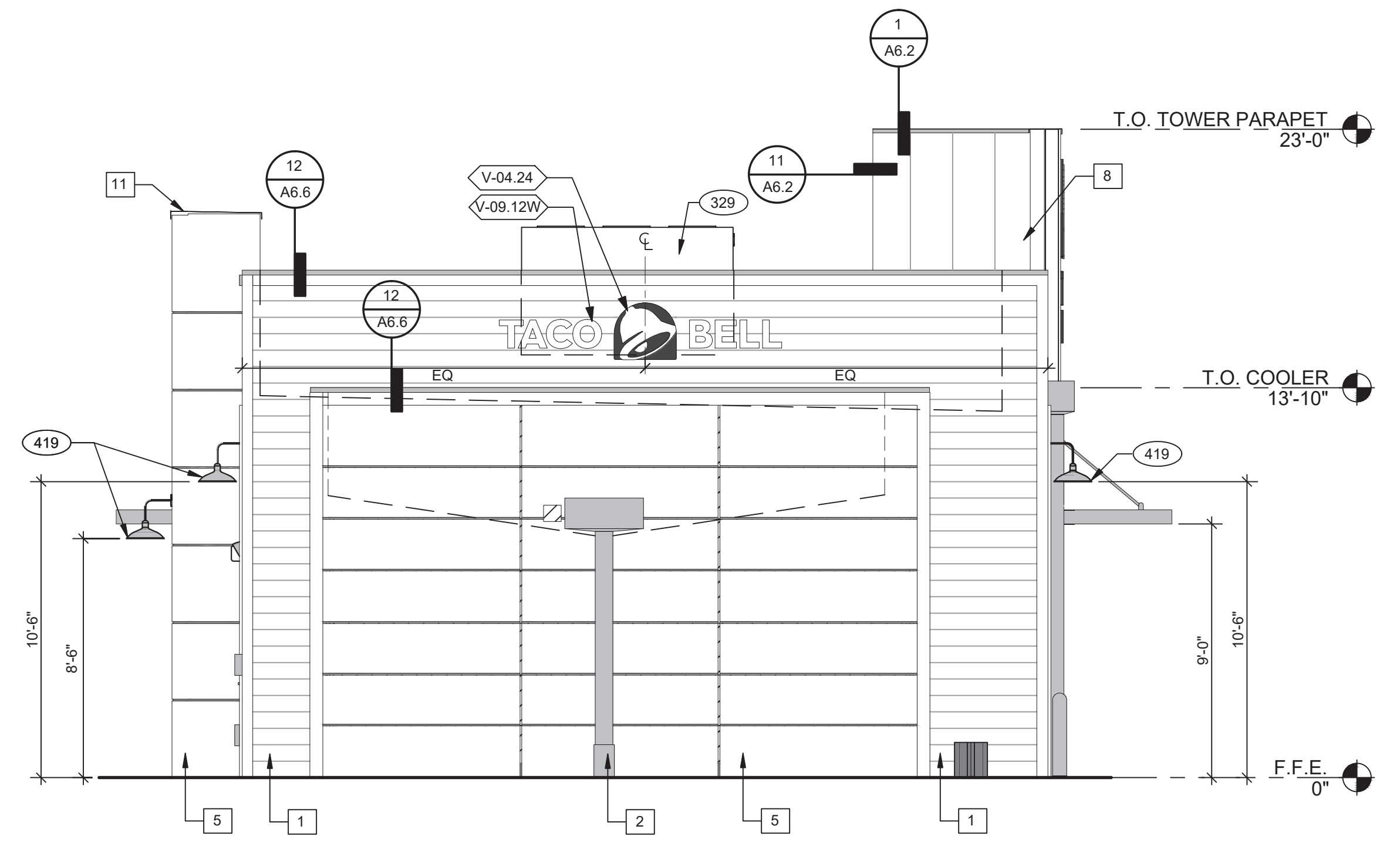
**ENDEAVOR 2.0**  
**EXTERIOR**  
**ELEVATIONS**

**A4.1**

PLOT DATE: 9/29/2021



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3

NOTE: REFERENCE TO SHEET A4.0 FOR COLOR LEGEND



# Great Lakes Taco, LLC Construction Plans

M59 and Bogie Lake Rd, White Lake Twp., MI

## APPLICANT

DORTCH ENTERPRISES, LLC  
8467 RETREAT DR.  
GRAND BLANC, MI 48439 PHONE:  
(810)-771-4500

## ARCHITECT

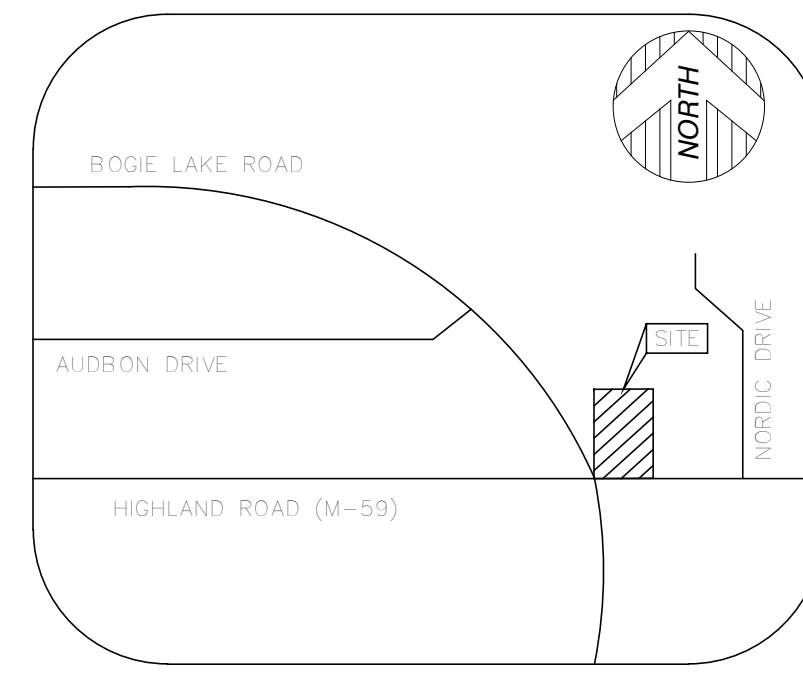
L + A ARCHITECTS INC.  
441 S. LIVERNOIS ROAD, SUITE 265  
ROCHESTER HILLS, MI 48307  
PHONE: (248)-524-4700

## CIVIL ENGINEER

KEM-TEC & ASSOCIATES  
22556 GRATIOT AVENUE  
EASTPOINTE, MI 48021  
CONTACT: GREG EZZO  
PHONE: (810)-712-8849

### LEGEND

	LIGHTPOST/LAMP POST
	SANITARY MANHOLE
	FLAGPOLE
	SET X-CUT
	FOUND MONUMENT (AS NOTED)
	GROUND ELEVATION
	ELECTRIC MANHOLE
	ELECTRIC METER
	TRANSFORMER
	UTILITY POLE
	GAS MANHOLE
	GAS METER
	GAS VALVE
	LIGHT POLE WITH STREET LAMP
	PUBLIC LIGHTING MANHOLE
	TELEPHONE MANHOLE
	TRAFFIC SIGNAL
	STORM DRAIN MANHOLE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER VALVE
	SINGLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	CONIFEROUS TREE (AS NOTED)
	CLEANOUT
	SQUARE CATCH BASIN
	SANITARY LINE
	STORM LINE
	WATER LINE
	GAS LINE
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY LINE
	PROPOSED STORM WATER LINE
	PROPOSED WATER LINE
	PROPOSED SLIT FENCE



VICINITY MAP  
(NOT TO SCALE)

### DRAWING INDEX

C1.0	COVER SHEET
1	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE LAYOUT & PAVING PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	PROFILE PLAN
C7.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C8.0	SITE DETAILS

### PARCEL AREA

46,541± SQUARE FEET = 1.068± ACRES

### FLOOD NOTE

SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD PLAIN

### SITE BENCHMARKS

BENCHMARK #1  
TURN ARROW ON HYDRANT, FIRST HYDRANT ALONG WEST SIDE OF BOGIE LAKE ROAD NORTH OF HIGHLAND ROAD.  
ELEVATION = 982.44' (NAVD 88)

BENCHMARK #2  
TURN ARROW ON HYDRANT, FIRST HYDRANT ALONG NORTH SIDE OF HIGHLAND ROAD EAST OF BOGIE LAKE ROAD.  
ELEVATION = 985.56' (NAVD 88)

### PROPERTY DESCRIPTION

LAND SHOWN IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE, TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH ¼ LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 18 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.



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(810) 267-2222  
(248) 524-4700  
(888) 894-0001  
www.kemtecgroupofcompanies.com

### COVER SHEET

PREPARED FOR: GREAT LAKES TACO, LLC.  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE  
TWP., MI, 48383

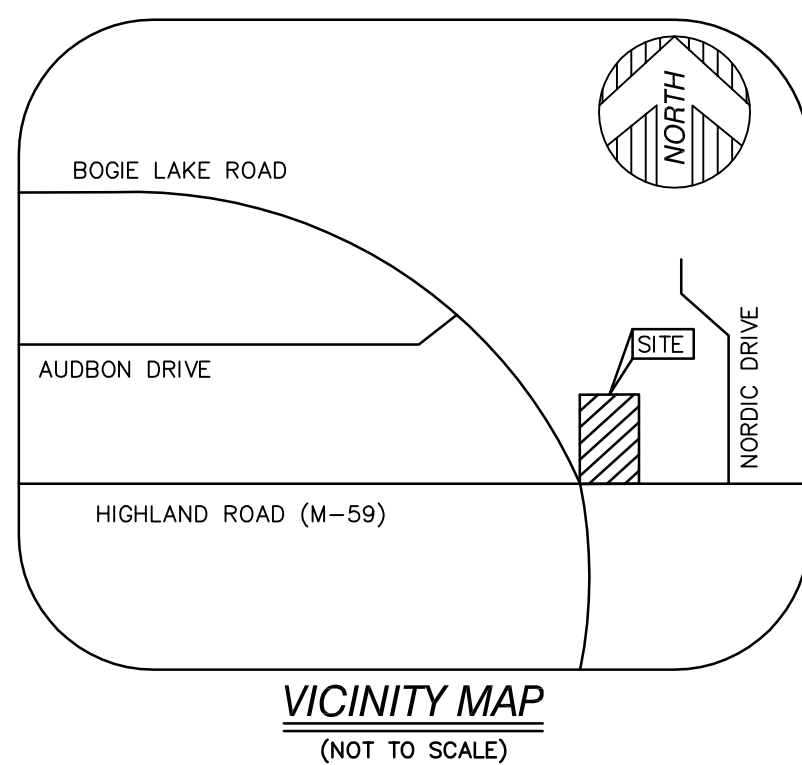
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2	08/02/2021	GAE	ENGINEERING SUBMISSION
1	05/29/2020	GAE	SPA SUBMISSION

DATE:	07/29/2021
PROJECT NO.:	18-0000
SCALE:	
DATE:	SEPTEMBER 29, 2021

C1.0

DRAWING: M001 9/7/2021 10:24





VICINITY MAP  
(NOT TO SCALE)

LEGEND

- (R&M) FOUND SECTION CORNER (AS NOTED)
- (R) FOUND MONUMENT (AS NOTED)
- (M) RECORD AND MEASURED DIMENSION
- (M) RECORD DIMENSION
- (M) MEASURED DIMENSION
- (E) GROUND ELEVATION
- (E) ELECTRIC METER
- (E) UTILITY POLE
- (E) GAS VALVE
- (E) TRAFFIC SIGNAL
- (E) TRAFFIC SIGNAL MANHOLE
- (E) SANITARY MANHOLE
- (E) ROUND CATCH BASIN
- (E) SQUARE CATCH BASIN
- (E) FIRE HYDRANT
- (E) WATER GATE MANHOLE
- (E) GENERATOR
- (E) WATER VALVE
- (E) WELL
- (E) LIGHTPOST/LAMP POST
- (E) SINGLE POST SIGN
- (E) PARCEL BOUNDARY LINE
- (E) PLATTED LOT LINE
- (E) ADJOINER PARCEL LINE
- (E) CONCRETE CURB
- (E) EDGE OF CONCRETE (CONC.)
- (E) EDGE OF ASPHALT (ASPH.)
- (E) EDGE OF GRAVEL
- (E) OVERHEAD UTILITY LINE
- (E) GAS LINE
- (E) SANITARY LINE
- (E) STORM LINE
- (E) WATER LINE
- (E) ELECTRIC LINE
- (E) MINOR CONTOUR LINE
- (E) MAJOR CONTOUR LINE
- (E) BUILDING AREA
- (E) ASPHALT
- (E) CONCRETE

PARKING

NO MARKED PARKING ON SITE

PROPOSED PARCEL AREA

46,541± SQUARE FEET = 1.068± ACRES

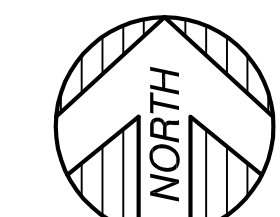
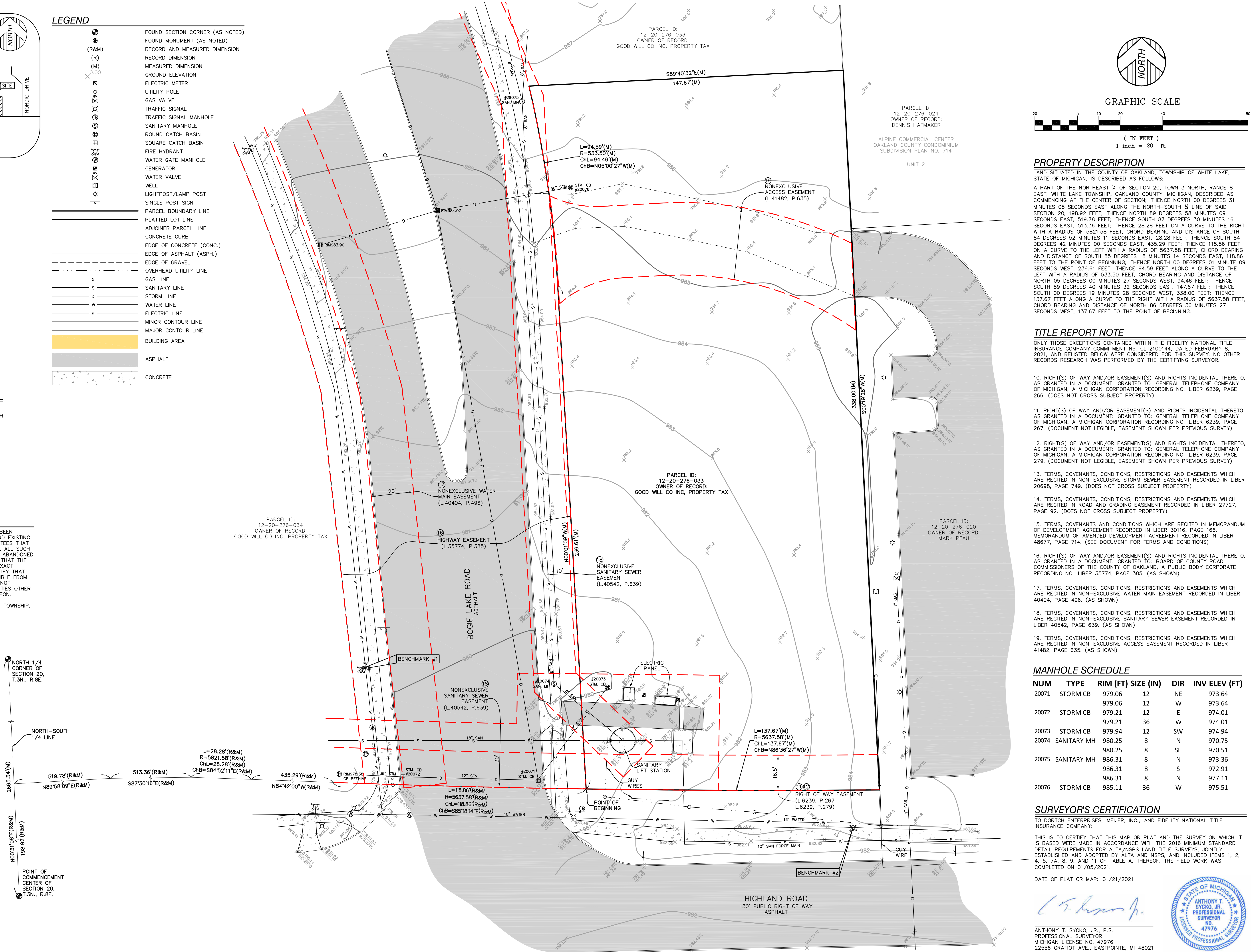
BENCHMARKS

**BENCHMARK #1**  
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ELEVATION = 982.44' (NAVD 88)

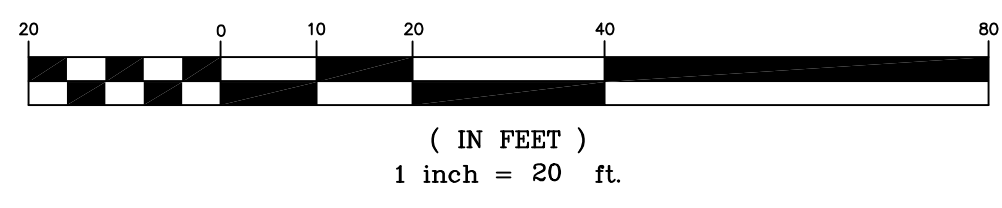
**BENCHMARK #2**  
TURN ARROW ON HYDRANT, FIRST HYDRANT  
ALONG NORTH SIDE OF HIGHLAND ROAD EAST  
OF BOGIE LAKE ROAD.  
ELEVATION = 985.56' (NAVD 88)

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
2. ALL PROPERTY SPLITS REQUIRE PRIOR CITY, TOWNSHIP, COUNTY, AND/OR STATE APPROVAL.



GRAPHIC SCALE



PROPERTY DESCRIPTION

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH ¼ LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

- ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. GLT2100144, DATED FEBRUARY 8, 2021, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
10. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: GENERAL TELEPHONE COMPANY OF MICHIGAN, A MICHIGAN CORPORATION RECORDING NO: LIBER 6239, PAGE 266. (DOES NOT CROSS SUBJECT PROPERTY)
  11. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: GENERAL TELEPHONE COMPANY OF MICHIGAN, A MICHIGAN CORPORATION RECORDING NO: LIBER 6239, PAGE 267. (DOCUMENT NOT LEGIBLE, EASEMENT SHOWN PER PREVIOUS SURVEY)
  12. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: GENERAL TELEPHONE COMPANY OF MICHIGAN, A MICHIGAN CORPORATION RECORDING NO: LIBER 6239, PAGE 279. (DOCUMENT NOT LEGIBLE, EASEMENT SHOWN PER PREVIOUS SURVEY)
  13. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE STORM SEWER EASEMENT RECORDED IN LIBER 20698, PAGE 749. (DOES NOT CROSS SUBJECT PROPERTY)
  14. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN ROAD AND GRADING EASEMENT RECORDED IN LIBER 27727, PAGE 92. (DOES NOT CROSS SUBJECT PROPERTY)
  15. TERMS, COVENANTS AND CONDITIONS WHICH ARE RECITED IN MEMORANDUM OF DEVELOPMENT AGREEMENT RECORDED IN LIBER 30116, PAGE 168. MEMORANDUM OF AMENDED DEVELOPMENT AGREEMENT RECORDED IN LIBER 48677, PAGE 714. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
  16. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF OAKLAND, A PUBLIC BODY CORPORATE RECORDING NO: LIBER 35774, PAGE 385. (AS SHOWN)
  17. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE WATER MAIN EASEMENT RECORDED IN LIBER 40404, PAGE 496. (AS SHOWN)
  18. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE SANITARY SEWER EASEMENT RECORDED IN LIBER 40542, PAGE 639. (AS SHOWN)
  19. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE ACCESS EASEMENT RECORDED IN LIBER 41482, PAGE 635. (AS SHOWN)

MANHOLE SCHEDULE

NUM	TYPE	RIM (FT) SIZE (IN)	DIR	INV ELEV (FT)
20071	STORM CB	979.06	12 NE	973.64
		979.06	12 W	973.64
20072	STORM CB	979.21	12 E	974.01
		979.21	36 W	974.01
		979.94	12 SW	974.94
20073	STORM CB	979.94	12 SW	974.94
		980.25	8 N	970.75
20074	SANITARY MH	980.25	8 SE	970.51
		986.31	8 N	973.36
		986.31	8 S	972.91
20075	SANITARY MH	986.31	8 N	973.36
		986.31	8 N	977.11
20076	STORM CB	985.11	36 W	975.51
		985.11	36 W	975.51

SURVEYOR'S CERTIFICATION

TO DORTCH ENTERPRISES; MEIJER, INC.; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 4, 5, 7A, 8, 9, AND 11 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 01/05/2021.

DATE OF PLAT OR MAP: 01/21/2021

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemttec-survey.com



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ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: DORTCH ENTERPRISES  
6305 HIGHLAND, WHITE LAKE, MICHIGAN,  
PART OF SECTION 20,  
TOWN 3 NORTH, RANGE 8 EAST

DATE	BY	REVISION	DESCRIPTION
01/21/2021	CMC	1	SCALE 1" = 20'
01/21/2021	ATS	2	REVISED PER REVIEW COMMENTS
JANUARY 21, 2021	MRJ	1	ADD TITLE WORK
09-22-21	CMC	1	BY
03-12-21	CMC	1	DATE

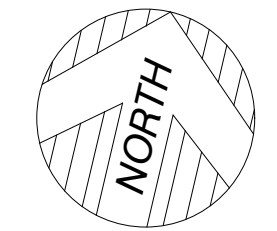


**GENERAL DEMOLITION NOTES**

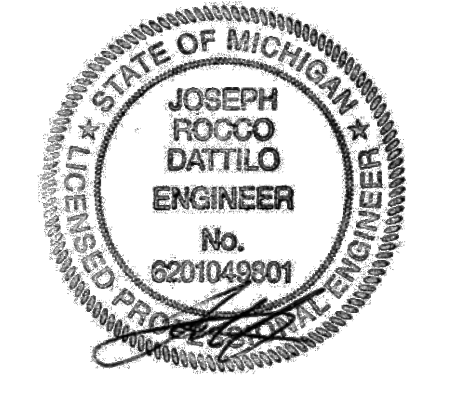
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
  2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
  3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
  4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
  5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TREES, ETC.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
  7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
  8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
  9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
  10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF WARREN ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  11. ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY KEM-TEC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN & FIELD CONDITIONS.
  12. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

**DEMOLITION LEGEND**

- CONCRETE PAVEMENT REMOVAL
- PROPERTY LINE
- LIMITS OF DISTURBANCE



**DEMOLITION PLAN**  
SCALE: 1" = 20'



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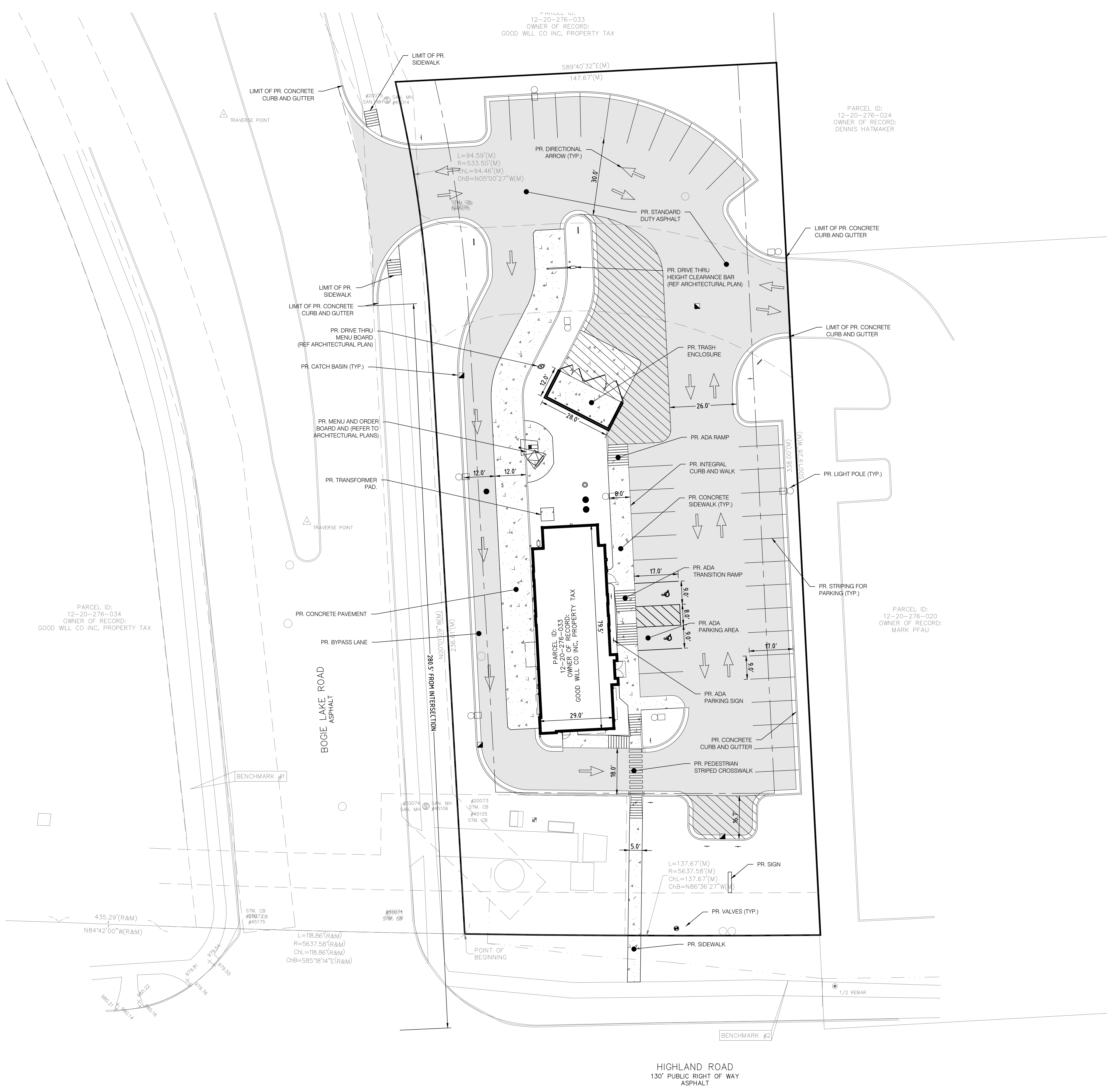
**DEMOLITION PLAN**  
PREPARED FOR: GREAT LAKES TACO, LLC  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE  
TWP., MI., 48383

DATE	BY	REVISION	DESCRIPTION
09/29/2021	GAE	1	ENGINEERING SUBMISSION
08/02/2021	GAE	2	SP.A. SUBMISSION
07/29/2021	GAE	3	REVISED PER REVIEW COMMENTS

SCALE: 1" = 20'  
PROJECT NO: -00000

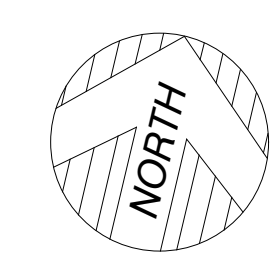
**C2.0**

9/29/2021  
C3.0 Site Layout & Paving Plan.dwg  
Bhavisha Modi



- ### SITE LEGEND
- PROPERTY LINE
  - PROPOSED CONCRETE CURB AND GUTTER
  - PROPOSED BUILDING
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED WATER STRUCTURES
  - PROPOSED MANHOLE / CATCH BASIN

- ### SITE NOTES
1. ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET REQUIREMENTS OF THE LOCAL ZONING ORDINANCE. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
  2. GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED AS REQUIRED IN THE LOCAL ZONING ORDINANCE.
  3. ALL SIGNS TO MEET REQUIREMENTS OF CITY CODE OF ORDINANCES AND BE APPROVED BY BUILDING DEPARTMENT
  4. PARKING SPACES SHALL BE STRIPPED PER LOCAL ZONING ORDINANCE
  5. RESTORATION OF ANY EXISTING HARD SURFACE AREA, OF ANY TYPE, REQUIRED AS A RESULT OF REMOVAL OF EXISTING SURFACING BY CITY OF WARREN FORCES OR AGENTS DURING THE COURSE OF MAINTENANCE OF WATER MAIN OR SANITARY SEWER LOCATED UNDER PAVEMENT, IS THE RESPONSIBILITY OF THE OWNER OF THIS SITE AND WILL NOT BE PERFORMED BY, NOR PAID FOR BY CITY OF White Lake Twp.
  6. THE SITE IS NOT ADJACENT TO ANY RESIDENTIALLY ZONED PROPERTY.



**SITE LAYOUT AND PAVING PLAN**  
SCALE: 1" = 20'

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Ann Arbor, MI 48106  
Grand Blanc, MI 48831  
(800) 295-7222 (419) 782-8277 (734) 694-0388 (888) 694-0001  
www.kemtecgroupofcompanies.com

**SITE LAYOUT AND PAVING PLAN**  
PREPARED FOR: GREAT LAKES TACO, LLC.  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE TWP., MI, 48383

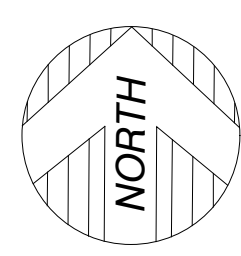
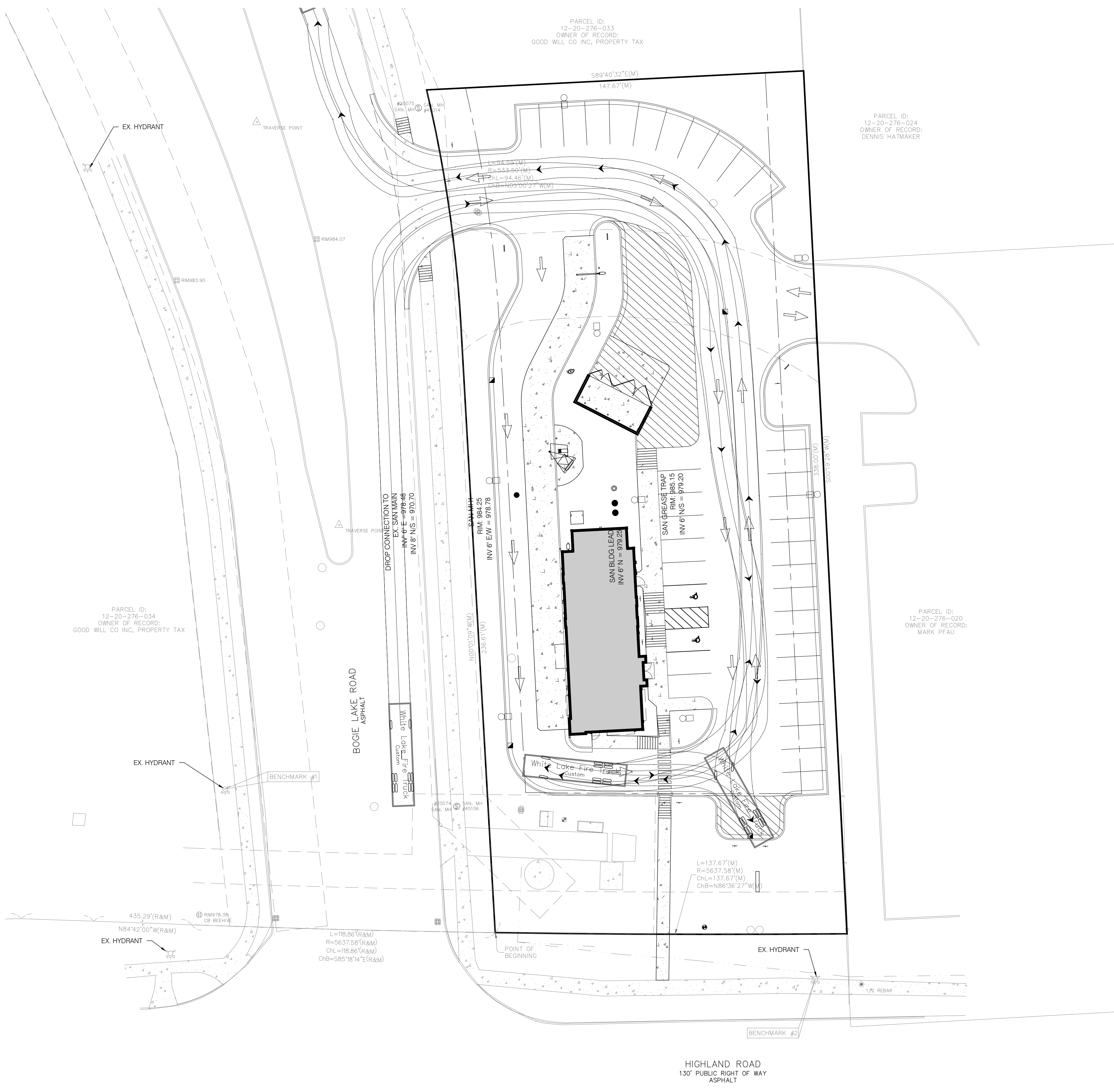
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3	09.29.2021	GAE	REVISED PER REVIEW COMMENTS

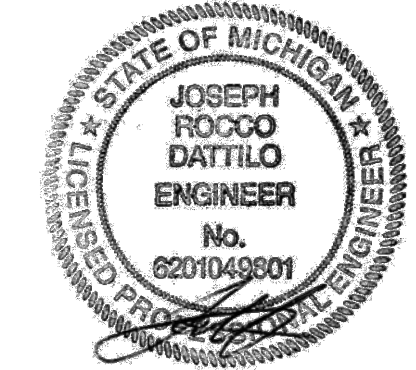
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SCALE:	1" = 20'
PROJECT NO.:	00-00000
DATE:	SEPTEMBER 29, 2021
CHECKED BY:	GAE
DRAWN BY:	GAE

C3.0

9/7/2021 9:28:20 AM C:\31 Fire Truck Access Plan.dwg



**FIRE TRUCK ACCESS PLAN**  
SCALE: 1" = 20'



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**FIRE TRUCK ACCESS PLAN**  
PREPARED FOR: GREAT LAKES TACO, LLC.  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE  
TWP, MI, 48383

NO.	DATE	REVISION	DESCRIPTION
1	6.14.2021	GAE	SPA SUBMISSION
3	09.29.2021	GAE	REVISED PER REVIEW COMMENTS

DATE	09/29/2021	SCALE	1" = 20'
PROJECT NO.	18-00000		

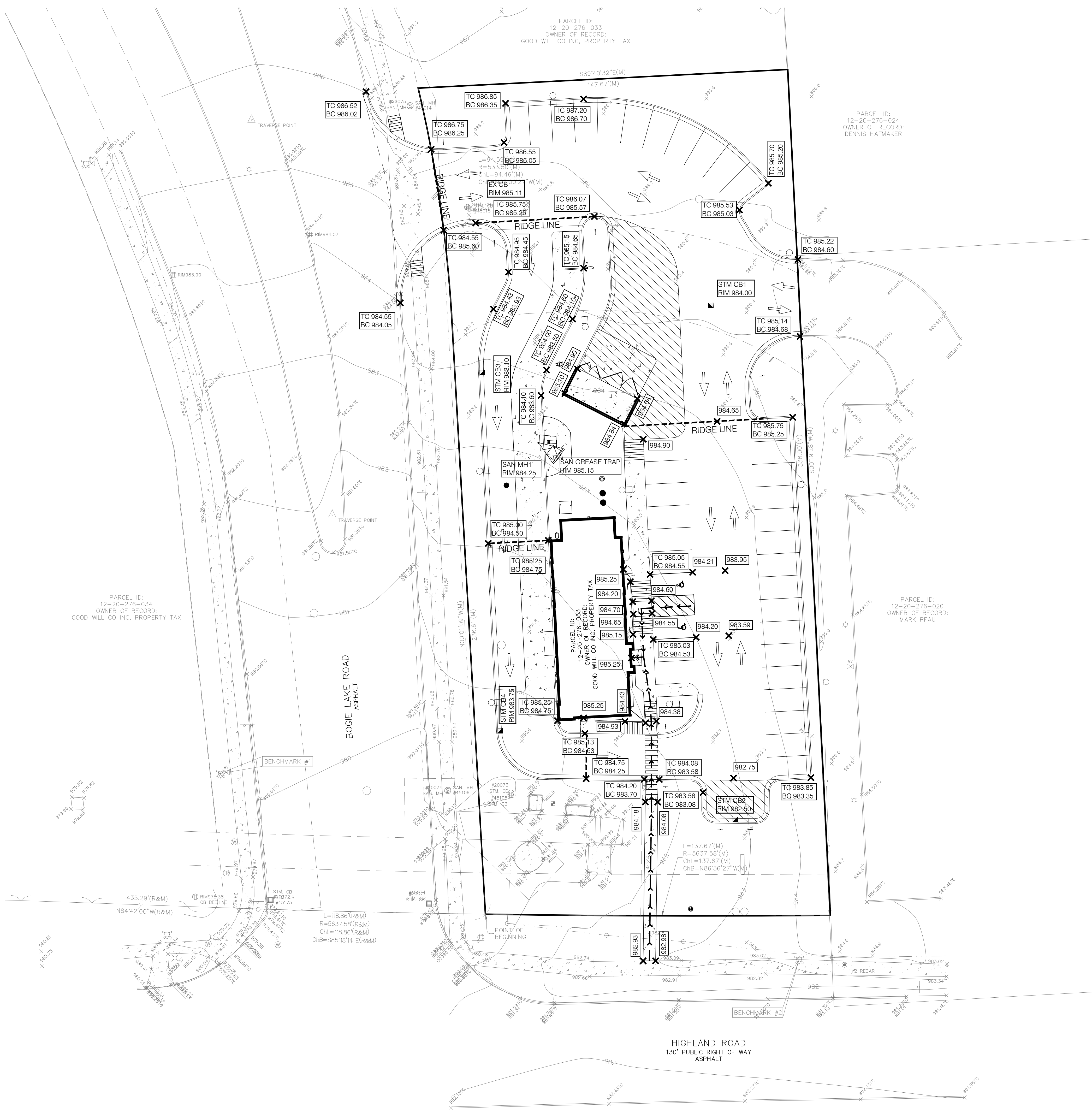
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PARCEL ID: 12-20-276-033  
 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

PARCEL ID: 12-20-276-024  
 OWNER OF RECORD: DENNIS HATMAKER

PARCEL ID: 12-20-276-020  
 OWNER OF RECORD: MARK PFAU

PARCEL ID: 12-20-276-034  
 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

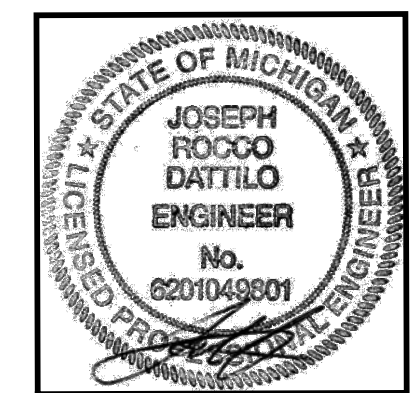


### GRADING LEGEND

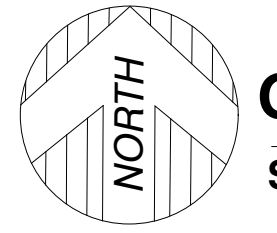
- x 900.00 EXISTING GRADES
- x 100.00 PROPOSED GRADES
- PROPERTY LINE
- - - PROPOSED RIDGE LINE

### GRADING NOTES

1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP AND OAKLAND COUNTY.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOF ROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORIGIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
6. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
7. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
8. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
9. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
10. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WHITE LAKE TOWNSHIP AND SPECIFICATIONS.
12. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:  
 TC = TOP OF CURB  
 BC = BOTTOM OF CURB
13. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.



**GRADING PLAN**  
 SCALE: 1" = 20'



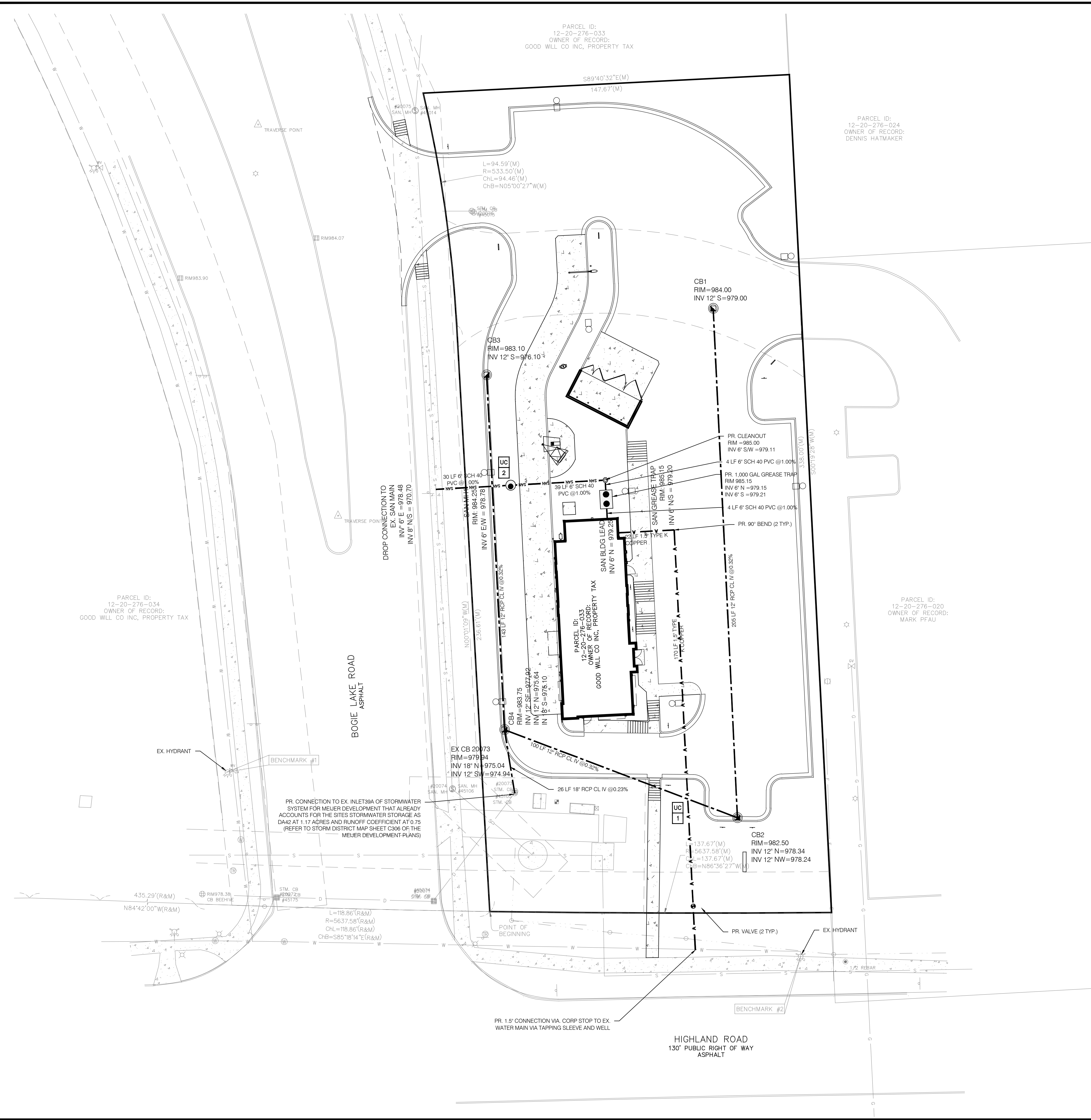
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**GRADING PLAN**  
 PREPARED FOR: GREAT LAKES TACO, LLC.  
 HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE TWP., MI, 48383

NO.	DATE	REVISION / DESCRIPTION
1	09/29/2021	ENGINEERING SUBMISSION
2	09/29/2021	SPA SUBMISSION
3	09/29/2021	REVISED PER REVIEW COMMENTS

DATE:	09/29/2021
DRAWN BY:	GAE
CHECKED BY:	GAE
DATE:	09/29/2021
PROJECT NO.:	18-00000
SCALE:	1" = 20'
NO.:	1
REVISION:	
DATE:	09/29/2021
BY:	GAE

**C4.0**



**UTILITY LEGEND**

- SAN PROPOSED SANITARY LINE
- W PROPOSED WATER LINE
- PROPOSED STORMWATER PIPING
- PROPOSED CATCH BASIN STRUCTURE
- PROPOSED MAN-HOLE STRUCTURE / WATER QUALITY UNIT
- PROPOSED WATER STRUCTURES
- PROPOSED SANITARY CLEANOUT

**UTILITY NOTES**

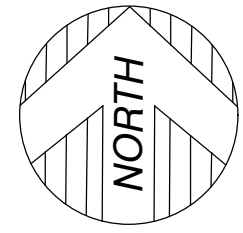
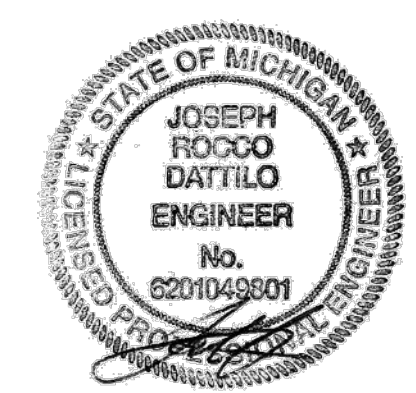
1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY WHITE LAKE TOWNSHIP AND HELD PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION BEGINS.
3. ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
4. WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
5. ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
6. WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO TOP HIGHEST UTILITY.
7. WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE CONSTRUCTED WITH 11-1/4" VERTICAL BENDS, 22 1/2" OR 45" BENDS MUST BE RODDED AND PROPERLY ANCHORED.
8. ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
9. CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES, AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WELL AND CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
10. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE PLYMOUTH TOWNSHIP PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE OAKLAND COUNTY DRAIN COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
11. ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES AFTER WATER MAIN ACCEPTANCE AND APPLICABLE PERMITS ARE OBTAINED.
12. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES.

**UTILITY QUANTITIES**

18" RCP CL IV STORM PIPE	26 LF
12" RCP CL IV STORM PIPE	448 LF
1.5" TYPE K COPPER PIPE	192 LF
6" SCH 40 PVC SAN. PIPE	77 LF
1,000 GAL GREASE TRAP	1
CATCH BASIN	4
CLEANOUT STRUCTURE	1
VALVE	2
90° BEND	2

**UTILITY CROSSING SCHEDULE**

UC 1	GRADE 883.50 =
	TOP OF 24" STORM 679.26
	12" STORM INVERT 978.26
	BOTTOM OF 1.5" WATER 976.76
(WATERMAIN DIPPED WITH MIN. CLEARANCE 1.5 FT, DIPPING/DEFLECTING OF THE WATERMAIN SHALL FOLLOW APPLICABLE AGENCY STANDARDS)	
UC 2	6" SAN INVERT 978.65
	12" STORM INVERT 976.96
	TOTAL CLEARANCE OF 1.69 FT



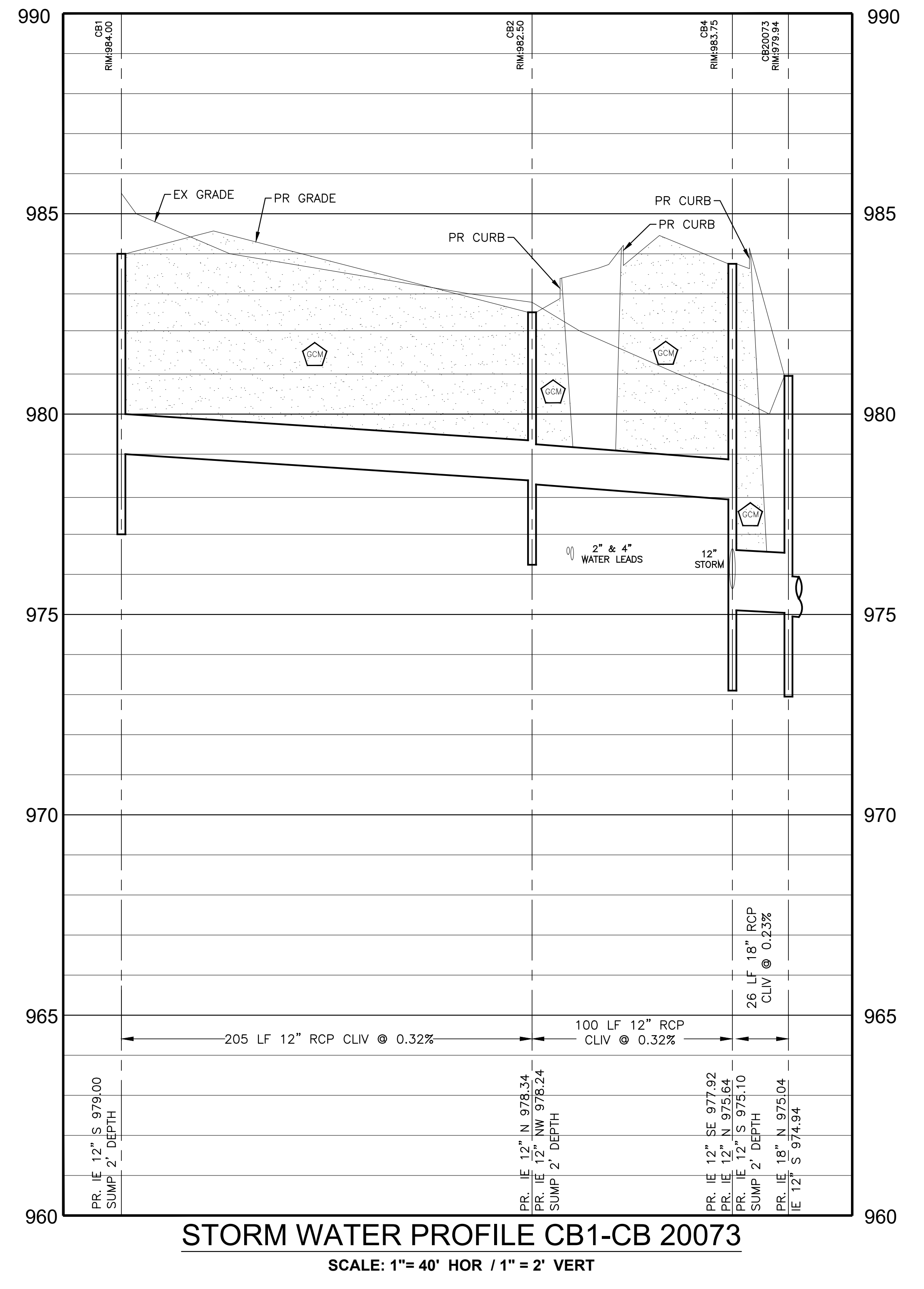
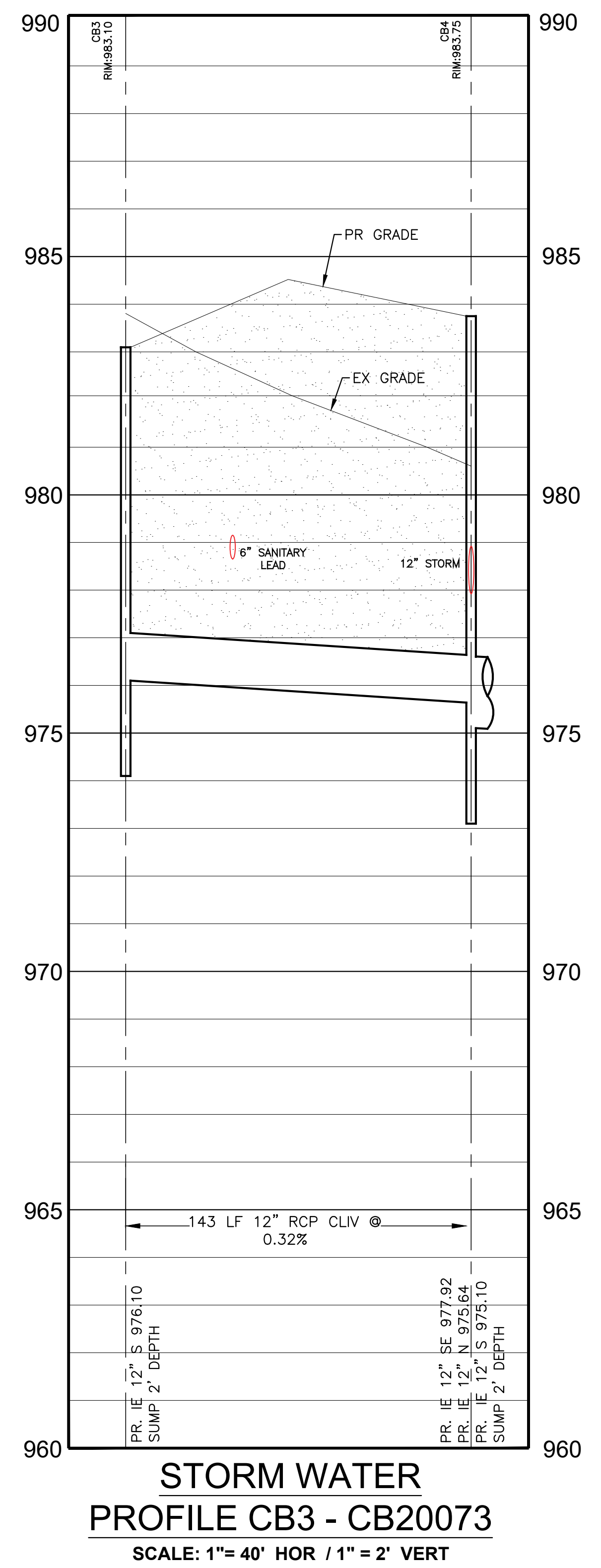
**UTILITY PLAN**  
SCALE: 1" = 20'

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**UTILITY PLAN**  
PREPARED FOR: GREAT LAKES TACO, LLC.  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE  
TWP., MI. 48383

NO.	DATE	REVISION	DESCRIPTION
1	6.14.2021	GAE	ENGINEERING SUBMISSION
2	08.02.2021	GAE	SFA SUBMISSION

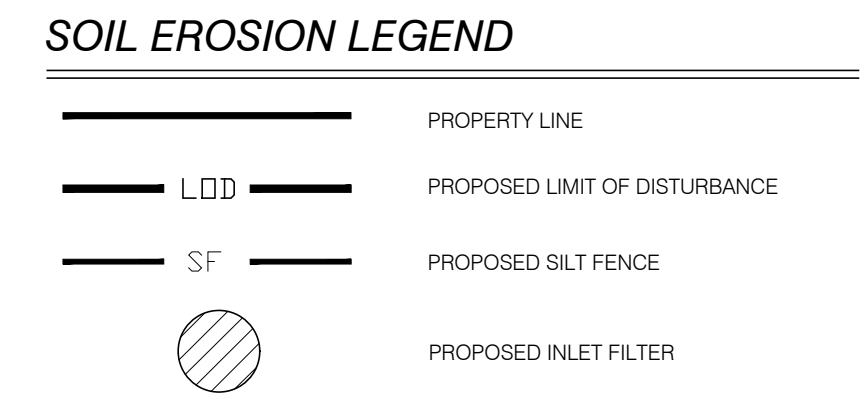
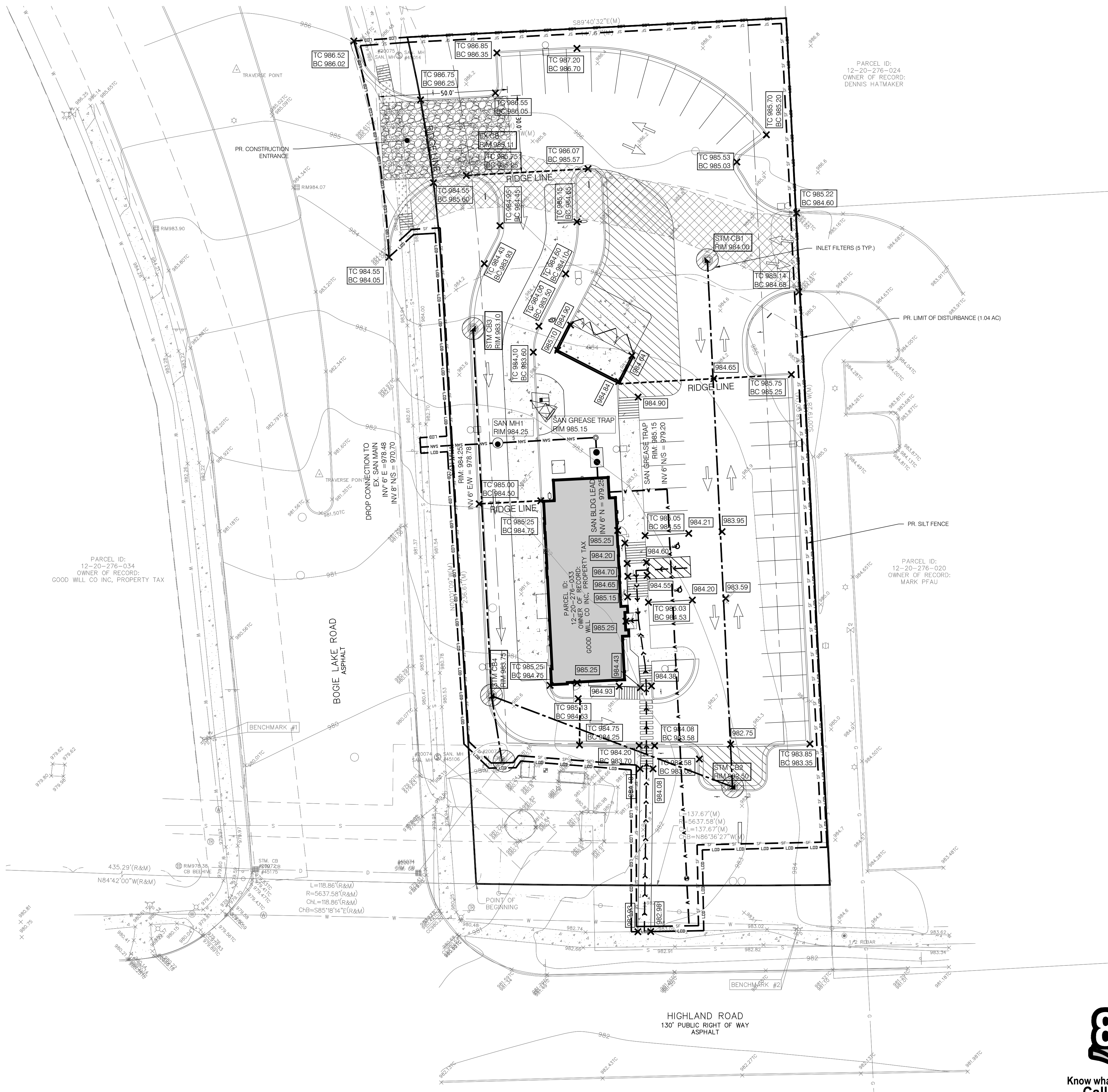
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PROJECT NO: 18-00000  
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REVISION	DATE	BY	DESCRIPTION
3	09/29/2021	GAE	REVISED PER REVIEW COMMENTS
2	08/02/2021	GAE	ENGINEERING SUBMISSION
1	05/25/2020	GAE	SPA SUBMISSION

DRAWN BY:	GAE	09/29/2021
CHECKED BY:		
DATE:	SEPTEMBER 29, 2021	SCALE: 1" = 20'
PROJECT NO.:	18-00000	





### SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	AUG 2021	SEPT	OCT	NOV
TEMPORARY EROSION CONTROL MEASURES	█			
STRIP & STOCKPILE TOPSOIL / ROUGH GRADE		█		
STORM SEWER		█	█	
FOUNDATION / BLDG. CONSTRUCTION			█	█
SANITARY SEWER & WATER MAIN			█	█
INSTALL ALL OTHER UTILITIES			█	█
SITE CONSTRUCTION & PAVEMENT			█	█
PERMANENT EROSION CONTROL MEASURES			█	█
FINISH GRADING			█	█
LANDSCAPING			█	█

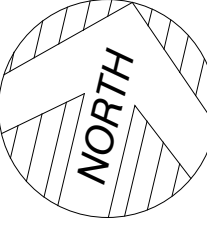
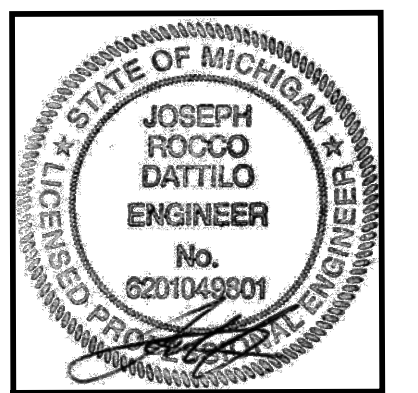
DISTURBED AREA = 1.04± ACRES

### SOIL TYPE INFORMATION

MAP UNIT SYMBOL	MAP UNIT NAME
508	UDIPSAMENTS, UNDULATING

### MAINTENANCE OF EROSION CONTROL DEVICES

- FILTERS MUST BE CLEANED PERIODICALLY SO THEY DON'T CLOGGED.
- FILTER FENCING WHICH SAGS, FALLS OVER OR IS NOT STAKED IN, SHOULD BE PROMPTLY REPAIRED OR REPLACED.
- SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
- IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED.
- MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
- NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED.



**SOIL EROSION & SEDIMENTATION CONTROL PLAN**  
SCALE: 1"= 20'

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**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**  
PREPARED FOR: GREAT LAKES TACO, LLC.  
HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE TWP., MI. 48363

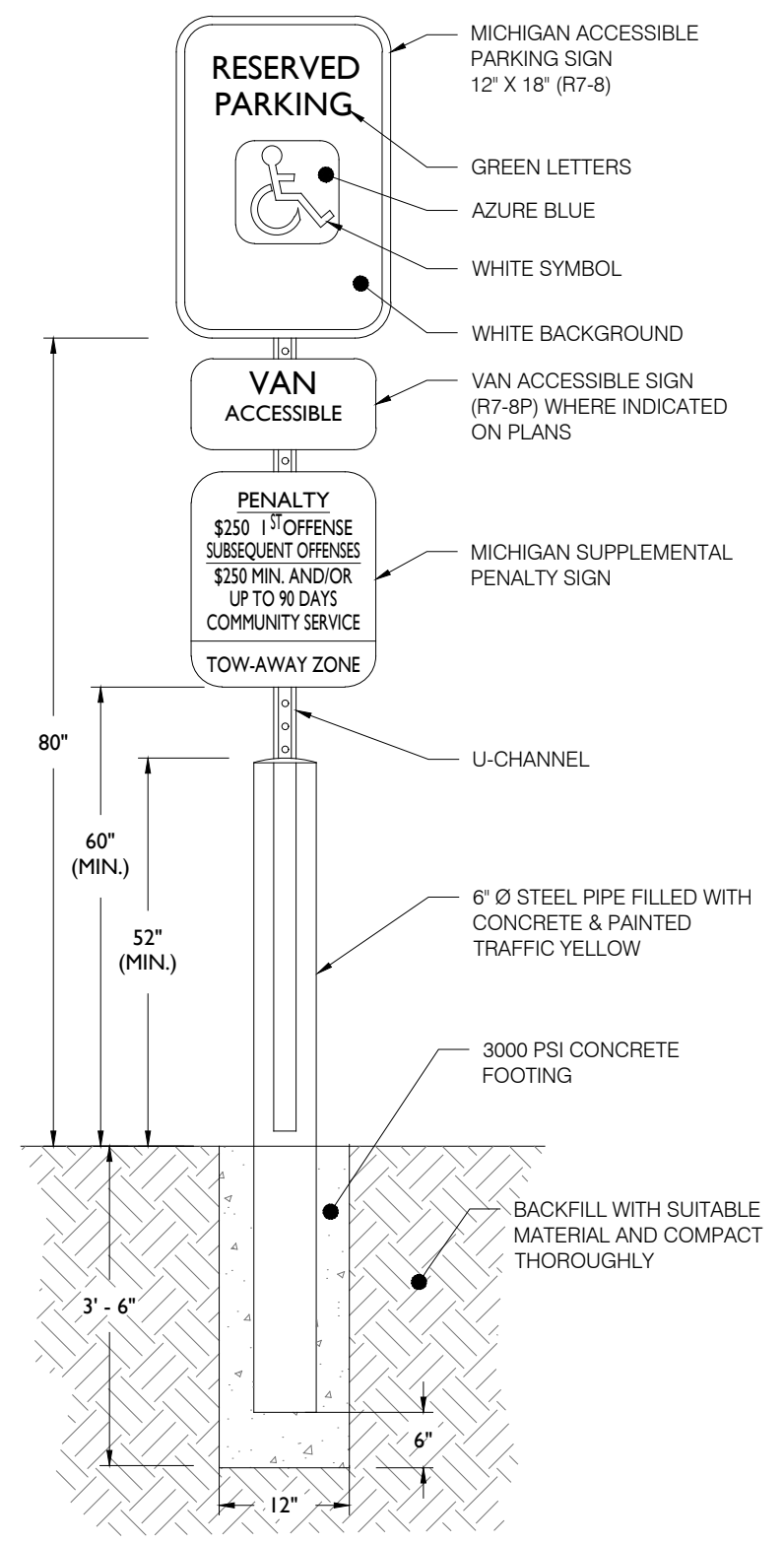
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08/02/2021	GAE	2	SPA SUBMISSION
08/29/2021	GAE	3	REVISED PER REVIEW COMMENTS

PROJECT NO: 00-00000  
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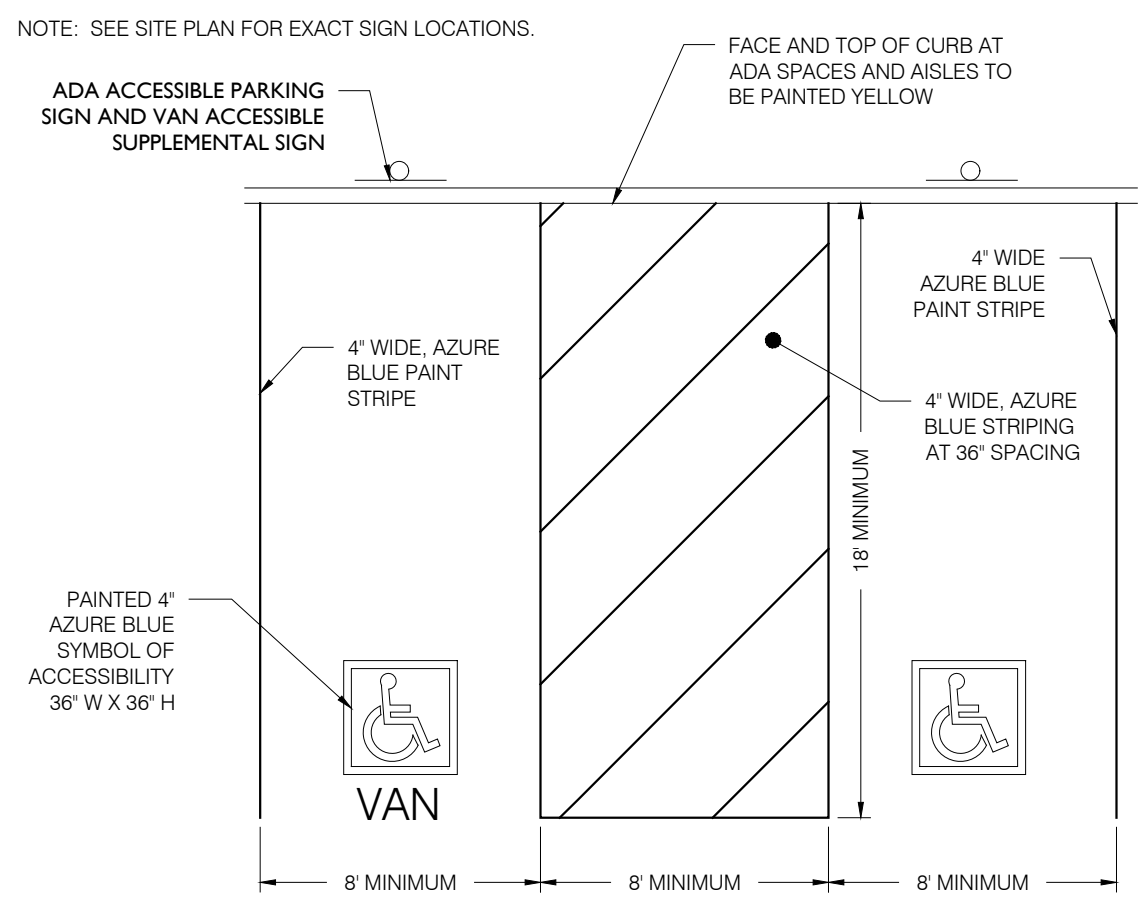
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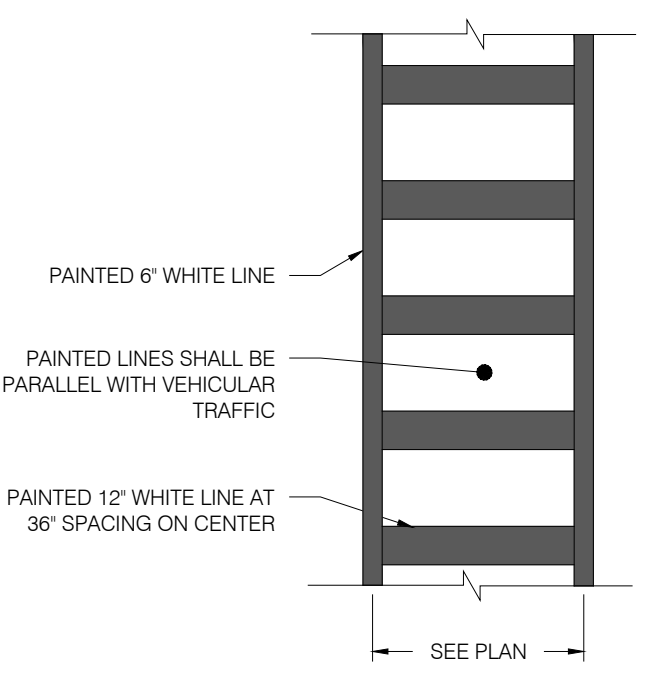
9/29/2021  
Bhavisha Modi



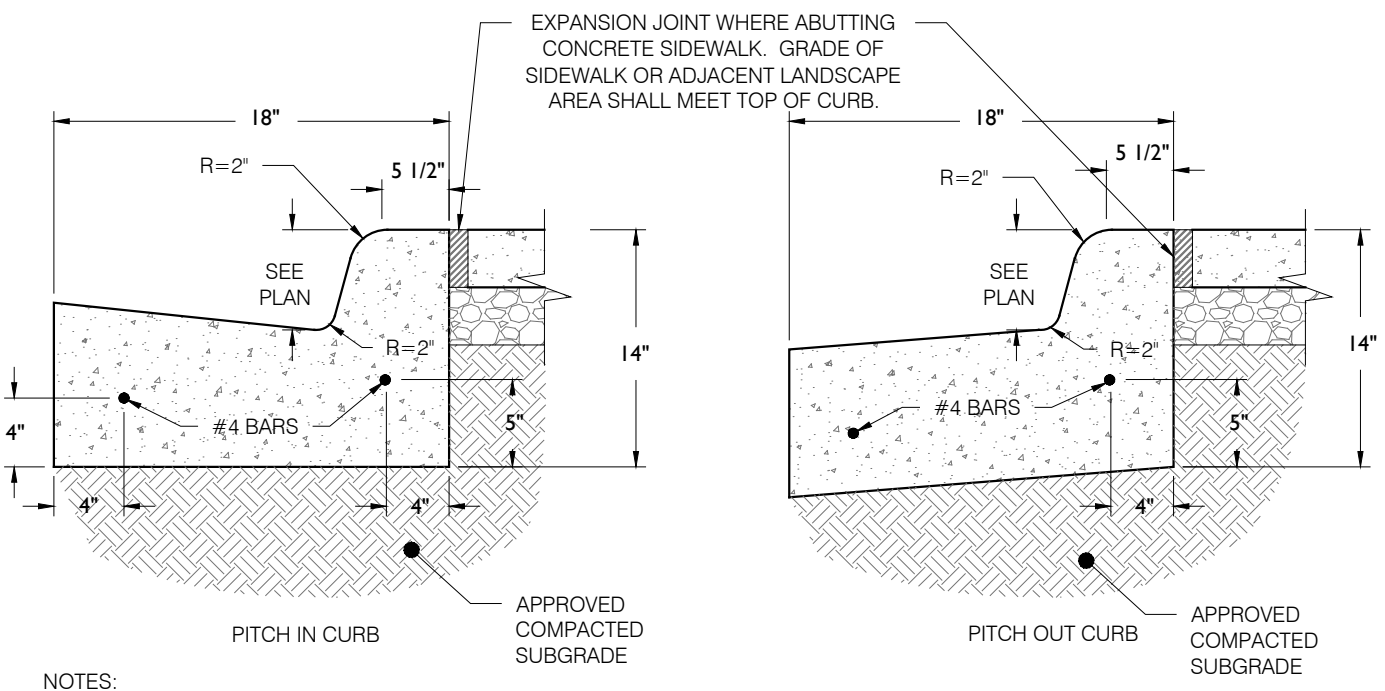
SIGN DETAILS



ACCESSIBLE PARKING STALL MARKINGS

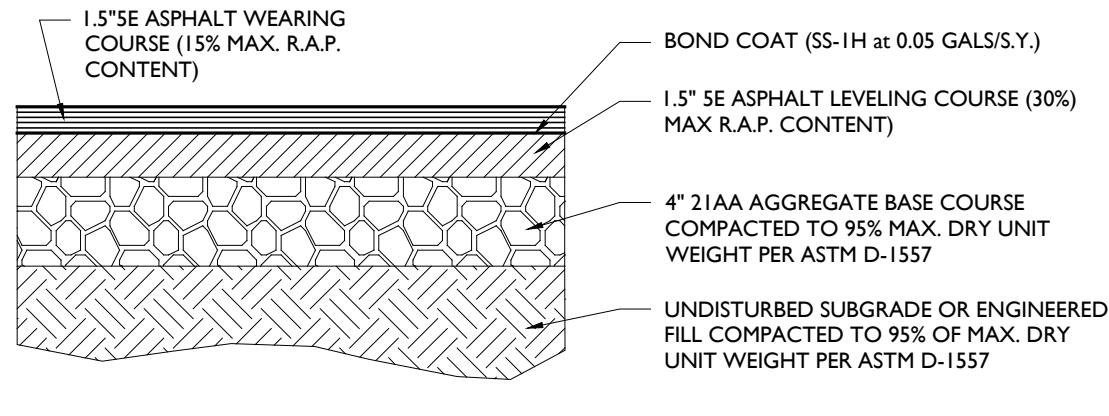


CROSSWALK DETAIL

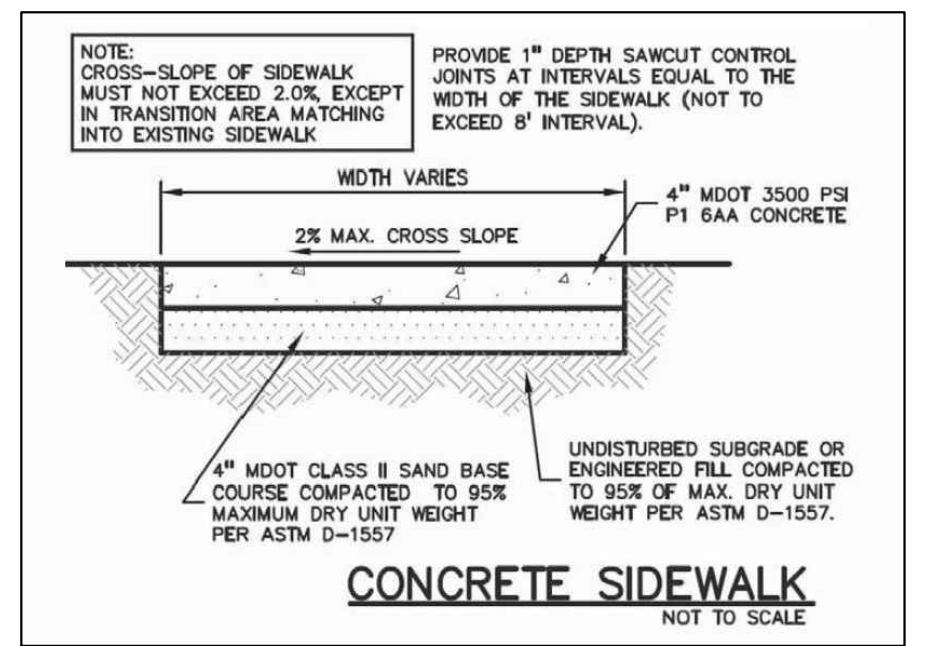


- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
  2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
  3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
  4. 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

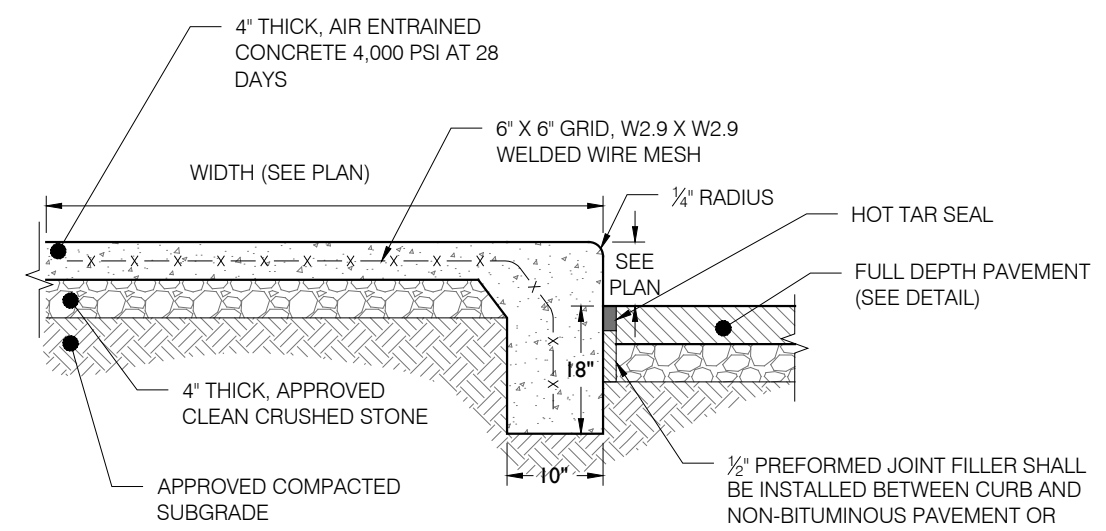
CONCRETE CURB AND GUTTER DETAIL



STANDARD DUTY ASPHALT APPROACH DETAIL

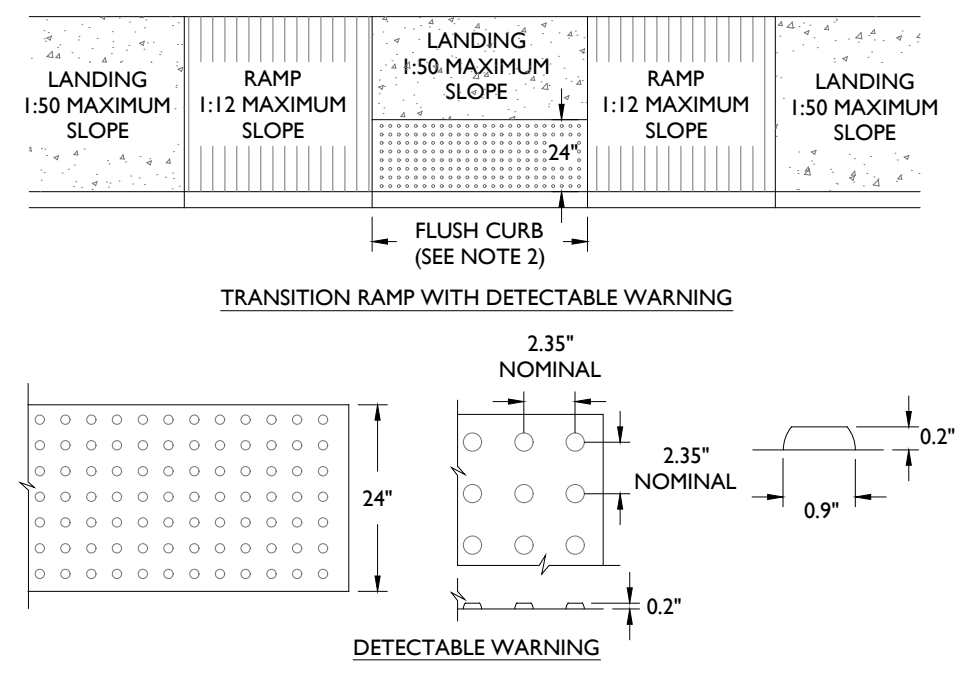


CONCRETE SIDEWALK NOT TO SCALE

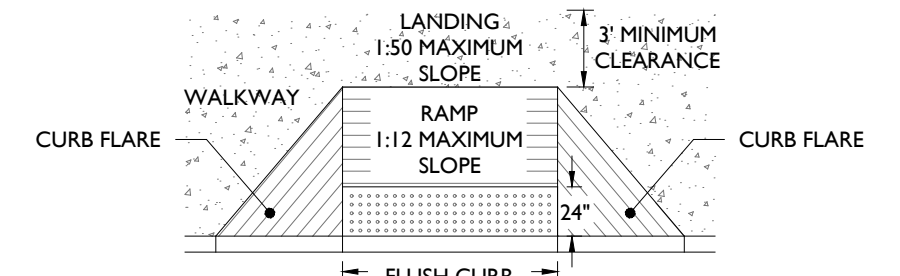


- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
  2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
  3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.

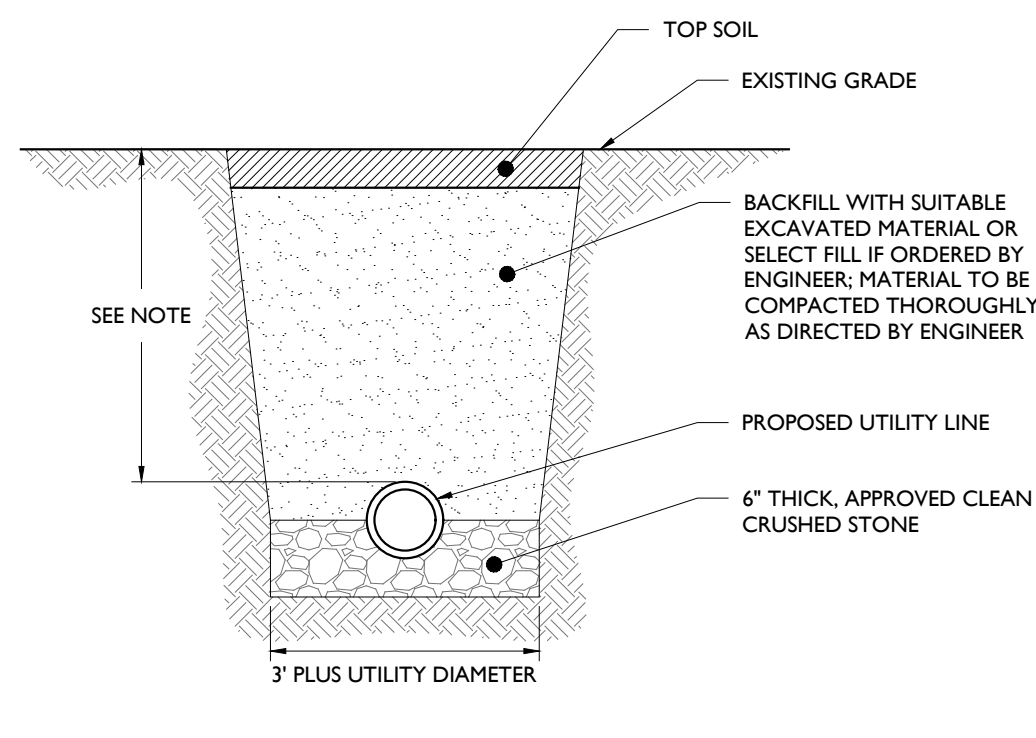
INTEGRAL CONCRETE CURB DETAIL



TRANSITION RAMP DETAIL

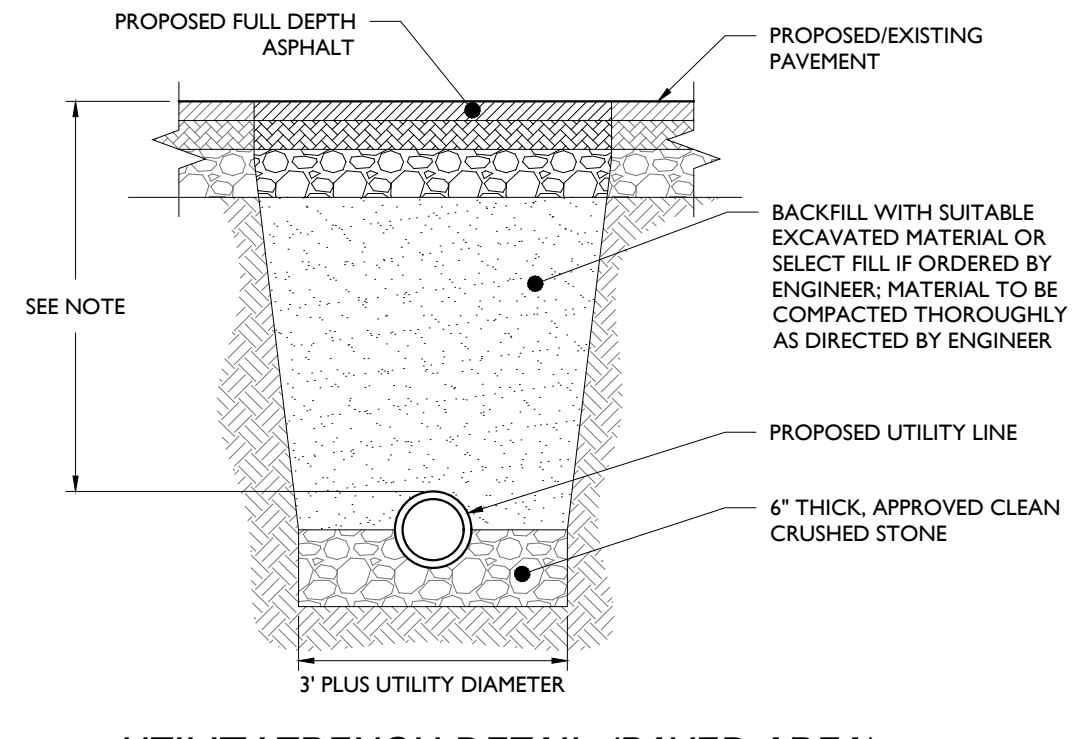


CURB RAMP DETAIL



UTILITY TRENCH DETAIL (LANDSCAPED AREA)

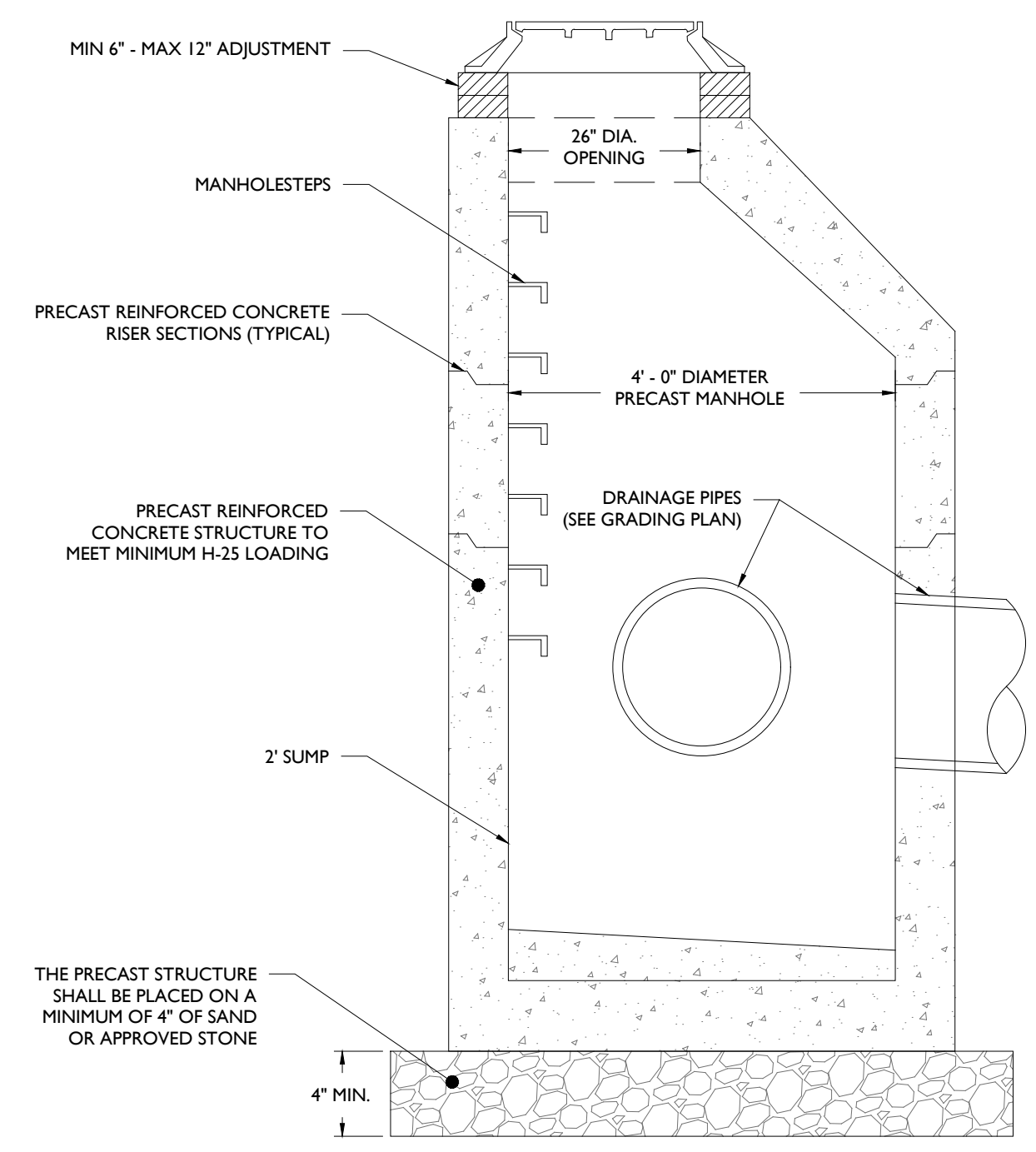
- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- WATER - 60" MIN.
  - STORM DRAIN - SEE UTILITY PLAN



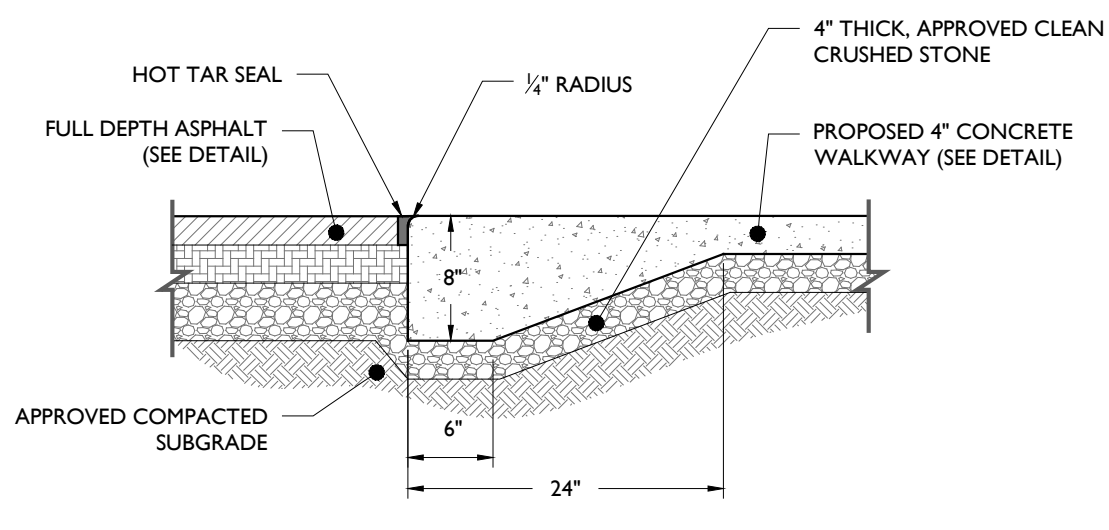
UTILITY TRENCH DETAIL (PAVED AREA)

- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- WATER - 60" MIN.
  - STORM DRAIN - SEE UTILITY PLAN

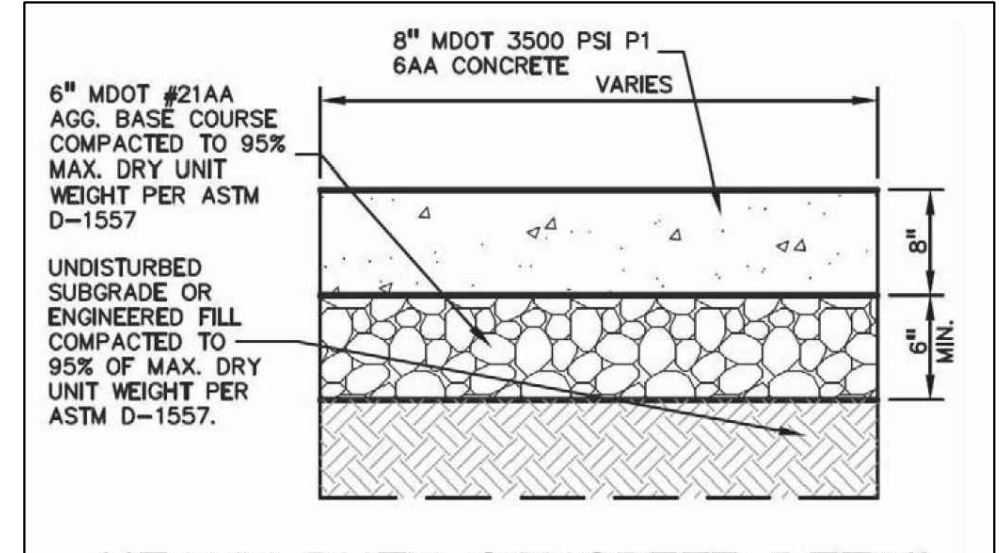
- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
  2. FRAME AND COVER TO SUPPORT MINIMUM H-25 LOADING.
  3. ALL JOINTS TO BE WATER-TIGHT.
  4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



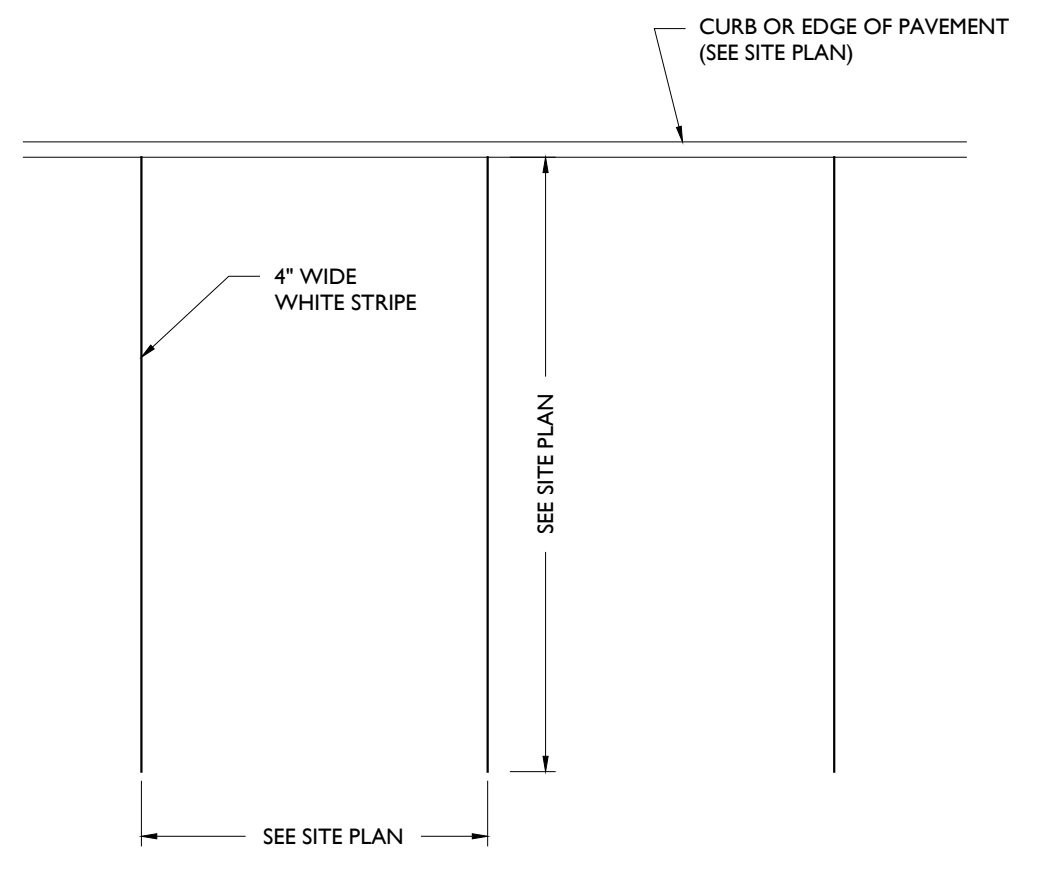
STORM CATCH BASIN DETAIL



CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL



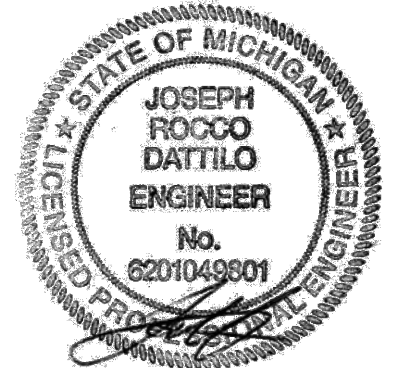
HEAVY DUTY CONCRETE DETAIL NOT TO SCALE



PARKING STALL MARKINGS NOT TO SCALE

**WHITE LAKE TOWNSHIP NOTES**

- All construction shall be in accordance with the Township's current standards and specifications.
- The Contractor shall notify the Township Engineer and/or the authority having jurisdiction, 48 hours prior to the beginning of construction.
- Contractor shall contact MISS DIG at 800-482-7171, 72 hours in advance of construction, for existing underground utility locations.
- In order to verify compliance with approved plans, full-time construction observation will generally be required during all phases of underground site construction including installation of sanitary sewer, storm sewers, drains, watermains and appurtenances as well as private street curbing and paving construction. Intermittent observations will be made for site grading, parking lot curbing and paving, retaining wall construction and other surface activity.



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 (800) 255-0222  
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**DETAILS SHEET**  
 PREPARED FOR: GREAT LAKES TACO, LLC.  
 HIGHLAND (M-59) & BOGIE LAKE ROAD, WHITE LAKE TWP., MI, 48383

NO.	REVISION	DATE	BY	DESCRIPTION
3		09.29.2021	GAE	REVISED PER REVIEW COMMENTS
2		08.02.2021	GAE	ENGINEERING SUBMISSION
00-00000				NOT TO SCALE

C8.0





TACO BELL





TACO  
BELL



TACO BELL



TACO  
BELL

