

**WHITE LAKE TOWNSHIP  
INTER-OFFICE MEMORANDUM  
COMMUNITY DEVELOPMENT DEPARTMENT**

**DATE:** October 11, 2022

**TO:** Rik Kowall, Supervisor  
Township Board of Trustees

**FROM:** Sean O'Neil, AICP  
Community Development Director

**SUBJECT: Cosmo's Car Wash  
Preliminary site plan approval**  
Property described as parcel number 12-20-276-034, located at the northwest corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.88 acres, currently zoned (PB) Planned Business.

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The preliminary site plan was considered by the Planning Commission at their regular meeting of October 6, 2022 at which time the **Planning Commission recommended approval of the preliminary site plan subject to the applicant addressing outstanding comments from the reviewers.** Please find enclosed the following related documents:

- ❑ Draft minutes of the October 6, 2022 Planning Commission meeting.
- ❑ Review letter prepared by the Township Engineering Consultant, Mike Leuffgen, dated September 27, 2022.
- ❑ Review letter prepared by the Township Staff Planner, Justin Quagliata, dated September 27, 2022.
- ❑ Review letter prepared by White Lake Township Fire Marshal, Jason Hanifen, dated September 26, 2022.
- ❑ Review letter prepared by DPS Director Aaron Potter, dated September 26, 2022.
- ❑ Site plan and elevations submitted by the applicant.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP  
PLANNING COMMISSION**

Township Annex, 7527 Highland Road  
White Lake, MI 48383  
October 6, 2022 @ 7:00 PM

**CALL TO ORDER**

**Commissioner Anderson** called the meeting to order at 7:00 PM and led the Pledge of Allegiance. Roll was called.

**ROLL CALL**

Steve Anderson  
Pete Meagher  
Debby Dehart  
Matt Slicker  
T. Joseph Seward  
Scott Ruggles  
Robert Seeley  
Merrie Carlock  
Mark Fine

Absent: None

Also Present: Sean O'Neil, Community Development Director  
Justin Quagliata, Staff Planner  
Mike Leuffgen, DLZ  
Lisa Kane, Recording Secretary

Visitors: Approximately 20 members of the public were present

**APPROVAL OF AGENDA**

**Commissioner Seeley** moved to approve the agenda of the October 6, 2022 Planning Commission Meeting.

**Commissioner Dehart** supported and the **MOTION CARRIED** with a voice vote: 9 yes votes.

**APPROVAL OF MINUTES**

- a. Regular meeting minutes of September 1, 2022

**Commissioner Meagher** moved to approve the Minutes of September 1, 2022.

**Commissioner Fine** supported and the **MOTION CARRIED** with a voice vote: 9 yes votes.

**CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)**

None

## PUBLIC HEARING

### A. Cosmo's Car Wash

Location: Property described as parcel number 12-20-276-034, located at the northwest corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.88 acres, currently zoned (PB) Planned Business.

Request: **To receive public comment on the proposed preliminary site plan for the above Planned Business zoned property, consisting of a 4,535 square foot automobile wash establishment.**

Applicant: EWM- Miller Wash, LLC  
201 East Ogden Ave, Ste #18-1  
Hinsdale, IL 60521

Applicant present: John Pellegrine of Development Management Associates and Cameron Ray, Head of Operations, EWM-Miller Wash, LLC

**Director O'Neil** clarified that the applicant is requesting preliminary site plan approval.

**Mr. Quagliata** presented the project as a car wash establishment that would have road access from the Meijer private drive. This parcel size was determined prior to the 10-acre ordinance requirement so it will not require a waiver for size. No wetland or floodplain is impacted at the site and it is a relatively flat lot. The applicant proposes 20 vacuum stations to the west of the building which will be covered by a canopy. The applicant has agreed to all engineering comments. There is a sidewalk along the Meijer private drive on the site plan that needs clarification. Public utilities are available to this site. There will be waivers requested; including the setback from Bogie Lake Road, the number of stacking spaces, window coverage for the front façade, loading space and dumpster enclosure location. The landscaping comments have been addressed. A community benefit of \$15,000 has been proposed to either the parks fund or sidewalk fund. As the applicant has agreed to address all comments, staff recommends approval.

**Mr. Leuffgen** presented the engineering review. The drive lane requirement adjacent to the handicap parking space has been satisfied. The number of stacking spaces are deficient. Details are needed for the dumpster enclosure. Clarification needed for the proposed sidewalk. Details are needed for the fire truck turning radius near the vacuum stalls. There is an area near the existing sign that will need grading for drainage. A storm water maintenance agreement is needed, whether they will fall under Meijer's or have their own agreement. A sanitary sewer oil/grit separator clarification is needed. Many of these items can be clarified on final site plan.

**Commissioner Carlock** inquired about the revised plans that were requested.

**Mr. Quagliata** stated that the revised plans have not been received yet but the applicant has committed to address all of the comments by staff.

**Mr. Pellegrine** stated that they agree to meet all of the recommendations from staff and engineering and that they are very interested in partnering with the Township.

**Commissioner Fine** inquired about water reclamation process for the car wash and how oil is contained.

**Mr. Ray** stated that there are a series of tanks in the ground that separate all the oil and grit. The first 3 tanks are pumped out every 6 months and there are oil sensors inside the tanks.

**Commissioner Slicker** inquired how this operation is different from other car wash operations in the area.

**Mr. Ray** stated that there are a greater number of attendants on site to assist customers. Attendants are highly trained and well paid, which motivates them to give high value of service to the community.

**Commissioner Dehart** inquired about the other out lot on the Meijer property and would like to see a shared driveway agreement.

**Mr. Pellegrine** stated that they have been in communications with the group considering developing that lot and they have shared the grading plan so that they can consider a plan for a shared driveway.

**Commissioner Meagher** is concerned with the community benefit.

**Mr. Quagliata** stated that the community benefit should be commensurate with the waivers requested.

**Director O'Neil** clarified that they typically consider not just the number of waivers requested, but the significance of the requested waiver.

**Commissioner Anderson** stated that a recommendation can be made at this step of the process and consideration can be modified before final site plan review.

**Mr. Ray** stated the community benefits that they intend to provide in addition to the \$15,000 would include Back to School drives, Teacher Appreciation Week, School District staff lunches, Annual Thanksgiving food drives and Annual Toys for Tots drive.

**Commissioner Anderson** inquired about the cost of the services.

**Commissioner Anderson** opened public comment at 7:32 p.m.

Ed Liker of 847 W. Oxhill Dr. is concerned about water runoff being tracked onto the road being dangerous when it ices over.

**Mr. Ray** stated that they have blowers which push the water into the water separators to reduce water run-off and the 20 feet before and at the exit concrete slabs are heated.

**Commissioner Anderson** closed public comment at 7:35 p.m.

**Commissioner Dehart** inquired when the waivers are granted.

The board deliberated the waivers that have been requested.

**Commissioner Meagher moves to forward a favorable recommendation, subject to the applicant addressing all of the staff and consultant comments and recommendations to the Township Board, the preliminary site plan for the property described as parcel number 12-20-276-034, located at the northwest corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.88 acres, currently zoned (PB) Planned Business.**

**Commissioner Seeley supported, and the MOTION CARRIED with a roll call vote (9 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seeley/yes, Seward/yes, Slicker/yes, Ruggles/yes)**



**B. Black Rock**

Location: Property described as parcel number 12-23-129-018, located south of Highland Road and east of White Banks Blvd, consisting of approximately 1 acre. Currently zoned as (GB) General Business.

Request: **Preliminary Site Plan Approval**

**Special Land Use Approval- The applicant is requesting to construct a restaurant with outdoor dining.**

Applicant: Black Rock White Lake, LLC

30553 S Wixom Road #300

Wixom, MI 48393

Applicant present: Wayne Perry with Design Engineering and Lonny Morganroth, owner of Black Rock

**Director O'Neil** clarified that the lot size is 2.7 acres, not 1 acre as indicated on the agenda. The driveway location on M59 may require a variance due to proximity to White Banks Blvd. A right lane deceleration taper on eastbound M59 has been indicated by the applicant's traffic engineer. The building materials will be presented at the final site plan review. The window percentage on the west façade is deficient by a small amount. The landscaping will be addressed at final site plan review. The number of parking spaces has been reduced to 128 spaces, due to the reduced size of the building. A sign variance would be requested for the location of the digital area of the proposed sign. The proposed sign on the east wall would require a variance. The door handles will not require a variance as they fall under incidental signage. Outdoor seating requires a special land use approval by the Commission. The hours of operation will need to meet the ordinance, the applicant has not indicated what hours they would be requesting. The lighting plan was revised to reduce the impact on the neighbors. No additional parking is needed for the outdoor seating. Staff recommendation for approval is subject to meeting all comments in the staff review letter and obtaining any necessary variances.

**Commissioner Seeley** inquired if they could reduce the number of parking spaces and still be within tolerances for the ordinance.

**Director O'Neil** stated that they could, however the applicant indicated that they believe they will need all of the spaces on the plan during weekends, holidays and special events. The applicant moved secondary access further north to accommodate the neighbors' request. Employees would be parking in the lot furthest from the door which reduces the noise in that area.

**Mr. Leuffgen** presented the engineering review. This site plan demonstrates engineering feasibility for this level of plan submittal. The storm sewer will require a permit from M-DOT to outlet into the road right of way. The site utilizes underground detention storage for storm water. There are possible contamination tanks near the Speedway. Environmental reports have been presented indicating no contamination impacting this site. Engineering is committed to reviewing the site to make sure there are no adverse impact on adjacent properties.

**Commissioner Carlock** inquired how many parking spots over what is required by the ordinance.

**Director O'Neil** stated there were 31 parking spots over the requirement of the ordinance.

**Mr. Perry** responded on behalf of the owner of Black Rock White Lake. MDOT has responded that the entrance on M59 has to move about 50 feet to the west, which will align with the convenience store across the street. They anticipate approval for the storm water drainage to drain to M59. Due to the utility easement on the southern property line, they are not able to plant any landscaping in that area. At the

request of staff, they have lowered the lights and have them facing the restaurant so that they will not impact the residences.

**Commissioner Seeley** inquired if the lighting continues around the parking lot.

**Mr. Perry** stated that it does.

**Commissioner Carlock** inquired if some parking spaces could be removed to increase landscaping.

**Mr. Perry** stated that the Black Rock restaurant has a high volume of customers at the end of the week and the weekend and they will need to utilize all of the parking spaces indicated on the plan.

**Director O'Neil** inquired about the revision to the parking lot with the entrance moving west on M59.

**Mr. Perry** presented an updated site plan which indicates the change to the entrance and parking spaces. The handicap spaces move to the curb and closer to the front door, which is a better location for them.

**Commissioner Ruggles** inquired about the entrance shift on White Banks Blvd. to the north and noted that it appears they have made effort to accommodate the residents.

**Commissioner Slicker** inquired about a line on the west side of the rear parking indicated on the site plan.

**Mr. Perry** stated that it is an existing retaining wall that belongs to the neighbors, which is encroaching on their property.

**Commissioner Anderson** opened public comment at 8:19 p.m.

**Dan Torossian** of 844 E. Oxhill is concerned about the entrances on M59 and on White Banks Blvd.

**Brenda** of 232 Cranberry Beach is concerned about traffic to get into her home and would like a traffic light.

**Heather Emerson** of 846 W. Oxhill is concerned about traffic and believes a traffic light would alleviate much of the problem. Ms. Emerson would like to see less parking spaces and would like to see a "no outlet" sign on White Banks Blvd. She is also concerned about the possibility of outdoor speakers, what the hours would be and if they would play music or just be for announcements.

**Bill** of 232 Cranberry Beach is concerned about storm water run-off during winter with snow removal.

**Christopher Emerson** of 846 W. Oxhill is also concerned about traffic coming into his neighborhood and the peninsula of parking near the residences.

**Ed Liker** of 847 W. Oxhill Dr is concerned about traffic on M59 and the weeds being maintained between the retaining wall and privacy fence.

**Lois Demers** of 860 W. Oxhill Dr would like to see the parking spaces removed so they are not next to the residential lot.

**Theresa Bismack** of 548 E. Oxhill Dr. is concerned about traffic as well and would like to see a traffic light at this location.

**John Hunt** of 871 Oxhill Dr would like to speak with Mr. Perry. He is very concerned about the grading next to his house where the parking lot will be and does not want to have the parking lot next to his property.

**David Youngquist** of 669 Robar Circle doesn't believe this restaurant will be successful at this location.

**Debbie Torossian** of 844 E. Oxhill inquired if there is a screen wall at the end of the parking area, where the location of the dumpster will be and about the lighting plan. She also inquired if there has to be two entrances.

**Director O'Neil** addressed the lighting and stated that no outdoor speakers are allowed. The Township has no authority over traffic lights on M59, only MDOT can authorize a new traffic light and encouraged the residents to appeal to MDOT to consider a traffic light at that location.

**Commissioner Anderson** closed public comment at 8:48 p.m.

**Mr. Perry** addressed the storm water and snow melt retention on the site, acknowledged the drainage challenges and stated that they propose to raise the site and have it slope inwards towards the drain for the underground detention. Under the parking lot will be a large, underground detention infiltration system. The dumpster location is near the building, not in the south parking lot, and parking islands are a requirement of the ordinance.

**Mr. Morganroth** founder of Black Rock is a Lakeland High School graduate and is happy to bring this restaurant home. Mr. Morganroth purchased the property in 2002 and removed the dilapidated building years ago. He believes that the restaurant will be successful at this site and stated that he gives back to the community where they have restaurants. They will have 150 employees.

**Commissioner Anderson** thanked Mr. Morganroth for speaking.

**Commissioner Carlock** inquired about the second entrance on White Banks and if it was eliminated would it change the location of the parking spaces.

**Director O'Neil** stated that a traffic engineer would need to address the issue.

**Commissioner Seeley** stated that the second entrance could keep traffic from entering the neighborhood looking for the entrance to the restaurant.

The board deliberated the two proposed entrances to the restaurant.

**Director O'Neil** stated that the "no outlet" sign on White Banks Blvd. was an excellent idea and encourages the residents to request that of the Road Commission, and the Township will request it as well.

**Commissioner Carlock** inquired about "no parking" signs on White Banks Blvd.

**Director O'Neil** stated that the Road Commission would need to address that request and that it is a long process that involves the Michigan State Police.

**Commissioner Seward moved to approve the Special Land Use subject to all staff and consultant review comments being addressed and obtaining approval of final site plan approval for the property described as parcel number 12-23-129-018, located south of Highland Road and east of White Banks Blvd, consisting of approximately 1 acre. Currently zoned as (GB) General Business.**

Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (9 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seeley/yes, Seward/yes, Slicker/yes, Ruggles/yes)

Commissioner Meagher moves to forward a favorable recommendation, subject to the applicant addressing all of the staff and consultant comments and recommendations, upon Zoning Board of Appeals approvals and posting that the parking area known as “the leg” will be posted as Employees Only, to the Township Board, the preliminary site plan for the property described as parcel number 12-23-129-018, located south of Highland Road and east of White Banks Blvd, consisting of approximately 1 acre. Currently zoned as (GB) General Business.

Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (7 yes votes): (Anderson/yes, Dehart/no, Carlock/no, Fine/yes, Meagher/yes, Seeley/yes, Seward/yes, Slicker/yes, Ruggles/yes)

#### CONTINUING BUSINESS

None

#### NEW BUSINESS

None

#### OTHER BUSINESS

##### A. New Hope Landscape Reduction Request

Applicant present: Rumi Shahzad of New Hope White Lake, LLC

**Director O’Neil** stated Site Plan for this approval was granted in July of 2020. This request for modification will need to be forwarded to the Township Board for approval as it will necessitate an amendment to the Planned Development Agreement.

**Mr. Shahzad** addressed the request to scale back the overall landscaping of the project, noting that there are large forested areas on the site which remain natural area. They accommodated a request of one neighbor who could see the building from their home and installed a fence. Mr. Shahzad proposes that the current, existing trees and the new landscaping be adequate as built.

**Director O’Neil** stated there are three options: approve this request as it is, deny the request and have him add the trees or suggest something else.

**Commissioner Anderson** inquired what landscaping is lacking.

**Director O’Neil** stated the deficiency is in the courtyard area and all screening landscaping has been provided.

The board deliberated the landscaping deficiencies and if variances were granted.

**Rick Brown** of 8159 High Point Trail shared that he is a nearby resident and his sister will be a resident of New Hope White Lake. Mr. Brown would like to see the facility open soon.

Commissioner Carlock moves to forward a favorable recommendation to the Township Board to allow a general 40% reduction in landscaping that the landscaper and land owner find most useful and subject to administrative review.

Commissioner Seeley supported, and the MOTION CARRIED with a roll call vote (9 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seeley/yes, Seward/yes, Slicker/yes, Ruggles/yes)

B. Master Plan Update

Director O'Neil presented a brief update on the RFP for the Master Plan. Seven firms were sent Request for Proposals and 2 firms have responded. They will present to the Planning Commission at the next meeting.

**LIAISON'S REPORT**

Commissioner Ruggles stated that the Township Board approved the Capital Improvement Plan. The Road Commission of Oakland County has approved the potential road design entrance to the new Town Hall on Elizabeth Lake Road. The Board also approved DLZ to do the engineering for the project.

Commissioner Dehart reported that the Zoning Board of Appeals states that the sign ordinance needs to be discussed.

Commissioner Carlock reported that they are working on the 5-year Parks & Rec plan. They will be meeting with the National Park Service regarding threatened and endangered species. Trunk or Treat next Saturday.

**DIRECTOR'S REPORT**

None

**COMMUNICATIONS**

**NEXT MEETING DATES:** October 20, 2022  
November 3, 2022

**ADJOURNMENT**

Commissioner Fine moved to adjourn the meeting at 9:53 PM  
Commissioner Carlock supported and the MOTION CARRIED with a voice vote: 9 yes votes



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

September 27, 2022

Sean O' Neil  
Community Development Department  
Charter Township of White Lake  
7525 Highland Road  
White Lake, Michigan 48383

**RE: Cosmo's Car Wash- Preliminary Site Plan Review – 2<sup>nd</sup> Review**

Ref: DLZ No. 2245-7382-08

Design Professional: Kimley-Horn of  
Michigan, Inc.

Dear Mr. O' Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated August 30, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

### **General Site Information**

This 1.881 acre site is located at the northwest corner of M-59 and Bogie Lake Road.

### **Site Improvement Information:**

- Construction of an approximately 4,535 sf manned car wash.
- Associated paved and curbed parking area, including an ADA parking space.
- Water and sanitary sewer service.
- Storm water management facilities.

The following items should be noted with respect to Planning Commission review:

Note that comments from our review letter dated July 13, 2022 are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

- Plan shall be sealed and signed by a State of Michigan Registered Professional Engineer. **Comment addressed.***
- A barrier free ramp placed next to the ADA parking space shall be required within the sidewalk that is proposed adjacent to the building. Note that 7' wide sidewalk adjacent to building shall be raised*

*sidewalk.* **Comment addressed. A barrier free ramp is now shown on plan. Design engineer states that the 7' wide sidewalk adjacent to the building shall be a raised sidewalk.**

- c) *ADA parking space shall be van accessible per Zoning Ordinance 5.11. O.iii. In addition, we recommend the proposed ADA space be relocated further north as the current location may present a safety hazard to ADA loading and unloading; the exit only lane is adjacent to the ADA loading area and drivers exiting the vacuum area through the exit only lane may either cut into the loading area or not see loading or unloading activities due to view obstruction from van type vehicles parked in the ADA space. We defer to Township Planning on the proposed 12' dimension for the exit only lane as typically 20' lanes are required.* **Comment partially addressed. The ADA space and associated loading area are now dimensioned for van accessibility per Township Zoning Ordinance. The space has also been located further north, and a curbed section has now been added between the loading area and the Exit Only Lane. We continue to defer to Township Planning on the proposed 12' dimension for the exit only lane as typically 20' lanes are required.**
- d) *Show drive thru stacking spaces and number requirement on plan per Zoning Ordinance 5.11. M.i. Additionally, stacking spaces shall be 9' wide and 20' long per Zoning Ordinance 5.11.M.i.e.* **Comment partially addressed. Stacking spaces per Ordinance are now shown; however, only 31 of the 35 required stacking spaces are shown. We defer to the Township regarding whether a variance shall be required for the 4 stacking spaces that cannot be provided.**
- e) *Additional details regarding the dumpster enclosure shall be required as outlined in Zoning Ordinance 5.19.N.i. a-d. Detail shown on architectural drawing is insufficient.* **Comment partially addressed. Items a.-c. of Zoning Ordinance 5.19.N.i. have been provided; however, Item d. details have not been shown on Site Plan Sheet C1.0 as indicated by the design engineer in their response letter.**
- f) *Show construction of northern sidewalk to western property line.* **Comment partially addressed; it now appears that the applicant is proposing sidewalk along the entire south side of Meijer Drive. Please clarify.**
- g) *Referencing Key Note 3 on Site Plan Sheet C1.0, dual parking lot striping is required per Zoning Ordinance 5.11.Q. xi.* **Comment addressed. Detail has now been provided on Sheet C6.0.**
- h) *The three proposed parking spaces to the north indicate there will be three employees maximum on site at one time. Is this number accurate and does it include persons drying vehicles after they exit the car wash? Does this number include on site management?* **Comment addressed. Parking space number has been updated and shown to reflect accurate number of onsite employees.**
- i) *Provide fire truck turning radii plan that also demonstrates ingress, internal circulation, and egress of fire trucks on the site.* **Comment partially addressed. A Fire Truck Exhibit Plan has been provided showing the required movements of a 40' long truck. DLZ notes that the movement requires the truck to traverse a "Compacted Gravel" section between mountable curbs from the stacking lane and the vacuum area. Please provide additional details regarding the "Compacted Gravel" cross section on the Construction Detail Sheet as referenced on the plans.**
- j) *Add note to plan indicating that applicant/ owner shall repair and /or clean up (a lot of grass growing in between existing sidewalk slabs) any of the existing sidewalks located along property frontages.* **Comment addressed. A note has been added to the plan.**
-

- k) *Show pre versus post development storm drainage that is being routed to the existing storm sewer structure near the corner of Highland Road and Bogie Lake Road. **Comment outstanding. Provide estimated pre- and post -development Q values. In addition, remove all references on this sheet (C4.0) to 13 Mile Road.***
  - l) *It is recommended that the low area adjacent to the existing Meijer sign be regraded (in cooperation with Meijer) for positive drainage. **Comment remains. Design engineer indicates that they have discussed this item with Meijer and have received approval to do the regrading. A written agreement or written permission from Meijer will be required prior to FSP/FEP approval.***
  - m) *The proposed sanitary sewer pipe diameter shall be required to be 8" diameter (8" required if pipe length > 150'). **Comment partially addressed. An 8" diameter pipe is now indicated; however, remove reference to 6" diameter pipe from S1 to Ex. MH on Sheet C3. 0.***
  - n) *The applicant will need to provide information detailing whether this site falls under the Meijer Storm Water Management Facilities Easement, Maintenance Agreement and Lien document or if a new agreement will be required for this development. Likely a new agreement will be required and supporting exhibits will need to be provided. **Comment remains. Design engineer indicates this will be done at time of FSP/FEP submittal.***
  - o) *The plans for the retention basin east of Bogie Lake Road do not show any form of pretreatment; Township engineering design standards require pretreatment of stormwater prior to release to a detention or retention basin therefore pretreatment will need to be provided at the site prior to release to the existing storm system. **Comment addressed. A Contech pretreatment structure is now proposed prior to discharge of storm water to the existing storm sewer system.***
  - p) *Clarification on the water reclaim system will be required along with coordination with White Lake Township DPS and Oakland County WRC regarding the potential need for an additional external 1000-gallon oil/grit separator; a 4' diameter sampling MH located downstream of the oil/sand separator shall also be provided. **Comment partially addressed. An oil/grit separator has now been provided but the volume will need to be specified. A monitoring manhole has now been provided downstream of the oil/grit separator. We continue to note that clarification on the water reclaim system will be required with White Lake Township DPS and Oakland County WRC.***
  - q) *The diameters of the two existing storm sewer stubs as shown on the survey sheet shall be verified. Our records indicate stub pipe diameters of 15". **Comment outstanding. Design engineer notes that they are in the process of having their surveyor confirm pipe size.***
  - r) *We defer to the Township Fire Department regarding hydrant coverage. **Comment remains.***
  - s) *ADA parking spaces will need to meet ADA standards in terms of slopes and dimensions; further details will be required at the time of Final Site Plan/Final Engineering Plan submittal. **Comment remains.***
  - t) *Preliminary grading of the site has been proposed and demonstrates general drainage patterns; additional grades for greenspace areas will be required at time of Final Site Plan/Final Engineering*
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*Plan review to ensure positive drainage on entire site. Comment remains. In addition, details regarding the proposed retaining walls shall be provided on the FSP/FEP.*

- u) We note that the proposed curb type has been revised to a MDOT Type E curb which does not include an integrated gutter. This is not recommended when water will be collected and conveyed along the curb line which appears to be the intent with this plan set. DLZ recommends revising curb type to a MDOT Type C or F curb with an integrated gutter pan.

### Recommendation

The revised plan submittal addressed many of our previous comments however there are several items that require further clarification prior to DLZ recommending approval. To help facilitate our review of the revised, resubmitted plan, please provide a response letter addressing the above comments.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan



Michael Leuffgen, P.E.  
Department Manager



Victoria Loemker, P.E.  
Senior Engineer

Cc: Justin Quagliata, Community Development, *via email*  
Hannah Micallef, Community Development, *via email*  
Aaron Potter, DPS Director, White Lake Township, *via email*  
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

# WHITE LAKE TOWNSHIP PLANNING COMMISSION

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Planning Commission

**FROM:** Sean O'Neil, AICP, Community Development Director  
Justin Quagliata, Staff Planner

**DATE:** September 27, 2022

**RE:** Cosmo's Car Wash  
Preliminary Site Plan – Review #2

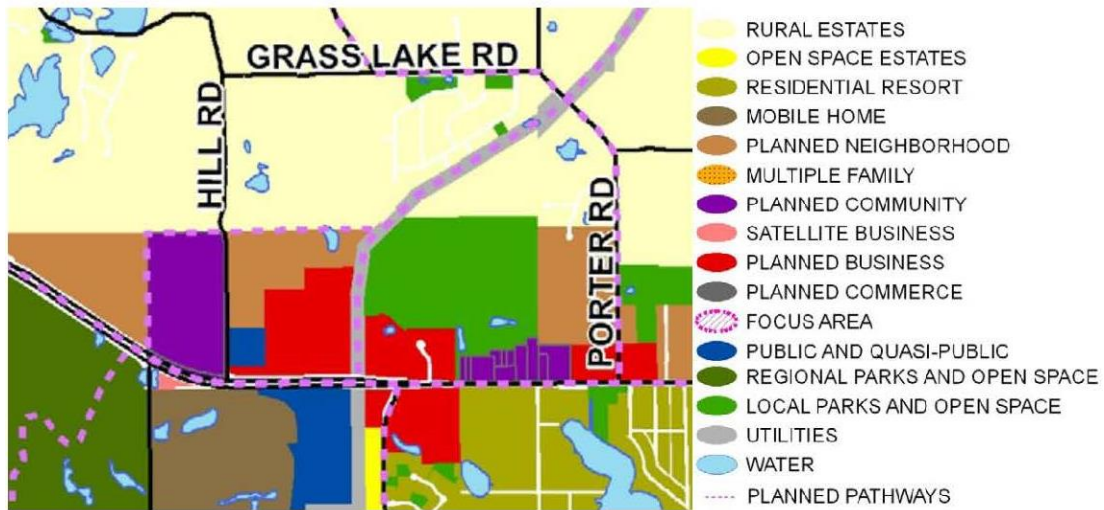
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EWM-Miller Wash, LLC has requested preliminary site plan approval to construct an approximately 4,535 square foot automobile wash establishment (the building dimensions shall be labeled on the site plan and the exact square footage provided) (**Comment partially addressed. Building dimensions have been added to the site plan. The ± symbol before the building square footage shall be removed**) on Parcel Number 12-20-276-034 (the parcel number shall be provided in the title on the Coversheet and in the title blocks on Sheets C1.0, C2.0, C3.0, L1.0, and L2.0). (**Comment addressed. The parcel number has been added to the title on the coversheet and title block**). The 1.88-acre subject site is a Meijer outlot, zoned PB (Planned Business), and located at the northwest corner of Bogie Lake Road and Highland Road (M-59). A legal description of the property shall be provided on the Coversheet. (**Comment addressed. The legal description has been added to the Coversheet**). Furthermore, the site plan shall be sealed by the civil engineer who prepared the plans (only Sheet C1.0 is sealed on the two submitted hard copies of the plan set; a seal is not provided on the digital plans submitted electronically). (**Comment partially addressed. The site plan has been sealed by an engineer. However, original (wet) seal and signature are required**). Similarly, the building elevations shall be sealed by the registered architect who prepared the plan. (**Comment partially addressed. The elevations have been signed and sealed by the registered architect who prepared the plan. However, original (wet) seal and signature are required**).

*Master Plan*

The Future Land Use Map from the Master Plan designates the subject site in the Planned Business category. All development in Planned Business is required to adhere to strict access management principles in order to minimize traffic conflict and maximize safety throughout the M-59 corridor. Connections to and segments of the Township community-wide pathway system are required as an integral part of all Planned Business development.

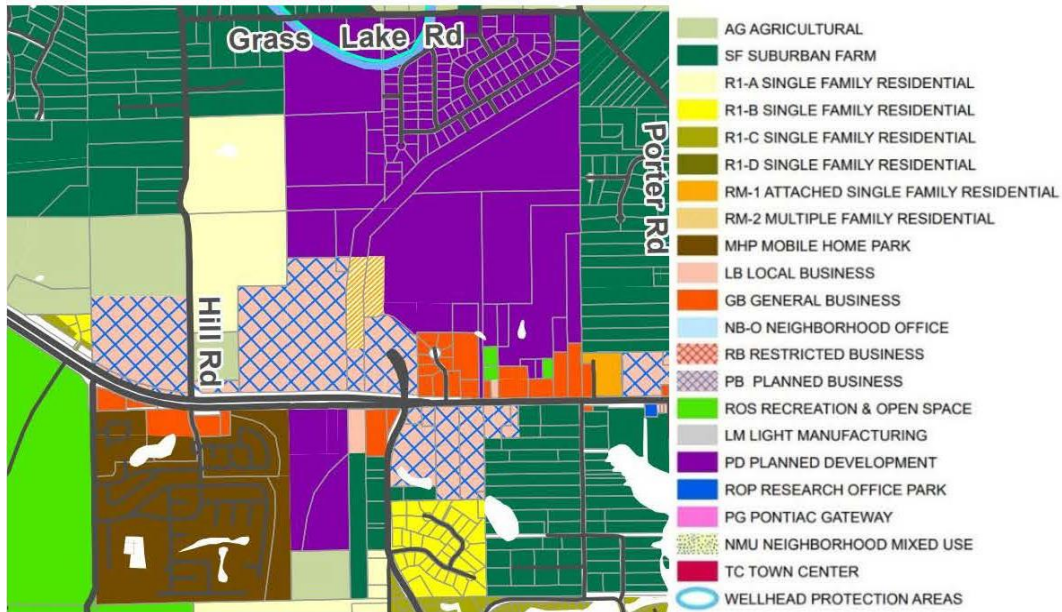
**FUTURE LAND USE MAP**



*Zoning*

Automobile wash establishments are principal permitted uses with site plan review and approval in the PB zoning district. A minimum lot area of 10 acres is required in the PB District (the PB district does not have a minimum lot width requirement). The subject site contains 194.53 feet of frontage along Highland Road (south), 383.91 feet of frontage along Bogie Lake Road (east), 170.11 feet of frontage along the Meijer private drive (north), and 1.88 acres of lot area. While the lot area does not meet the minimum requirement, the Meijer outlots were contemplated at the time of the initial development. A waiver from the minimum area requirement is not necessary.

## ZONING MAP



### *Physical Features*

Currently the site is undeveloped. The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetland Map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map indicate neither wetlands nor floodplains are present on or near the site.

### *Access*

The Meijer Development Agreement prohibits any outlot from having direct access and/or a curb-cut onto Highland Road (M-59). A proposed driveway to the Meijer private drive would provide access to the site. Two-way undivided driveways shall have a throat width of 25 feet. **The throat width shall be increased by one foot, from 24 feet to 25 feet** (throat length is the distance parallel to the centerline of a driveway from the public or private road right-of-way or access easement to the first on-site location at which a driver can make a right-turn or left-turn). **(Comment outstanding. See comment on following page regarding gutter pan).**

While the access arrangement proposed could serve the site, the Applicant shall work with a developer who submitted a concept plan for the yet to be divided Meijer outlot to the west of the subject site. A preliminary site plan for the neighboring property may be submitted in September. **A shared driveway/between-site service drive shall be planned and generally parallel the subject site's west property line.** (Comment outstanding. The Applicant is coordinating with a potential developer of the neighboring site on a shared driveway). The shared driveway/between-site service drive may straddle the property line to facilitate the most effective shared use of the drive, the sharing of construction and maintenance costs between involved property owners, and the minimization of impervious surfaces in a developing area. **An access easement ensuring cross-access rights for the general public shall be provided, in addition to a written agreement between the involved property owners assigning responsibilities for construction and long-term maintenance.** (Comment remains as a notation).

**All dimensions for drive widths and vacuum bay/parking space depth shall be revised. The site plan measures drive widths to the face of curb; road measurement surface is taken between the edges of the gutter pan (drive width shall be provided between the edges of the gutter pan). Furthermore, gutter pan shall not be included in the measurement of parking space depth.** (Comment outstanding. MDOT Type E concrete curb is proposed throughout the site, which is unacceptable. A curb type with integrated gutter pan shall be provided. Revise the plans and address the comment regarding road surface measurement and parking space depth accordingly.) **General Note 1 on the site plan shall be revised accordingly.** (Comment outstanding. See previous comment).

The zoning ordinance requires a minimum six-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along the Bogie Lake Road property frontage, and a minimum eight-foot-wide sidewalk along the Highland Road property frontage. Sidewalks along the aforementioned frontages were constructed by Meijer at the time of the initial development **(the widths of the existing sidewalks shall be dimensioned on the site plan).** (Comment addressed. Existing sidewalk widths are dimensioned on the site plan). **The Applicant shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road, as determined by the Township Engineering Consultant.** (Comment remains as a notation).

**A six-foot-wide sidewalk is required along the Meijer private drive. The site plan shows a proposed sidewalk (the width shall be dimensioned on the plan) extending partially across the northerly frontage; the concrete sections shall be constructed through the driveway to the west property line.** (Comment partially addressed. The proposed sidewalk has been dimensioned along the Meijer private drive. While the concrete walk has been extended to the west property line, the site plan shows the sidewalk being constructed offsite along the south side of the Meijer private drive. The Applicant shall clarify the extent of sidewalk construction).

### *Utilities*

Municipal water and sanitary sewer are available to serve the site. The Township Engineering Consultant will perform an analysis of utilities, stormwater, and grading to ensure compliance with all applicable ordinances as well as the Township Engineering Design Standards.

### **Staff Analysis**

When reviewing the preliminary site plan, the Planning Commission should consider if the project meets the design standards for Planned Business developments found in Article 6, Section 7 of the zoning ordinance, the appropriateness of the requested waivers, and the site standards and development procedures for a PB development as outlined in Articles 5 and 6, respectively, of the zoning ordinance.

The Planned Business development review process is summarized by the following steps:

1. **Preliminary Site Plan:** During this review, the site layout and use(s) are established, the amount of open space is determined, and other project details are decided upon. The Planning Commission holds a public hearing, reviews the PB proposal, and makes a recommendation to the Township Board. The Township Board takes final action, approving or denying the preliminary site plan.
2. **Final Site Plan:** At this time building materials and colors, landscaping, and outdoor lighting are finalized and all conditions of preliminary site plan approval must be satisfied. The Planning Commission reviews and takes action to approve or deny the final site plan, and also reviews the proposed Development Agreement and makes a recommendation to the Township Board.
3. **Development Agreement:** Upon recommendation by the Planning Commission, the Township Board takes final action on the Development Agreement.

The following standards for automobile wash establishments found in Article 4, Section 11 of the zoning ordinance must also be utilized:



- A. *Buildings shall be set back sixty (60) feet from the existing or proposed right-of-way line. **Based on the dimension labeled on the site plan, the proposed front yard setback from the east property line is 50.6 feet (the setback listed in the Provided column in the Site Data Table shall be revised (approximations prohibited)) (Comment addressed. The Site Data Table has been revised); therefore, a waiver is required. (Comment remains as a notation. A 9.4-foot waiver is required). Furthermore, the three other setbacks listed in the Provided column are also incorrect and shall be revised; setbacks are measured from the closest point of a building to the property line (approximations prohibited). (Comment partially addressed. The setback listed as provided from the Meijer private drive is 152 feet. The site plan shows 144.1 feet to the building corner. Revise for consistency). In addition to being listed in the aforementioned table, all setback dimensions shall be labeled on the site plan. (Comment addressed. All building setback dimensions have been labeled on the site plan). The Site Data Table shall also be revised to identify the two side setbacks as frontages. (Comment addressed. The Site Data Table has been revised). The Required column in the aforementioned table is also incorrect and shall be revised; the required setback from Bogie Lake Road and the Meijer private drive is 60 feet, not 50 feet. (Comment addressed. The Site Data Table has been revised). Per the Meijer Development Agreement, the Highland Road setback requirement for this outlot is 75 feet, not 50 feet as listed in the Site Data Table nor 60 feet as prescribed in the zoning ordinance. (Comment addressed. The Site Data Table has been revised).***
- B. *Entrance and exit drives shall be no less than one hundred (100) feet from any street intersection and at least two hundred (200) feet from any residential district. The nearest street intersection (Bogie Lake Road and Meijer private drive – to the east) is approximately 122 feet from the proposed driveway. Additionally, the proposed driveway exceeds the minimum 200-foot setback from a residential zoning district.*
- C. *Waiting spaces shall be provided in an amount equal to seven (7) times the maximum automobile capacity within the building. No vehicle shall be permitted to wait or stand within a dedicated right-of-way. **The site plan shall show nine-foot-wide and 20-foot-long stacking/waiting spaces, and an Off-Street Parking Requirements table shall be provided on the site plan showing the required and proposed stacking spaces and employee parking. (Comment addressed. However, only 31 of the 35 required stacking spaces are provided. A four-space waiver is required).***
- D. *The site shall be drained so as to dispose of all surface water in such a way as to preclude drainage of water onto adjacent property or heavy tracking onto a public street. A combination of alternatives may be used, including, but not limited to, blowers, hand-drying, length of exit drive and general site design. The Community Development Department defers to the Director of Public Services and Township Engineering Consultant on the stormwater management plan for the site.*

- E. *The site plan shall detail the location of all proposed vacuum stations. These areas shall be located so as not to conflict with any required parking, drive, or automobile standing areas. Self-contained, covered waste receptacles shall be provided at each proposed vacuum station to provide convenient disposal of customer refuse. Vacuum bays/stations (quantity: 21) are located west of the building (21 spaces – 14 feet by 20 feet in size); **however, waste receptacles for each vacuum station are not shown. A note shall be added to the site plan stating waste receptacles are mounted at each vacuum station. (Comment outstanding). Trash receptacles are required to be of commercial quality and complement the building design and style. A trash receptacle detail shall be provided at final site plan. (Comment remains as a notation).*** The zoning ordinance states no noise, as measured from a property line, exceeding 70 dB(A) from 6:00 a.m. to 9:00 p.m. or 65 dB(A) from 9:00 p.m. to 6:00 a.m. shall be emitted. The Planning Commission may require a predictive noise analysis be submitted to demonstrate noise levels for the site will not exceed the performance standards. **Staff recommends reducing the number of vacuum stations by eliminating the westerly nine vacuum bays. (Comment remains as a notation. One vacuum station from the easterly bay has been eliminated. The response letter provided to the first review indicates the carwash operator will provide vacutech elevations once finalized with the equipment vendor).**
- F. *An outdoor lighting plan shall specify the type of fixtures to be used, light intensity, and method of shielding the fixtures so that light does not project onto adjoining properties or on any public or private street or right-of-way. Dropped fixtures shall not be allowed. The site plan shall include a photometric plan and catalog details for all proposed fixtures. Outdoor lights must meet the performance standards of Section 5.18. Information on site lighting will be provided and reviewed in detail during final site plan. **(A photometric plan was included with the latest submittal. See Pages 15 and 16 of this review).***
- G. *A screen wall or obscuring fence shall be provided on those sides abutting a residential district, in accordance with the provisions of this Ordinance. The site does not abut a residential district.*

#### *Building Architecture and Design*

In accordance with the M-59 architectural character requirements, exterior building materials shall be comprised primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass, or equivalent materials. Buildings should be completed on all sides with acceptable materials (consideration should be given to the side and rear facade design as all sides of the proposed building are visible from a street). The proposed materials for the 30-foot-tall building are a mix of EFIS (exterior insulation finishing system), Trespa ventilated facade system, brick (likely veneer – not specified on the building elevations **(this clarification shall be made)**) **(Comment outstanding. No information on the brick type has been provided)**, split-face concrete masonry unit (CMU), and metal copings, trims, and canopies. **The building materials do not meet the architectural requirements of the Township, and the building is not designed to create a pleasing appearance. CMU, EFIS, and the Trespa facade system are not considered high-quality materials. (Comment addressed. The aforementioned materials are no longer proposed).**



**Seventy (70) percent of all elevations of the building should be covered with some type of brick or cultured stone product. (Comment addressed. Material calculations have been provided on the building elevations showing a majority of the building is finished with glass, brick, and stone. Detailed information on the brick and stone shall be provided at final site plan). The currently proposed color scheme of the building should also be revised; black and grey building material colors are not compatible with or complimentary to the architectural character of surrounding buildings in the Meijer PB district. A brown/tan/taupe color scheme should be utilized on the building. (Comment addressed. An earth tone color scheme is proposed for the building). If any of the Trespa facade system is proposed on the revised building elevations, the color shall be revised to complement the brick and/or stone product utilized. The blue color is considered a sign, which would not be allowed on other buildings in the Township. (Comment addressed. The blue Trespa facade system is no longer proposed).**

**The color of the tile (it appears to be orange) shall be clarified. A neutral color tile shall be provided.**

**All buildings shall have windows at eye level covering at least 30 percent of the front facade (north, south, and east elevations of the building). The building elevations shall be revised to provide the required windows, and a window coverage calculation shall be provided in the materials table on the building elevations. (Comment addressed. However, the south facade has 29% window coverage. Therefore, a 1% waiver is required).**

**No overhead doors shall face the street, unless approved by the Planning Commission based upon a finding that the door is recessed back from the front facade and properly screened from public view. The overhead doors are not recessed back from the other portions of the facade; the plans shall be revised to achieve such recession. (Comment addressed. The carwash overhead doors are recessed anywhere from approximately two and no more than five feet back from the front (north and south facades). Additionally, the Planning Commission must determine if the overhead doors are properly screened from view; the doors should not be visible from the adjacent roadways. (Comments remain as a notation).**

**A sample board of building materials to be displayed at the Planning Commission meeting and elevations in color are required by the zoning ordinance and must be submitted at final site plan. Additionally, the address (street number) location shall be shown on the building. Six-inch-tall numbers visible from the street shall be required. The address location is subject to approval of the Fire Marshal. (Comments remain as a notation).**

### *Parking*

In addition to the required stacking spaces (which must be provided as described on Page 5 of this review), one parking space per each employee (working on the largest shift) must be provided. Three standard parking spaces are proposed north of the building. **The Applicant shall verify the number of employees working on the largest shift and provide this information on the Off-Street Parking Requirements table (which must be provided as described on Page 56 of this review).** (Comment partially addressed. The response letter provided to the first review indicates there will be four employees on site during the largest shift. An additional parking space has been added. However, the Site Data/Off-Street Parking Requirements table shall be updated to list four standard spaces in the Required column).

**The zoning ordinance requires each individual parking space be delineated by dual stripes, two feet apart centered on the dividing lines and painted white. The site plan shall be revised to indicate the required striping. Additionally, a parking stall striping detail shall be provided for the barrier-free space and access aisle as well as the standard space.** (Comment partially addressed. Dual striping has been indicated on the site plan. However, the standard parking stall striping detail on Sheet C6.0 shall be updated to indicate white striping). **A “Van Accessible” sign detail for the barrier-free parking shall also be provided.** (Comment outstanding, a “Van “Accessible” sign detail was not provided (a standard accessible parking sign detail has been provided). Revise accordingly). **A five-foot-wide access aisle south of the barrier-free space is proposed. In accordance with the zoning ordinance and Americans with Disabilities Act (ADA), the adjacent access aisle shall be eight-feet-wide.** (Comment addressed. The access aisle has been widened to eight feet). **Staff also concurs with the DLZ comment regarding the location of the barrier-free space. Currently the access aisle is adjacent to the “Exit Only” lane, which could be a safety issue. The barrier-free space shall be relocated north.** (Comment addressed. The ADA space has been moved further north and a curbed section (landscape island) has been added between the ADA space and “Exit Only” lane).

DLZ deferred compliance regarding the width of the “Exit Only” lane (Item C, Page 2 of the DLZ review letter dated July 13, 2022) to the Community Development Department. As this lane would serve as a bailout for vehicles not wishing to enter the car wash and not intended for general traffic circulation or emergency access, the 12-foot width is compliant. In terms of emergency access, it appears the purpose of the approximately 30-foot-wide area (which appears to be a rock bed – **(this clarification shall be made)**) (Comment partially addressed. **An aggregate detail for the compacted gravel shall be provided on Sheet C6.0. The material shall accommodate fire apparatus and is subject to approval by the Fire Marshal)** between the southerly drive aisle and vacuum bay/station area bordered by mountable curb could accommodate an emergency vehicle if necessary.

**A snow storage plan was not provided. Information on method of snow storage shall be provided at final site plan. (Comment outstanding). Winter maintenance of parking lot landscape islands shall be required where heavy applications of salt and de-icing products occur through the use of salt tarps which minimize soil absorption and ultimately reduce plant disorders. (Comment remains as a notation).**

#### *Off-Street Loading Requirements*

The zoning ordinance requires one loading space for a development of this size. Such loading and unloading space must be an area 10 feet by 50 feet, with a 15-foot height clearance. **No loading space is proposed; therefore, a waiver is required. (Comment outstanding. A waiver is required).** Item C, Page 2 of the DLZ review letter dated July 13, 2022 seems to suggest the “Exit Only” lane is intended to serve as the loading/unloading space. Unless DLZ received information not provided to the Township, nothing in the application or on the plans indicates this area is intended to serve as the loading/unloading space. Additionally, the length of the “Exit Only” lane is noncompliant with the requirement for a loading/unloading space. Furthermore, based on the building elevations it appears product deliveries would occur at the north side of the building. **The Applicant shall provide an explanation for the purpose of the second overhead door on the north elevation. (Comment rescinded. The building elevations show the second overhead door on the north elevation has been removed).**

#### *Trash Receptacle Screening*

The zoning ordinance requires dumpsters to be surrounded by a six-foot-tall wall on three sides and an obscuring wood gate on a steel frame on the fourth side, located on a six-inch concrete pad extending 10 feet in front of the gate, with six-inch concrete-filled steel bollards to protect the rear wall and gates. **A concrete pad extending 10 feet in front of the gate is not proposed; therefore, a 10-foot waiver is required. (Comment partially addressed. A cross-section detail displaying depth of the heavy-duty concrete pavement shall be provided on Sheet C6.0).** The zoning ordinance also states dumpsters and trash storage enclosures shall be constructed of the same decorative masonry materials as the buildings to which they are accessory. Brickform concrete (simulated brick pattern) or stained, decorative CMU block are not permitted where the principal building contains masonry. Plain CMU block is also prohibited. **As a condition of site plan approval, the dumpster enclosure shall match the same brick/cultured stone (which must be provided as described on Page 6 of this review) as the facade of the building with a steel-backed wood gate painted a complementary color to the brick/cultured stone. A trash enclosure detail shall be provided showing compliance with the zoning ordinance and incorporation of the aforementioned design elements. The enclosure detail on the building elevations is unacceptable. (Comment outstanding. A gate detail shall be provided (material not indicated on plan). A bollard detail shall be provided).**

The proposed enclosure is located northwest of the building. The zoning ordinance prohibits trash enclosures within a required front yard setback, and does not allow enclosures closer to the front lot line than the principal building. The proposed dumpster enclosure is located closer to the Meijer private drive than the automobile wash building. **A waiver is required to project into the front yard. (Comment outstanding. A waiver is required (the extent of which shall be dimensioned on the site plan)).**

**At the time of trash pick-up, the location of the dumpster enclosure could cause conflict with traffic entering and exiting the site. The dumpster enclosure location should be evaluated when considering circulation around the site. (Comment remains as a notation. The response letter provided to the first review indicates the carwash operator prefers to coordinate off-hours pickup or manage traffic flow with site staff. The Community Development Department suggests the Planning Commission consider requiring a traffic engineer evaluate the proposed location of the dumpster enclosure relative to onsite traffic circulation).**

### *Landscaping and Screening*

Landscaping must comply with the provisions of the zoning ordinance and should be designed to preserve existing significant natural features and to buffer service areas, parking lots, and dumpsters. A mix of evergreen and deciduous plants and trees are preferred, along with seasonal accent plantings. A landscape plan is not required as part of the preliminary site plan, but was provided for consideration and will be reviewed in detail during final site plan review if the preliminary site plan is approved. Following are initial comments on the landscape plan:

- Interior Landscaping Requirements: for every new development requiring site plan review, except site condominiums as regulated in Article 6, Section 1, interior landscaping areas shall be provided, equal to at least 15 percent of the total lot area. These landscaped areas shall be grouped near all building entrances, building foundations, pedestrian walkways, and service areas, and may also be placed adjacent to fences, walls, or rights-of-way. These planting areas shall be so located as to breakup an otherwise continuous abutment of building facade with sidewalks and/or parking areas. All interior landscaping shall provide one large deciduous, small ornamental deciduous, or evergreen tree and five shrubs for every 300 square feet of required interior landscaping area.

- Parking Lot Landscaping: within every parking area containing 10 or more spaces, there shall be parking lot landscaping in accordance with this Subsection. These landscaping areas shall be located so as to better define parking spaces and drives. Landscaping on the perimeter of the parking lot does not satisfy the parking lot landscaping requirement. Island locations shall also be considered in a manner that will assist in controlling traffic movements. The requirements, for trees and islands, may be modified when it is found through careful coordination of parking lot landscaping with peripheral and building plantings an unnecessary duplication of plantings would be created. In addition, consideration shall be given to situations when an excess number of small islands would be created that would only serve to disrupt reasonable traffic patterns and maintenance activities. **The landscape island south and west of the vacuum bays/stations is considered parking lot landscaping. Both the interior landscaping and parking lot landscaping calculations on Sheet L2.0 shall be revised. Additionally, parking lot landscaping based on 25 spaces (unless reduced as recommended on Page 5 of this review) is required. (Comments addressed. Interior landscaping and parking lot landscaping calculations have been modified).**
- Transformer and Mechanical Equipment Screening: all ground mounted transformers, climate control, and similar equipment shall be screened from view from any street or adjacent property by a wall constructed of the same decorative exterior materials as the building and not less than the height of the equipment to be screened. As an alternative, the equipment may be screened by landscaping approved by the Planning Commission. All rooftop climate control equipment, transformer units, and similar equipment shall be screened. The materials used to screen the equipment shall be compatible in color and type with exterior finish materials of the building. All rooftop equipment shall conform to the maximum height regulations of this Ordinance. **The plans do not show proposed locations for mechanical units or provide the method of screening and shall be revised to provide the location(s) and method of screening. (Comment addressed. Both transformers are now shown as being screened with ornamental grasses).**
- Greenbelts are required between nonresidential parking areas adjacent to road rights-of-way and shall be at least 20-foot-wide and improved with one large deciduous or evergreen tree and eight shrubs for every 30 lineal feet, except they may be substituted in part with a masonry screen wall, 30 inches in height, at the discretion of the Planning Commission, in which case, a five-foot greenbelt adjacent to the screen wall must be provided. **See comments pertaining to the greenbelt plantings on the following page 14.**
- All required landscape areas in excess of 200 square feet shall be irrigated to assist in maintaining a healthy condition for all plantings and lawn areas. **An irrigation plan shall be provided at final site plan. (Comment remains as a notation. This requirement was acknowledged by the Applicant's engineer in the response letter provided to the first review. A note has also been added to Sheet L2.0).**

- All required site irrigation systems shall include a rain sensor or similar measure to ensure irrigation does not occur during or shortly after precipitation events. All site plans shall note installation of required irrigation. **Add note to landscape plan at final site plan.** (Comment remains as a notation. This requirement was acknowledged by the Applicant's engineer in the response letter provided to the first review. A note has also been added to Sheet L2.0).
- Trees shall not be planted closer than four feet to a property line. **Add note to landscape plan at final site plan.** (Comment remains as a notation. This requirement was acknowledged by the Applicant's engineer in the response letter provided to the first review. A note has also been added to Sheet L2.0).
- Trees identified for protection during construction and the means of protection shall be identified prior to final site plan. No construction shall occur until tree protection has been installed and approved by the Community Development Director. **Add note to landscape plan at final site plan.** (Comment remains as a notation. This requirement was acknowledged by the Applicant's engineer in the response letter provided to the first review. A note has also been added to Sheet L2.0).
- **Six-inch straight-faced (vertical) curb of concrete construction shall be used around landscape and parking areas. The standard Michigan Department of Transportation (MDOT) detail for six-inch straight-faced curb shall be provided.** (Comment outstanding. See comments pertaining to MDOT curb type on Page 4).
- **Evergreen trees must be a minimum of seven feet in height at the time of planting.** (Comment addressed. Evergreen tree installation height has been modified).
- **Autumn Glow Japanese Zelkova is not an acceptable greenbelt tree.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Soft Serve Sawara Cypress is not an acceptable evergreen tree.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Vanderwolf's Pyramid Limber Pine is not an acceptable evergreen tree. Note pine trees are prohibited in the Township.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Arctic Sun Dogwood is not an acceptable shrub.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Little Devil Dwarf Ninebark is not an acceptable shrub.** (Comment addressed. See Sheet L2.0 for an updated plant list).

- **Grow-Low Sumac, when not maintained, loses aesthetic appeal. Use of Grow-Low Sumac is generally not preferred.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Tor Birchleaf Spirea is not an acceptable greenbelt shrub.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Sea Green Juniper is not an acceptable greenbelt shrub.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **Anglo-Japanese Yew is not an acceptable shrub.** (Comment addressed. See Sheet L2.0 for an updated plant list).
- **No more than two planted trees in a row shall be of the same species.** (Comment addressed. Plant species have been modified).
- **Within the Highland Road greenbelt, a double row of interlocking trees, primarily evergreens, shall be required.** (Comment addressed. Evergreen trees have been added along Highland Road).
- **Notes 12 and 17 on Sheet L2.0 mention seed; sod is required. The aforementioned notes shall be revised and the ground cover name “turf seed” shall be replaced with “sod.”** (Comment addressed. Turf sod is now being proposed).
- **Note 14 and the Tree, Shrub, and Perennial planting details on Sheet L2.0 mention mulch. The zoning ordinance states the mulch product itself shall be at least double-shredded quality.** (Comment addressed. Double shredded hardwood mulch is now indicated).
- **Based on the quality of the submitted landscape plan, the Applicant shall confirm if the plan was prepared by a registered landscape architect. (An original (wet) seal and signature of a registered landscape architect are required on the landscape plan at final site plan).**
- **All required landscape plantings shall be guaranteed for a period of two years and those which are diseased or dead must be replaced in conformance with the approved landscape plan. The diseased or dead plantings must be replaced with plantings of the same size as those which were removed. A cash bond or standby letter of credit in an amount equal to 125% of the cost to install any incomplete improvements and 100% of any installed improvements must be posted for the two years during which the guarantee is in effect. The Community Development Director or his designee shall review the amount of the guarantee for reasonableness prior to approval.** (Comment remains as a notation. This requirement was acknowledged by the Applicant's engineer in the response letter provided to the first review. A note has also been added to Sheet L2.0).



### *Signs*

The site plan does not show the location of a monument sign. General Note 5 on the site plan states refer to the architectural plans for monument sign details; **this note shall be removed.** **(Comment addressed. The note has been removed).** Per the Meijer Development Agreement, freestanding signs are prohibited from being located on any individual outlot. If allowed by Meijer, the car wash may be identified on the freestanding sign at the northwest corner of Bogie Lake Road and Highland Road.

A maximum of one wall sign is permitted for each principal building. In instances where a parcel has frontage on two streets, an additional wall sign may be permitted on the building facing the secondary thoroughfare, which is no greater than five percent of the wall area on which the sign is placed. Where permitted, wall signs must be located flat against the building's front facade or parallel to the front facade on a canopy. The building elevations show three wall signs on the building (north, east, and west facades). **The wall sign on the west elevation shall be removed, or a waiver is required.** **(Comment addressed. The sign on the west elevation has been removed. Page 2 of the preliminary sign package (site plan) shall be revised as it shows Sign B, which is intended to be placed on the east elevation, on the west elevation).** Additionally, wall signs cannot extend above the roofline of a building. **Waivers are required to install wall signs extending above the roofline of the building (all three-wall signs are above the roofline).** Staff does not support any waivers for signage. **The building elevations preliminary sign package should be revised to comply with the sign standards.** Note signage is not permitted on the canopies or vacuum stations.

### *Community/Public Benefit*

A waiver from the Community Impact Statement (CIS) requirement is requested. While staff supports waiving submission of a CIS, **a community/public benefit must be provided to qualify for development in the PB district.** For PB developments, a public benefit(s) must be provided to offset the impact(s) of development on the Township. Community benefits are intended to be for the use and enjoyment of the public-at-large and must be commensurate with the waivers requested for the project. **A community/public benefit is not proposed.** **(Comment addressed. The Applicant is proposing to contribute \$15,000 to either the Parks and Recreation Fund or Sidewalk Fund. Based on the project, staff finds the proposed contribution acceptable).**

### *Outdoor Lighting*

Site lighting is required to comply with the zoning ordinance. Information on site lighting was provided and will be reviewed in detail during final site plan review. Following are initial comments on the lighting (photometric) plan:

- Footcandles shall be measured at approximately six feet above grade. **Revise accordingly, and the plan must contain a note confirming footcandles are measured at six feet above grade.**
  - Only the area of illumination shall be used to calculate footcandle averages.



- **Complete catalog details (lighting fixture specification sheets) for all proposed fixtures shall be provided.**
- **Parking lot luminaries shall not exceed 16 feet in height within 25 feet of a lot line. The two western luminaries are within 25 feet of the lot line and shall be relocated, or a waiver is required.**
- **A light pole detail shall be provided consistent with height as labeled on the plan. Provide the total height including the base, pole, and light fixture. Be advised mounting height is measured from grade to the sky side of the fixture.**
- **The photometric plan shall be drawn to a scale of not less than 1 inch = 30 feet.**
- **The photometric plan shall be sealed by the person who prepared the plan.**
- **Lighting shall be shielded from adjacent properties and designed to reflect continuity with the pedestrian orientation of the area. Floodlights, wall pack units, and other types of unshielded lights, and lights where the lens or bulb is visible outside of the light fixture are not permitted except in service areas where the lights will not generally be visible by the public or adjacent residential properties. Lights underneath canopies must be fully recessed into the canopy to minimize glare from the light source.**

#### **Planning Commission Options / Recommendation**

The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board. **Staff recommends the plans be revised and resubmitted to address the items identified in this memorandum. A response letter detailing changes made to the plan shall be provided upon resubmission. A revised list of requested waivers shall also be provided, along with a proposed community/public benefit. A notarized signature of the Applicant shall also be provided on the site plan application.**



Fire Department  
Charter Township  
of White Lake

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## Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 09/26/2022

Project: Cosmo's Car Wash

Project #: 190125008

Date on Plans: 08/30/2022

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The Fire Department has the following comments with regards to the 2<sup>nd</sup> review of preliminary site plans for the project known as Cosmo's Car Wash.

1. The Fire Department has no further comments at this time.

Jason Hanifen  
Fire Marshal  
Charter Township of White Lake  
(248)698-3993  
[jhanifen@whitelaketwp.com](mailto:jhanifen@whitelaketwp.com)

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

Rik Kowall, Supervisor  
Anthony Noble, Clerk  
Mike Roman, Treasurer



Trustees  
Scott Ruggles  
Michael Powell  
Andrea C. Voorheis  
Liz Fessler Smith

## WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES

7525 Highland Road, White Lake, Michigan 48383-2900, (248) 698-7700, [www.whitelaketwp.com](http://www.whitelaketwp.com)

September 26, 2021

Sean O'Neil  
Community Development Director  
Charter Township of White Lake  
7525 Highland Rd.  
White Lake, MI 48383

### **RE: Cosmo's Car Wash Preliminary Site Plan Review**

Sean,

#### **Water:**

Note 1 on C3.0 indicated  $\geq 3$ " CL 52 DI pipe. Township standard is CL54 DI Pipe though I did not see any new water main proposed on this plan. The service is shown as 2" and may be K type copper or DR-9 (200 PSI) Poly meeting ASTM D2737-03 specification.

An RPZ backflow preventer will be required for this application.

#### **Sanitary:**

All manhole cores require Cor-N-Boot or link seal. An internal drop connection will be required.

Grease interceptor details were not submitted. It should be noted that the grease interceptor shall be of 1000 gal minimum capacity of the outdoor inline variety.

#### **Stormwater:**

A standard Storm Water Management Facilities Easement, Maintenance Agreement and Lien will be required for all onsite stormwater piping on-site as well as an agreement with Meijer to discharge into the Meijer stormwater basin. Easement Exhibits A and B showing legal description of the property, legal description of the easements, and a drawing of the easements on 8 ½ x 14 legal sizing should be submitted for review with the Final Site Plan. A resolution from the ownership corporation authorizing and identifying the signatory of the easement should be submitted with the Final Site Plan if you haven't already.

Some type of Stormceptor or other on-site pre-treatment will be required.

**Below is an itemized preliminary estimate of water and sewer connection fees for a 4,535 SF car wash:**

**Water:**

New Water Service Permit and Inspection	\$75.00
Irrigation System Permit and Inspection	\$50.00
Capital Connection Fee for 2"	\$2,607.15
Meter	\$583.66
Transmitter	\$96.00
Flanges	\$186.90
Meter Installation	\$75.00
<hr/>	
<b>Total</b>	<b>\$3,673.71</b>

**Sanitary:**

Commerce Treatment Plant Capital Fee with 2" Water	\$15,278.00
White Lake Capital Connection Fee (\$2100 per REU, REU =6.95/1000SF)	\$66,150.00
Plumbing Inspection Permit	\$50.00
Oakland County Tap Inspection Permit	\$200.00
<hr/>	
<b>Total:</b>	<b>\$81,678.00</b>

Please feel free to call with any questions.

Sincerely,



Aaron D. Potter  
Director, Dept. of Public Services  
Charter Township of White Lake

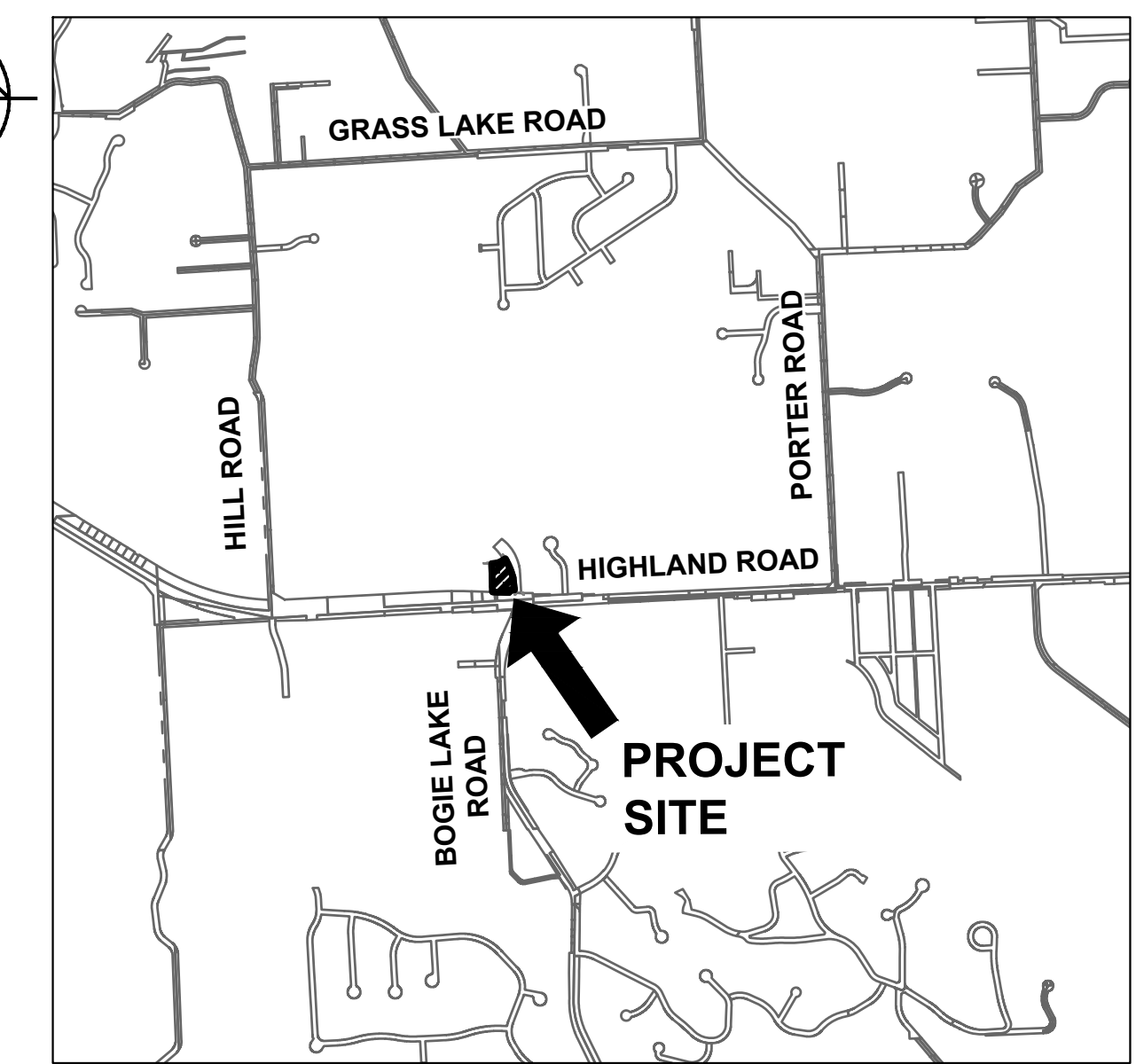
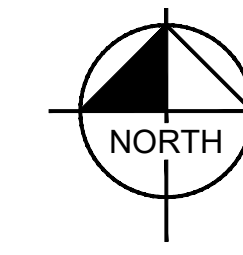


# SITE PLAN REVIEW COSMOS CAR WASH

HIGHLAND ROAD

TAX ID: 12-20-276-034

WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MI 48383



VICINITY MAP  
1"=1000'

## UTILITY AND GOVERNING AGENCY CONTACTS

**BUILDING DEPARTMENT**  
WHITE LAKE TOWNSHIP BUILDING DEPARTMENT  
7525 HIGHLAND ROAD  
WHITE LAKE, MI 48383  
TEL: (248) 698-3300 EXT. 2

**ROADWAY AUTHORITY**  
MICHIGAN DEPARTMENT OF TRANSPORTATION  
425 WEST OTTAWA STREET  
P.O. BOX 30050  
LANSING, MI 48909

**SANITARY SEWER SERVICE**  
WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES  
7525 HIGHLAND ROAD  
WHITE LAKE, MI 48383  
CONTACT: AARON POTTER  
TEL: (248) 698-7700 EXT. 266

**ELECTRIC COMPANY**  
DTE ENERGY  
TEL: (800) 338-0178

**NATURAL GAS COMPANY**  
CONSUMERS ENERGY  
TEL: (517) 374-2002

**STORM SEWER SERVICE**  
WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES  
7525 HIGHLAND ROAD  
WHITE LAKE, MI 48383  
CONTACT: AARON POTTER  
TEL: (248) 698-7700 EXT. 266

**TELEPHONE/CABLE**  
AT&T  
TEL: (855) 913-5932

**WATER SERVICE**  
WHITE LAKE TOWNSHIP WATER DEPARTMENT  
7525 HIGHLAND ROAD  
WHITE LAKE, MI 48383  
CONTACT: AARON POTTER  
TEL: (248) 698-7700 EXT. 266

## PROJECT TEAM

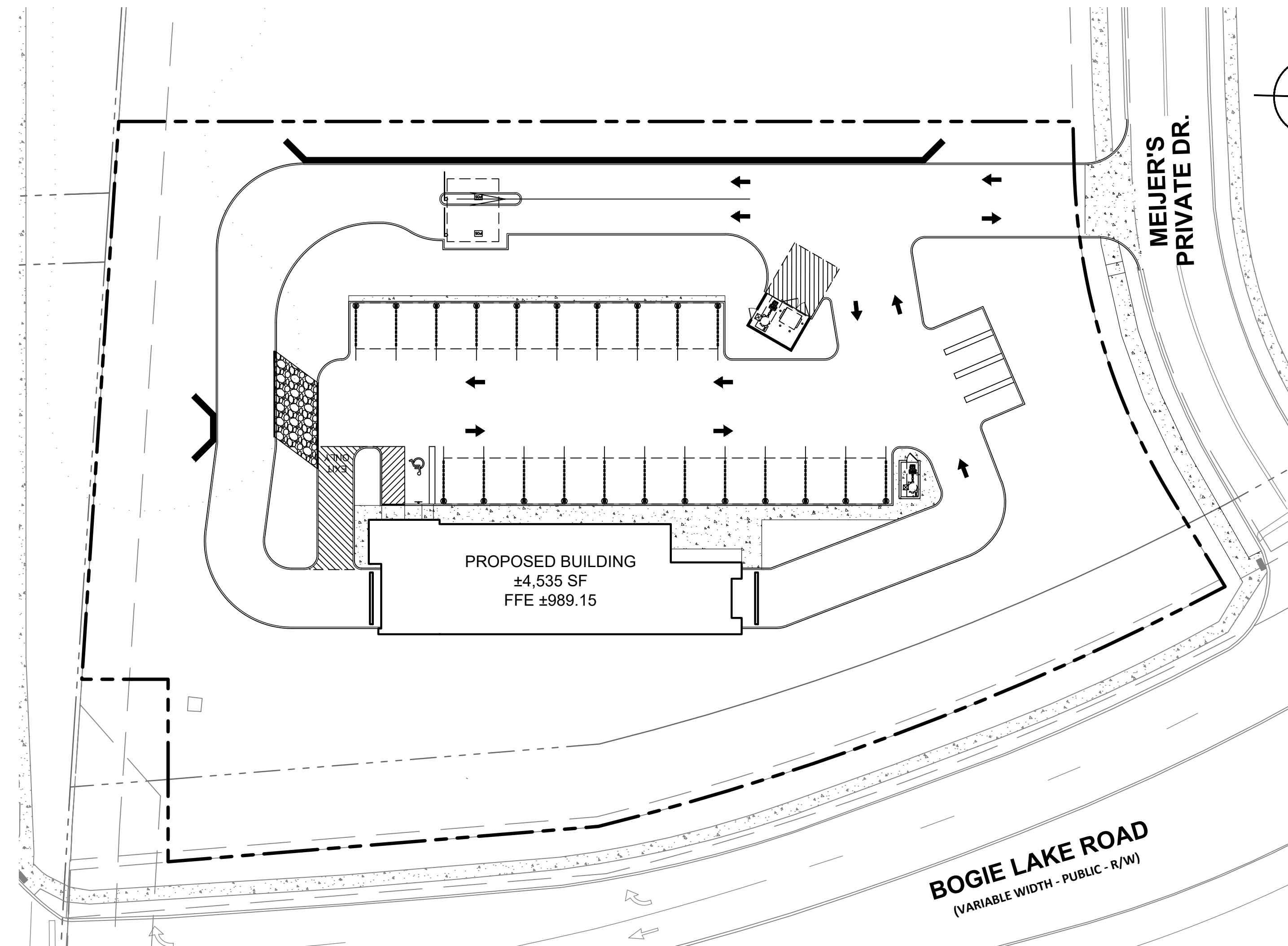
**DEVELOPER**  
DEVELOPMENT MANAGEMENT ASSOCIATES, LLC  
410 NORTH MICHIGAN AVENUE  
SUITE 1000  
CHICAGO, IL 60611  
TEL: (312)640-2000  
CONTACT: JON PELLEGRENE

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
3911 SIX MILE ROAD  
LIVONIA, MI 48152  
TEL: (614) 454-6697  
EMAIL: DERIK.LEARY@KIMLEY-HORN.COM  
CONTACT: DERIK LEARY, P.E.

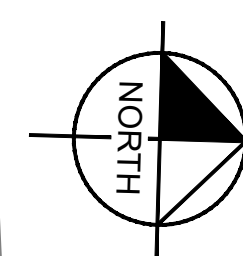
**OWNER**  
EWM-MILLER WASH, LLC  
450 WEST 17TH STREET  
NEW YORK, NY 10011  
CONTACT: DAN ORICHOWSKYJ

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC  
4201 WINFIELD ROAD  
SUITE 600  
WARRNVILLE, IL 60555  
TEL: (331) 481-7338  
CONTACT: AMANDA FOLTA

**SURVEYOR**  
MONUMENT ENGINEERING GROUP  
ASSOCIATES, INC.  
298 VETERANS DRIVE  
FOWLERSVILLE, MI 48836  
TEL: (517) 223-3512



INDEX MAP  
1"=30'



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V1.0	SURVEY
C1.0	SITE PLAN
C2.0	GRADING AND EROSION CONTROL PLAN
C3.0	UTILITY PLAN
C4.0	DRAINAGE PLAN
C6.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS

## BENCHMARKS

SITE BENCHMARKS: DATUM NAVD88  
(LOCATIONS SHOWN ON SURVEY)

BM A: TOP ARROW ON HYDRANT +/-16' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 328.44' NORTH OF BACK OF CURB OF M-59.  
ELEVATION=986.44

BM B: TOP ARROW ON HYDRANT +/-14' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 75' NORTH OF BACK OF CURB OF M-59.  
ELEVATION=980.35

BM C: TOP ARROW ON HYDRANT +/-35' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 21' NORTH OF BACK OF CURB OF M-59.  
ELEVATION=980.62

## LEGAL DESCRIPTION

(PER TITLE AGENCY: FIDELITY TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: GLT2200117, EFFECTIVE DATE: DECEMBER 15, 2021)

EXHIBIT "A" DESCRIPTION:

LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER POST OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN; SAID POINT BEING SOUTH 89 DEGREES 59 MINUTES 45 SECONDS WEST 2635.27 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 20; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST 198.92 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST 519.78 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF M-59 (HIGHLAND ROAD, VARIABLE WIDTH); THENCE 541.74 FEET ALONG THE ARC OF A 5821.52 FOOT RADIUS CIRCULAR CURVE TO THE RIGHT, CHORD BEARING SOUTH 87 DEGREES 21 MINUTES 59 SECONDS EAST 541.55 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID M-59; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST 189.40 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID M-59 FOR A PLACE OF BEGINNING; THENCE NORTH 01 DEGREES 30 MINUTES 56 SECONDS EAST 332.20 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 15.98 FEET; THENCE 120.47 FEET ALONG THE ARC OF A 233.00 FOOT RADIUS CIRCULAR CURVE TO THE LEFT, CHORD BEARING NORTH 75 DEGREES 11 MINUTES 17 SECONDS EAST 119.13 FEET; THENCE NORTH 60 DEGREES 22 MINUTES 37 SECONDS EAST 36.86 FEET; THENCE 234.17 FEET ALONG THE ARC OF A 966.50 FOOT RADIUS CIRCULAR CURVE TO THE RIGHT, CHORD BEARING SOUTH 19 DEGREES 25 MINUTES 09 SECONDS EAST 233.59 FEET; THENCE SOUTH 03 DEGREES 10 MINUTES 30 SECONDS EAST 150.32 FEET; THENCE NORTH 88 DEGREES 29 MINUTES 04 SECONDS WEST 63.50 FEET; THENCE SOUTH 01 DEGREES 30 MINUTES 56 SECONDS WEST 30.03 FEET; THENCE NORTH 84 DEGREES 30 MINUTES 46 SECONDS WEST 63.50 FEET; THENCE SOUTH 01 DEGREES 30 MINUTES 56 SECONDS WEST 30.03 FEET; THENCE NORTH 84 DEGREES 42 MINUTES 00 SECONDS WEST 194.54 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID M-59 TO THE PLACE OF BEGINNING.

## PROFESSIONAL ENGINEER'S CERTIFICATION

I, DERIK LEARY, A LICENSED PROFESSIONAL ENGINEER OF MICHIGAN HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF EWM-MILLER WASH, LLC BY KIMLEY-HORN OF MICHIGAN, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 30TH DAY OF AUGUST, A.D., 2022.

*D. Leary*  
DERIK D. LEARY  
6201066961 LICENSED PROFESSIONAL ENGINEER  
MY LICENSE EXPIRES ON MARCH 12, 2023



No.	REVISIONS	DATE	BY

**Kimley-Horn**  
KIMLEY-HORN AND ASSOCIATES, INC.  
3911 SIX MILE ROAD  
LIVONIA, MI 48152  
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
DESIGNED BY: SRS  
DRAWN BY: SRS  
CHECKED BY: DDL

NOT FOR CONSTRUCTION



COVER SHEET

COSMOS CAR WASH  
HIGHLAND ROAD  
PID: 12-20-276-034  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE:  
8/30/2022  
KHA PROJECT NO.  
190125008  
SHEET NUMBER

C0.0

Drawing name: K:\CADD\190125008\_CosmosCarWash\12\_Design\CADD\PRELIMINARY ENGINEERING COVER SHEET.dwg Layout Aug 30, 2022 9:26am by: Sarah Stratif This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

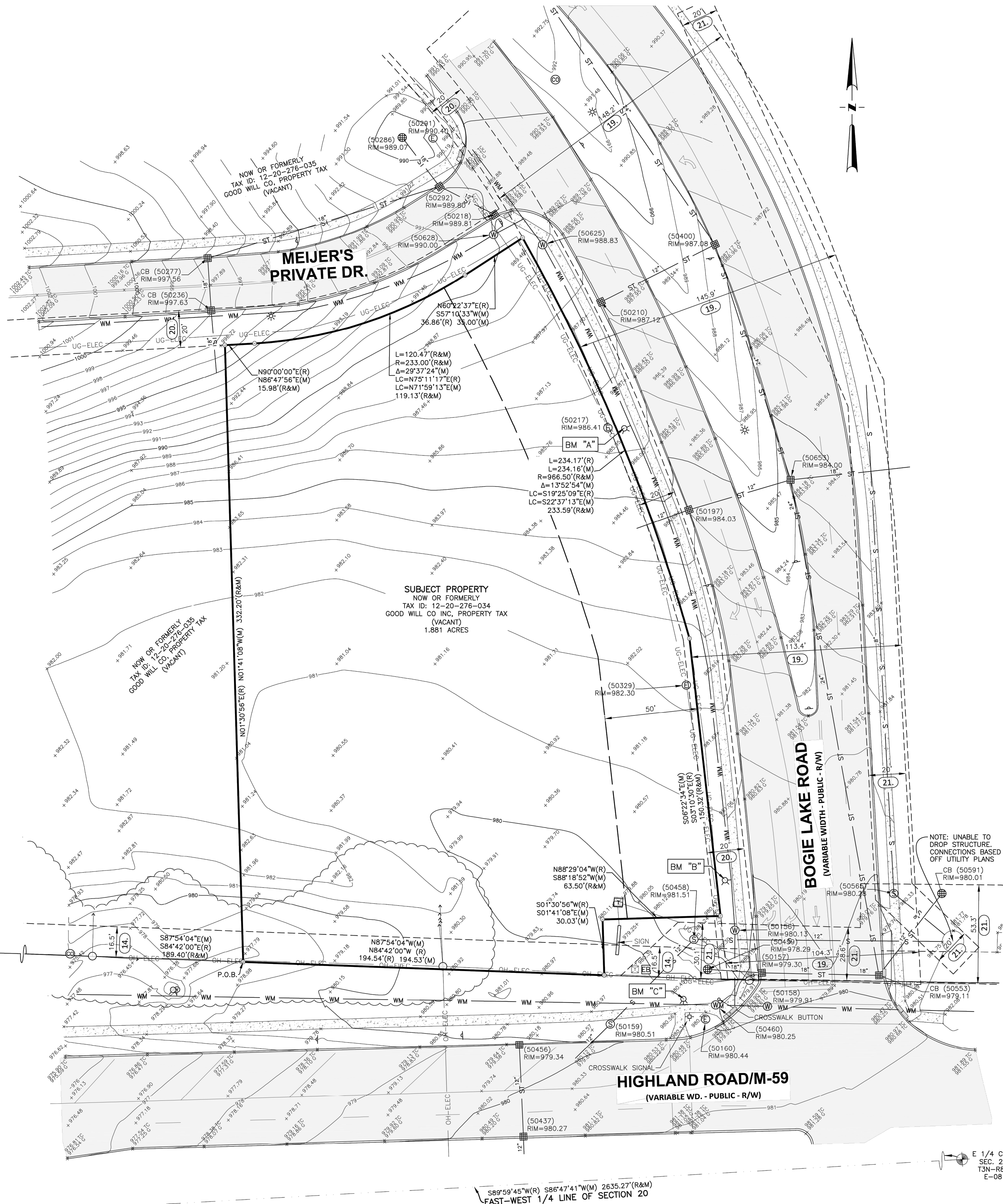




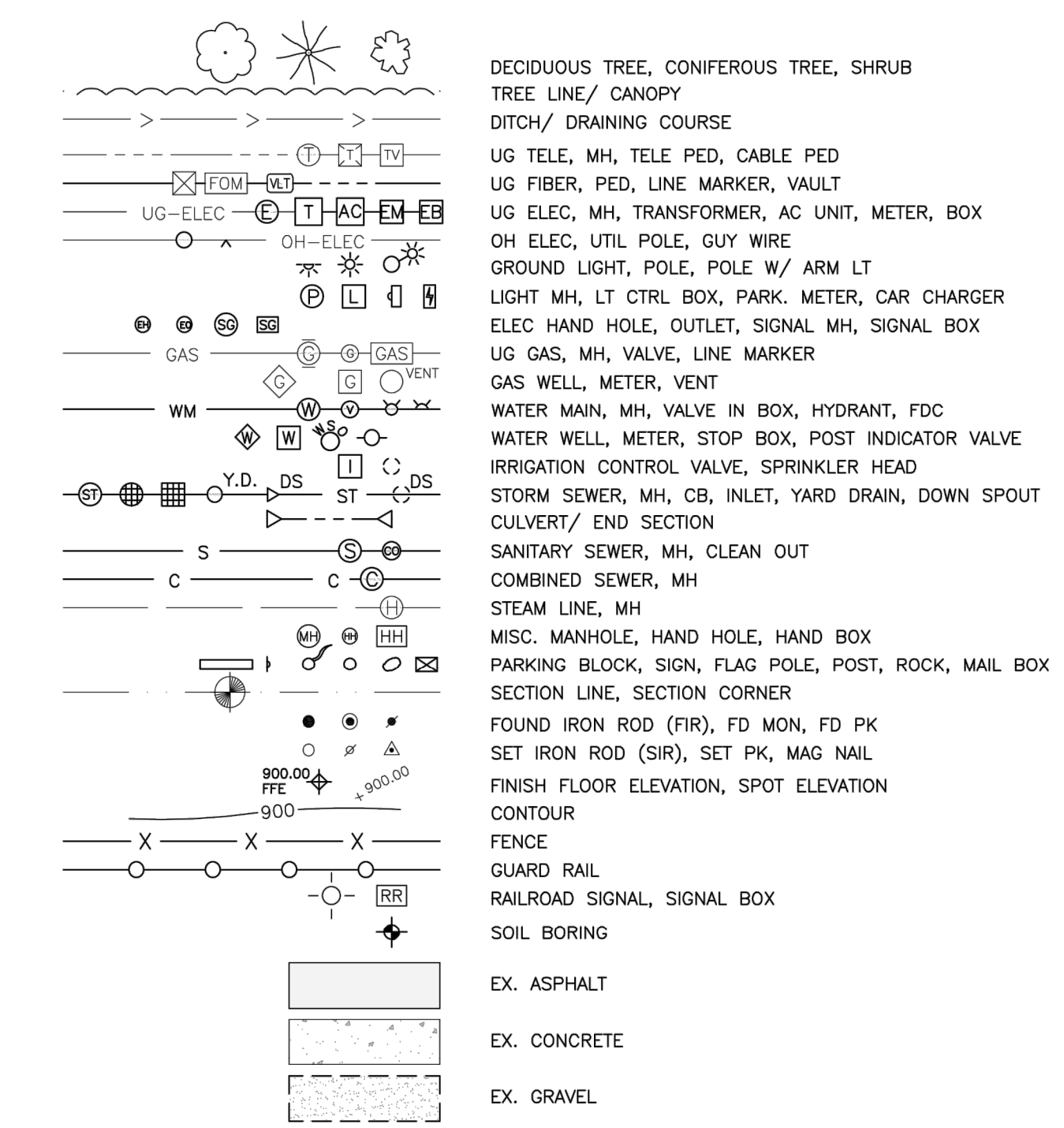
STRUCTURE SCHEDULE

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50157) CBS	979.30	18" W IE= 974.15 18" E IE= 974.10
(50197) CBS	984.03	12" E IE= 974.83 12" W IE= 974.93
(50210) CBS	987.12	12" NE IE= 982.69
(50218) CBS	989.81	12" NW IE= 985.56
(50236) CBS	997.63	18" N IE= 975.72 18" S IE= 983.23
(50277) CBS	997.56	18" E IE= 984.76 18" S IE= 985.08
(50286) CBB	989.07	18" SE IE= 983.90
(50292) CBS	989.80	18" NW IE= 983.83 18" W IE= 984.68 12" SE IE= 984.98
(50400) CBS	987.08	12" SW IE= 982.56 24" S IE= 972.22 24" NW IE= 971.90
(50437) CBS	980.27	12" N IE= 975.07 12" S IE= 975.15
(50456) CBS	979.34	12" S IE= 975.89
(50459) CBR	978.29	18" E IE= 974.44
(50553) CBS	979.11	12" NE IE= 974.56 18" W IE= 974.42 24" N IE= 973.82
(50591) CBB	980.01	12" SW IE= 975.17
(50653) CBS	984.00	18" E IE= 974.55 12" W IE= 975.72 24" N IE= 972.34 24" S IE= 973.82

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50159) SMH	980.51	12" SW IE= 975.61 12" NE IE= 975.51
(50458) SMH	981.51	12" SW IE= 974.74 12" E IE= 974.64
(50565) SMH	980.28	8" N IE= 970.68 8" SE IE= 970.05



EXISTING LEGEND



BENCHMARKS

- DATUM: NAVD88
- BM A:  
TOP ARROW ON HYDRANT ±16' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 328.44' NORTH OF BACK OF CURB OF M-59  
ELEV = 986.44
- BM B:  
TOP ARROW ON HYDRANT ±14' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 75' NORTH OF BACK OF CURB OF M-59  
ELEV = 980.35
- BM C:  
TOP ARROW ON HYDRANT ±35' WEST OF BACK OF CURB OF BOGIE LAKE ROAD AND 21' NORTH OF BACK OF CURB OF M-59  
ELEV = 980.62

UTILITY NOTES

- ALL UTILITIES SHOWN ARE BASED ON;
  - MISS DIG MARKINGS LOCATED AT TIME OF SURVEY, OR;
  - UTILITY MAPS PROVIDED TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

UTILITY/REFERENCE INFO

WM: WHITE LAKE TOWNSHIP  
CONTACT: JOHNSON & ANDERSON, INC. CONSULTING ENGINEERS  
PHONE: 248-681-7800  
RECEIVED: 2/18/2022

SAN: WHITE LAKE TOWNSHIP  
CONTACT: GPRS - KYLE HORN  
EMAIL: KYLE.HORN@GPRINC.COM  
RECEIVED: 3/1/2022

STORM: WHITE LAKE TOWNSHIP  
CONTACT: GPRS - KYLE HORN  
EMAIL: KYLE.HORN@GPRINC.COM  
RECEIVED: 3/1/2022

GAS: CONSUMERS ENERGY  
PHONE: 800-477-5050  
RECEIVED: 2/23/2022

ELEC: DTE ENERGY  
CONTACT: 313-235-5824  
PHONE: NOT RECEIVED  
RECEIVED:

PHONE/CABLE: GPRS  
CONTACT: KYLE HORN  
EMAIL: KYLE.HORN@GPRINC.COM  
RECEIVED: 3/1/2022



Call MISS DIG  
3 full working days before you dig.  
Michigan's One-Call Utility Notification Organization  
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www.missdig.org

CLIENT : DEVELOPMENT MANAGEMENT ASSOCIATES, LLC

(312) 605-9290

ALTA/NSPS LAND TITLE SURVEY  
VACANT PARCEL - HIGHLAND ROAD  
TAX ID: 12-20-276-034  
PART OF NE 1/4, SEC. 20, T3N-R8E  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MI.

DATE	PLAN SUBMITTALS/REVISIONS

ORIGINAL ISSUE DATE: 3/1/2022

PROJECT NO: 22-034

SCALE: 1"=30'

FIELD: RZ & WH  
DRAWN BY: BN & DAH  
DESIGN BY: N/A  
CHECK BY: PL & MB

V1.0

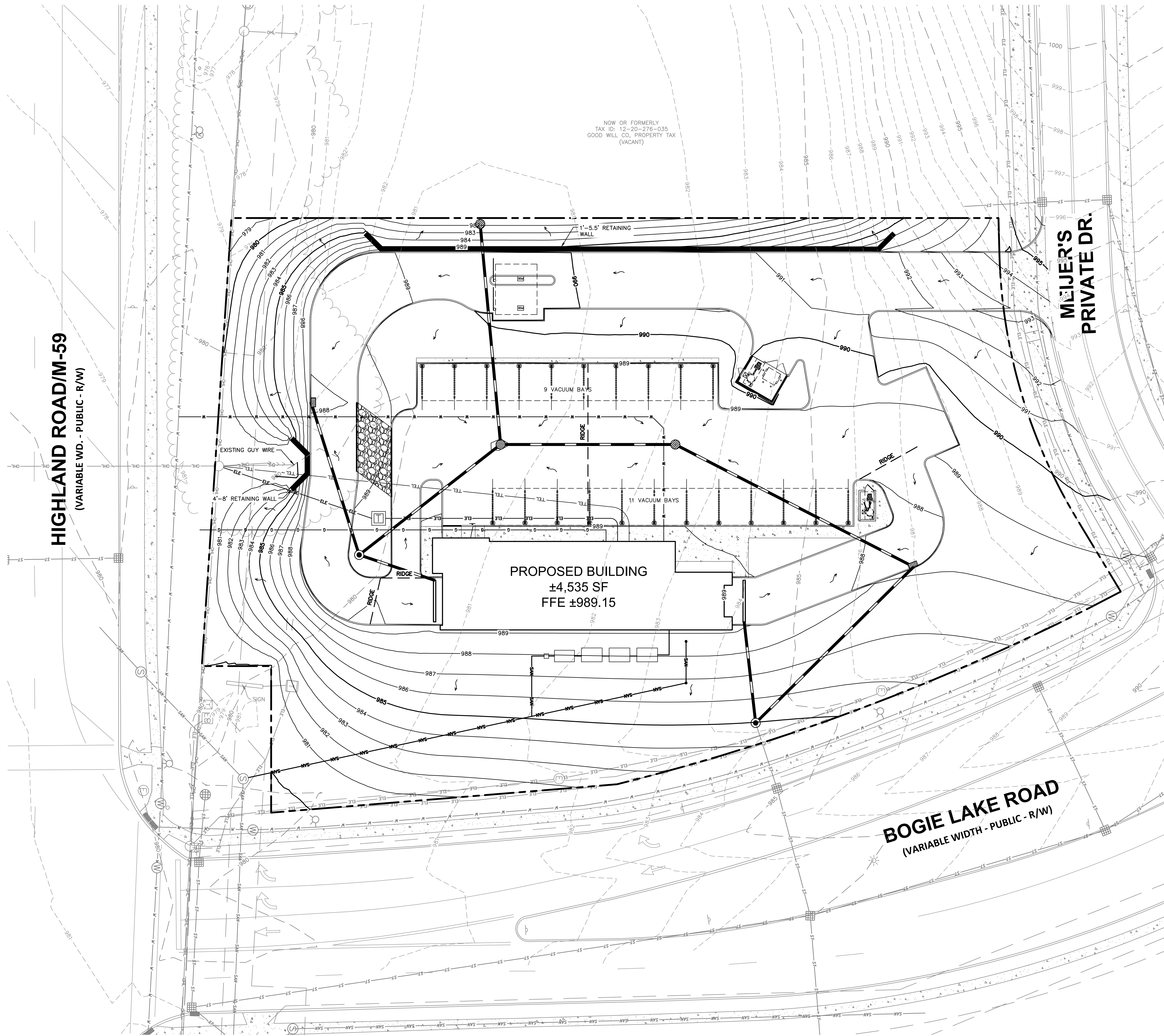
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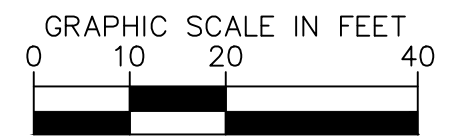
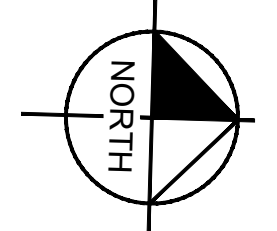


**HIGHLAND ROAD/M-59**  
 (VARIABLE WD. - PUBLIC - R/W)

**MIJER'S PRIVATE DR.**

**BOGIE LAKE ROAD**  
 (VARIABLE WIDTH - PUBLIC - R/W)

NOW OR FORMERLY  
 TAX ID: 12-20-276-035  
 GOOD WILL CO, PROPERTY TAX  
 (VACANT)



- ### GRADING NOTES
1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
  3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
  4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
  5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
  6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
  7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
  8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

### GRADING LEGEND

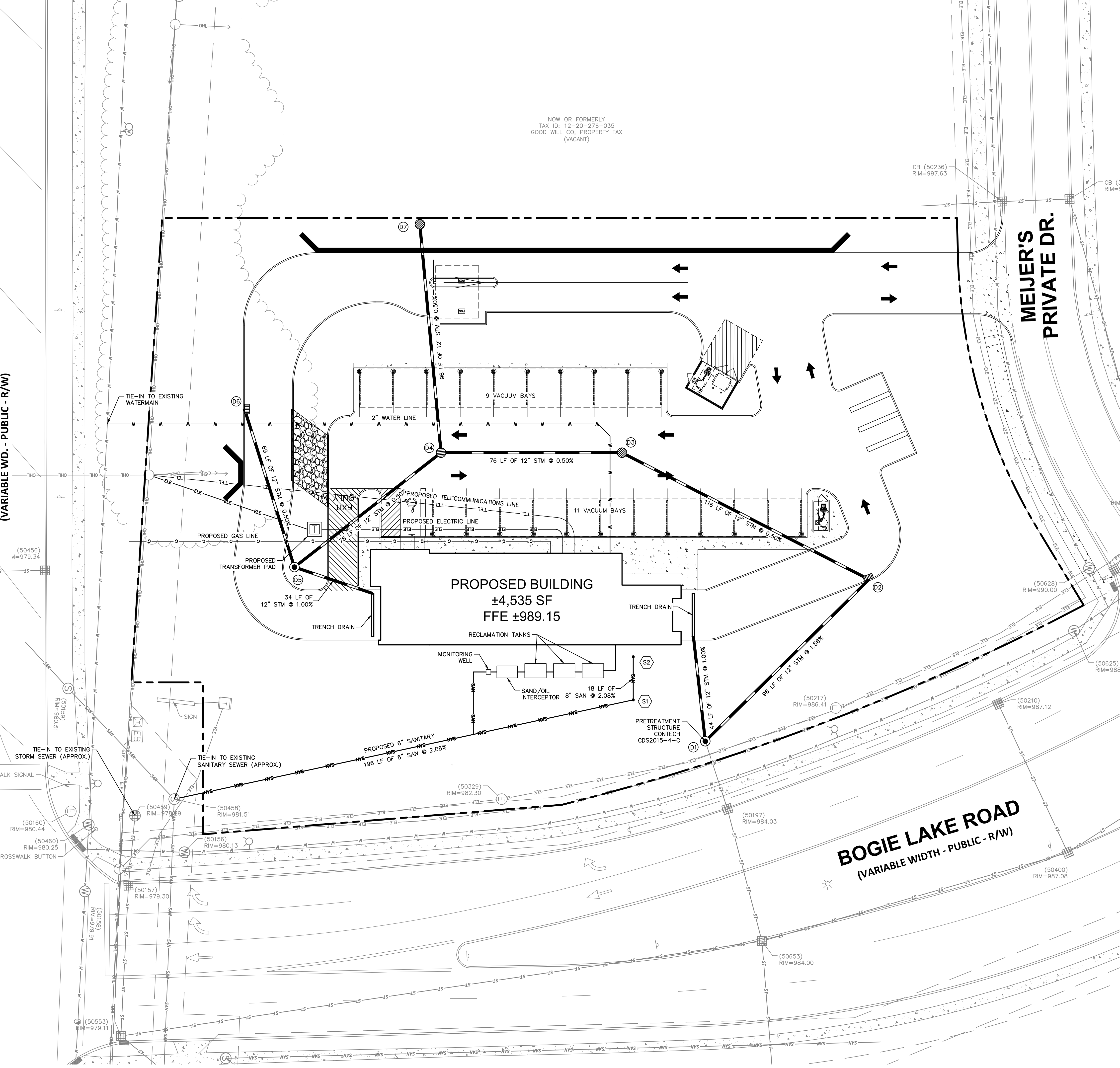
—XXX—	PROPOSED CONTOUR
- - - - -	EXISTING CONTOUR
—RIDGE—	RIDGE LINE
→	FLOW DIRECTION

SCALE:	AS NOTED	DESIGNED BY: SRS	DRAWN BY: SRS	CHECKED BY: DDL			
NOT FOR CONSTRUCTION							
GRADING AND EROSION CONTROL PLAN					COSMOS CAR WASH HIGHLAND ROAD PID: 12-20-276-034 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN		
ORIGINAL ISSUE: 8/30/2022					ORIGINAL ISSUE: 8/30/2022		
KHA PROJECT NO. 190125008					KHA PROJECT NO. 190125008		
SHEET NUMBER C2.0					SHEET NUMBER C2.0		
					REVISIONS	DATE	BY

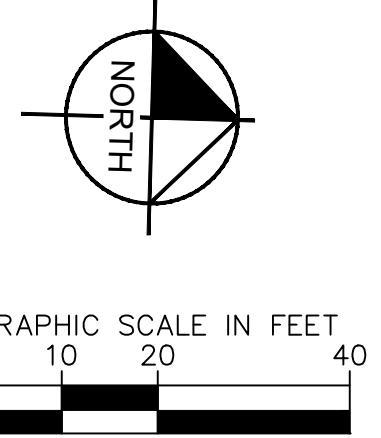


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**HIGHLAND ROAD/M-59**  
 (VARIABLE WD. - PUBLIC - R/W)



NOW OR FORMERLY  
 TAX ID: 12-20-276-035  
 GOOD WILL CO, PROPERTY TAX  
 (VACANT)



**UTILITY LEGEND**

	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. WATER METER AND STOP BOX
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. STORM DRAIN LINE
	EX. STORM MANHOLE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. GAS METER
	EX. UNDERGROUND ELECTRIC LINE
	EX. OVERHEAD ELECTRIC LINE
	EX. TELEPHONE LINE
	EX. TELEPHONE POLE
	EX. LIGHT POLE
	EX. ELECTRIC STRUCTURE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED INLET STORM STRUCTURE
	PROPOSED CLOSED LID STORM STRUCTURE
	PROPOSED OPEN LID CURB STRUCTURE
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED TRANSFORMER

**UTILITY NOTES**

- GENERAL UTILITY NOTES**
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
  - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - CONTRACTOR TO CALL 811 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE TOWNSHIP OF WHITE LAKE SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
  - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
  - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
  - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
  - STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

REVISIONS: No. DATE BY

SCALE: AS NOTED  
 DESIGNED BY: SRS  
 DRAWN BY: SRS  
 CHECKED BY: DDL

**Kimley»Horn**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 3911 SIX MILE ROAD  
 LIONIA, MI 48152  
 WWW.KIMLEY-HORN.COM

**COSMOS**  
 CAR WASH

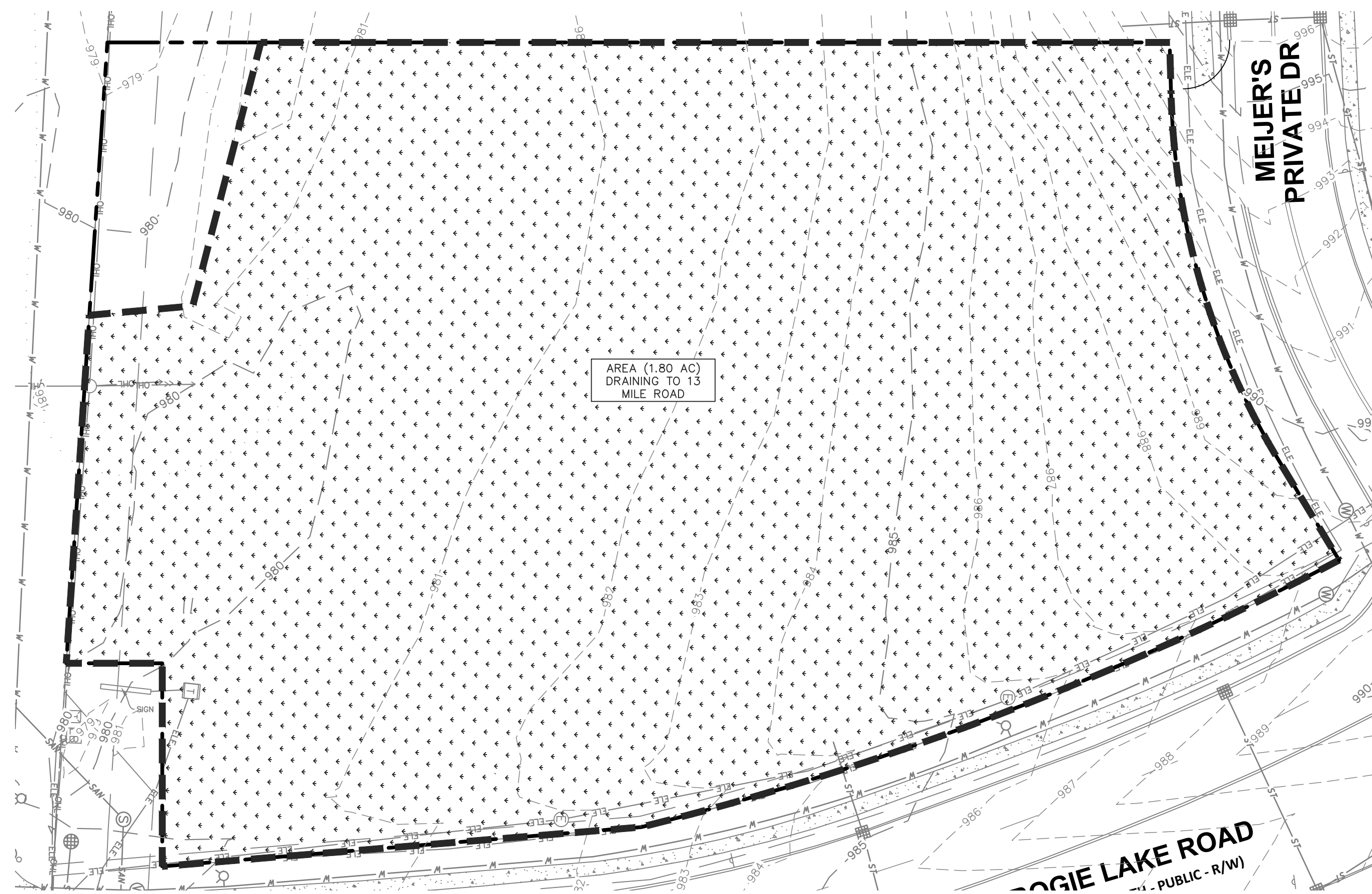
**UTILITY PLAN**

COSMOS CAR WASH  
 HIGHLAND ROAD  
 PID: 12-20-276-034  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE:  
 8/30/2022  
 KHA PROJECT NO.  
 190125008  
 SHEET NUMBER  
**C3.0**



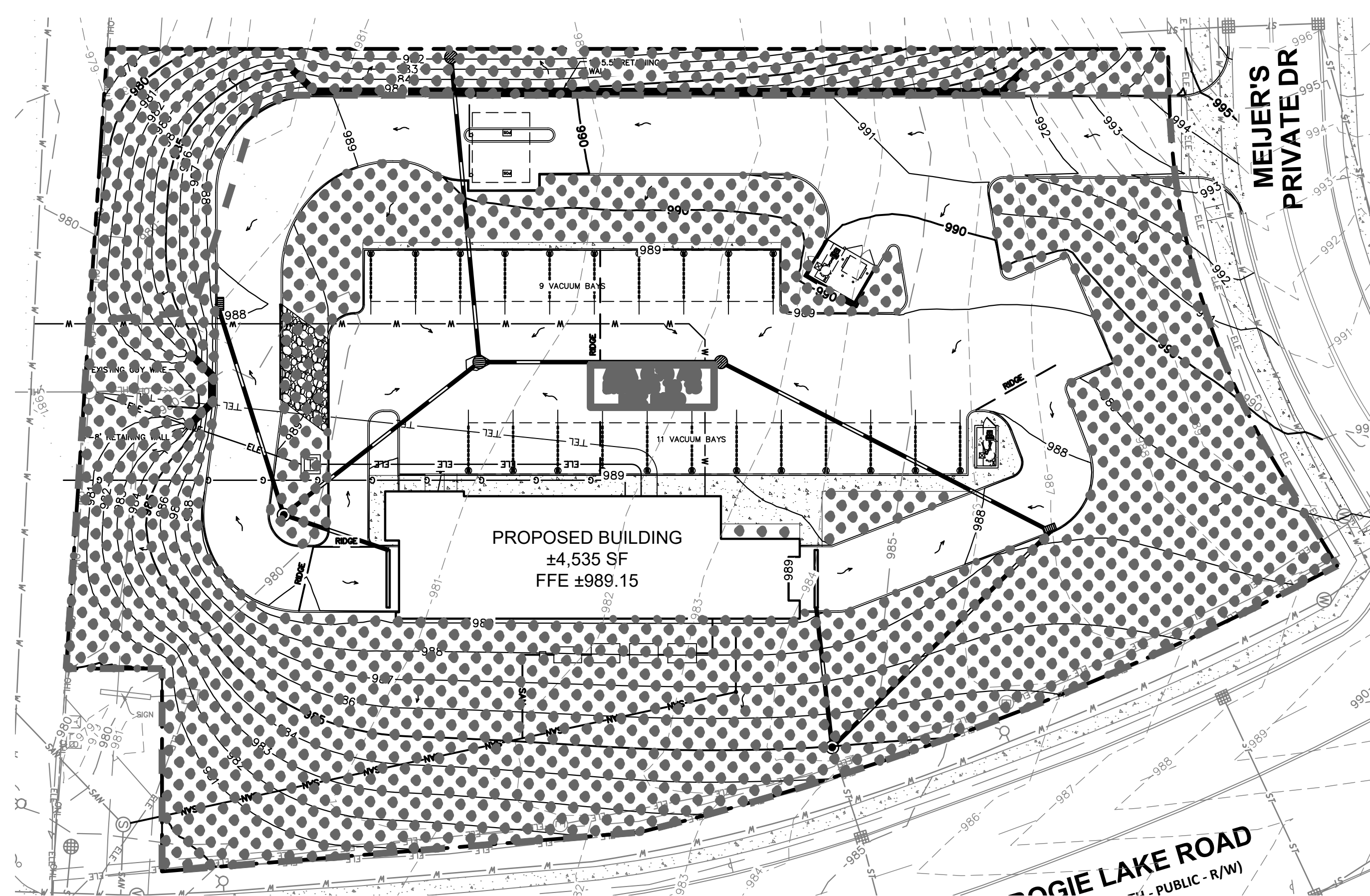
Drawing name: K:\CBL\_DEVELOPMENT\190125008\_CosmosCarWash.dwg; Design: C:\AD\Projects\PRELIMINARY ENGINEERING\DRAINAGE PLAN.dwg; Layout: Aug 30, 2022, 9:30am; by: Sarah Strall  
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PRE-DEVELOPMENT DRAINAGE AREA (TO 13 MILE ROAD)

PRE-DEVELOPED DRAINAGE CHARACTERISTICS:

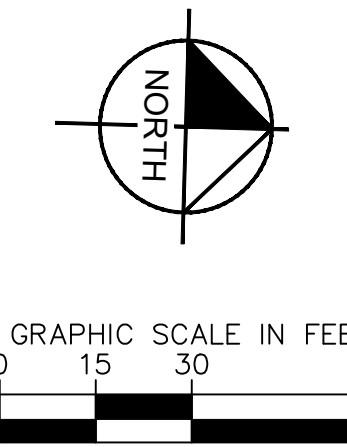
DRAINAGE AREA = 1.80 AC  
 EXISTING PERVIOUS AREA = 1.80 AC  
 EXISTING IMPERVIOUS AREA = 0.00 AC  
 TIME OF CONCENTRATION = 10 MINUTES



POST-DEVELOPMENT DRAINAGE AREA (TO 13 MILE ROAD)

POST-DEVELOPED DRAINAGE CHARACTERISTICS:

DRAINAGE AREA = 1.70 AC  
 EXISTING PERVIOUS AREA = 0.67 AC  
 EXISTING IMPERVIOUS AREA = 1.03 AC  
 TIME OF CONCENTRATION = 10 MINUTES



SITE LEGEND	
	DRAINAGE AREA
	IMPERVIOUS AREA
	PERVIOUS AREA
	EXISTING CONTOURS
	PROPOSED CONTOURS

- ### STORMWATER NOTES
- ALL MATERIALS, CONSTRUCTION AND PLANS ARE TO COMPLY WITH CURRENT OAKLAND COUNTY STANDARD SPECIFICATIONS AND DETAILS.
  - CONTACT MICHIGAN NOTIFICATION CENTER (MISS DIG) @ 811 OR (800) 482-7171, A MINIMUM OF 72 HOURS BEFORE DIGGING.

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SCALE: AS NOTED DESIGNED BY: SRS DRAWN BY: SRS CHECKED BY: DDL	NOT FOR CONSTRUCTION
DRAINAGE PLAN	
COSMOS CAR WASH HIGHLAND ROAD PID: 12-20-276-034 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN	
ORIGINAL ISSUE: 8/30/2022 KHA PROJECT NO. 190125008 SHEET NUMBER <b>C4.0</b>	
REVISIONS No. _____ DATE _____ BY _____	





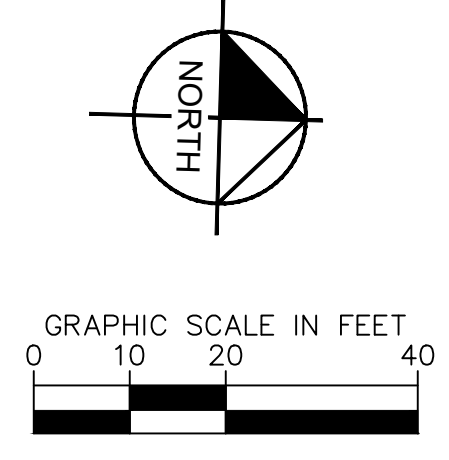
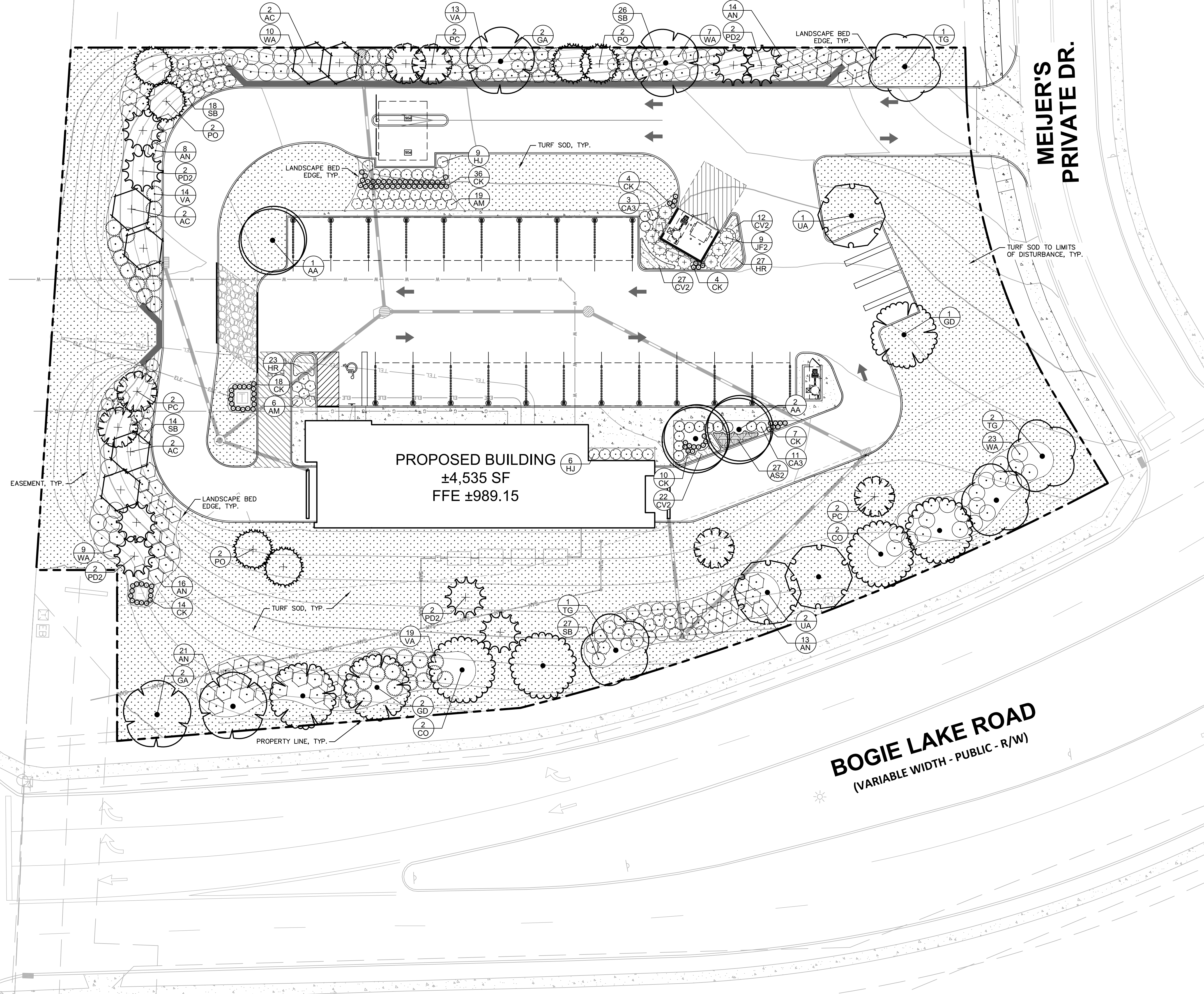




Drawing name: K:\GEB\_LBE\190125008\_CosmosCarWash\WhiteLake.MXD Design: CAD\Prep\Shawn\PRELIMINARY ENGINEERING\LANDSCAPE PLAN.dwg LANDSCAPE PLAN Aug 30, 2022 9:31am by: Sarah Strahl

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# HIGHLAND ROAD/M-59 (VARIABLE WD. - PUBLIC - R/W)



COSMOS CAR WASH HIGHLAND ROAD PID: 12-20-276-034 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN	<b>LANDSCAPE PLAN</b>		<b>NOT FOR CONSTRUCTION</b>	SCALE: AS NOTED DESIGNED BY: SRS DRAWN BY: SRS CHECKED BY: DDL	No. _____ REVISIONS _____ DATE _____ BY _____
				<b>Kimley»Horn</b> AN ASSOCIATE OF © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 3911 SIX MILE ROAD LYONIA, MI 48152 WWW.KIMLEY-HORN.COM	

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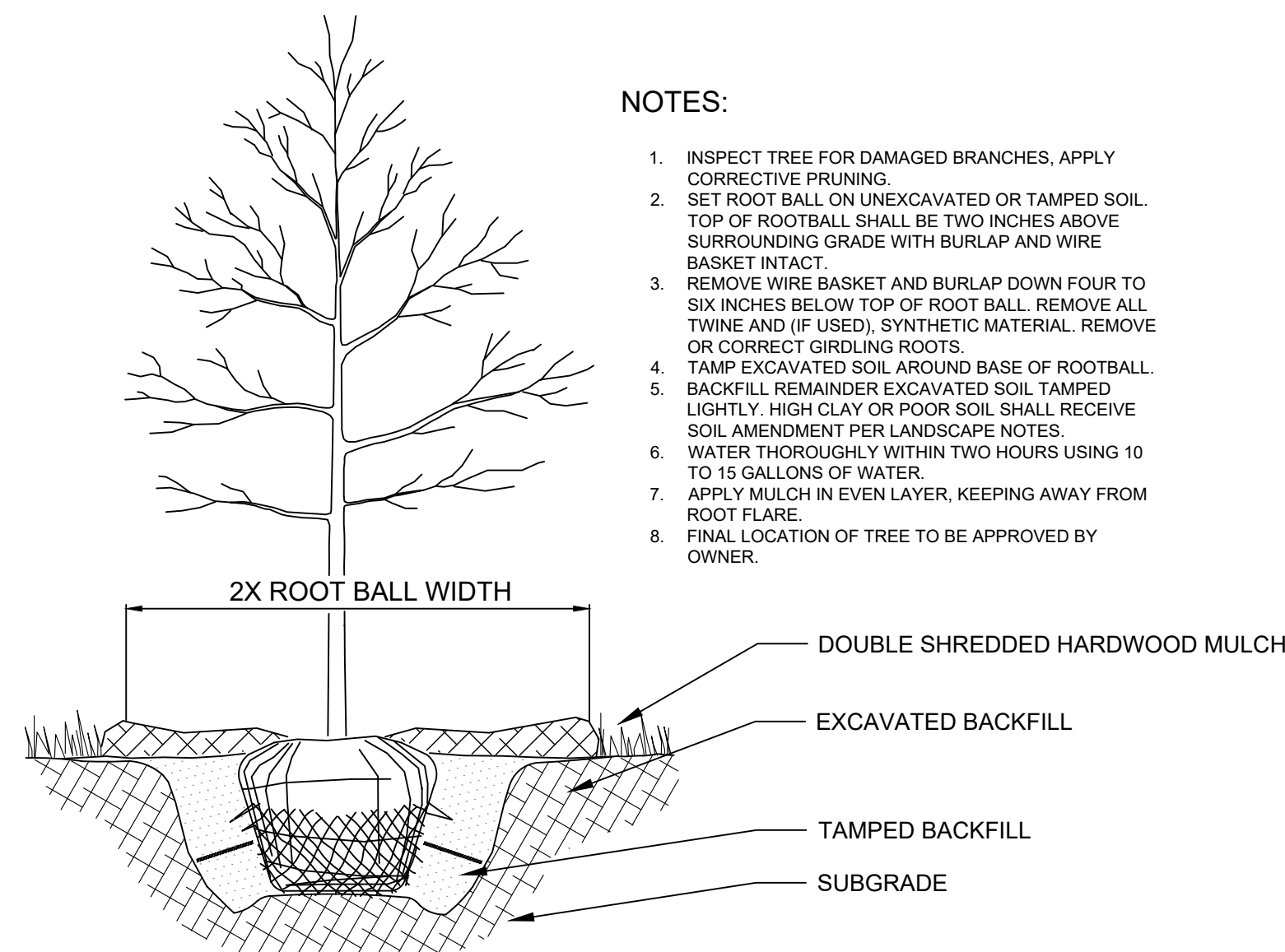
Drawing name: K:\GDL\DEV\190750508\_Cosmos\gh\_WhiteLake\_MI\_2\_Design\CAD\Planting\PRELIMINARY\ENGINEERING\LANDSCAPE\_PLAN.dwg LANDSCAPE NOTES Aug 30, 2022 9:31am by: Sarah Strahl  
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## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	AA	3	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	B & B	2.5" CAL. MIN	
	CO	4	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2.5" CAL. MIN	
	GA	4	GINKGO BILOBA 'AUTUMN GOLD' TM / AUTUMN GOLD MAIDENHAIR TREE	B & B	2.5" CAL. MIN	
	GD	3	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B	2.5" CAL. MIN	
	TG	4	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	2.5" CAL. MIN	
	UA	3	ULMUS X 'MORTON' TM / ACCOLADE ELM	B & B	2.5" CAL. MIN	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	AC	6	ABIES CONCOLOR / WHITE FIR	B & B	7" HT. MIN.	
	PC	6	PICEA PUNGENS / COLORADO GREEN SPRUCE	B & B	7" HT. MIN.	
	PD2	8	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B & B	7" HT. MIN.	
	PO	6	PICEA OMORIKA / SERBIAN SPRUCE	B & B	7" HT. MIN.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AM	25	ARONIA MELANOCARPA 'MORTON' / IROQUOIS BEAUTY BLACK CHOKEBERRY	-	SEE PLAN	18" HT. MIN.
	AN	72	AZALEA X 'UMNAZ 493' TM / ELECTRIC LIGHTS DOUBLE PINK AZALEA	-	SEE PLAN	30" HT. MIN.
	CA3	14	CEANOTHUS AMERICANUS / NEW JERSEY TEA	-	SEE PLAN	18" HT. MIN.
	HJ	15	HYDRANGEA PANICULATA 'JANE' TM / LITTLE LIME PANICLE HYDRANGEA	-	SEE PLAN	24" HT. MIN.
	SB	85	SYRINGA X 'BLOOMERANG' / BLOOMERANG SERIES LILAC	-	SEE PLAN	30" HT. MIN.
	VA	46	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN® ARROWWOOD VIBURNUM	-	SEE PLAN	30" HT. MIN.
	WA	49	WEIGELA FLORIDA 'ALEXANDRA' / WINE & ROSES® WEIGELA	-	SEE PLAN	30" HT. MIN.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	JF2	9	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER	B & B	SEE PLAN	7" HT. MIN.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	93	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	2 GAL	SEE PLAN	12" HT MIN
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AS2	27	ALLIUM X 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM	1 GAL	18" OC	
	CV2	61	COREOPSIS VERTICILLATA 'MOONBEAM' / MOONBEAM TICKSEED	1 GAL	18" OC	
	HR	50	HEMEROCALLIS X 'ROSY RETURNS' / DAYLILY	1 GAL	18" OC	
GROUND COVERS	BOTANICAL / COMMON NAME					
	TURF SOD					

### NOTES:

- INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

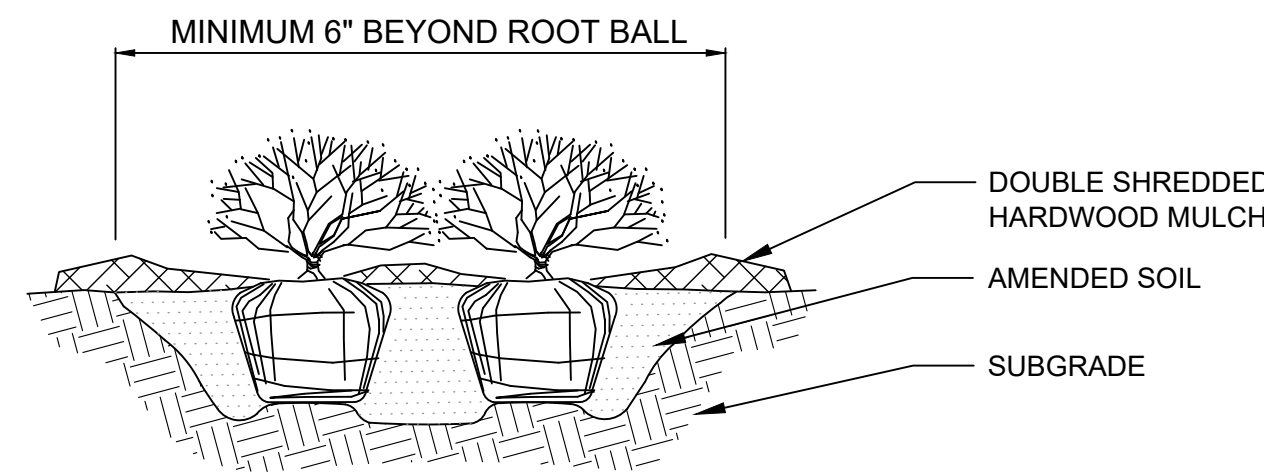


1 TREE PLANTING

NTS

### NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

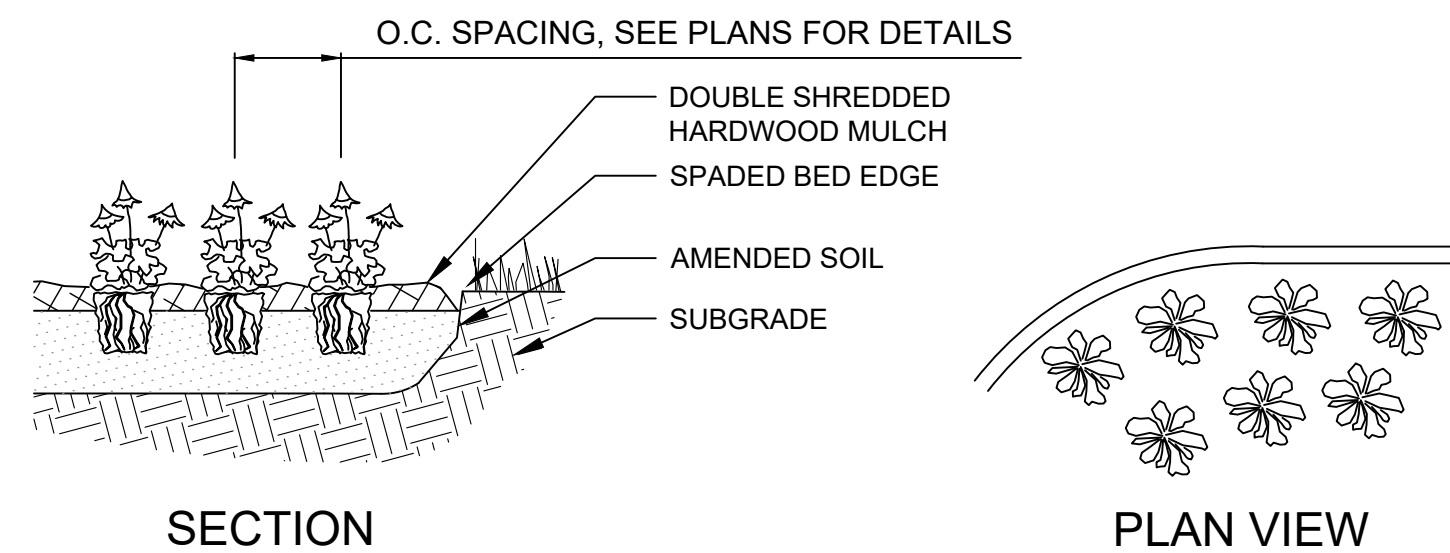


2 SHRUB PLANTING

NTS

### NOTES:

- EXCAVATE PLANTING BED.
- BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
- REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
- PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE. WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
- PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
- SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



3 PERENNIAL PLANTING

NTS

## WHITE LAKE, MI NOTES

- AN IRRIGATION PLAN SHALL BE PROVIDED AT FINAL SITE PLAN.
- ALL REQUIRED IRRIGATION SYSTEMS SHALL INCLUDE A RAIN SENSOR OR SIMILAR MEASURE TO ENSURE IRRIGATION DOES NOT OCCUR DURING OR SHORTLY AFTER PRECIPITATION EVENTS. ALL SITE PLANS SHALL NOTE INSTALLATION OF REQUIRED IRRIGATION.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR FEET TO A PROPERTY LINE.
- TREES IDENTIFIED FOR PROTECTION DURING CONSTRUCTION AND THE MEANS OF PROTECTION SHALL BE IDENTIFIED PRIOR TO FINAL SITE PLAN. NO CONSTRUCTION SHALL OCCUR UNTIL TREE PROTECTION HAS BEEN INSTALLED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.
- ALL REQUIRED LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AND THOSE WHICH ARE DISEASED OR DEAD MUST BE REPLACED IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN. THE DISEASED OR DEAD PLANTINGS MUST BE REPLACED WITH PLANTINGS OF THE SAME SIZE AS THOSE WHICH WERE REMOVED. A CHAS BOND OR STANDBY LETTER OF CREDIT IN AN AMOUNT EQUAL TO 125% OF THE COST TO INSTALL ANY INCOMPLETE IMPROVEMENTS AND 100% OF ANY INSTALLED IMPROVEMENTS MUST BE POSTED FOR THE TWO YEARS DURING WHICH THE GUARANTEE IS IN EFFECT. THE COMMUNITY DEVELOPMENT DIRECTOR OR HIS DESIGNEE SHALL REVIEW THE AMOUNT OF THE GUARANTEE FOR REASONABLENESS PRIOR TO APPROVAL.

WHITE LAKE, MI - LANDSCAPE CODE REQUIREMENTS		
ZONING ORDINANCE	REQUIRED	PROPOSED
<b>SECTION 5.19 - STANDARDS FOR LANDSCAPE AND SCREENING - GREENBELT</b>		
1 LARGE DECIDUOUS OR EVERGREEN TREE AND 8 SHRUBS FOR EVERY 30 LINEAR FEET.	LENGTH OF BOGIE LAKE ROAD = 388.08 LF 388 LF / 30 LF = 12.93 12.93 x 1 TREE = 12.93 = <b>13 DECIDUOUS / EVERGREEN TREES REQUIRED</b> 12.93 x 8 SHRUBS = 103.46 SHRUBS = <b>103 SHRUBS REQUIRED</b>	13 DECIDUOUS TREES AND 103 SHRUBS PROVIDED ALONG BOGIE LAKE ROAD
	LENGTH OF HIGHLAND ROAD / M-59 = 229.42 LF 229.42 LF / 30 LF = 7.65 7.65 x 1 TREE = 7.65 = <b>8 DECIDUOUS / EVERGREEN TREES REQUIRED</b> 7.65 x 8 SHRUBS = 61.18 = <b>61 SHRUBS REQUIRED</b>	CONTINUOUS EVERGREEN TREES (12 TREES) AND 61 SHRUBS PROVIDED ALONG HIGHLAND ROAD
	LENGTH OF WEST SIDE OF SITE. (PLANNED BUS. + PLANNED BUS.) = 331.47 LF 331.47 LF / 30 LF = 11.04 11.04 x 1 TREE = 11.04 = <b>11 DECIDUOUS / EVERGREEN TREES REQUIRED</b> 11.04 x 8 SHRUBS = 88.39 = <b>88 SHRUBS REQUIRED</b>	3 DECIDUOUS TREES, 8 EVERGREEN TREES AND 88 SHRUBS PROVIDED ALONG THE WEST SIDE OF SITE
<b>SECTION 5.19.E - STANDARDS FOR LANDSCAPE AND SCREENING - INTERIOR LANDSCAPING</b>		
INTERIOR LANDSCAPING AREAS SHALL BE PROVIDED, EQUAL TO AT LEAST 15% OF THE TOTAL LOT AREA. ALL INTERIOR LANDSCAPING SHALL PROVIDE 1 LARGE DECIDUOUS, SMALL ORNAMENTAL DECIDUOUS OR EVERGREEN TREE AND 5 SHRUBS FOR EVERY 300 SQUARE FEET OF REQUIRED INTERIOR LANDSCAPING AREA.	TOTAL LOT AREA = 81,892.8 SQ. FT. 81,892.8 SQ. FT. x 0.15 = 12,283.92 <b>12,284 SQ. FT. OF INTERIOR LANDSCAPING REQUIRED</b>	44,716.78 SQ. FT. OF INTERIOR LANDSCAPE AREA PROVIDED
	REQUIRED INTERIOR LANDSCAPING AREA = 12,284 SQ. FT. 12,284 SQ. FT. / 300 SQ. FT. = 40.9 40.9 x 1 TREE = 40.9 = <b>41 DECIDUOUS / EVERGREEN TREES REQUIRED</b> 40.9 x 5 SHRUBS = 204.5 = <b>205 SHRUBS REQUIRED</b>	47 DECIDUOUS AND EVERGREEN TREES AND 315 SHRUBS PROVIDED THROUGHOUT THE ENTIRE SITE
<b>SECTION 5.19.E - STANDARDS FOR LANDSCAPE AND SCREENING - PARKING LOT LANDSCAPING</b>		
ANY OFF-STREET PARKING AREAS CONTAINING 10 OR MORE SPACES SHALL PROVIDE 20 SQUARE FEET (FOR COMMERCIAL / OFFICE USE) OF LANDSCAPE AREA PER SPACE. THERE SHALL BE 1 LARGE DECIDUOUS OR SMALL ORNAMENTAL TREE AND 3 SHRUBS FOR EVERY 100 SQUARE FEET OF REQUIRED PARKING LOT LANDSCAPE AREA.	TOTAL NUMBER OF PARKING SPACES = 25 SPACES 25 SPACES x 20 SQ. FT. = 500 <b>500 SQ. FT. OF INTERIOR PARKING LOT LANDSCAPE REQUIRED</b>	5,709.83 SQ. FT. OF INTERIOR PARKING LOT LANDSCAPE PROVIDED
	REQUIRED INTERIOR PARKING LOT LANDSCAPE AREA = 500 SQ. FT. 500 SQ. FT. / 100 SQ. FT. = 5 5 x 1 TREE = <b>5 DECIDUOUS TREES REQUIRED</b> 5 x 3 SHRUBS = <b>15 SHRUBS REQUIRED</b>	5 DECIDUOUS TREES AND 57 SHRUBS PROVIDED WITHIN THE PARKING LOT

## LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SOD MIXES.
- EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL DOUBLE SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH DOUBLE SHREDDED HARDWOOD MULCH.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SODDED, UNLESS OTHERWISE NOTED. SOD SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.



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NOT FOR CONSTRUCTION



**LANDSCAPE NOTES AND DETAILS**

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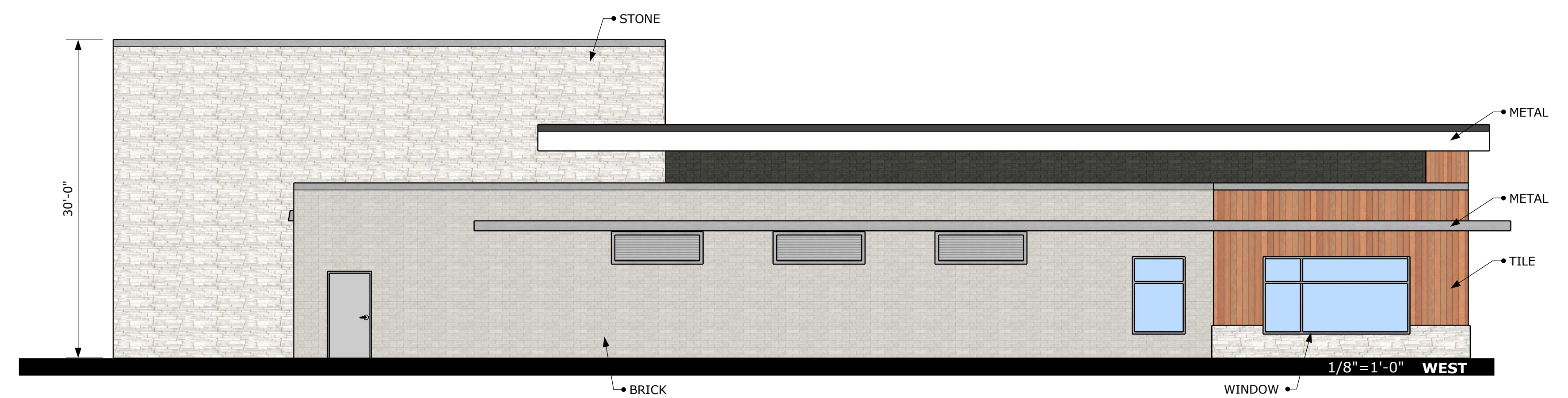
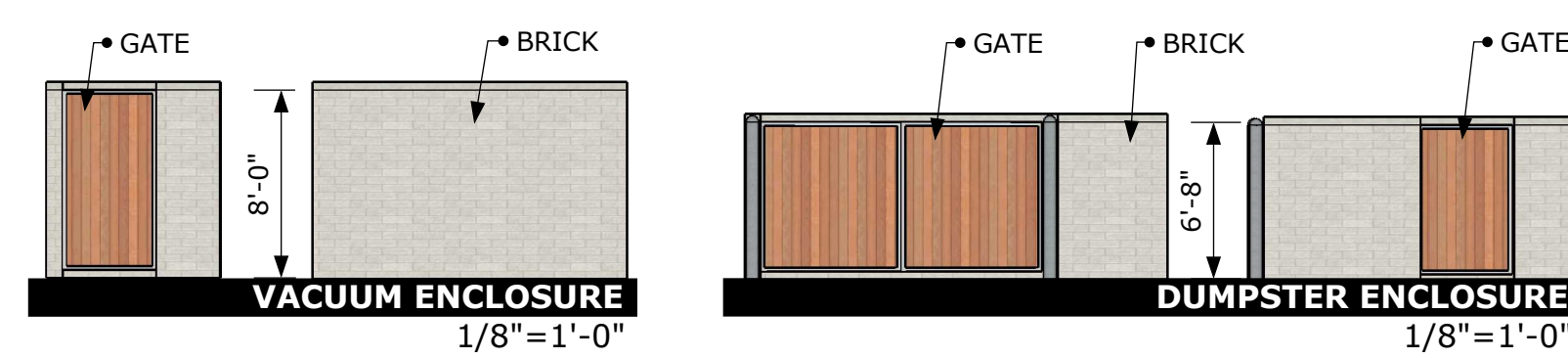
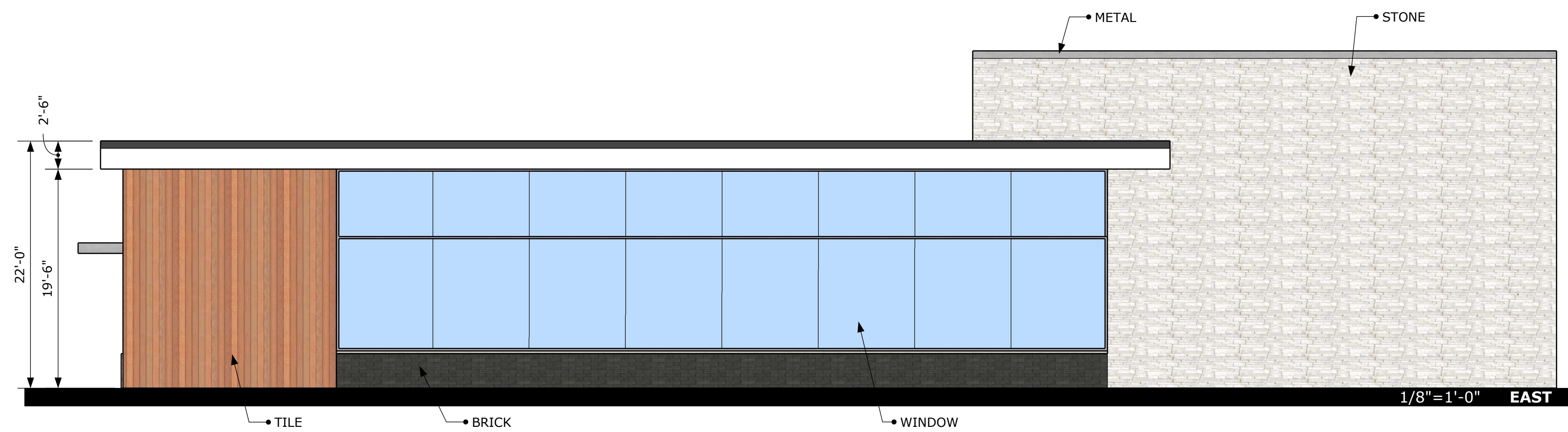
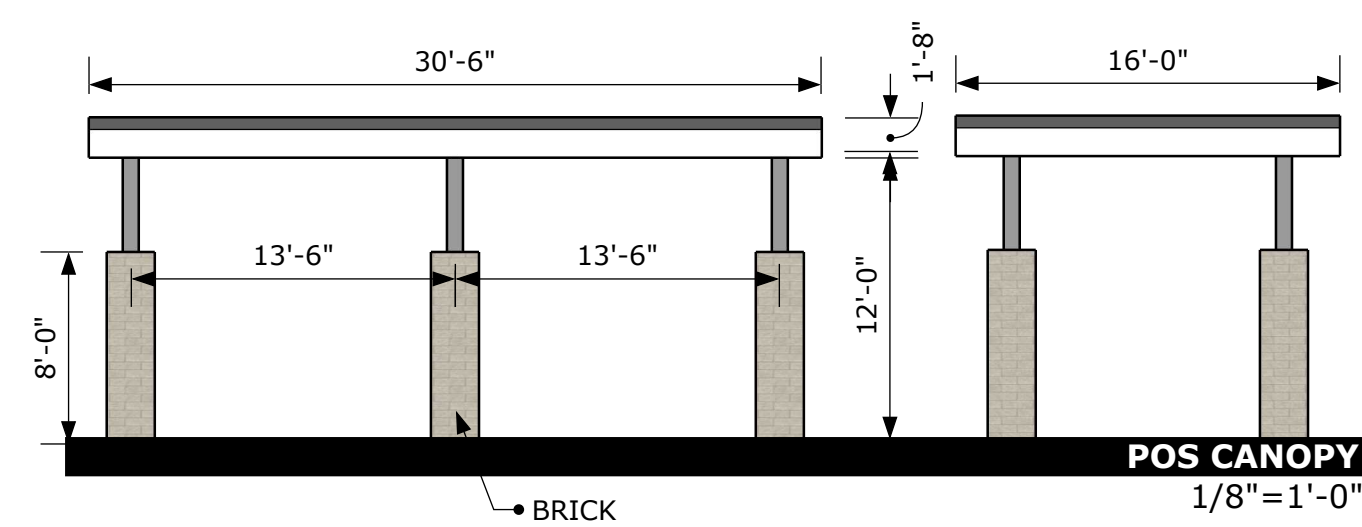
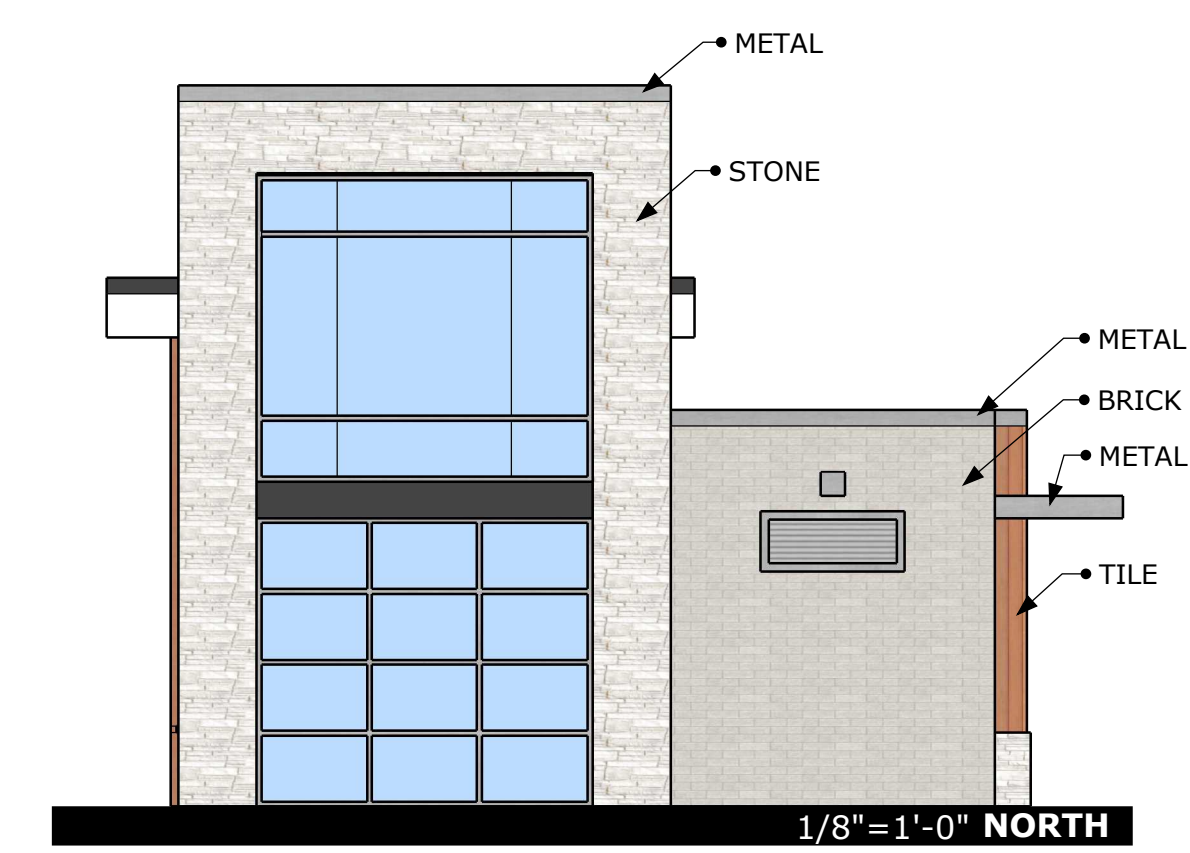
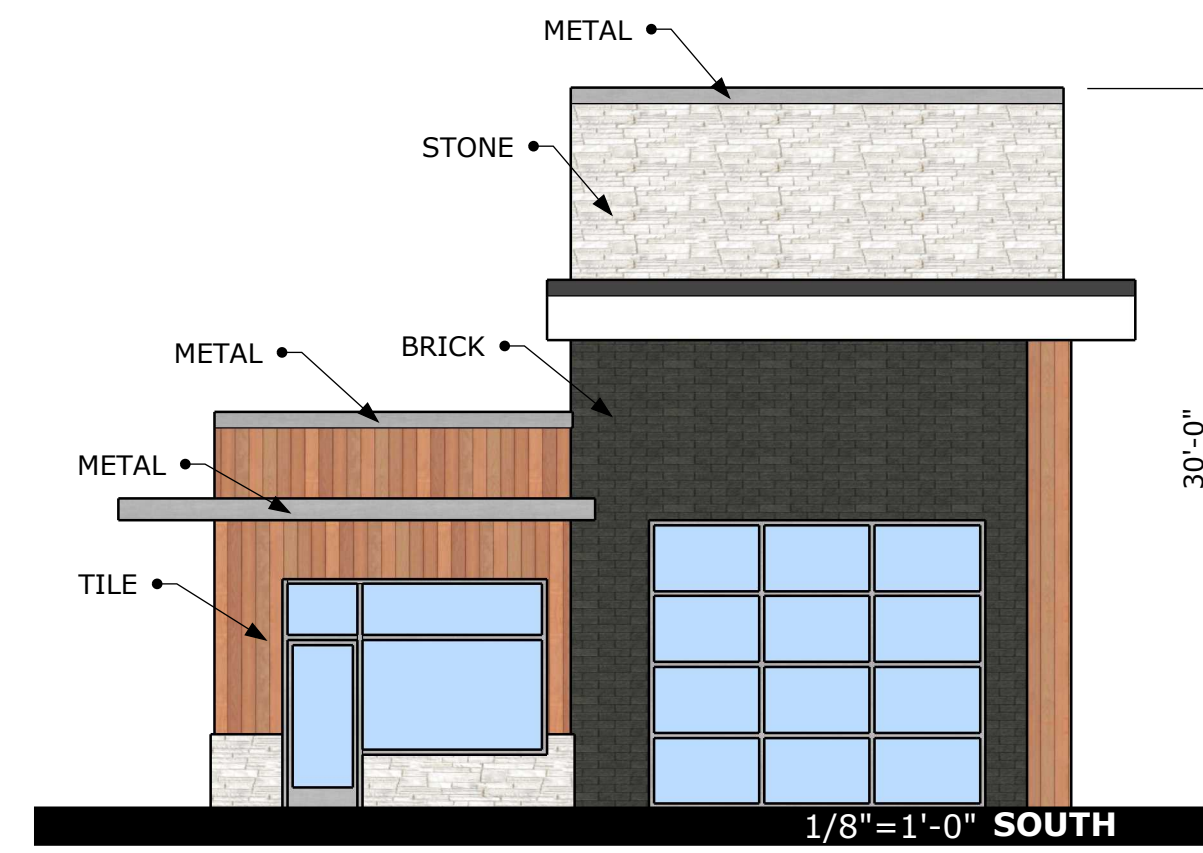
NO.	REVISIONS	DATE	BY



North			EAST		
PRIMARY MATERIALS	Square Feet	Percent of total	PRIMARY MATERIALS	Square Feet	Percent of Total
Brick	199	23%	Brick	212	7%
Stone	237	27%	Stone	1247	39%
Tile	22	3%	Tile	371	12%
Glass	347	39%	Glass	1110	34%
Doors	0	0%	Doors	0	0%
Louvers	15	2%	Louvers	0	0%
Metal (Canopies and Coping)	60	7%	Metal (Canopies and Coping)	280	9%
<b>Total</b>	<b>880</b>	<b>100%</b>	<b>Total</b>	<b>3220</b>	<b>100%</b>

South			West		
PRIMARY MATERIALS	Square Feet	Percent of total	PRIMARY MATERIALS	Square Feet	Percent of Total
Brick	201	23%	Brick	1077	36%
Stone	180	20%	Stone	981	33%
Tile	140	16%	Tile	272	9%
Glass	256	29%	Glass	138	5%
Doors	0	0%	Doors	34	1%
Louvers	0	0%	Louvers	80	3%
Metal (Canopies and Coping)	103	12%	Metal (Canopies and Coping)	422	14%
<b>Total</b>	<b>880</b>	<b>100%</b>	<b>Total</b>	<b>3004</b>	<b>100%</b>



A PLUS DESIGN GROUP  
ARCHITECTURE  
INTERIORS  
CONSTRUCTION  
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08-30-2022

A NEW CAR WASH  
FOR:



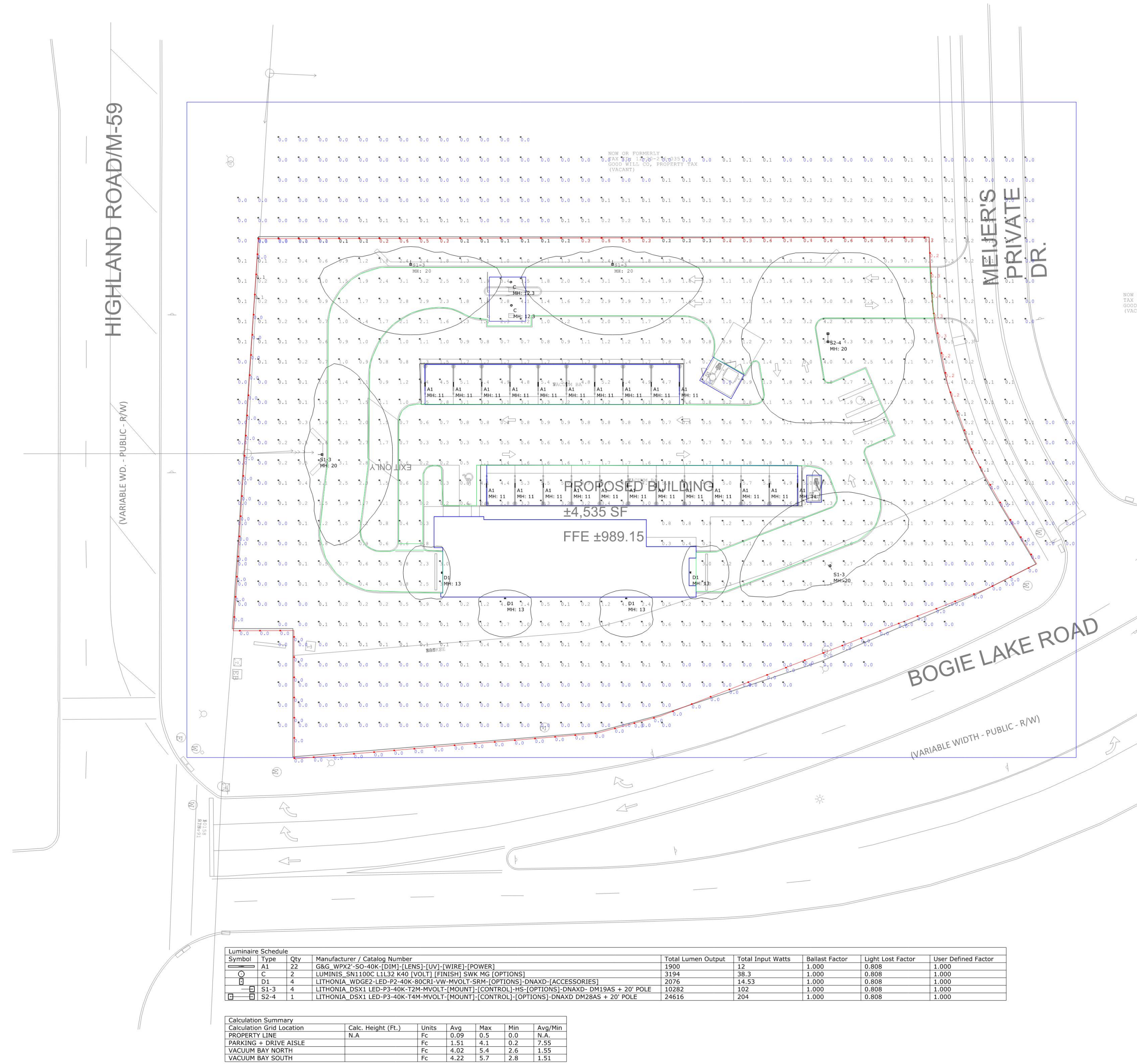
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PHOTOMETRIC

A NEW CAR WASH FOR: **COSMO'S CAR WASH**



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